



City of Campbell
70 North First Street
Campbell, CA 95008 –1423

Project Image



Notice of Public Hearing

Dear Campbell Resident,

June 16, 2023

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on **Tuesday June 27, 2023**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 570 E. Hamilton Avenue

Zoning | Area Plan: C-2 | N/A

Neighborhood Association(s): N/A

Council District: 2

File No.: PLN-2022-44

APN: 279-33-040

Applicant: AU Energy LLC

Property Owner: Brandenburg Properties

Application Type: Conditional Use Permit w/Site and Architectural Review and Tree Removal Permit

Project Planner: Daniel Fama, Senior Planner

Email Contact: danielf@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

Reconstruction of a Shell gasoline service station with an expanded convenience store including off-site alcohol beverage sales, a drive-through carwash, and 24-hour operational hours; associated site, lighting, parking, refuse collection, and landscaping improvements; and removal of on-site trees. Staff is recommending that this item be deemed Statutorily Exempt under CEQA. Planning Commission action is final unless appealed in writing to the City Clerk within 10 calendar days.

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom: (<http://campbellca.gov/HPBsignup> .)
- ◇ Watch YouTube live-stream: (<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS)) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español**



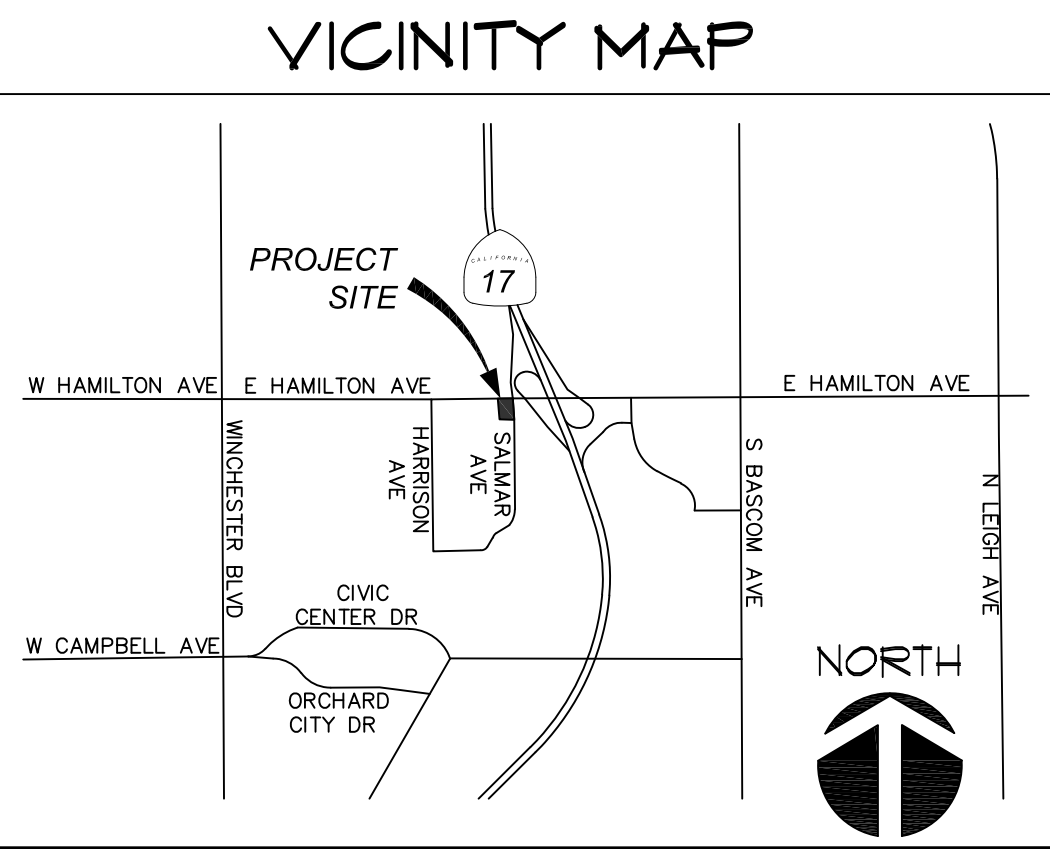
SHELL MOBILITY STATION,
CONVENIENCE STORE & CARWASH

570 E. HAMILTON AVENUE
CAMPBELL, CA 95008

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SD2	TRASH ENCLOSURE ELEVATIONS & DETAILS
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LA2	EXISTING TREE SURVEY
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SITE INFORMATION	
APN #:	279-33-040
ZONING:	GENERAL COMMERCIAL (C-2)
PROPOSED USE:	GAS STATION, CONVENIENCE STORE & CARWASH
SITE AREA GROSS:	26,284 S.F. = 0.603 ACRE
TOTAL LANDSCAPE AREA PROVIDED: (10% REQ'D PER 16 THROUGH 30 PARKING STALLS)	
	3,711.5 S.F. (14 %)
SITE AREA (POST-DEDICATION):	25,491.7 S.F.
PAVEMENT AREA:	14,780 S.F. (56.2%)
BUILDINGS:	
CONVENIENCE STORE	2,381 S.F.
FUELING CANOPY	3,002 S.F.
CARWASH TUNNEL & EQUIPMENT RM.	1,226 S.F.
EQUIPMENT STORAGE	267 S.F.
TOTAL BLDG. AREA	6,882 S.F.
PARKING REQUIREMENTS:	
CONVENIENCE STORE: 1 SPACE PER 250 S.F. (2,381 S.F. / 250):	10 SPACES
TOTAL PARKING REQUIRED:	10 SPACES
PARKING PROVIDED:	
STANDARD PARKING STALLS (8'-6"x18'-0"):	6 SPACES
PARALLEL PARKING STALLS (8'-6"x24'-0"):	3 SPACES
VAN ACCESSIBLE PARKING STALL (17'x18'-0"):	1 SPACE
EV CHARGING STATION (17'-0"x18'-0"):	1 SPACE
VACUUM PARKING STALL (8'-6"x22'-0"):	1 SPACE
AIR/WATER STALL (8'-6"x22'-0"):	1 SPACE
TOTAL PARKING PROVIDED:	13 SPACES

PROJECT DIRECTORY	
ARCHITECT	DEVELOPER
M I ARCHITECTS, INC. 2221 OLYMPIC BLVD, SUITE 100 WALNUT CREEK, CA 94545 TEL: (425) 287-1174 x1 FAX: (425) 443-1581 CELL: (425) 878-9875 MR. MUTHANA IBRAHIM, ARCHITECT	A U ENERGY, LLC 41805 ALBRAE ST., 2ND FLR. FREMONT, CA 94538 TEL: (650) 744-2444 FAX: MR. SUNNY GOYAL
LANDSCAPE ARCHITECT	CIVIL ENGINEER
GIARDELLA ASSOCIATES 640 MENLO AVE, SUITE 10 MENLO PARK, CA 94025 TEL: (650) 326-6100 FAX: (650) 323-6106 MR. RICHARD GIARDELLA	RFE ENGINEERING, INC. 2260 DOUGLAS BLVD, SUITE 160 ROSEVILLE, CA 95661 TEL: (916) 712-7800 FAX: (916) 712-7804 MR. SHAWN SOMERS, P.E.



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NOT FOR
CONSTRUCTION

SHELL MOBILITY STATION
CONVENIENCE STORE & CARWASH
570 E. HAMILTON AVENUE
CAMPBELL, CA

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- ISSUED FOR PLAN CHECK

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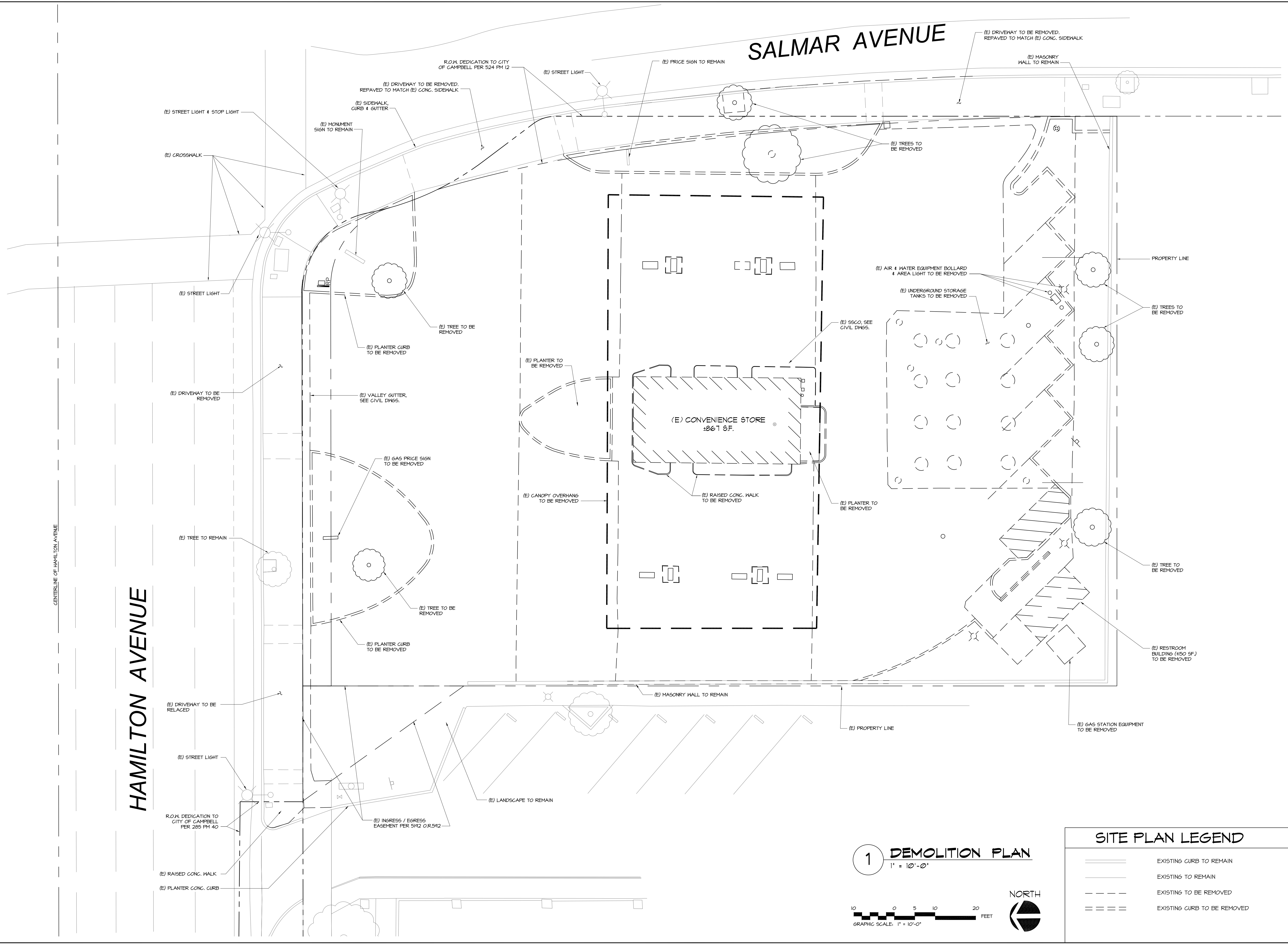
TITLE SHEET

PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MI
SCALE: AS NOTED DATE: 10-30-19

CS.1
SHEET OF

S:\1-Projects\20-50120 570 E Hamilton, Campbell\Draws\Planning\20-50120-CS.1.dwg modified by m1user4 at Nov 04, 2022 -- 3:04pm

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DEMOLITION PLAN

PROJECT #: 20-50120

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CHECKED: MI

SCALE: AS NOTED

DATE: 10-30-19

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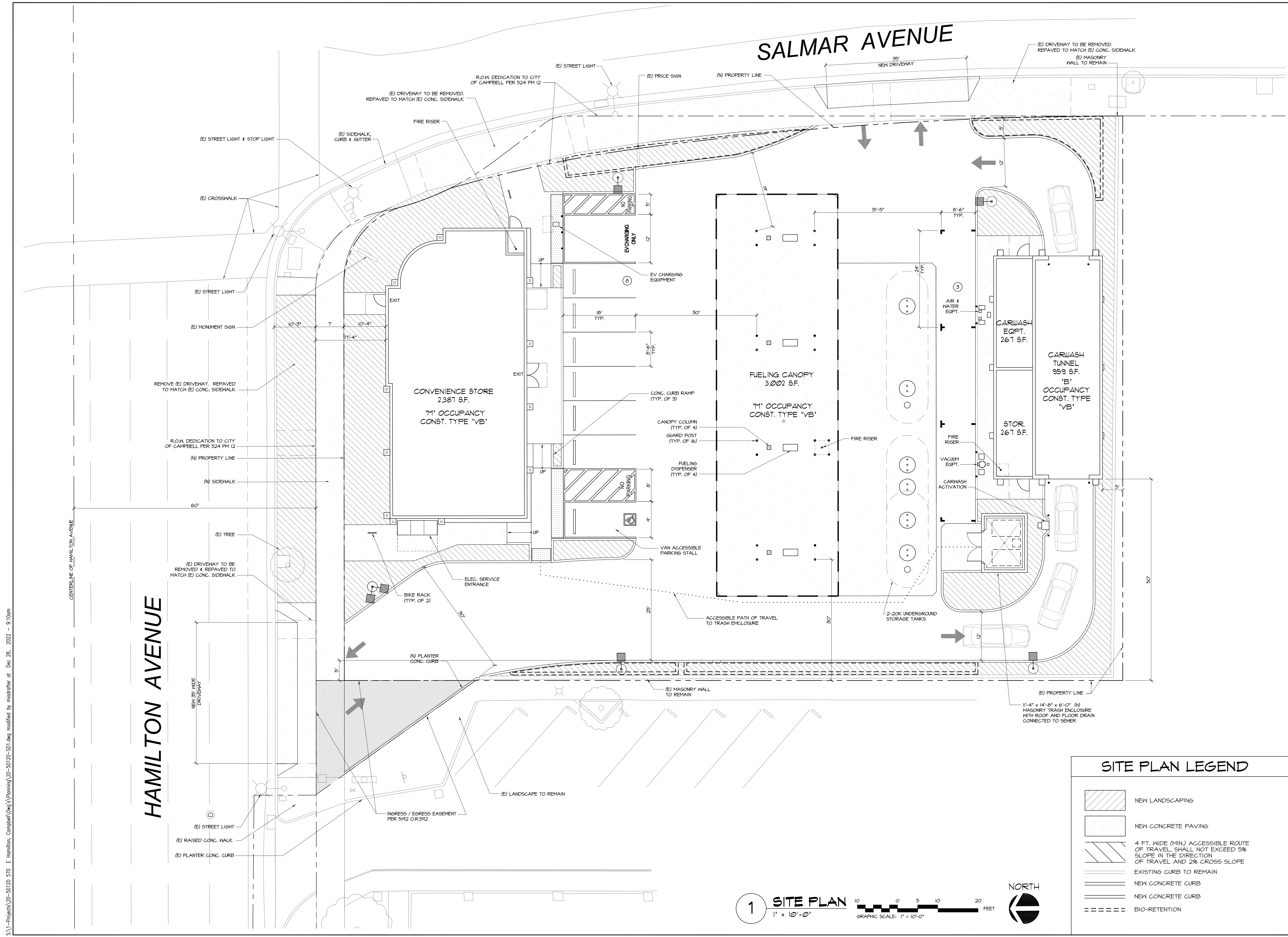
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SITE PLAN

