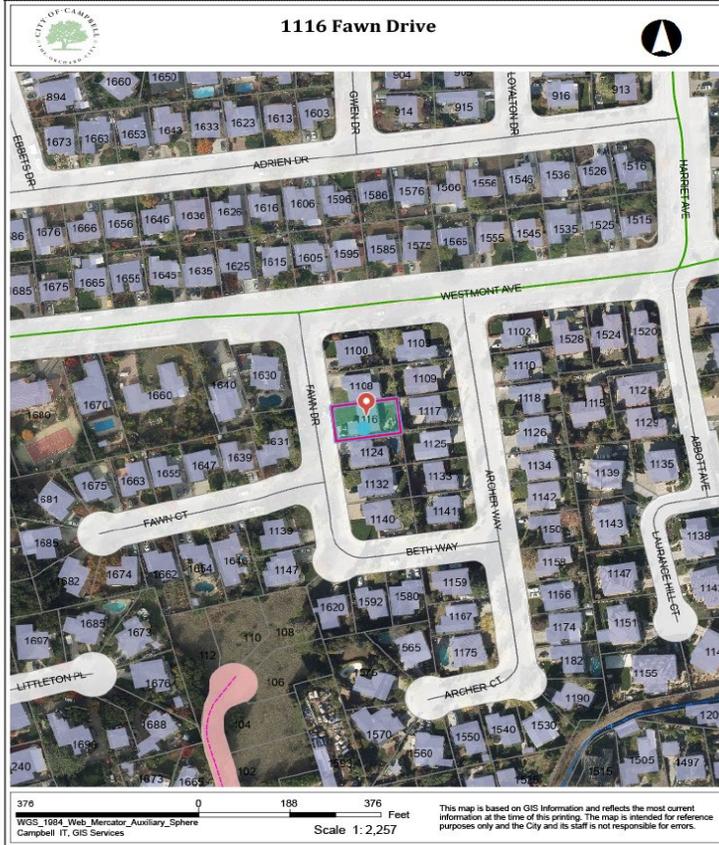


## Location of Proposed Project



City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423

## Project Image



# Notice of Decision on Proposed Project

Dear Campbell Resident,

July 12, 2023

The Community Development Director will be rendering a decision on the following project.

**Project Address:** 1116 Fawn Drive

**Zoning | Area Plan:** R-1-6 | STANP

**Neighborhood Association(s):** STACC

**File No:** PLN-2023-57

**APN:** 403-13-088

**Applicant:** GHY Consulting Engineers Inc

**Property Owner:** Patrick Wong

**Application Type:** Administrative Site and Architectural Review Permit

**Project Planner:** Tracy Tam, Associate Planner

**Email Contact:** [tracyt@campbellca.gov](mailto:tracyt@campbellca.gov)

**Phone Contact:** (408) 871-5103

## Project Description:

To allow an approximately 735 square foot single-story addition to an existing single-family residence.

## Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **July 12, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **July 22, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

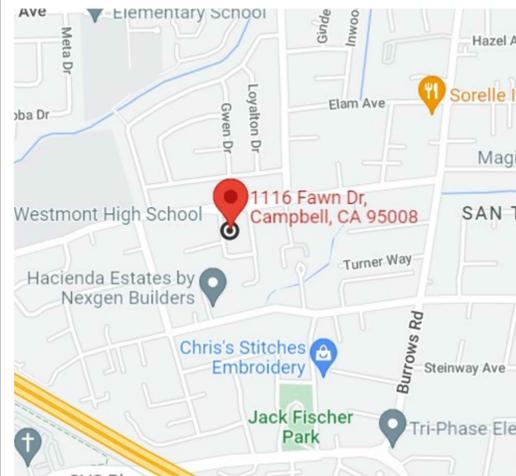
**Note:** Applications may change after initial application submittal.  
To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español



**GENERAL NOTES & CONDITIONS**

- THE BUILDING PLANS PREPARED BY GHY CONSULTING ENGINEERS, INC., THE DESIGNER, ARE INTENDED FOR USE ONLY ON THE PROPERTY FOR WHICH THEY WERE DESIGNED AND SHALL REMAIN THE PROPERTY OF GHY CONSULTING ENGINEERS. THE BUILDING PLANS ARE NOT INTENDED TO BE COMPREHENSIVE AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO NOTIFY THE OWNER AND / OR THE DESIGNER OR ANY NECESSARY CLARIFICATIONS OR MODIFICATIONS.
- ALL INFORMATION PERTAINING TO THE SITE SHALL REMAIN THE OWNERS RESPONSIBILITY. SITE INFORMATION SHALL INCLUDE LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEYS, STREET AND UTILITY IMPROVEMENTS, GEOTECHNICAL INVESTIGATIONS AND REPORTS, GRADING AND EXCAVATION, LANDSCAPING, DRAINAGE, AND ALL RELATED DATA.
- THE OWNER SHALL BE RESPONSIBLE FOR NOTIFYING THE DESIGNER AND/OR ENGINEER FOR ANY UNUSUAL OR UNFORESEEN STRUCTURAL CONDITIONS, DISCREPANCIES OR OMISSIONS WITHIN THE CONSTRUCTION DOCUMENTS OR ANY DEVIATIONS OR CHANGES FROM THE DOCUMENTS BEFORE PROCEEDING WITH THE WORK INVOLVED; OTHERWISE THEY WILL BE CONSIDERED ADEQUATE FOR PROPER COMPLETION OF THE PROJECT.
- THE GENERAL CONTRACTOR AND EACH SUPERVISOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING ALL DIMENSIONS AND MEASUREMENTS PRIOR TO COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE DESIGNER AND OWNER'S ATTENTION PRIOR TO COMMENCING ANY WORK. IN THE EVENT WORK COMMENCED WITH FAILURE TO NOTIFY BOTH THE DESIGNER AND OWNER. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ANY AND ALL, CORRECTIVE MEASURES OR ERRORS.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER AND ENGINEER FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAYBE BEYOND THE CONTROL OF THE DESIGNER OR ENGINEER.
- THESE DOCUMENTS ARE INTENDED FOR USE IN NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND / OR MANUFACTURERS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAMPLES AS REQUIRED. TO ASSIST THE OWNER IN MAKING MATERIAL OR EQUIPMENT SELECTIONS OR COMPARISON, FOR THE PURPOSE OF ESTIMATING, THE GENERAL CONTRACTOR SHALL USE MATERIALS SELECTED BY THE OWNER. OR IN THE ABSENCE OF OWNER, HE SHALL PROVIDE AN ALLOWANCE AMOUNT. AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DOCUMENTS SHALL BE INCLUDED IN ANY ESTIMATES.
- THE GENERAL CONTRACTOR SHALL REVIEW AND RECORD ALL EXISTING CONDITIONS, INCLUDING PAVED AREAS. HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE PROPOSED CONSTRUCTION. ALL EXISTING ITEMS AND CONDITIONS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE CONSTRUCTION DOCUMENTS SHALL NOT BE CONSIDERED COMPLETE AND READY FOR CONSTRUCTION UNTIL A BUILDING PERMIT HAS BEEN ISSUED.
- EXAMINATION OF SITE: THE GENERAL CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS TO THE CONDITION UNDER WHICH THE WORK IS TO BE PERFORMED. THE GENERAL CONTRACTOR SHALL VERIFY AT THESE SITE. ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY EXPENSES DUE TO NEGLECT TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- EXAMINATION OF EXISTING PLUMBING AND ELECTRICAL; IN ANY CASE WHERE A NEW LINE MAY TIE INTO AN EXISTING LINE WITHIN THE LIMITS OF THE RENOVATION WORK. THE GENERAL CONTRACTOR OR HIS SUBCONTRACTOR SHALL EXAMINE THE ENTIRE EXISTING LINE, AND DETERMINE WHETHER THE NEW WORK WILL ADVERSELY BE AFFECTED BY IT. AND NOTIFY THE OWNER AND THE DESIGNER OF ANY SUCH DEFECT BEFORE COMMENCING WORK.



VICINITY MAP

CALL 811 BEFORE YOU DIG

**GENERAL NOTES :**

**APPLICABLE CODES AND REGULATIONS:**

- 2022 CALIFORNIA BUILDING CODE (BASED ON 2021 IBC)
- 2022 CALIFORNIA RESIDENTIAL CODE (BASED ON 2021 IRC)
- 2022 CALIFORNIA MECHANICAL CODE (BASED ON 2021 UMC)
- 2022 CALIFORNIA PLUMBING CODE (BASED ON 2021 UPC)
- 2022 CALIFORNIA ELECTRIC CODE (BASED ON 2021 NEC)
- 2022 CALIFORNIA FIRE CODE (BASED ON 2021 IFC)
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CITY OF CAMPBELL MUNICIPAL CODE

**BUILDING DATA:**

- A.P.N. : 403-13-088
- ZONING : R-1-6
- TYPE OF CONSTRUCTION : V-B
- OCCUPANCY GROUP : R3 & U
- NUMBER OF STORY : ONE
- FIRE SPRINKLER : NO
- LOT SIZE : 6,300 SF
- YEAR BUILT: 1987
- (E) FLOOR (LIVING AREA) = 1,360 SF
- ROOM ADDITION = 705 SF
- PROPOSED FLOOR AREA = 2,065 SF
- (N) PORCH = 30 SF
- (E) 2-CAR GARAGE AREA = 422 SF

**SCOPE OF WORK:**

- ROOM ADDITION 705 SF, TO CREATE BEDROOM, 2 BATHS AND LIVING ROOM.
- REMODEL MASTER BATHROOM

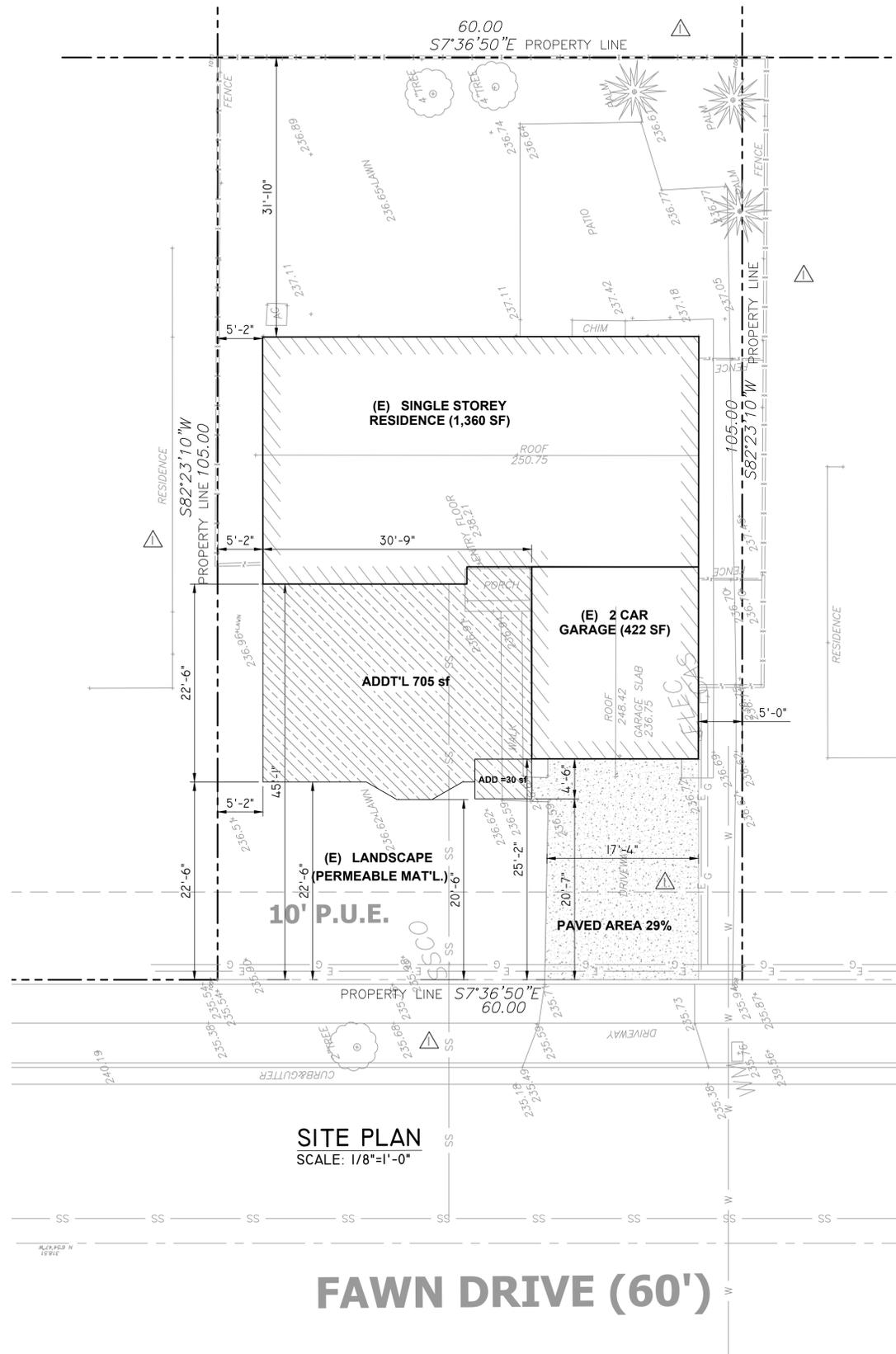
**LIST OF DRAWINGS :**

- A-1 : SITE PLAN & GENERAL NOTES
- A-1.1: SITE PHOTOGRAPHY
- A-2: EXISTING FLOOR PLAN & DEMO PLAN
- A-3: PROPOSED FLOOR PLAN
- A-3.1: FLOOR AREA DIAGRAM
- A-4: PROPOSED ROOF PLAN
- A-5: ELEVATIONS
- A-6: ELEVATIONS AND SECTIONS
- B-1: BOUNDARY AND TOPO SURVEY PLAN

**OWNER :**

NAME: PATRICK WONG  
 ADDRESS: 1116 FAWN DRIVE  
 CAMPBELL, CA 95008  
 PHONE: (650) 303-9088  
 E-MAIL: PMWONG@GMAIL.COM

FRONT YARD IMPERVIOUS AREA CALCS	WIDTH (FT)	LENGTH (FT)	AREA (SF)
FRONT YARD AREA	60.0	20.0	1200
MAX. IMPERVIOUS AREA		50%	600
PROPOSED IMPERVIOUS AREA			
CONC DRIVEWAY	17.3	20.0	346.0
Total Paved Area (%)			29%
			(OK)



**FAWN DRIVE (60')**

**SITE PLAN**  
SCALE: 1/8"=1'-0"



JURISDICTION APPROVAL STAMP

**GHY CONSULTING ENGINEERS, INC.**

32720 GILROY CT., UNION CITY, CA 94587  
 (510) 299-6194 Email: ghyengineer@gmail.com

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 STRUCTURAL ENGINEERING  
 GARY YU, PE

**ROOM ADDITION AND RENOVATION**  
**WONG'S FAMILY RESIDENCE**  
**1116 FAWN DRIVE**  
**CAMPBELL, CA. 95008**

**SITE PLAN & GENERAL NOTES**

**REVISION NOTES**

NO	DATE	REVISION
0	03-20-23	PLAN REVIEW
1	05-08-23	PLANNING COMMENTS
2	06-16-23	PLANNING COMMENTS

NO	DATE	REVISION

SCALE: AS NOTED

DRAWN BY: GHY

DWG. NO.