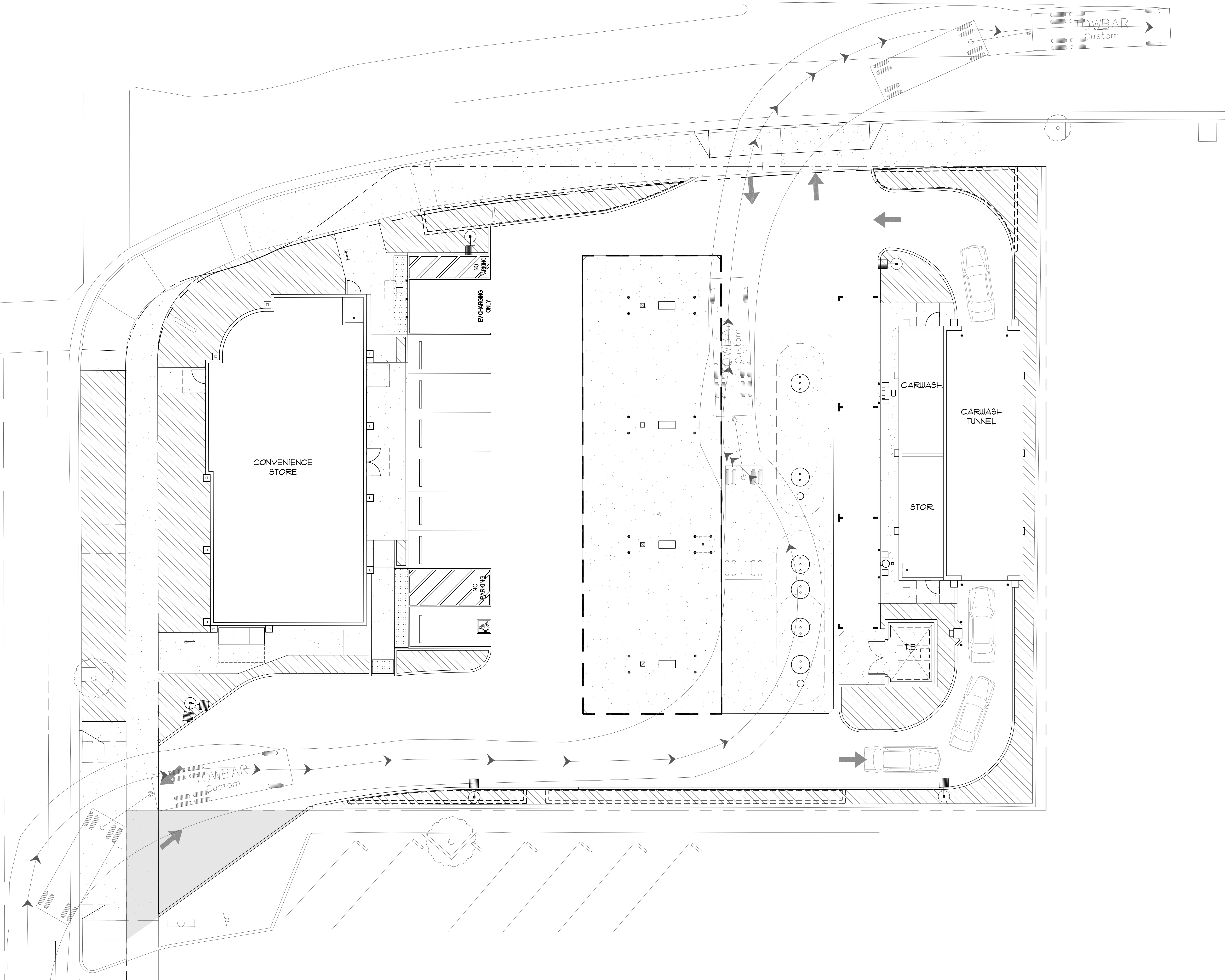
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SD 1

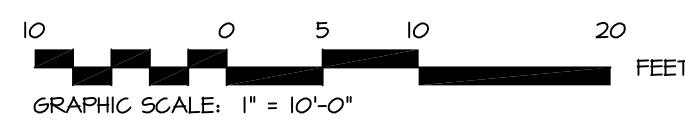
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1 TRUCK PATH SITE PLAN
1" = 10'-0"



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TRUCK PATH
SITE PLAN

PROJECT #: 20-50120
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SCALE: AS NOTED DATE: 10-30-19

SD-TP

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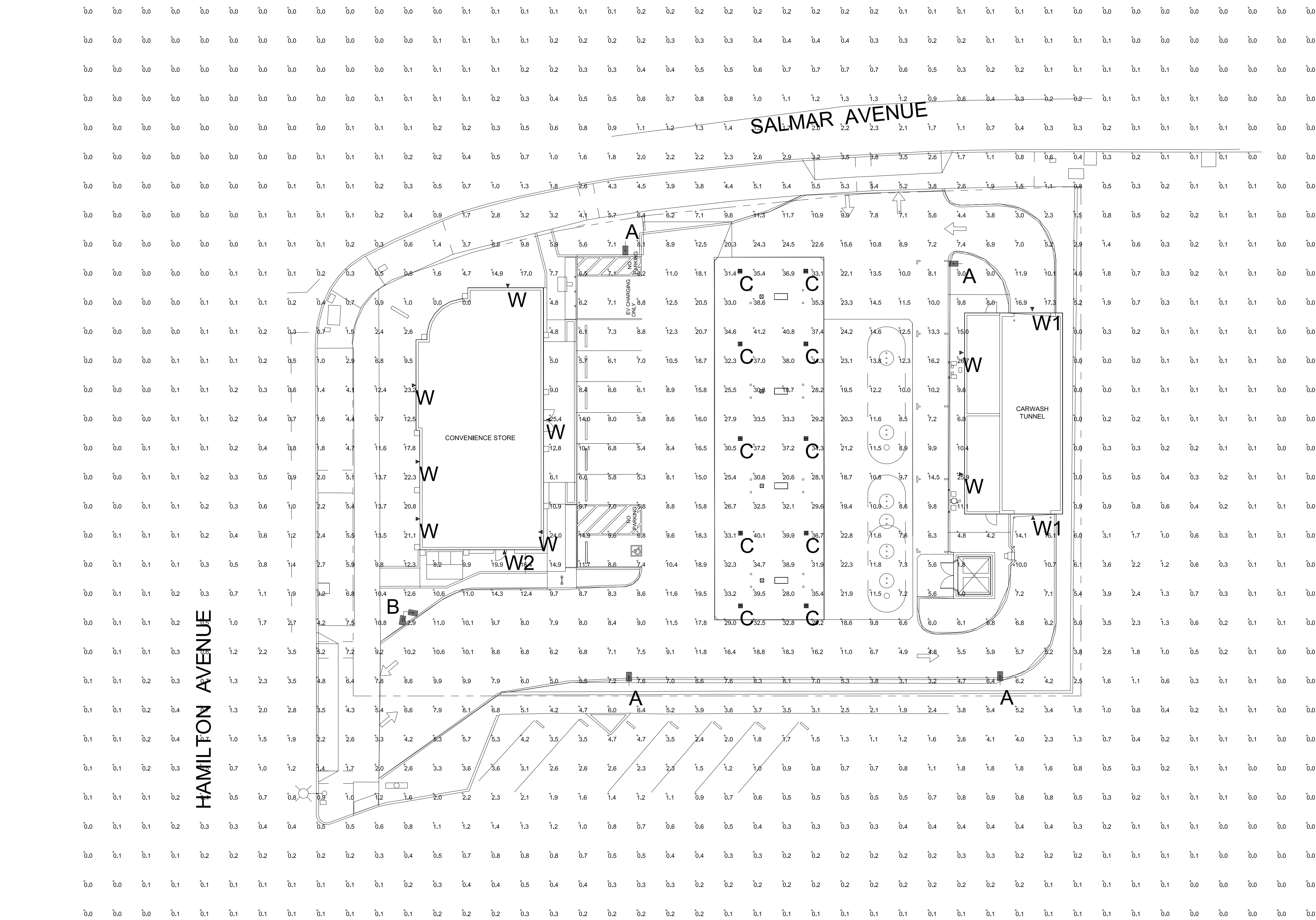
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Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ GRADE	Illuminance	Fc	41.14	41.2	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	32.91	41.2	18.7	1.76	2.20
INSIDE CURB	Illuminance	Fc	10.49	24.5	3.0	3.50	8.17

PHOTOMETRIC EVALUATION
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Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLD	LDD	LLF	Arr. Lum. Lumens	Arr. Watts	
	4	A	SINGLE	SLM-LED-18L-SIL-FT-50-70CRI-SINGLE-18" POLE+2" BASE	1.000	1.000	1.000	18904	135	
	1	B	2 @ 90 DEGREES	SLM-LED-18L-SIL-FT-50-70CRI-D90-16" POLE+2" BASE	1.000	1.000	1.000	37808	270	
	10	C	SINGLE	CRUS-SC-HO-50-16' 4"MH	1.000	1.000	1.000	19071	125	
	8	W	SINGLE	XWS-LED-06L-FTW-50-80CRI-10' MH	1.000	1.000	1.000	7031	52	
	2	W1	SINGLE	XWS-LED-06L-FTW-50-80CRI-11' MH	1.000	1.000	1.000	7031	52	
	1	W2	SINGLE	XWS-LED-03L-FTW-50-80CRI-8' MH	1.000	1.000	1.000	3793	26	

Total Project Watts_1
Total Watts = 2806

SD1-L



LIGHTING PROPOSAL LO-155705-1

SHELL
570 E HAMILTON AVE
CAMPBELL, CA

BY: SAM

DATE: 4/13/22

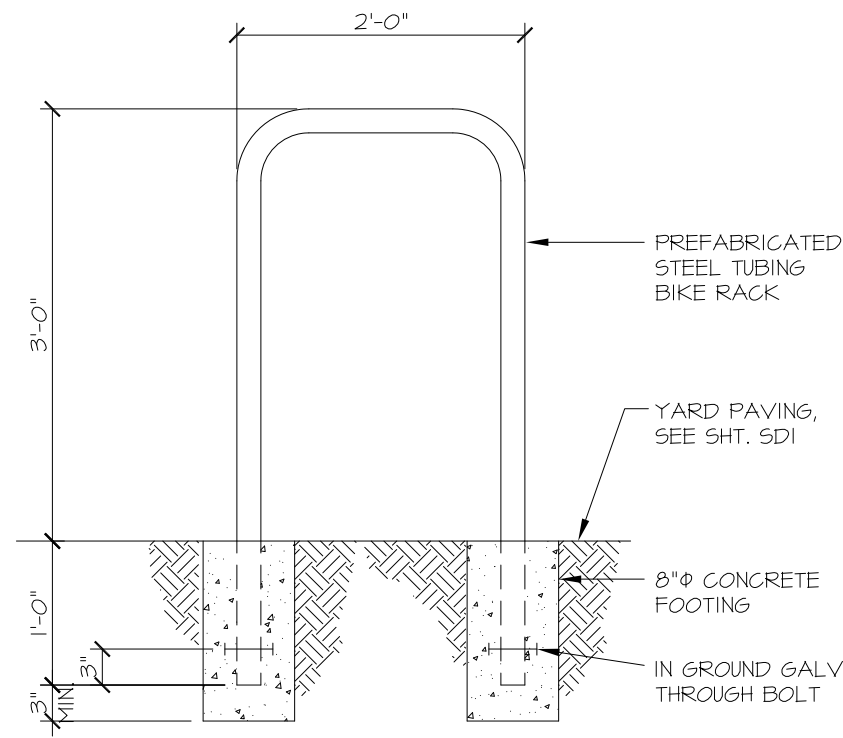
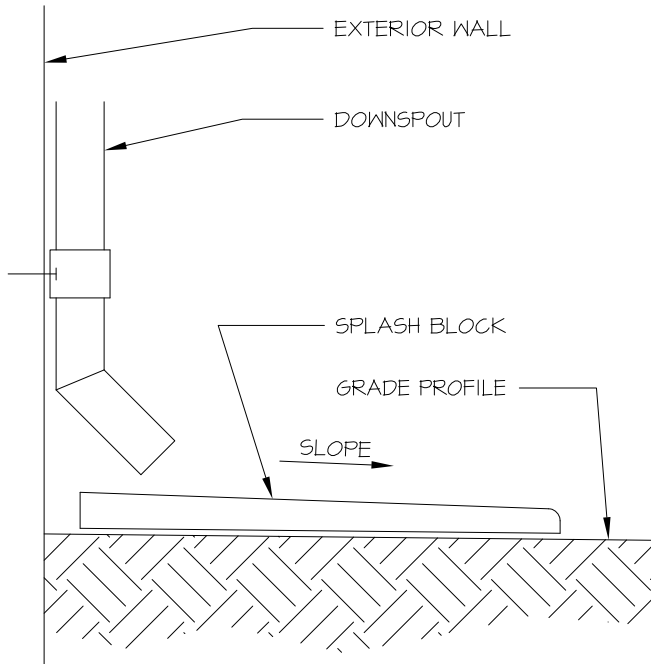
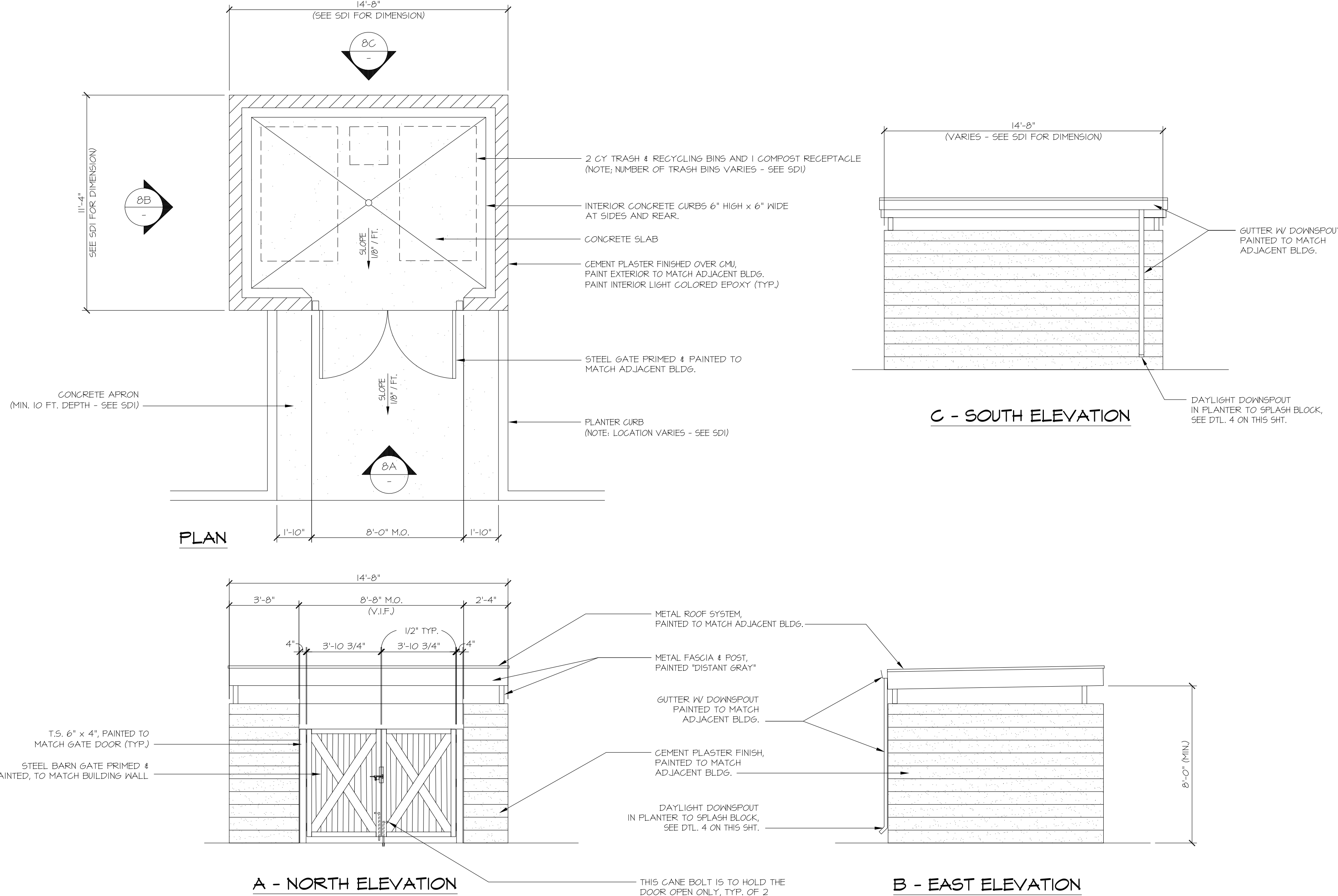
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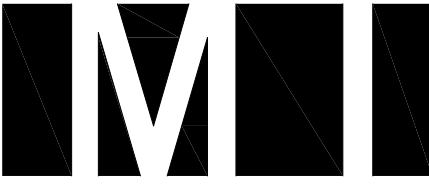
SHEET 1
OF 1