**A-1**



REAR HOUSE 01



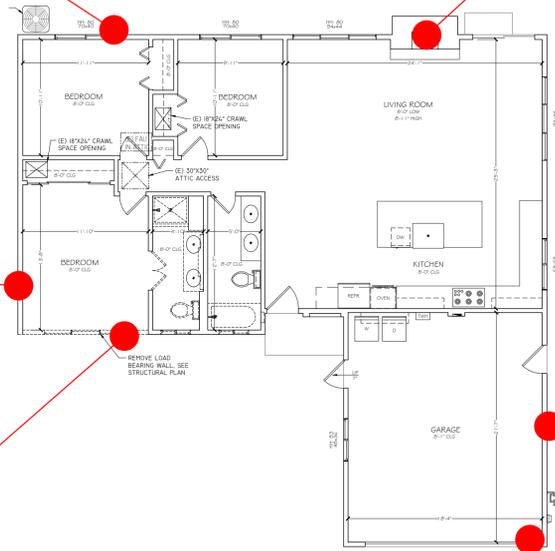
REAR HOUSE 02



LEFT HOUSE 01



LEFT HOUSE 02



RIGHT HOUSE 01



RIGHT HOUSE 02



FRONT HOUSE 02



FRONT HOUSE 01

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ROOM ADDITION AND RENOVATIONS  
 WONG'S FAMILY RESIDENCE  
 1116 FAWN DRIVE  
 CAMPBELL, CA 95008  
 SITE PHOTOGRAPHY

REVISION NOTES

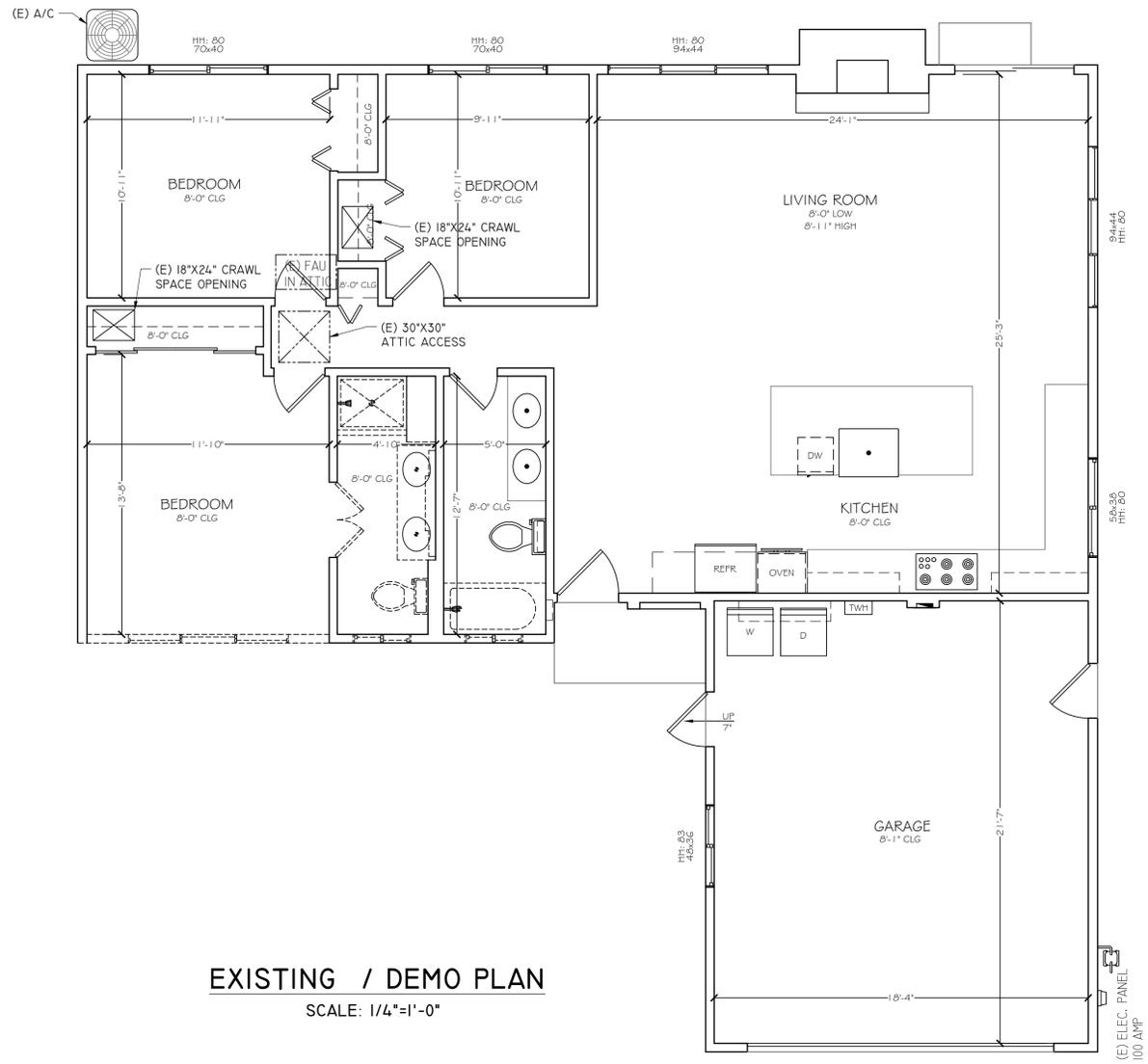
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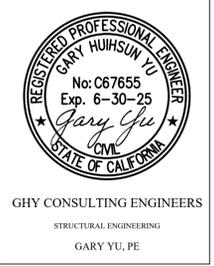




**EXISTING / DEMO PLAN**  
SCALE: 1/4"=1'-0"

- LEGENDS:**
- : INDICATES EXIST. WALL
  - : INDICATES PARTIAL HEIGHT WALL
  - : INDICATES NEW WALL
  - : INDICATES (E) WALL TO BE REMOVED
  - : INDICATES (E) WINDOW TO BE REMOVED
  - HH: 80 : HEADER HEIGHT: 80"
  - : WINDOW W/SIZE INDICATION: 42"W x 48"H
  - : DOOR W/SIZE INDICATION: 2'-4"W x 6'-8"H
  - SL : SLIDING WINDOW
  - SH : SINGLE HUNG WINDOW
  - DH : DOUBLE HUNG WINDOW
  - PIC : PICTURE/FIXED WINDOW