SCALE: 1"=16'

0 16

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5 3/4" x 1'-0"	BIKE RACK	4 1 1/2" x 1'-0"	DOWNSPOUT TO SPLASH BLOCK	8 1/4" x 1'-0"TRASH ENCLOSURE PLAN & ELEVATIONS				
10 -	NOT USED	9 -	NOT USED					
15 -	NOT USED	14 -	NOT USED	13 -	12 -	11 -		
20 -	NOT USED	19 -	NOT USED	18 -	17 -	16 -		



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TRASH ENCLOSURE
ELEVATIONS & DETAILS

PROJECT #: 20-50120
DRAWN: emq CHECKED: MI
SCALE: AS NOTED DATE: 10-13-19

SD2

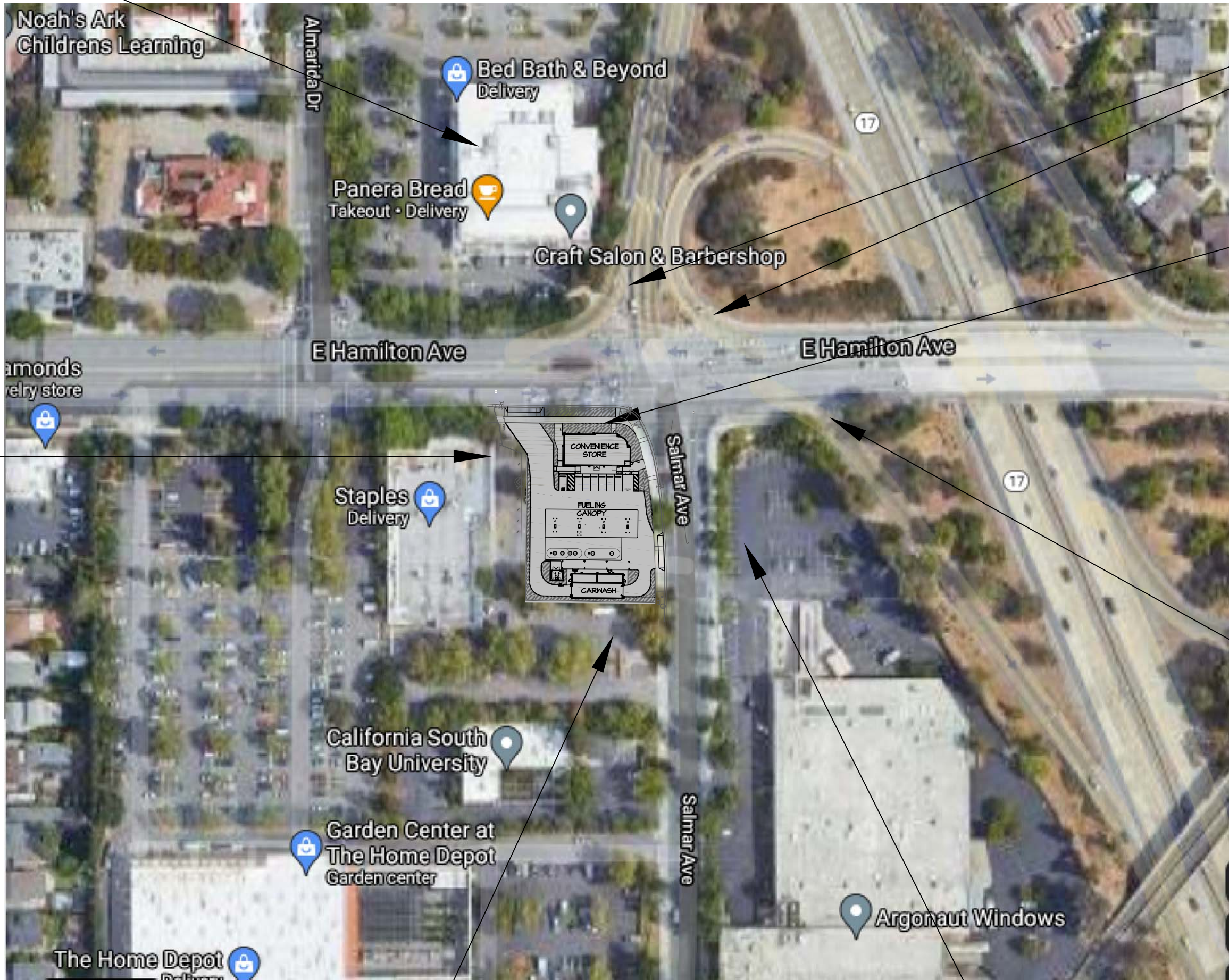
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RETAIL STORE BUILDING AT HAMILTON AVENUE;
HWY 17 SOUTHBOUND LANE OFF-RAMP (RIGHT)



ENTRY/EXIT TO HWY 17 SOUTHBOUND LANE



EXISTING GAS STATION (PROJECT SITE)



ENTRY TO SOUTHBOUND HWY 17 ADJACENT TO RETAIL STORE PARKING LOT (RIGHT)

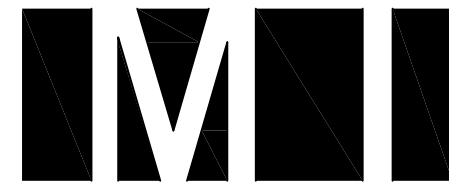


RETAIL STORE BUILDING (RIGHT); LOW MASONRY FENCE BETWEEN
PROPERTIES



CALIFORNIA SOUTH BAY UNIVERSITY PARKING LOT (LEFT),
SHELL GAS STATION PARKING SPACE (RIGHT)

1 NEIGHBORHOOD CONTEXT
N.T.S



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NEIGHBORHOOD
CONTEXT
PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

SD3

SHEET OF

W:\2020 Projects\20137 570 E Hamilton Campbell\WORKING CAD\CL-PRELIM SITE PLAN-20137.dwg Dec 23, 2012 09:21 am

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
ROW	---	---
EASEMENT	---	---
LOT LINE	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER LINE	XX"W	XX"W
DOMESTIC WATER	XX"DW	XX"DW
FIRE SERVICE	XX"FS	XX"FS
GAS LINE	XX"G	XX"G
SDMH	①	①
DRAINAGE INLET	□	□
CULVERT WITH FES	---	---
DIRECTION OF SURFACE FLOW	---	---
OVERLAND RELEASE PATH	---	---
SSMH	①	①
SSCO	①	①
FIRE HYDRANT	①	①
PIV	①	①
FDC	①	①
WATER VALVE	①	①
WATER METER	①	①
CONCENTRIC REDUCER	①	①
BACKFLOW PREVENTION ASSEMBLY	①	①
REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY	①	①
AIR RELEASE VALVE	①	①
BLOW OFF ASSEMBLY	①	①
PIPE CAP	①	①
GAS VALVE	①	①
TELEPHONE MH	①	①
UTILITY POLE	①	①
UTILITY POLE WITH LIGHT	①	①
STREET LIGHT	①	①
SITE LIGHT	①	①
JUNCTION/PULL BOX	①	①
MONUMENT WELL	①	①
BOLLARD	①	①
SIGN	①	①
FENCE	①	①
BLOCK WALL	①	①
MAJOR CONTOUR	①	①
MINOR CONTOUR	①	①
GRADE BREAK LINE	①	①
TREE & DRIP	①	①
CONTROL POINT	①	①
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	157.01 AC	123.34 AC
MATCH (E) GRADE ELEVATION	13.61 AC	13.61 AC
TRUNCATED DOMES	①	①
BUILDING	①	①

ABBREVIATIONS:

AB	AGGREGATE BASE	FGTW	FINISHED GROUND @ TOP OF WALL
AC	ASPHALT CONCRETE	FH	FIRE HYDRANT
ARV	AIR RELEASE VALVE	FL	FLOW LINE
BC	BEGIN CURVE	FOC	FACE OF CURB
BCR	BEGIN CURVE RETURN	FP	FINISH PAVEMENT
BLDG	BUILDING	FS	FIRE SPRINKLER
BOC	BACK OF CURB	GB	GRADE BREAK
BOW	BACK-OF-WALK	GR	GRATE ELEVATION
BVC	BEGIN VERTICAL CURVE	GV	GATE VALVE
BW	BOTTOM OF WALL	GVW	GROSS VEHICLE WEIGHT
CAB	CABINET	HC	HANDICAP
CONC	CONCRETE	HCR	HANDICAP RAMP
C&G	CURB & GUTTER	HDPE	HIGH DENSITY POLYETHYLENE
CG&S	CURB, GUTTER & SIDEWALK	HP	HIGH POINT
CH	CHORD	IRR	IRRIGATION
C	CENTERLINE	INV	INVERT
CMP	CORRUGATED METAL PIPE	I.E.	INVERT ELEVATION
CR	CURB RETURN	JP	JOINT POLE
CTV	CABLE TV	L	LENGTH
DCDA	DOUBLE CHECK DETECTOR	LF	LINEAL FEET
DI	ASSEMBLY	LIP	LIP OF GUTTER
DIP	DRAIN / DROP INLET	LP	LOW POINT
DS	DRAIN / DRAIN INLET	LT	LEFT TURN OR LEFT
DS	DRAIN / DRAIN INLET	MAX	MAXIMUM
(E)	EXISTING	MH	MAINTENANCE HOLE
EC	END CURVE	MIN	MINIMUM
ECR	END CURB RETURN	NE	NORTHWEST
EP	EDGE OF PAVEMENT	NW	NORTHWEST
ETW	EDGE OF TRAVELED WAY	OC	ON CENTER
EVC	END OF VERTICAL CURVE	OH	OVERHEAD
FDC	FIRE DEPARTMENT CONNECTION	OT&E	OVERHEAD TELEPHONE & ELECTRIC
FF	FINISH FLOOR	OMP	OPEN METAL PIPE
FG	FINISHED GROUND	(P)	PROPOSED
FGW	FINISHED GROUND @ BOT. WALL		



Know what's below.
Call before you dig.
or (800) 227-2600

ITEM	REQUIREMENTS	PROVIDED
BUILDING SIZE	-	2,387 SF
PARKING REQUIRED	1 SPACE PER EACH 250 SF AREA = 10 SPACES	11 SPACES
MINIMUM PARKING DIMENSIONS	18 FT X 8.5 FT STD.* NO COMPACT SPOTS	18 FT X 8.5 FT STD 18 FT X 9 FT ACCESSIBLE
MIN. DRIVEWAY WIDTH	25 FT.	35 FT.
ACCESSIBLE SPACES	1 SPACE	1 SPACE

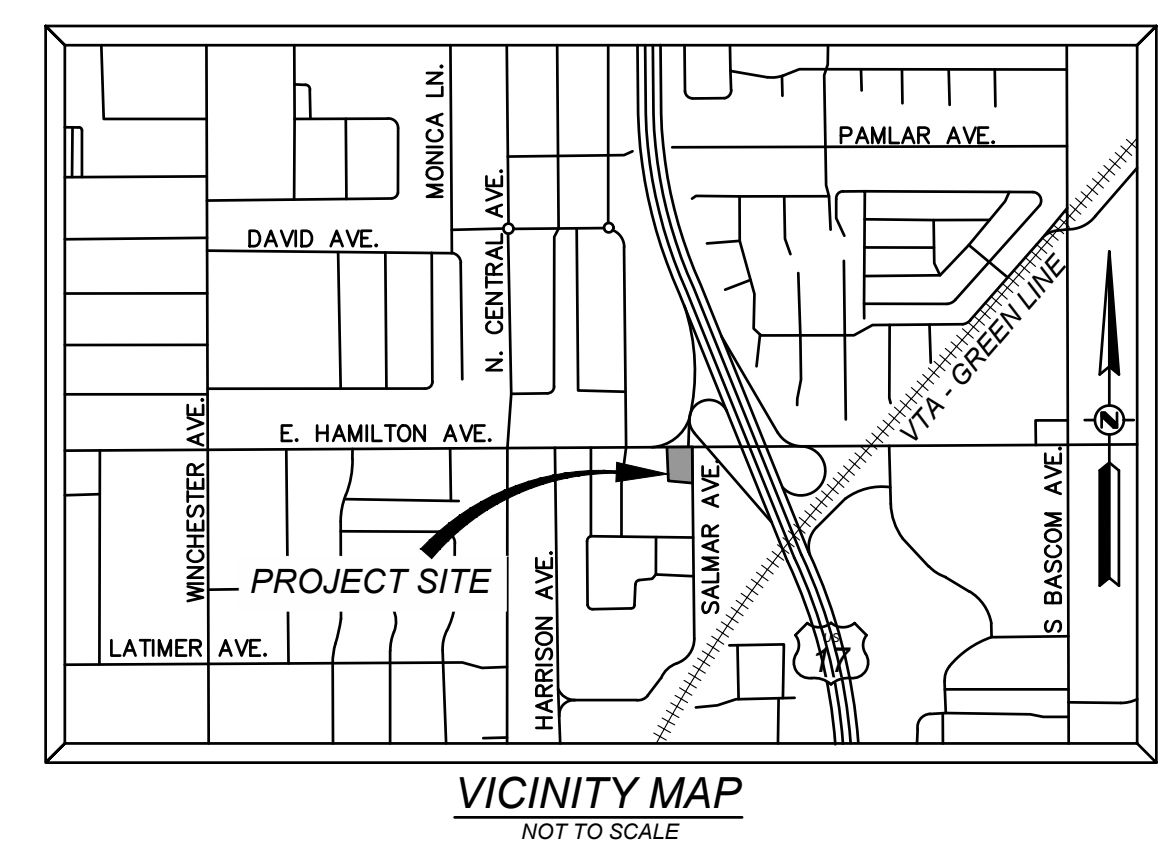
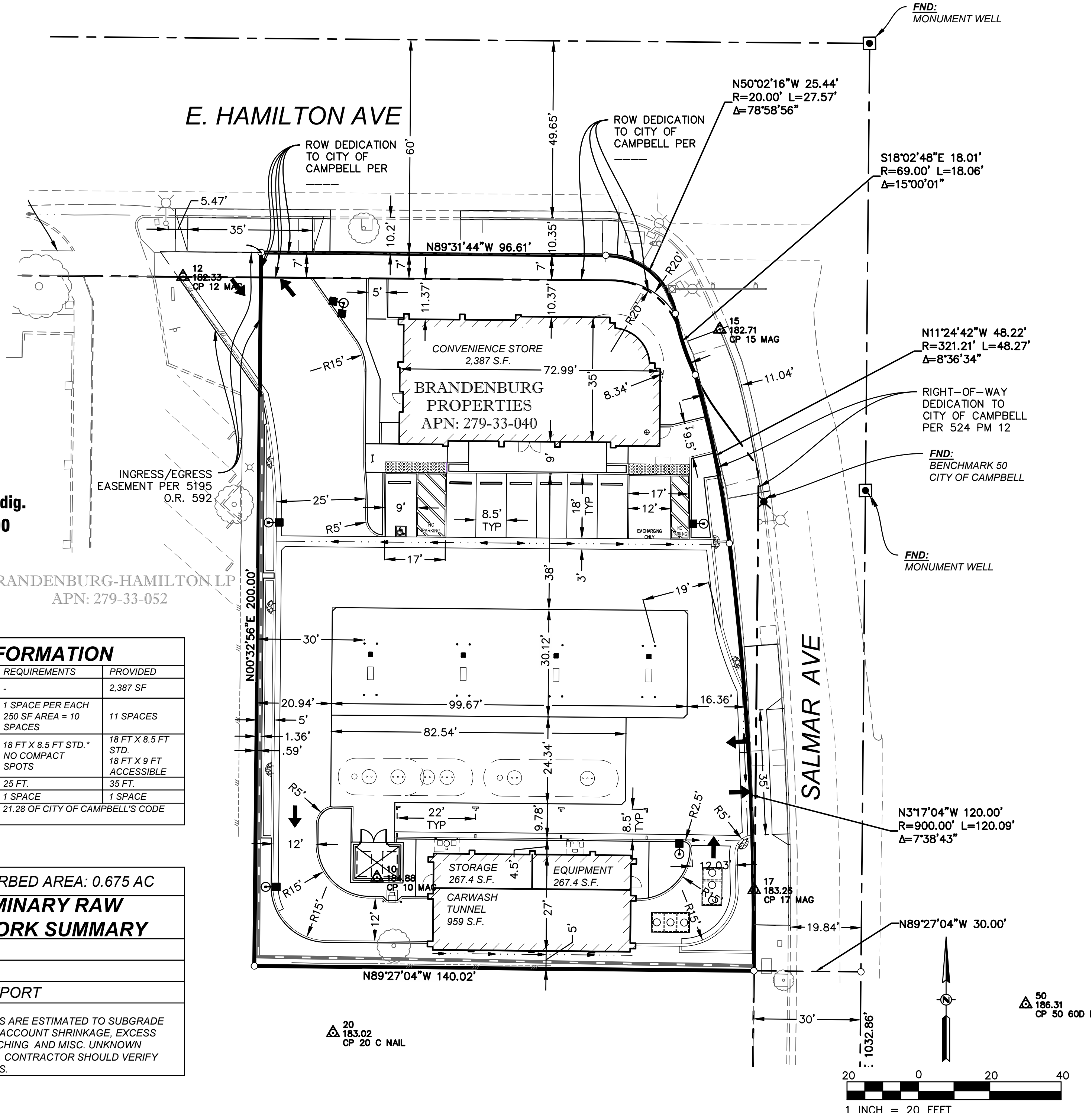
TOTAL DISTURBED AREA: 0.675 AC	
PRELIMINARY RAW EARTHWORK SUMMARY	
CUT:	234 CY
FILL:	143 CY
NET:	91 CY EXPORT
NOTE: EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.	