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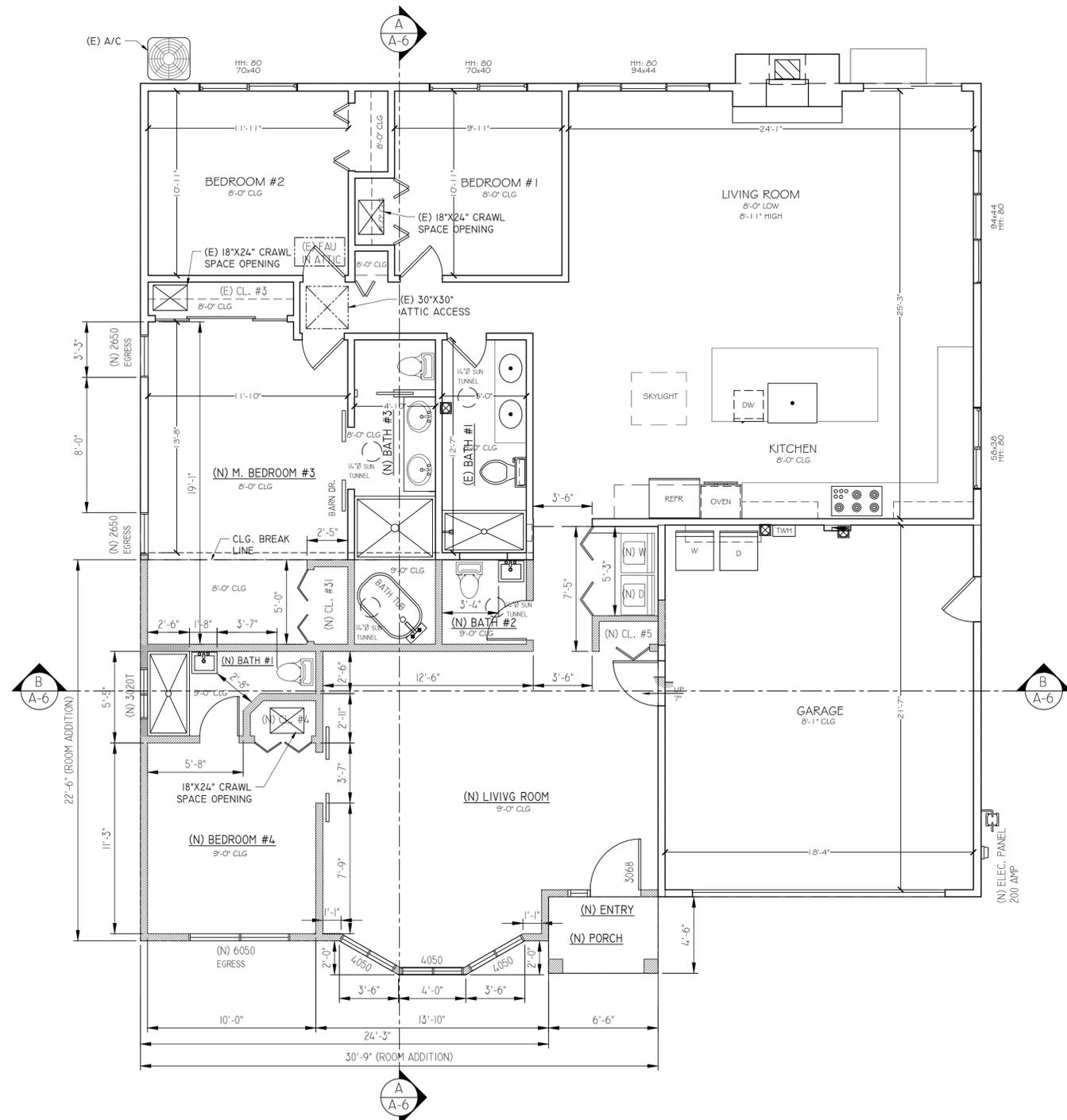


ROOM ADDITION AND RENOVATION  
WONG'S FAMILY RESIDENCE  
1116 FAWN DRIVE  
CAMPBELL, CA. 95008  
EXISTING & DEMO  
FLOOR PLAN

JURISDICTION APPROVAL STAMP

REVISION NOTES		
0	03-20-23	PLAN REVIEW
NO.	DATE	REVISION
SCALE: AS NOTED		
DRAWN BY: GHY		
DWG. NO.		

**A-2**

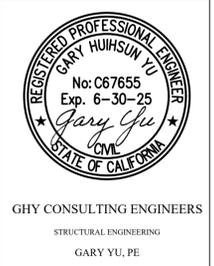


**PROPOSED FLOOR PLAN**  
SCALE: 1/4"=1'-0"

- LEGENDS:**
- : INDICATES EXIST. WALL
  - : INDICATES PARTIAL HEIGHT WALL
  - : INDICATES NEW WALL
  - : INDICATES (E) WALL TO BE REMOVED
  - : INDICATES (E) WINDOW TO BE REMOVED
  - HH: 80 : HEADER HEIGHT: 80"
  - 42x4.8 : WINDOW W/SIZE INDICATION: 42"W x 4.8"H
  - 2L68 : DOOR W/SIZE INDICATION: 2'-4"W x 6'-8"H
  - SL : SLIDING WINDOW
  - SH : SINGLE HUNG WINDOW
  - DH : DOUBLE HUNG WINDOW
  - PIC : PICTURE/FIXED WINDOW

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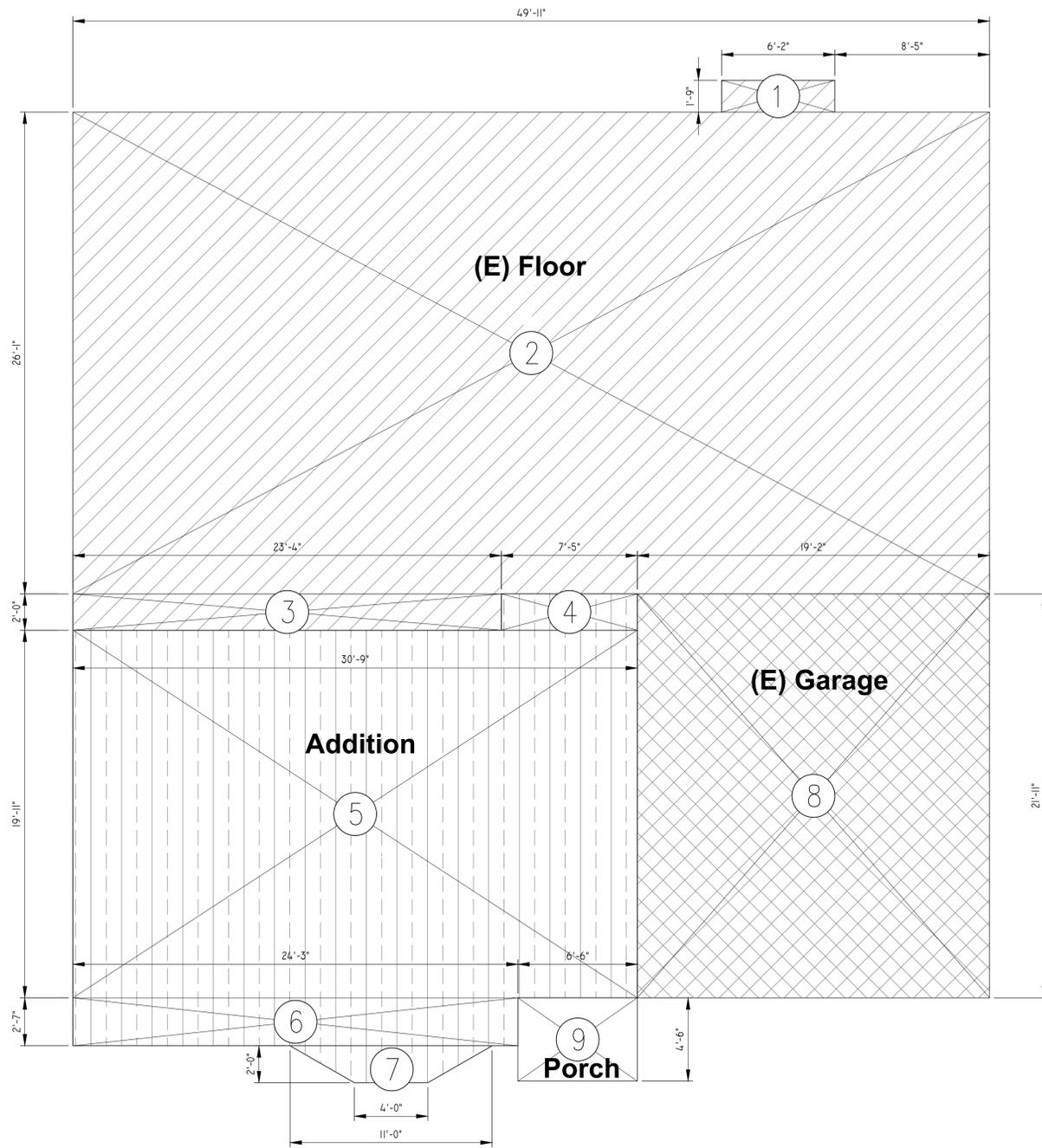
**ROOM ADDITION AND RENOVATION**  
**WONG'S FAMILY RESIDENCE**  
1116 FAWN DRIVE  
CAMPBELL, CA. 95008  
**PROPOSED FLOOR PLAN**  
**AND NOTES**

**REVISION NOTES**

0	03-20-23	PLAN REVIEW
△	05-08-23	PLANNING COMMENTS
△	06-16-23	PLANNING COMMENTS
NO	DATE	REVISION

SCALE: AS NOTED  
DRAWN BY: GHY

DWG. NO.  
**A-3.0**



**FLOOR AREA DIAGRAM**  
SCALE: 1/4"=1'-0"

FLOOR AREA RATIO CALCS				
ITEM	SECTION	LENGTH (FT)	WIDTH (FT)	AREA (SQ. FT.)
(E) FLOOR AREA	1	6.2	1.8	10.8
	2	49.9	26.1	1302.0
	3	23.3	2.0	46.7
TOTAL (E) FLOOR AREA				1359.5
NEW ADDITION	4	7.4	2.0	14.8
	5	30.8	19.9	612.4
	6	24.3	2.6	62.6
	7	(4+11)/2 = 7.5	2.0	15.0
TOTAL ADDITION				704.9
(E) GARAGE	8	21.9	19.2	420.1
TOTAL FLOOR AREA				2484.4
NET LOT AREA				6300
MAX F.A.R. (45% OF LOT AREA)			45%	2835
FLOOR AREA RATIO			(OK)	39.4%
LOT COVERAGE CALCS				
ITEM	SECTION	LENGTH (FT)	WIDTH (FT)	AREA (SQ. FT.)
ENTRY PORCH	9	6.5	4.5	29.3
TOTAL COVERAGE AREA				2513.7
MAX LOT COV. (40% OF LOT)			40%	2520
LOT COVERAGE RATIO			(OK)	39.9%

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ROOM ADDITION AND RENOVATION  
WONG'S FAMILY RESIDENCE  
1116 FAWN DRIVE  
CAMPBELL, CA. 95008  
FLOOR AREA DIAGRAM

**REVISION NOTES**

0	03-20-23	PLAN REVIEW
△	05-08-23	PLANNING COMMENTS
△	06-16-23	PLANNING COMMENTS

NO.	DATE	REVISION

SCALE: AS NOTED

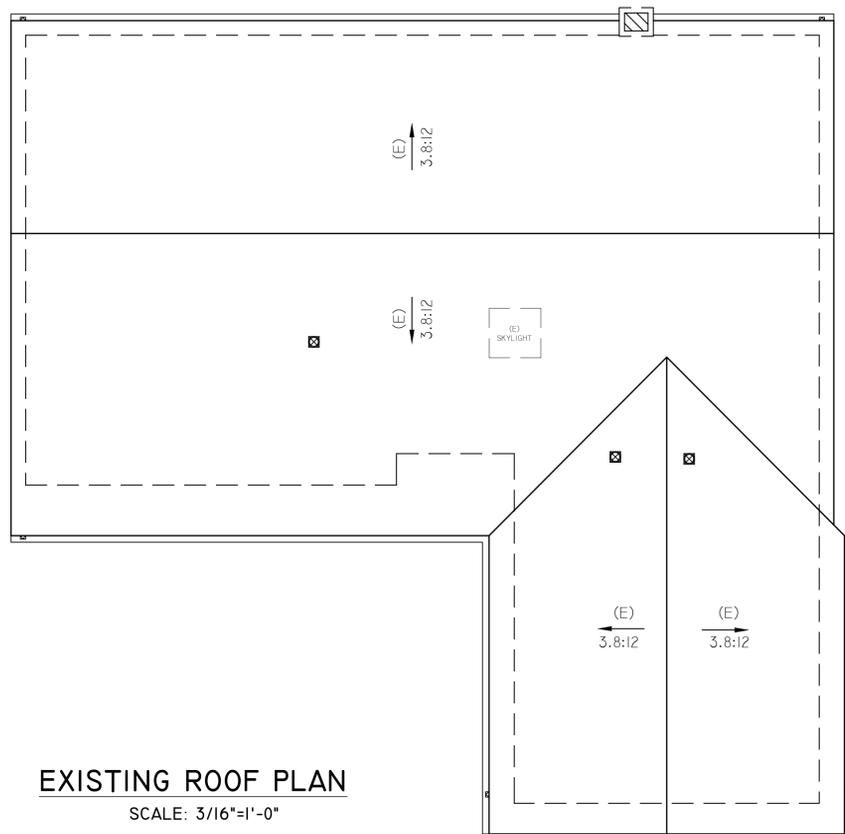
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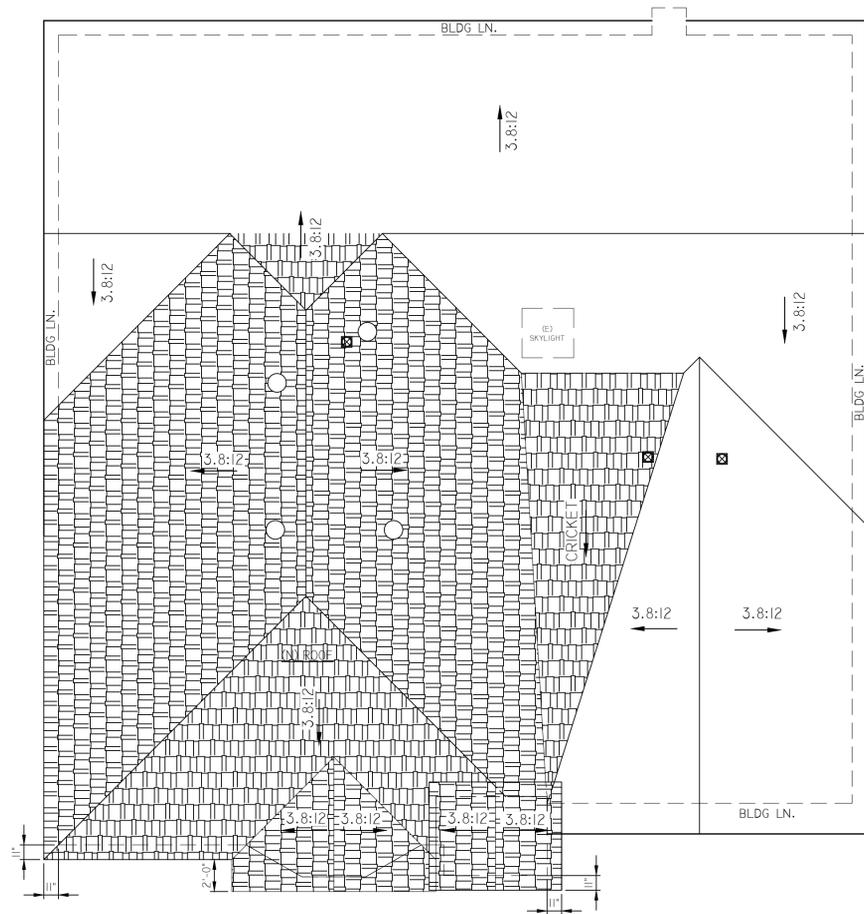
**A-3.1**