PCC	PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE	SSCO	SANITARY SEWER CLEAN OUT
PG	PROFILE GRADE	SSMH	SANITARY SEWER MANHOLE
PIV	POST INDICATOR VALVE	SWC	SAWCUT
PL	PROPERTY LINE	SW	SIDEWALK OR SOUTHWEST
POC	POINT OF CONNECTION	STA	STATION
PRC	POINT OF REVERSE CURVE	TC	TOP OF CURB
PT	POINT OF TANGENCY	TP	TOP OF PAVEMENT
PUE	PUBLIC UTILITY EASEMENT	TS	TOP OF SIDEWALK
PVI	POINT OF VERTICAL INTERSECTION	TW	TOP OF WALL
RC	RELATIVE COMPACTION	UNO	UNLESS NOTED OTHERWISE
RCP	REINFORCED CONCRETE PIPE	W	WATER
ROW	RIGHT-OF-WAY	WV	WATER VALVE
RT	RIGHT TURN OR RIGHT	WM	WATER METER
RPPA	REDUCED PRESSURE PRINCIPLE ASSEMBLY	WWF	WELDED WIRE FABRIC
RW	RETAINING WALL	VCP	VITRIFIED CLAY PIPE
SDMH	STORM DRAIN MANHOLE	VIF	VERIFY-IN-FIELD
SE	SOUTHEAST		
SS	SANITARY SEWER		

SHELL GAS STATION

SITE IMPROVEMENT PLANS

570 EAST HAMILTON AVENUE
CAMPBELL, CA, 95008
APN: 279-33-040



SHEET INDEX:

- C1 PRELIMINARY SITE PLAN
- C2 PRELIMINARY GRADING, DRAINAGE, AND PAVING PLAN
- C3 PRELIMINARY WATER AND SANITARY SEWER PLAN
- C4 PRELIMINARY STORMWATER QUALITY PLAN

TOPOGRAPHIC SURVEY:

RFE ENGINEERING, INC.
2260 DOUGLAS BLVD, SUITE 160, ROSEVILLE, CA 95661
ORIGINAL FIELD SURVEY: OCTOBER 01, 2020
SUPPLEMENTAL SURVEY: DECEMBER 30, 2020

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE MONUMENT LINE OF HAMILTON AVENUE, SHOWN AS N 88°54'49" W ON THAT MAP FILED ON JUNE 30, 1971 IN BOOK 285 OF MAPS AT PAGE 40, SANTA CLARA COUNTY RECORDS AND WAS ESTABLISHED FROM FOUND MONUMENTS SHOWN HEREON.

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY IS CITY OF CAMPBELL BENCHMARK #50. THE BENCHMARK IS A 2 1/2" BRASS DISK IN TOP OF CURB LOCATED ON THE WEST SIDE OF SALMAR AVENUE 80' SOUTH OF HAMILTON AVENUE NEXT TO ELECTROLIER. ELEVATION = 182.533 FEET (CITY DATUM)

JURISDICTION:

CITY OF CAMPBELL

FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 06085C0237H DATED: 05-18-2009

PROPERTY OWNER / DEVELOPER:

AU ENERGY LLC.
SUNNY GOYAL
41805 ALBRAE ST., FL 2
FREMONT, CA 94538

ZONING FOR PARCEL:

C-2 | GENERAL COMMERCIAL (CITY OF CAMPBELL)

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

NOTICE TO CONTRACTOR - ORDER OF WORK:

PRIOR TO THE START OF ANY CIVIL WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES BY POT-HOLING AT ALL POINTS OF POTENTIAL CONFLICT WITH PROPOSED UTILITIES OR PROPOSED POINTS OF CONNECTION WITH EXISTING UTILITIES. IF THE ACTUAL LOCATIONS OF THE EXISTING UTILITIES FOUND IN THE FIELD ARE DIFFERENT FROM WHAT IS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT RFE ENGINEERING IMMEDIATELY AND PROVIDE THE ACTUAL LOCATION INFORMATION. RFE ENGINEERING WILL VERIFY IF THERE ARE ANY CONFLICTS WITH THE IMPROVEMENTS AND WILL PROVIDE MODIFICATIONS TO THE DESIGN TO MITIGATE THE CONFLICTS IF ANY CONFLICTS EXIST.

DEVELOPMENT STANDARDS		
USE: GAS STATION, CONVENIENCE STORE, & CAR WASH		
ZONE: C-2 GENERAL COMMERCIAL		
ITEM	REQUIREMENTS	PROVIDED
MINIMUM FRONT SETBACK	10 FT.	--
MINIMUM SIDE SETBACK	STREET SIDE: 10 FT. SIDE: 5 FT. OR 1/2 BUILDING HEIGHT, WHICHEVER IS GREATER	--
MINIMUM REAR SETBACK	10 FT. (NEED APPROVAL FOR REDUCTION)	--
MAXIMUM BUILDING HEIGHT	75 FT.	--
PROPERTY AREA: 0.603 AC		
REFERENCE IS MADE TO SECTION 21.10.050 OF CITY OF CAMPBELL'S CODE OF ORDINANCES.		

UTILITY CONTACT INFORMATION			
UTILITY	UTILITY CO.	REPRESENTATIVE	PHONE
TELEPHONE	AT&T	-	(800) 331-0500
GAS	PG&E	-	(800) 468-4743
ELECTRIC	PG&E	-	(800) 468-4743
FIRE	SANTA CLARA COUNTY FIRE DEPARTMENT	-	(408) 378-4010
WATER	SAN JOSE WATER COMPANY	-	(408) 279-7900
SEWER	WEST VALLEY SANITATION DISTRICT	-	(408) 378-2407
DRAINAGE	CITY OF CAMPBELL	-	(408) 866-2150
U.S.A.	UNDERGROUND SERVICE ALERT 1-800-227-2600		

APPROVED BY:	DATE:
FIRE DEPARTMENT	DATE:
APPROVED BY::	DATE:
WATER AGENCY	DATE:
APPROVED BY:	DATE:
CITY ENGINEER	DATE:

NOT FOR CONSTRUCTION

REVISION

CHECK NO.

BY

DATE

APPRVD

DESIGN

AEB

SSS

DRAWN

AEB

SSS

QUANT.

0

1

2

ORIGINAL SCALE IS IN INCHES

PROFESSIONAL ENGINEER

SHAWN B. SOBER

No. C 80825

PRELIMINARY NOT FOR CONSTRUCTION OF CALL

AU ENERGY, LLC.

CONTACT: SUNNY GOYAL

(510) 270-3411

GAS STATION, STORE, CARWASH

570 E. HAMILTON AVENUE,

CAMPBELL, CA 95008

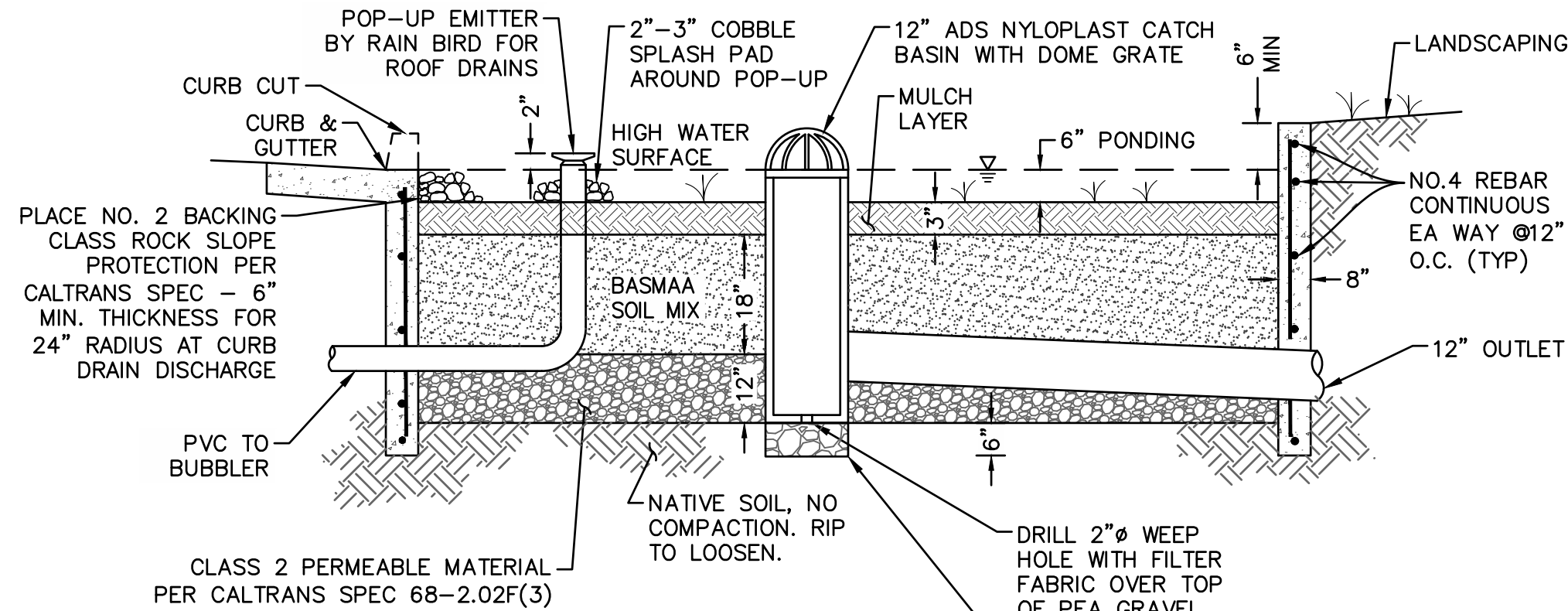
PRELIMINARY TITLE SHEET

Sheet

C1

1 of 4

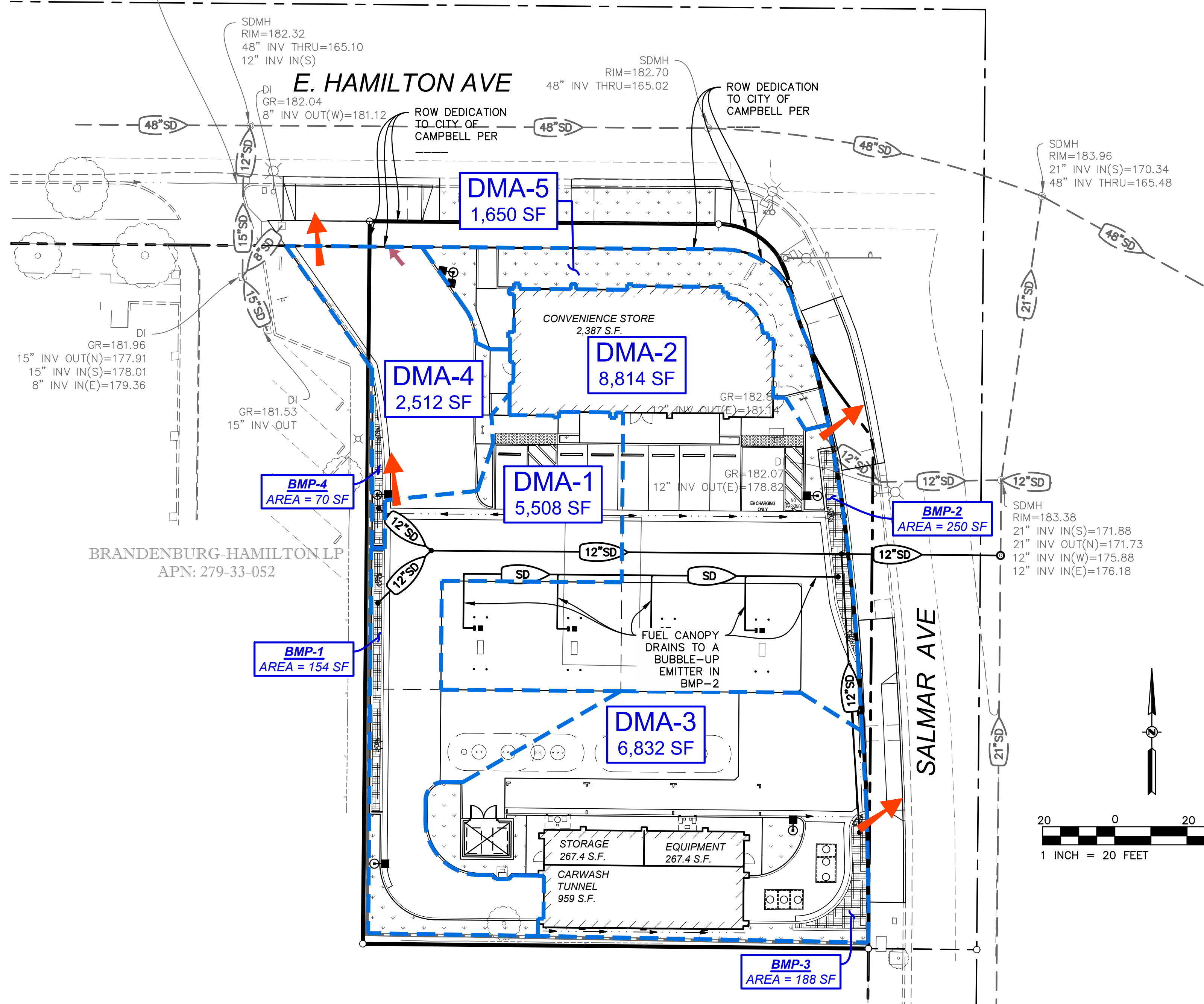
12/23/2022



- NOTES:
1. SEE LANDSCAPE PLANS FOR VEGETATION.
 2. PLANTING SURFACE SHALL BE LEVEL ACROSS PLANTER.
 3. SEE PLAN FOR LOCATIONS OF UNDERDRAIN PIPE, OVERFLOW DRAIN, AND OUTLET STRUCTURE.
 4. SEE SANTA CLARA C.3 STORMWATER HANDBOOK, APPENDIX C, FOR SOIL MIX SPECIFICATIONS.

BIO-RETENTION PLANTER PROFILE

NOT TO SCALE



Worksheet for Calculating the Combination Flow and Volume Method

1.0 Project Information

Project Name:	570 E. Hamilton Avenue, Campbell	The calculations presented here are based on the combination flow and volume sizing method provided in the Countywide Program's C.3 Technical Guidance. The steps presented below are explained in Section 5.1 of the Guidance.
Site Address or APN:	279-33-040	
MAP _{Site} :	14.9	
MAP _{Page} :	13.9	
Correction factor	1.07	= MAP _{Site} / MAP _{Page}

2.0 Calculate Percentage of Impervious Surface for Drainage Management Area (DMA)

Name of DMA:	DMA-1	DMA-2	DMA-3	DMA-4
Type of Surface	Area (Sq. Ft.)	Area (Sq. Ft.)	Area (Sq. Ft.)	Area (Sq. Ft.)
Impervious surface	4,842	8,421	5,863	2,265
Pervious surface	666	393	969	247
Total DMA Area (square feet)	5,508	8,814	6,832	2,512
Effective Impervious Area	4,909	8,460	5,960	2,290
% Impervious Area	87.91%	95.54%	85.82%	90.17%

3.0 Calculate Unit Basin Storage Volume in Inches

Average Slope for DMA	2%	2%	2%	2%
Unit basin storage volume	0.52	0.55	0.50	0.52
Adjusted Unit Basin Storage Vol	0.56	0.59	0.53	0.56
BMP Design Volume (cubic feet)	255	431	304	116

4.0 Calculate the Duration of the Rain Event

Rainfall intensity (in/hr)	0.2	0.2	0.2	0.2
Rainfall Duration (hours)	2.78	2.94	2.67	2.78

5.0 Estimate Size of Treatment Measure

Estimated Treatment Area (sf)	147	254	179	69
Treated Runoff Volume (cf)	171	311	199	79
Ponding Runoff Volume (cf)	85	121	105	37
Estimated Ponding Depth (in)	6.90	5.71	7.06	6.42

6.0 Optimize Size of Treatment Measure

Optimized Treatment Area (sf)	154	250	188	70
Treated Runoff Volume (cf)	178	306	209	81
Ponding Runoff Volume (cf)	77	125	95	35
Optimized Ponding Depth (in)	5.99	6.02	6.06	6.04

LEGEND

DRAINAGE AREA DESIGNATIONS AND AREA

DMA-1
100 SF

DRAINAGE AREA BOUNDARY



OVERLAND RELEASE



BEST MANAGEMENT PRACTICE (BMP) ID AND AREA

BMP
AREA = 100 SF

BMP Maintenance Table

Maintenance Task	Frequency
Remove obstructions, debris, and trash from bio-retention area and dispose of properly.	Monthly, or as needed after storm events
Inspect bio-retention area for ponded water. If ponded water does not drain within 2-3 days, till and replace the surface soil and re-plant.	Monthly, or as needed after storm events
Inspect inlets for channels, soil exposure or other evidence of erosion. Clear obstructions and remove sediment.	Monthly, or as needed after storm events
Remove and replace all dead and diseased vegetation.	Twice a year
Maintain vegetation and the irrigation system. Prune and weed to keep bio-retention area neat and orderly in appearance. Remove and/or replace any dead plants.	Twice a year
Check that mulch is at appropriate depth (3-inches per soil specifications) and replenish as necessary before wet season begins.	Monthly
Inspect the energy dissipation at the inlet to ensure it is functioning adequately, and that there is no scour of the surface mulch.	Annually, before the wet season begins

SOURCE CONTROL MEASURES

1. MARK ON-SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
2. PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER (OR PROHIBIT).
3. RETAIN EXISTING VEGETATION AS PRACTICABLE.
4. LANDSCAPING:
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
5. REFUSE AREAS:
 - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
6. MISCELLANEOUS DRAIN OR WASH WATER:
 - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
 - ROOF DRAINS FROM EQUIPMENT DRAIN TO LANDSCAPED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASH WATER TO SANITARY SEWER.

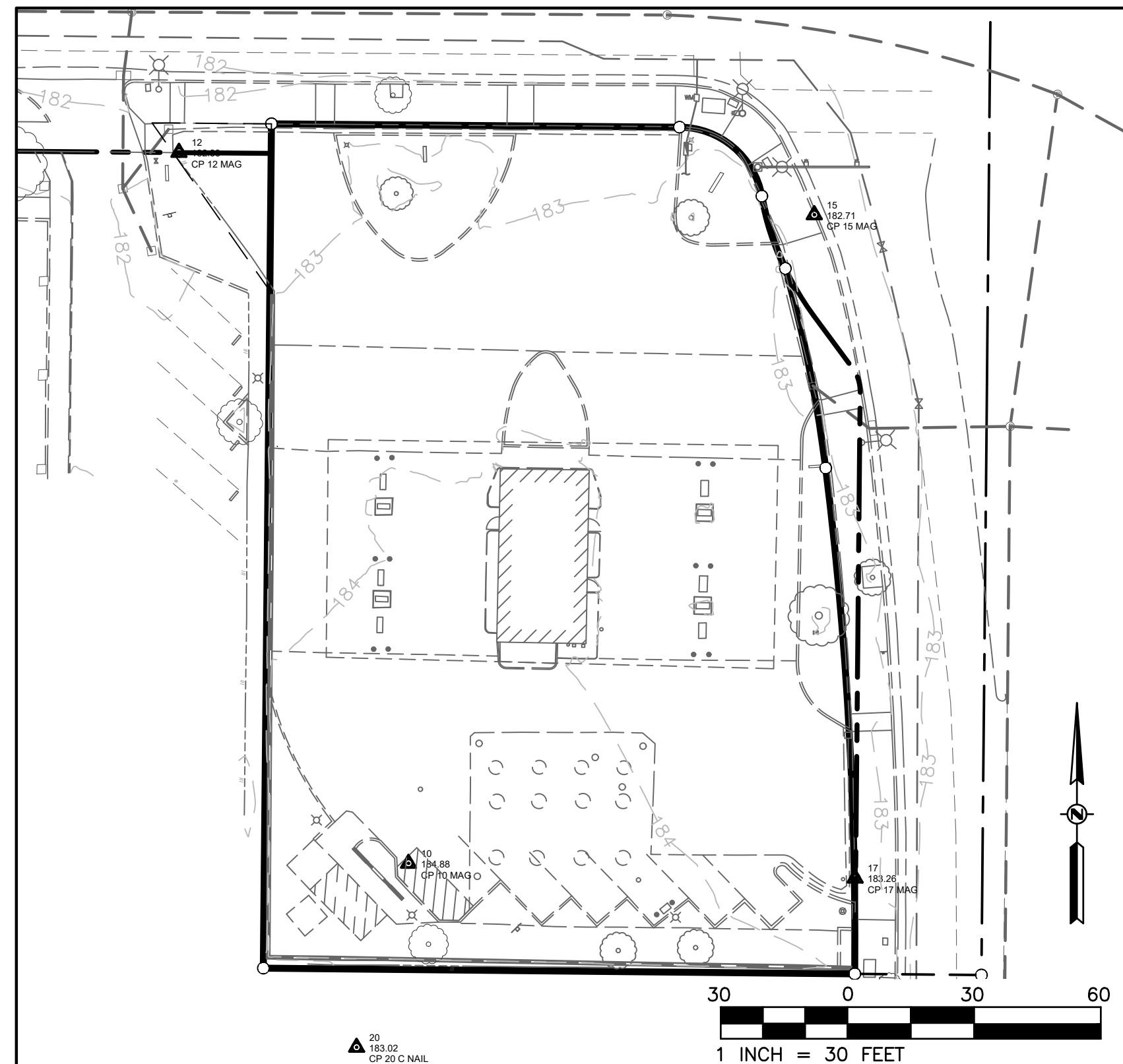
PRE-CONSTRUCTION AREAS (SF)

SHED	IMPERVIOUS	PERVIOUS	TOTAL	% IMPERVIOUS
OVERALL	22,071	4,196	26,267	84.03%

POST-CONSTRUCTION AREAS (SF)

SHED	IMPERVIOUS	PERVIOUS	TOTAL	% IMPERVIOUS
OVERALL	21,662	3,663	25,325	85.54%

NOTE: POST-CONSTRUCTION AREA WAS REDUCED BY 942 SQFT. (PROPOSED IMPERVIOUS SIDEWALK) DUE TO THE ADDITIONAL ROW GIVEN TO THE CITY OF CAMPBELL ALONG EAST HAMILTON AVENUE.