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**EXISTING ROOF PLAN**  
SCALE: 3/16"=1'-0"



**PROPOSED ROOF PLAN**  
SCALE: 3/16"=1'-0"

**ROOF NOTES:**

- CONTRACTOR SHALL FIELD VERIFY THE ROOF PITCH TO MATCH (E) PRIOR TO FABRICATION OF MANUFACTURED ROOF TRUSSES.

JURISDICTION APPROVAL STAMP

NO.	DATE	REVISION

SCALE: AS NOTED  
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DWG. NO. **A-4**

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ROOM ADDITION AND RENOVATION  
WONG'S FAMILY RESIDENCE  
1116 FAWN DRIVE  
CAMPBELL, CA. 95008

ROOF PLAN & NOTES

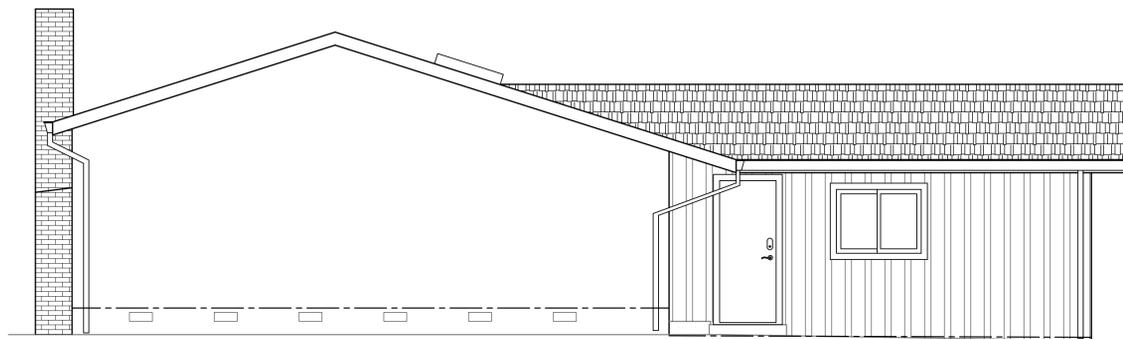
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△	05-08-23	PLANNING COMMENTS



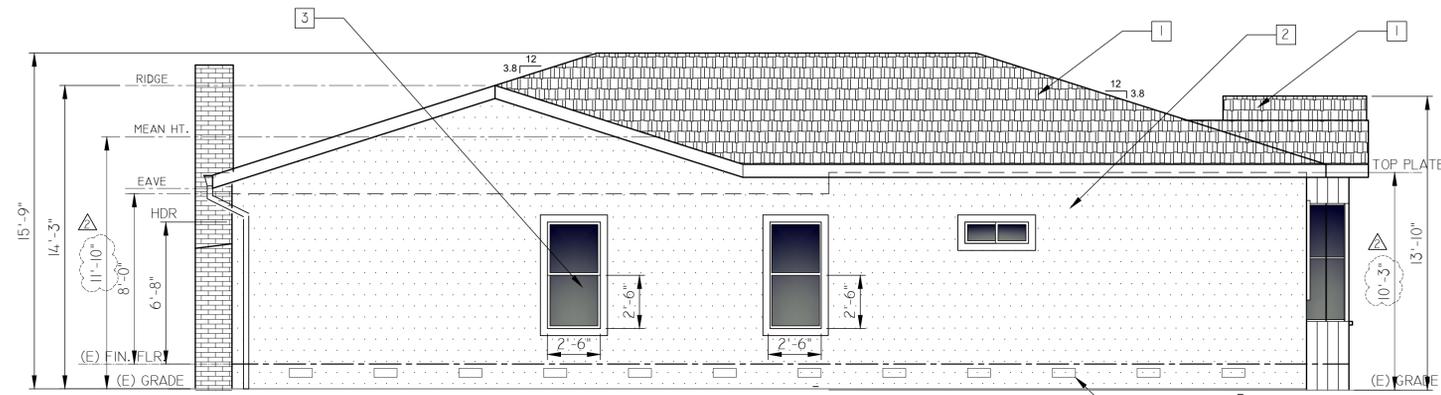
**EXISTING FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSED FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**EXISTING LEFT ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSED LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

**ELEVATION KEY NOTES:**

- 1 COMPOSITE ROOF SHINGLE TO MATCH EXISTING  
(N) COMPOSITE SHINGLE ROOF WITH DOUBLE LAYER 30# FELT UNDER ROOFING MATERIAL.
- 2 ALL EXTERIOR MATERIAL FOR THE NEW ADDITION.  
PROVIDE: a. STUCCO, 3-COAT, 7/8-INCH MINIMUM THICK  
b. PROVIDE 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAVING)  
c. TWO LAYERS OF GRADE D PAPER UNDER STUCCO OVER PLYWOOD SHEATHING.
- 3 VINYL FRAME WINDOWS WITH DUAL PANE GLAZING.
- 4 SOLID CORE WOOD SWING ENTRY DOOR.
- 5 LOUVER EXTERIOR WOOD SHUTTER  
HOME ADDRESS NUMBER SHALL BE MINIMUM 4 INCHES HIGH WITH MINIMUM STROKE WIDTH OF 3/8" INCH AND SHALL CONTRAST WITH THE BACKGROUND. CRC R319
- 6 4" X 14" METAL CRAWL SPACE VENT
- 7 FAUX WOOD FINISH
- 8 STONE VENEER FACADE W/ EARTH TONE COLOR

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**ROOM ADDITION AND RENOVATION**  
**WONG'S FAMILY RESIDENCE**  
1116 FAWN DRIVE  
CAMPBELL, CA. 95008