NOT FOR CONSTRUCTION

APPROVED BY: _____ DATE: _____

REVISION NO. _____

CHECKED BY: _____

DESIGNED BY: _____

DRAWN BY: _____

QUANTITY: _____

REGISTERED PROFESSIONAL ENGINEER
No. C 80625
PRELIMINARY
NOT FOR CONSTRUCTION
STATE OF CALIFORNIA

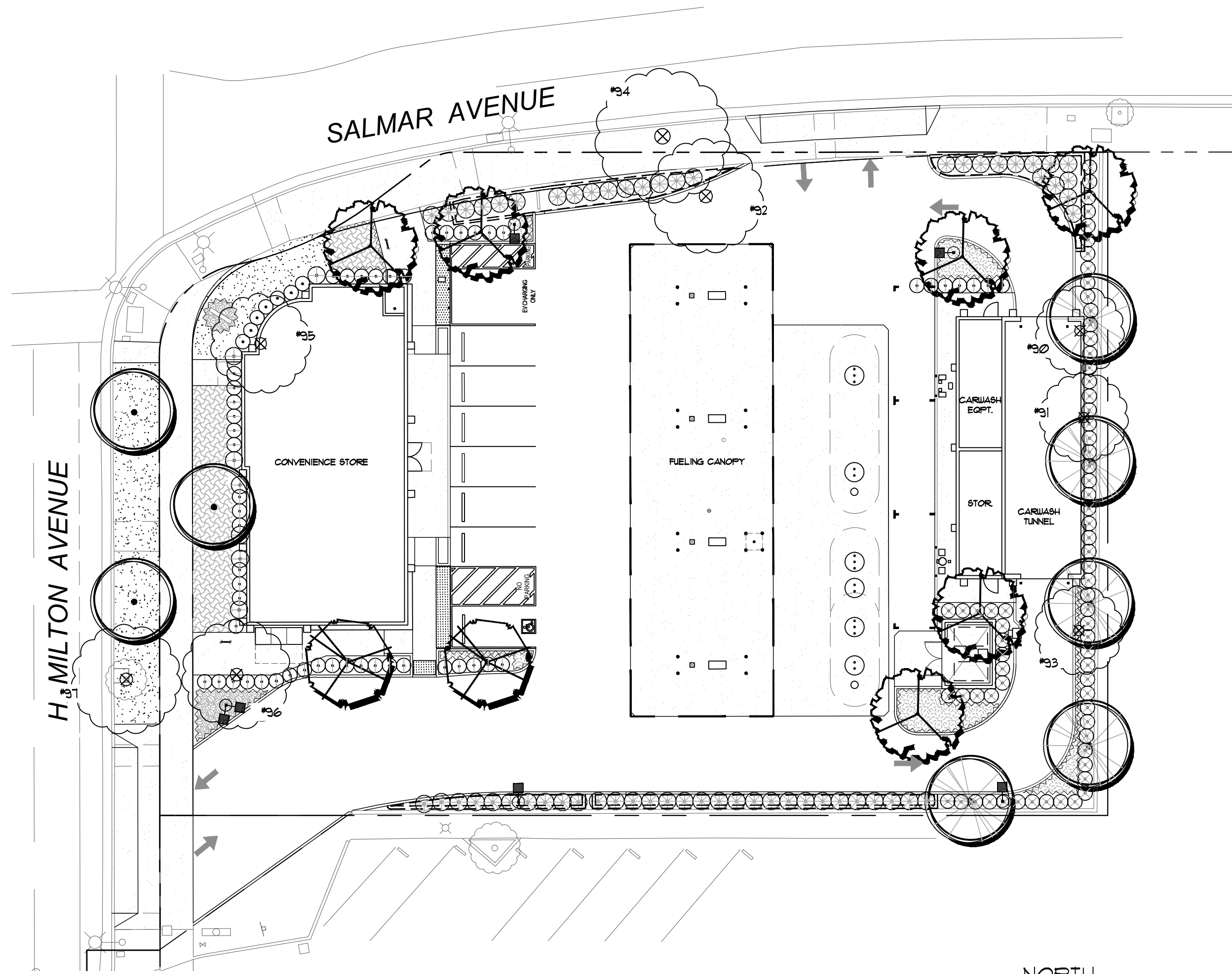
WE RFE

2260 Douglas Blvd., Suite 160, Roseville, CA 95661
PH: 916-772-7600 www.werfe.com

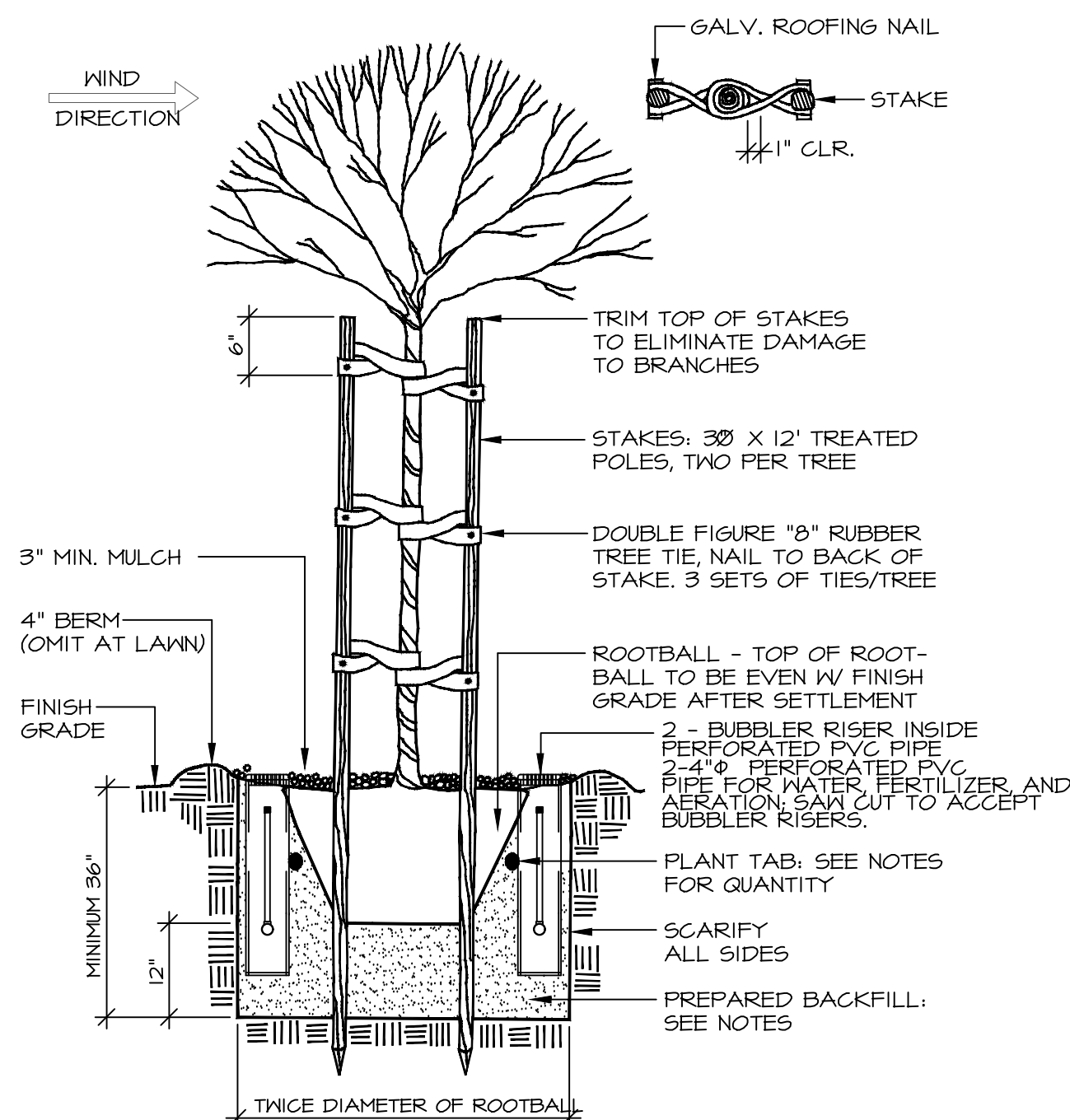
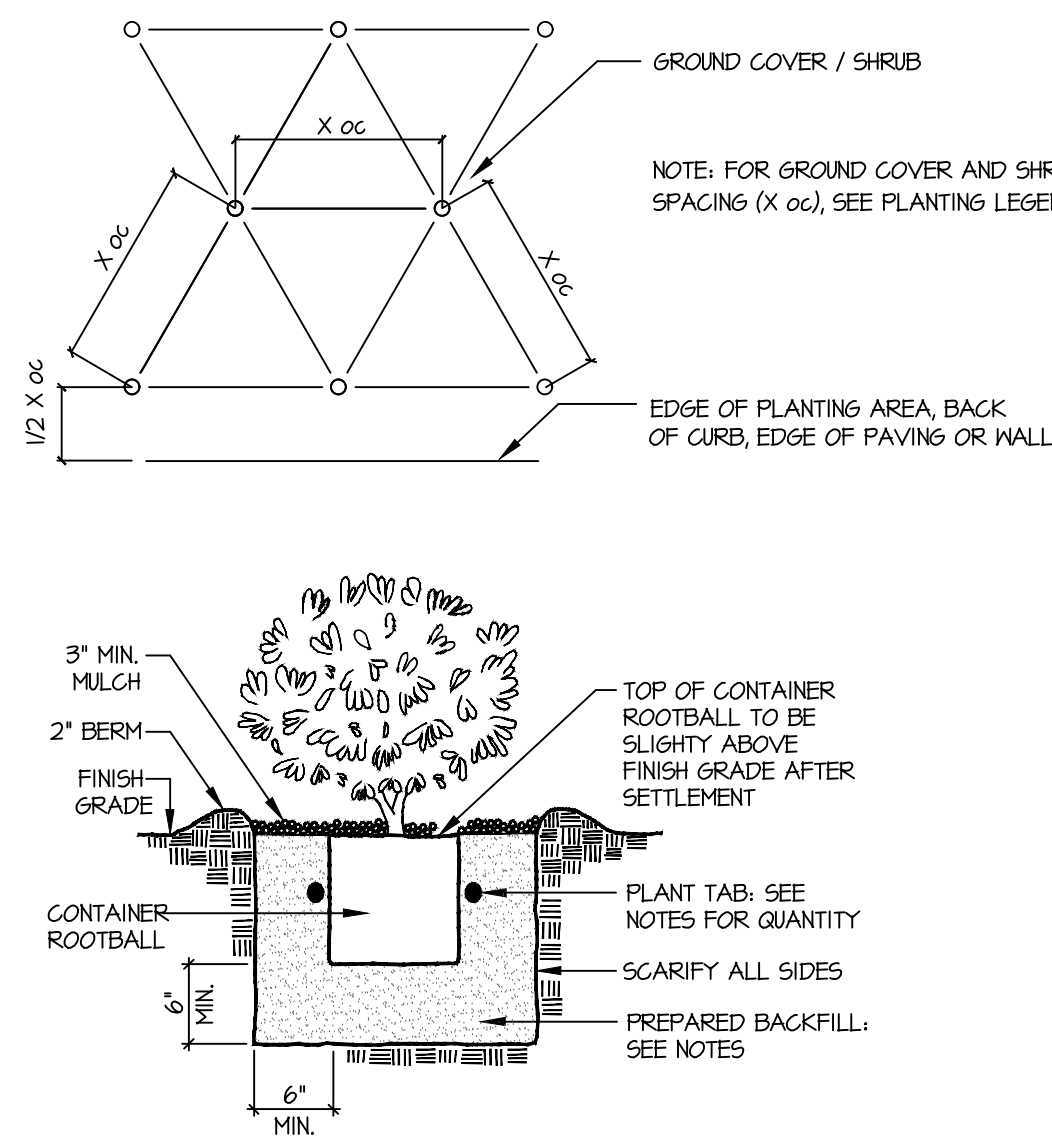
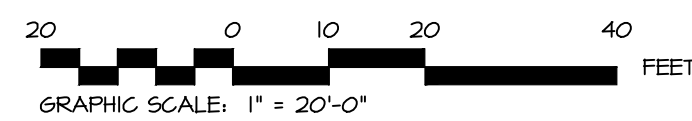
AU ENERGY, LLC.
CONTACT: SUNNY GOYAL
(510) 270-3411

GAS STATION STORE CARWASH
570 E. HAMILTON AVENUE,
CAMPBELL, CA 95008
PRELIMINARY STORMWATER
CONTROL PLAN

Sheet
C4
4 of 4
12/23/2022



1 LANDSCAPE PLAN
1" = 20'-0"



Planting Details
NOT TO SCALE

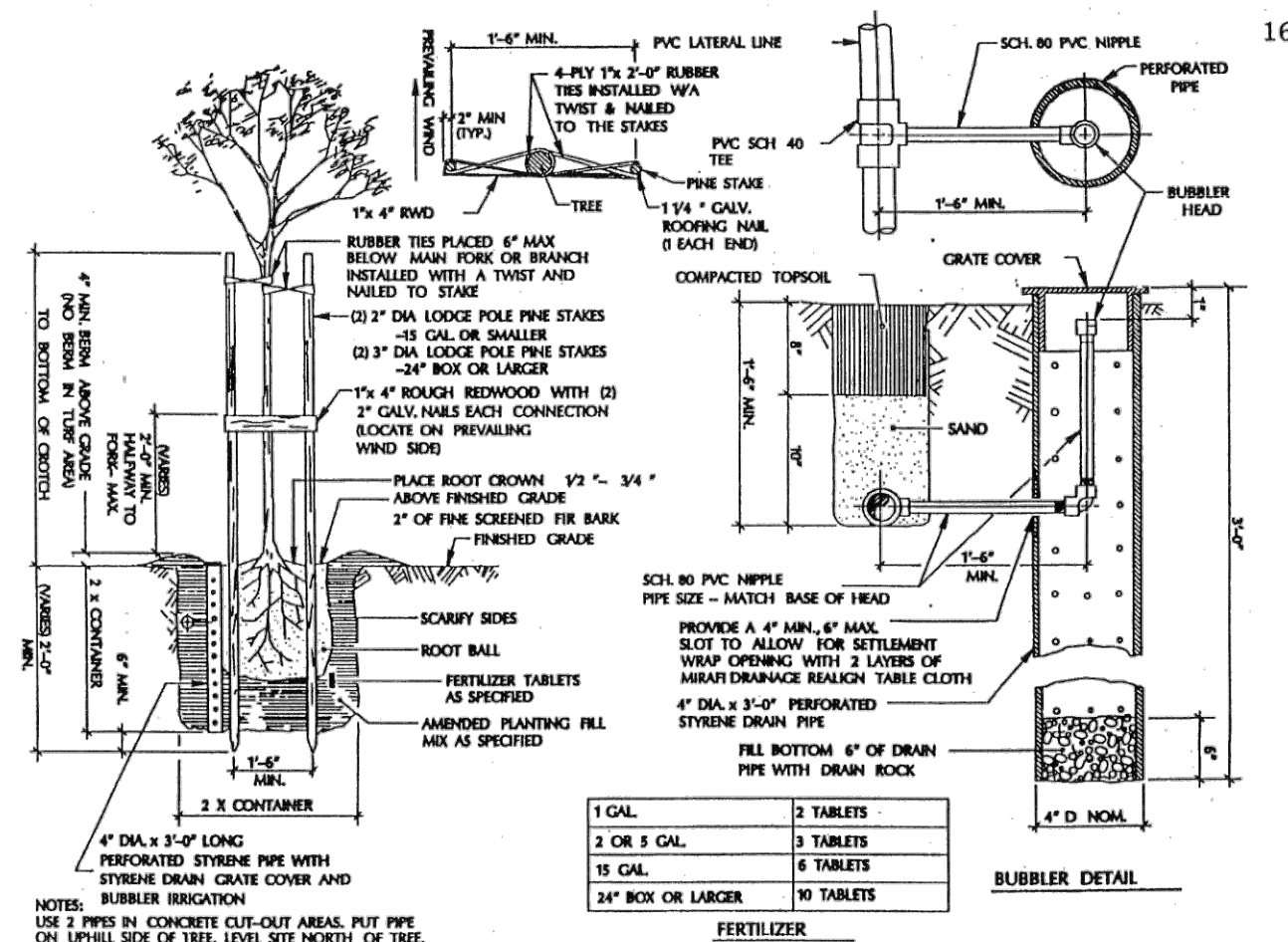
Maximum Applied Water Allowance					
Eto	X	T	Ptg SF	Gal/SF	MAWA
45.3	0.45		4,740	0.62	60,534
Estimated Total Water Use					
Plant Water Use	(Eto)(.062)	X	(PF X HA)	IE	ETWU
Low	28.1		1,643		46,155
Medium	28.1		261		7,344
High	28.1		0		0
Totals					53,499

Proposed Landscape Water Use					
Plant Type	H2O Use	Ptg SF	Gallons	% of Land	
Low	0.30	4,437	46,155	86%	
Medium	0.60	353	7,344	14%	
High	0.90	0	0	0%	
Totals					100%

The Landscape Plan is consistent with Appendix D of the C3 Stormwater Handbook published by the Santa Clara Valley Urban Pollution Prevention Program and the California Model Water Efficient Landscape Ordinance.



Ciardella
Associates
Landscape Architecture
Urban Design
200 Clock Tower Place
Suite D100-A
Carmel, CA 93921
Tel 831 624 6100
Tel 650 326 6100
ca@ciardella-assoc.com



Street Tree Detail

PLANTING LEGEND

Symbol	BOTANICAL NAME	COMMON NAME	H2O	SIZE
Tree				
	<i>Tilia tomentosa</i>	Silver Linden	L	15 Gallon
	<i>Lagerstroemia indica</i>	Muskogee Muskogee Grape Myrtle	L	15 Gallon
	<i>Laurus nobilis</i>	Sweet Bay	L	15 Gallon
	<i>Fraxinus uhdei</i>	'Majestic'	Evergreen Ash	24" Box
	Existing Tree to be Removed See Tree Survey			

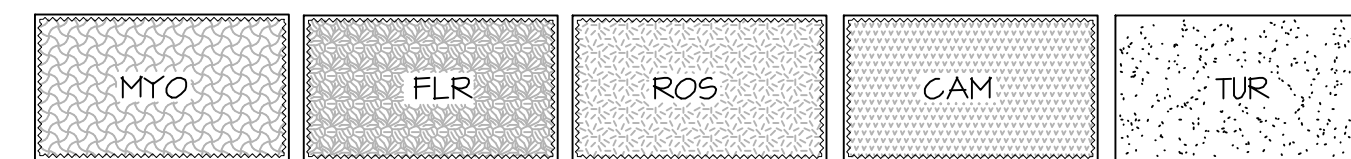
Shrubs and Vines

	<i>Pittosporum tobira</i>	'Variegatum'	Variegated Japanese	L	5 Gallon
	<i>Xylosma congestum</i>		Xylosma	L	5 Gallon
	<i>Evonymus japonicus</i>	'Grandifolius'	Japanese Evonymus	L	5 Gallon
	<i>Dodonea viscosa</i>	'Purpurea'	Purple Hopseed Bush	L	5 Gallon
	<i>Juniperus scopulorum</i>	'Skyrocket'	Skyrocket Juniper	L	5 Gallon
	<i>Chondropetalum elephantinum</i>		Large Cape Rush	L	5 Gallon
	<i>Pandorea jasminoides</i>		Pink Bower Vine	L	1 Gallon

Ground Cover

	<i>Rosmarinus officinalis</i>	'Huntingt Carpet'	Roemary	L	1 Gallon @ 30" oc
	<i>Tagetes erecta</i>	'Moonstruck'	Moonstruck Marigold	M	4" Pots @ 14" oc
	<i>Myoporum parvifolium</i>		Myoporum	L	1 Gallon @ 30" oc
	<i>Turfella blue grass sod</i>		Native Moss Free Sod	M	Sod

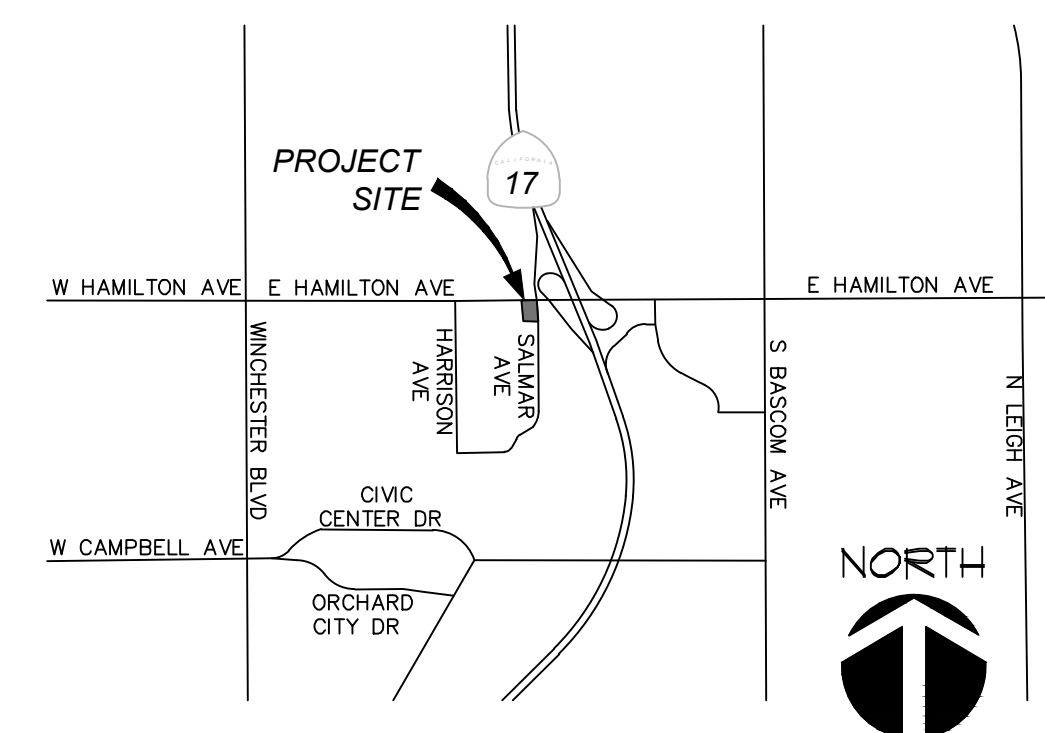
CAM To be determined by City of Campbell

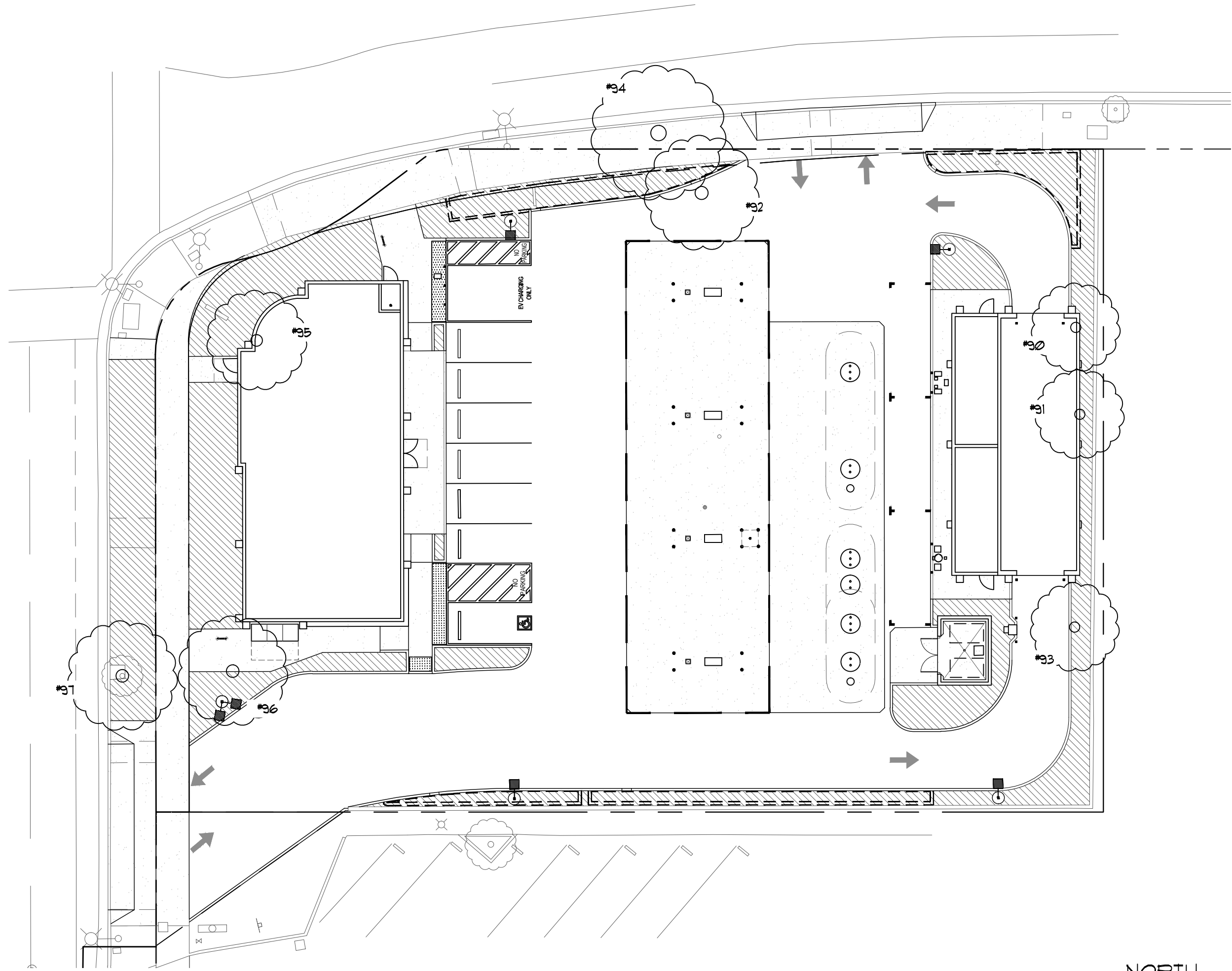


PLANTING NOTES

- All trees are to be staked as shown in the staking diagram per city requirement.
- Plant locations are to be adjusted as necessary to screen utilities but not block windows or impede access.
- All ground cover and shrub areas shall be top-dressed with a 3" layer of bark mulch. Within the bioswale a 3" layer of shredded bark shall be installed.
- All ground cover planting will be placed no farther than 6" from edge of pavement, edge of header or back of curb. Spacing shall ensure full coverage in one year.
- There shall be no storing of material or equipment, permitting of any burning or operating or parking of equipment under branches of any existing plants to remain. If existing plants to remain are damaged during construction, the plants shall be replaced with the same species on size as those damaged.
- All plant material shall be nursery grown stock. All plant materials shall be tagged at the nursery at least 1 month prior to planting for the Landscape Architects review.
- Review layout of all landscape elements with the Landscape Architect prior to installation. Field modifications may be necessary. Final layout to be reviewed by the Landscape Architect.
- Written dimensions supersede scaled dimension. Measurements are from the wall face, back of curb, edge of walk, building wall, property line or center line as graphically indicated.
- All layout corners are at 90 degrees right angles unless otherwise indicated. All curves shown are segments of circles with noted radii or diameter if noted. Circles can be scaled and be connected by freeform curves.
- HERBICIDE APPLICATION: Herbicide shall not be used until all plant material has been planted a minimum of 20-days. All planting areas shall be kept weed-free by non-herbicide methods during this time period. Herbicide shall not be applied to any areas which are or have been seeded. Contractor must be licensed by the State and County for fertilizer application, and must have current registration on file with the County.
- Landscape shall be maintained in a manner to prevent landscaping from growing above 3' in height in the areas indicated in the plans as being located within a safety visibility triangle area.
- CERTIFICATION: Prior to occupancy, the Landscape Architect shall certify in writing in a manner acceptable to the Building Inspection Division, that the landscaping has been installed in accordance with all aspects of the approved landscape plans.
- Prior to the planting of any materials, compacted soils shall be transformed to a friable condition. On engineered slopes, only amended planting holes need meet this requirement.
- At Permit Phase a Soil analysis Report as designated by the city shall be required. Soil amendments shall be incorporated according to recommendations of the soil report and what is appropriate for the plants selected.
- All landscape shall be automatically irrigated using state of the art irrigation system compliant with water efficient standards.

VICINITY MAP





1 EXISTING TREE SURVEY
1" = 20'-0"



Ciardella
associates
Landscape Architecture
Urban Design
200 Clock Tower Place
Suite D100-A
Carmel, CA 95021
Tel 831.624.6100
Tel 650.326.6100
ca@ciardella-assoc.com

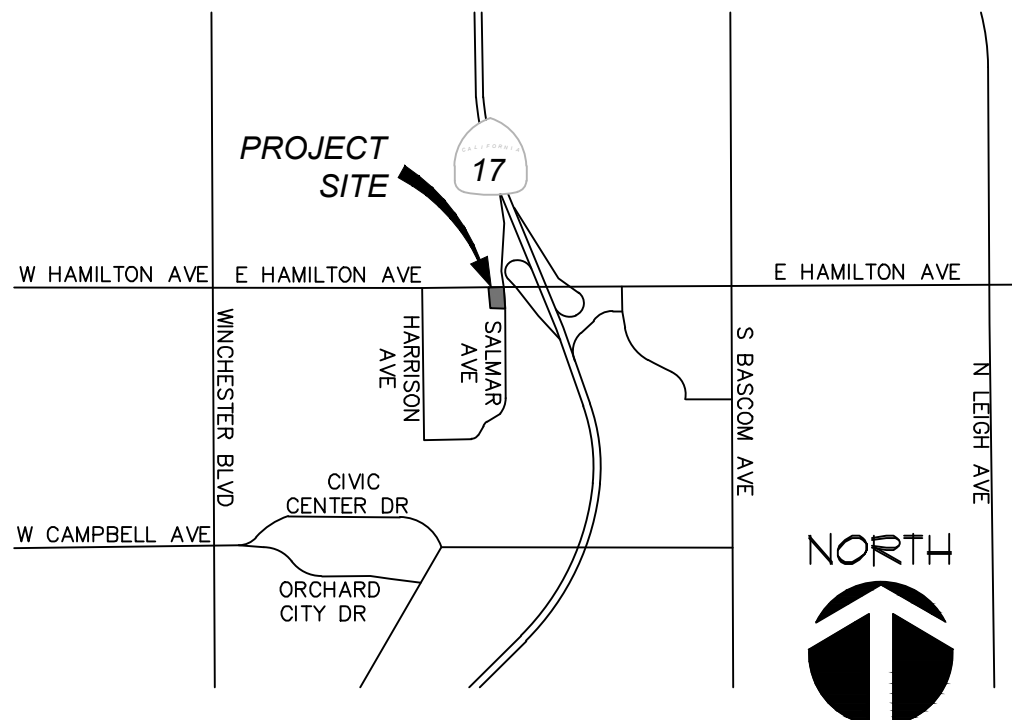
EXISTING TREE SURVEY LEGEND

- EXISTING TREES
- NEW LANDSCAPING
- NEW CONCRETE PAVING
- EXISTING CURB TO REMAIN
- NEW CONCRETE CURB
- NEW CONCRETE CURB
- BIO-PLANTER

Existing Tree Table

Tag#	Botanical Name	Common Name	DBH
90	Tristania conferta	Brisbane Box	14"
91	Tristania conferta	Brisbane Box	13"
92	Pistacia chinensis	Chinese Pistache	23"
93	Tristania conferta	Brisbane Box	13"
94	Pistacia chinensis	Chinese Pistache	15"
95	Pyrus kawakamii	Evergreen Pear	14"
96	Pyrus kawakamii	Evergreen Pear	15"
97	Pistacia chinensis	Chinese Pistache	20"

VICINITY MAP



M I Architects
M I Architects, Inc.
ARCHITECTURE
PLANNING
MANAGEMENT
DESIGN
2221 OLYMPIC BLVD.,
SUITE 100
WALNUT CREEK, CA
94595
925-287-1174 Tel
925-943-1581 Fax
925-878-9875 Cell
muthana@miarchitect.com
www.miarchitect.com

SHELL GAS STATION
CONVENIENCE STORE & CARWASH
570 E. HAMILTON AVENUE
CAMPBELL, CA

DRAWINGS AND SPECIFICATIONS AND THE CONCEPTS EMBEDDED WITHIN THEM CONSTITUTE THE ORIGINAL UNPUBLISHED WORK. M I ARCHITECTS, INC. DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND REMAIN THE PROPERTY OF THE ARCHITECT. THE USE, DUPLICATION OR DISCLOSURE OF THE DOCUMENTS WITHOUT EXPRESSED WRITTEN CONSENT FROM M I ARCHITECTS, INC. IS PROHIBITED.

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

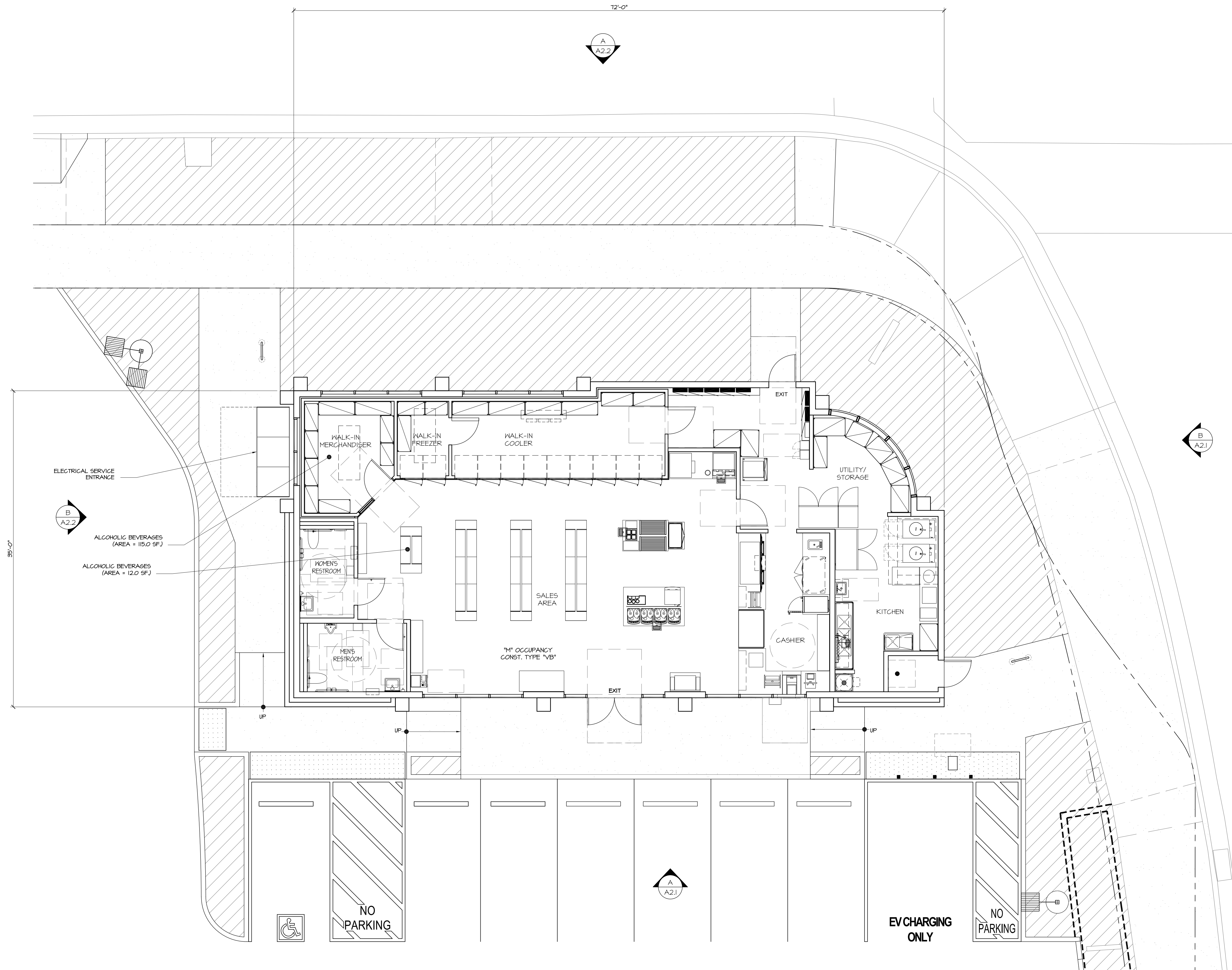
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

EXISTING TREE SURVEY

PROJECT #: 20-50120
DRAWN: rcc CHECKED: rc
SCALE: AS NOTED DATE: 10-30-19

LA2

S:\1-Projects\20-50120 570 - E Hamilton, Campbell\Drawings\Planning\20-50120-A1.1.dwg modified by m1user4 at Nov 04, 2022 - 12:59pm



1 CONVENIENCE STORE FLOOR PLAN
3/16" = 1'-0"

5 0 5 10 FEET
GRAPHIC SCALE: 3/16" = 1'-0"



NOT FOR
CONSTRUCTION

SHELL MOBILITY STATION
CONVENIENCE STORE & CARWASH
570 E. HAMILTON AVENUE
CAMPBELL, CA

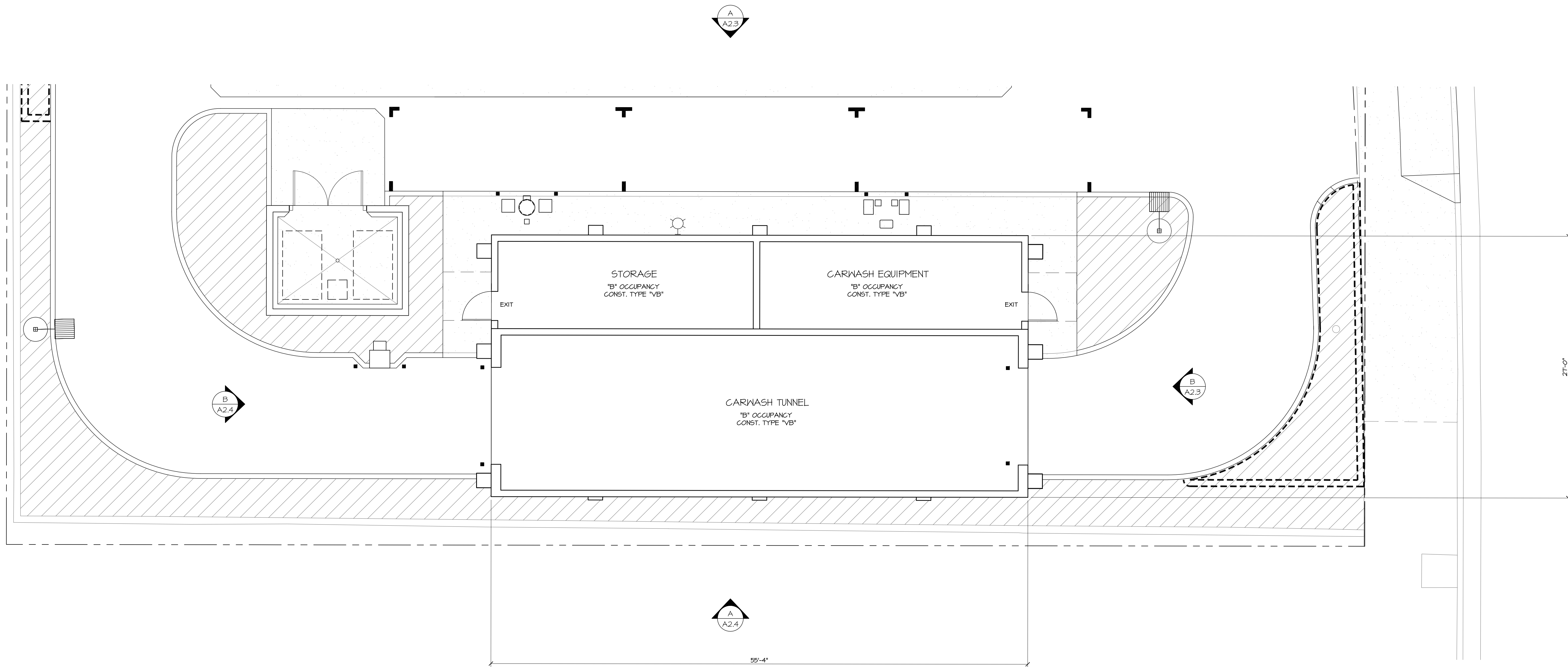
- ISSUED FOR CONSTRUCTION
- ISSUED FOR PLAN CHECK
- ISSUED FOR PLANNING

NO.	DATE	DESCRIPTION
△		
△		
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CONVENIENCE STORE
FLOOR PLAN
PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