**ELEVATIONS, NOTES & VENT CALCS**

**REVISION NOTES**

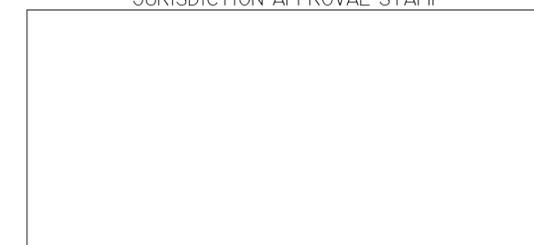
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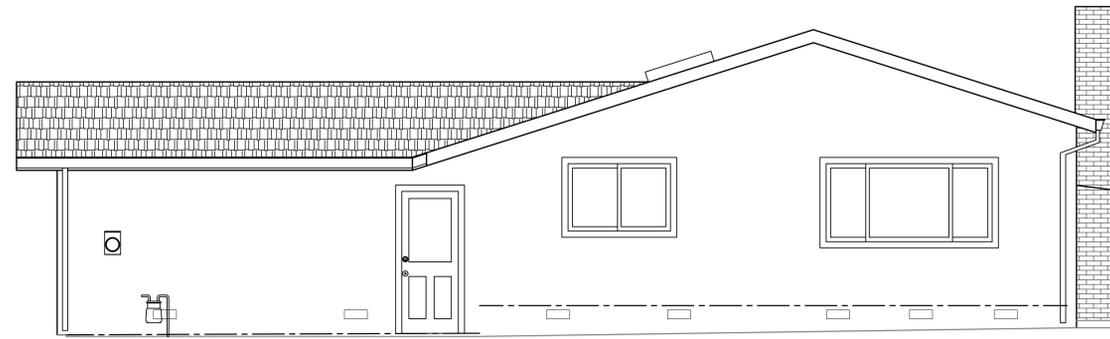
NO.	DATE	REVISION
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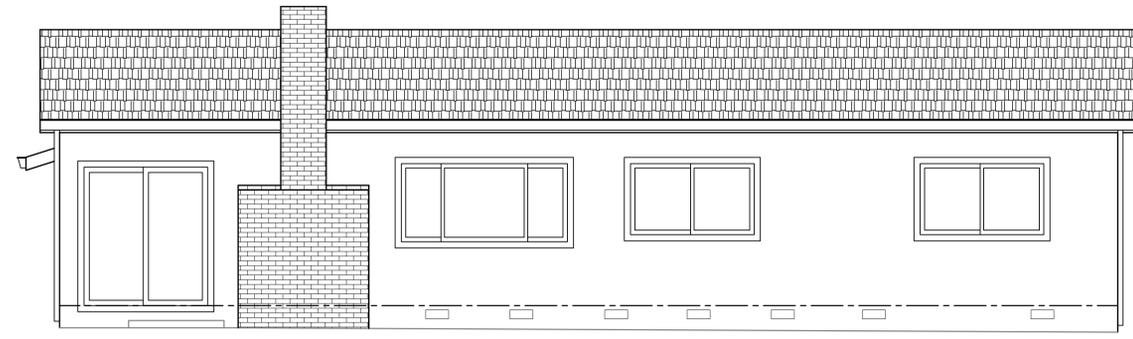
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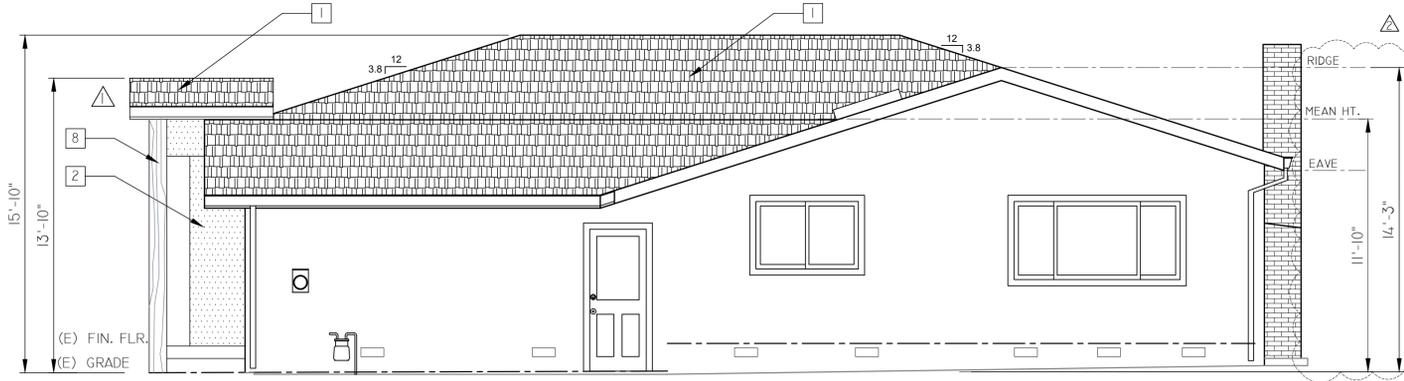




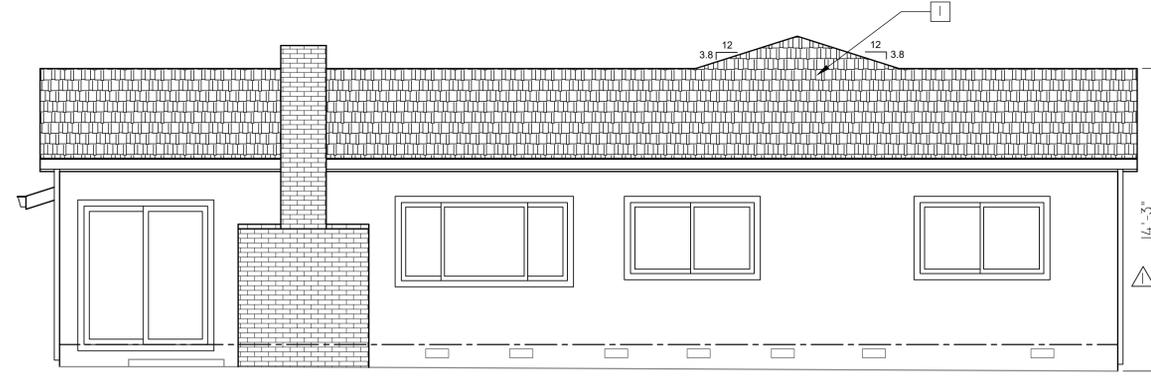
**EXISTING RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



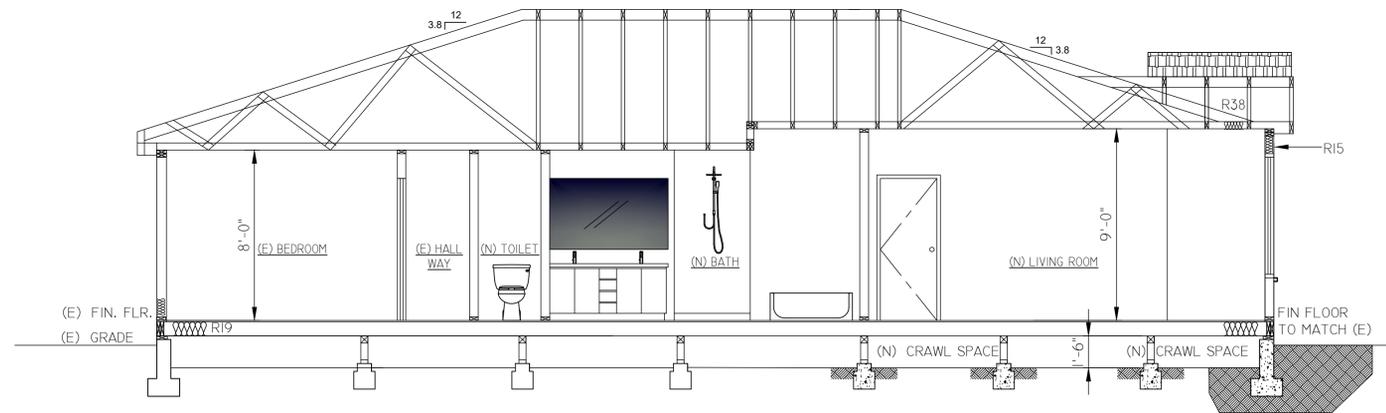
**EXISTING REAR ELEVATION**  
SCALE: 1/4"=1'-0"



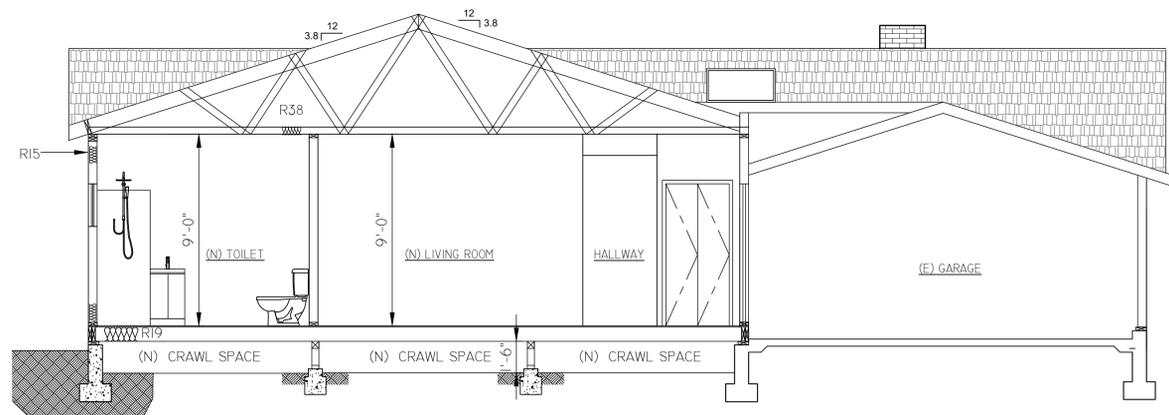
**PROPOSED RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSED REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**SECTION THRU A-A**  
SCALE: 1/4"=1'-0"



**SECTION THRU B-B**  
SCALE: 1/4"=1'-0"

**ELEVATION KEY NOTES:**

- 1 COMPOSITE ROOF SHINGLE TO MATCH EXISTING  
(N) COMPOSITE SHINGLE ROOF WITH DOUBLE LAYER 30# FELT UNDER ROOFING MATERIAL.
- 2 ALL EXTERIOR MATERIAL FOR THE NEW ADDITION.  
PROVIDE:
  - a. STUCCO, 3-COAT, 7/8-INCH MINIMUM THICK
  - b. PROVIDE 26 GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2" ABOVE CONCRETE OR PAVING)
  - c. TWO LAYERS OF GRADE D PAPER UNDER STUCCO OVER PLYWOOD SHEATHING.
- 3 VINYL FRAME WINDOWS WITH DUAL PANE GLAZING.
- 4 SOLID CORE WOOD SWING ENTRY DOOR.
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HOME ADDRESS NUMBER SHALL BE MINIMUM 4 INCHES HIGH WITH MINIMUM STROKE WIDTH OF 3/8" INCH AND SHALL CONTRAST WITH THE BACKGROUND. CRC R319
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JURISDICTION APPROVAL STAMP

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GHY CONSULTING ENGINEERS  
STRUCTURAL ENGINEERING  
GARY YU, PE

**ROOM ADDITION AND RENOVATION**  
**WONG'S FAMILY RESIDENCE**  
1116 FAWN DRIVE  
CAMPBELL, CA. 95008

**ELEVATIONS, SECTIONS AND NOTES**

**REVISION NOTES**

0	03-20-23	PLAN REVIEW
△	05-08-23	PLANNING COMMENTS
△	06-16-23	PLANNING COMMENTS

NO.	DATE	REVISION
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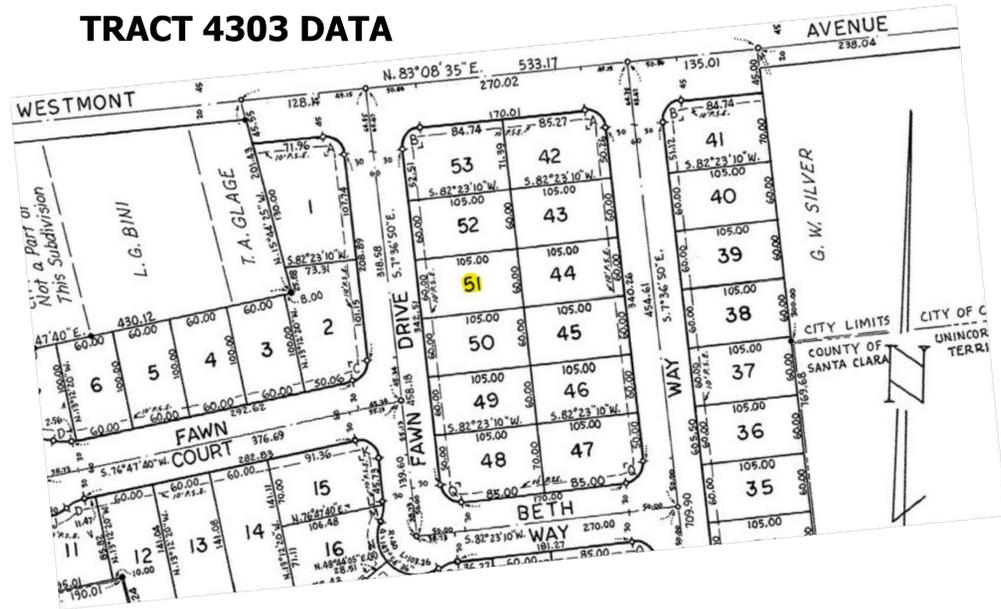
SCALE: AS NOTED

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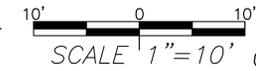
**A-6**

**TRACT 4303 DATA**



**BASIS OF ELEVATIONS**

SITE BENCHMARK:  
ELEVATION= 235.76 TAKEN AT THE  
RIM OF THE WATER METER



North

**UNDERGROUND UTILITY NOTE**

ALL UNDERGROUND UTILITY LINES MAY NOT BE SHOWN HEREON, BUT MAY EXIST AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR DETERMINE THE SIZE, DEPTH, LOCATION THEREOF  
**CALL 811 BEFORE YOU DIG**  
EXPOSE AND VERIFY ALL UTILITY LINES BEFORE DIGGING

**BASIS OF BEARINGS**

CENTERLINE OF FAWN DRIVE  
237 MAPS 34  
SANTA CLARA COUNTY RECORDS

**LOT AREA**

6,300 SQ. FT +/-



PROJECT:	FAWN 22-01
SCALE:	1"=10'
PROJECT MGR:	KA
DATE:	11/7/22
SHEET	1
OF	1

**BOUNDARY SITE PLAN**  
1116 FAWN DRIVE, CAMPBELL, CA 95008  
LOT 51, TRACT NO. 4303, 237 M 34  
APN: 403-13-088  
SANTA CLARA COUNTY, CALIFORNIA



**BAY LAND CONSULTING**  
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MAPPING THE BAY AREA