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1 CARWASH FLOOR PLAN
3/16" = 1'-0"

5 0 5 10 FEET
GRAPHIC SCALE: 3/16" = 1'-0"



NOT FOR
CONSTRUCTION

SHELL MOBILITY STATION
CONVENIENCE STORE & CARWASH
570 E. HAMILTON AVENUE
CAMPBELL, CA

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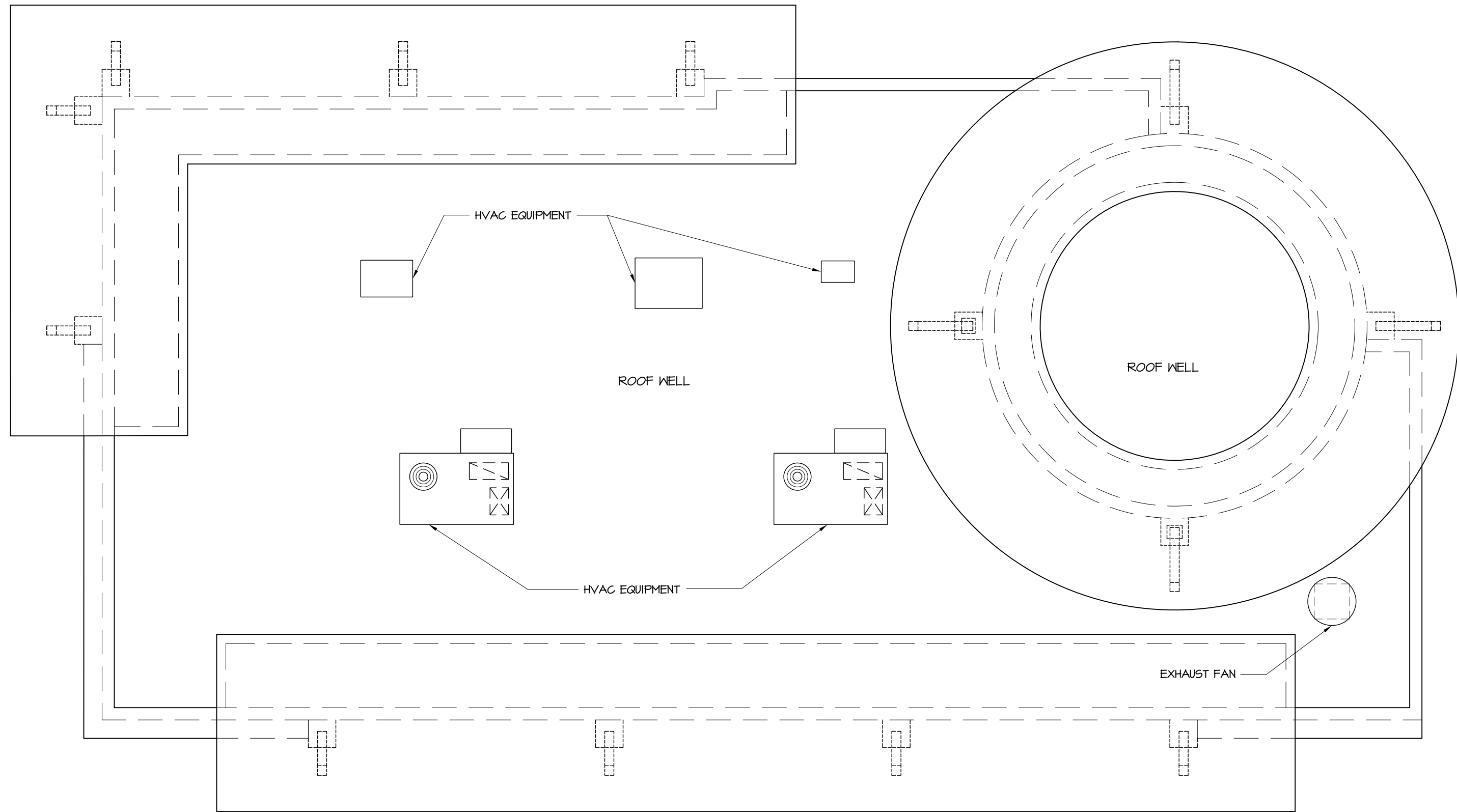
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CARWASH FLOOR PLAN

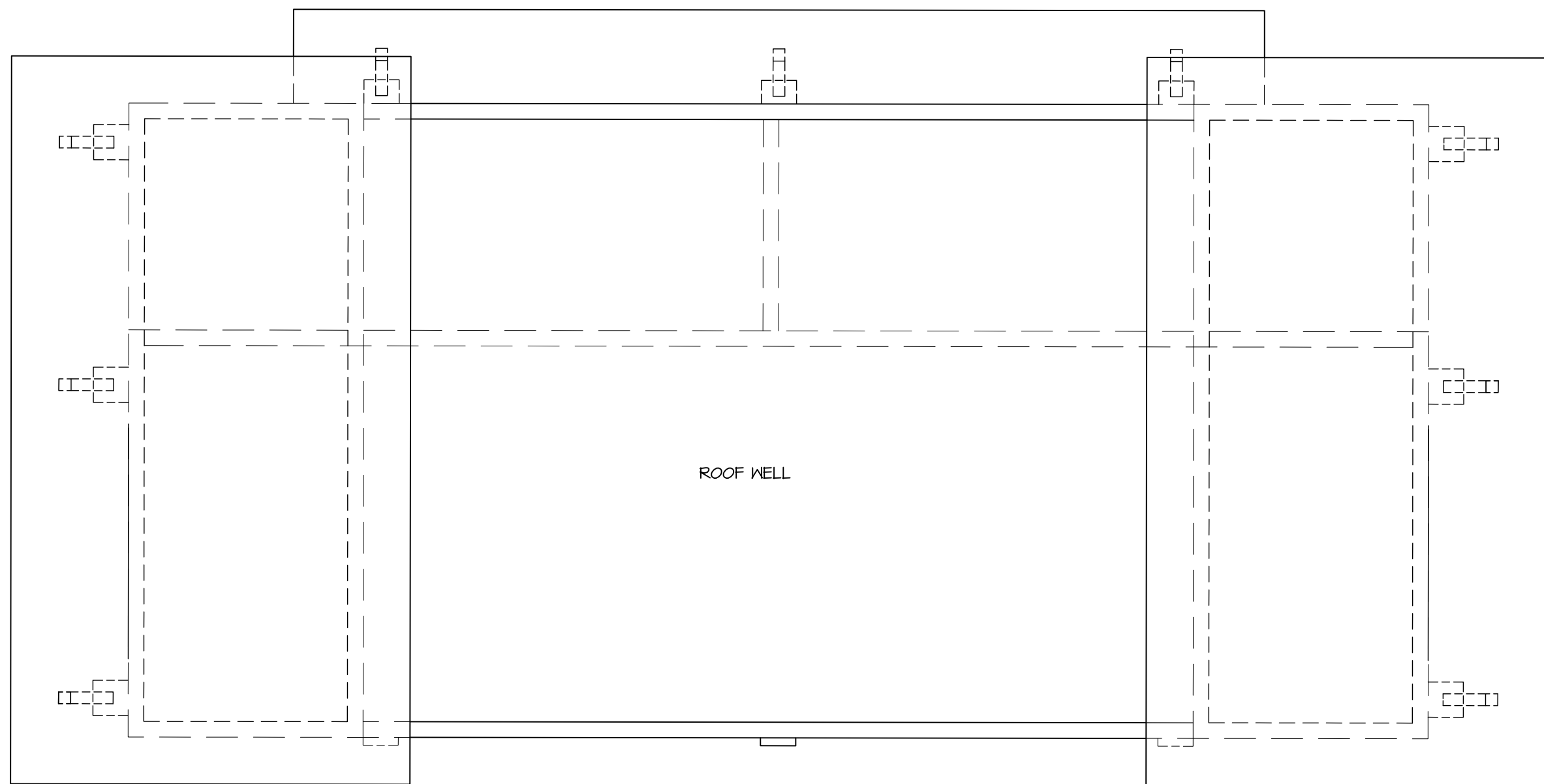
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DRAWN: EMQ CHECKED: MII
SCALE: AS NOTED DATE: 06-XX-21

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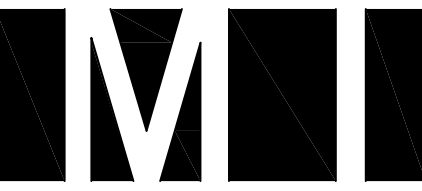


1 CONVENIENCE STORE ROOF PLAN
3/16" = 1'-0"



2 CARWASH ROOF PLAN
3/16" = 1'-0"

5 0 5 10
GRAPHIC SCALE: 3/16" = 1'-0"



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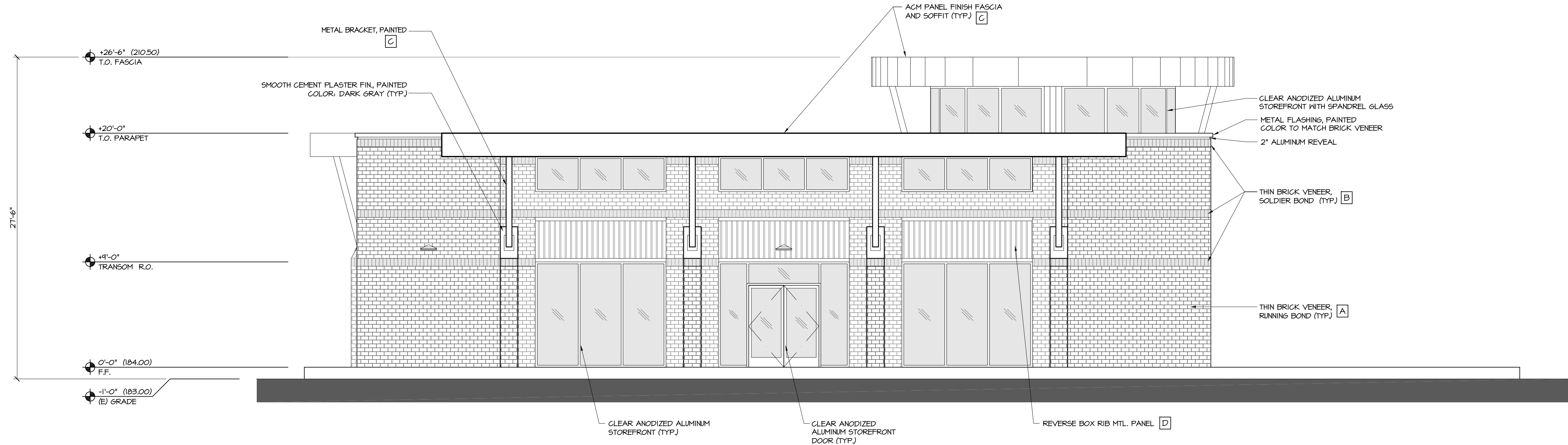
ROOF PLANS

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SCALE: AS NOTED DATE: 06-XX-21

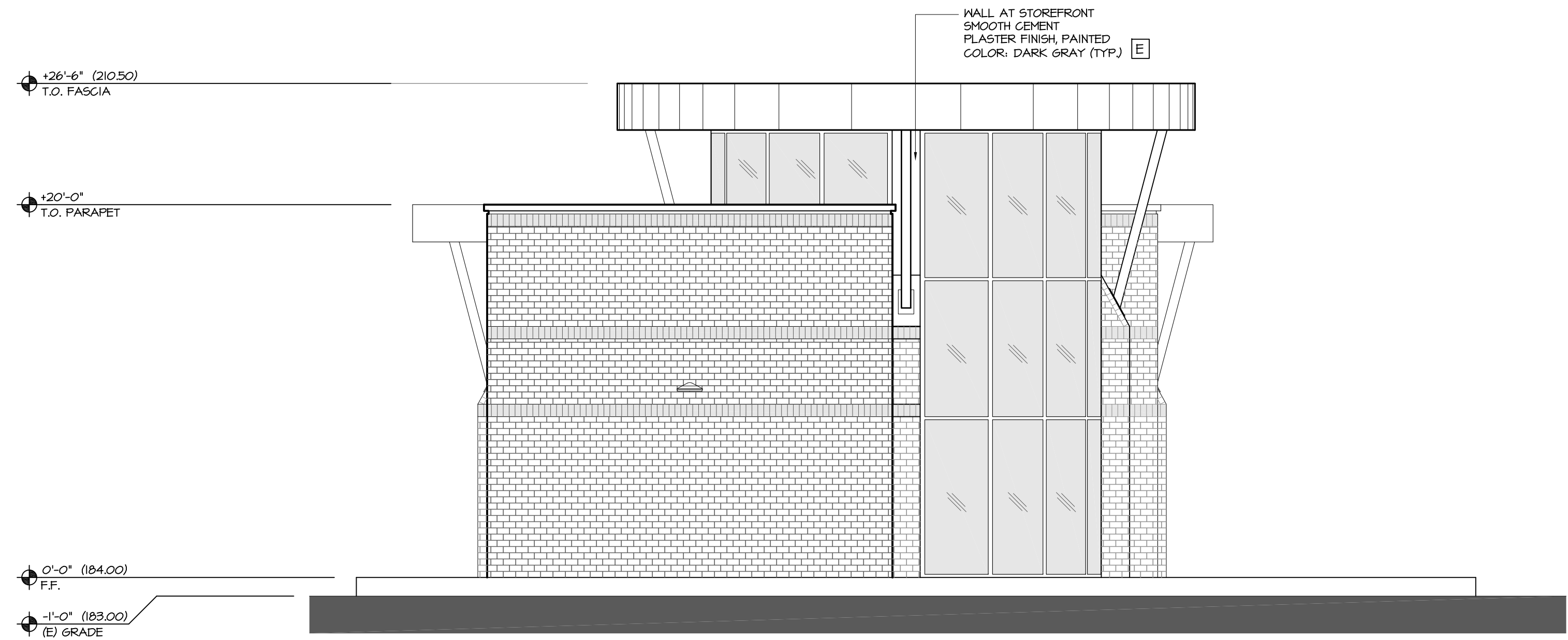
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A SOUTH ELEVATION
3/16" = 1'-0"



B EAST ELEVATION
3/16" = 1'-0"

COLOR & MATERIAL NOTES

- A** SANTA CRUZ TOWN SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK, INSTALLED PER MANUFACTURER REQUIREMENTS.
- B** SEPIA, COMMERCIAL SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK, INSTALLED PER MANUFACTURER REQUIREMENTS.
- C** ACM FASCIA & METAL BRACKET, PAINTED, COLOR: 'REGAL WHITE' BY AEP SPAN.
- D** METAL PANEL, AEP SPAN, REVERSE BOX RIB COLOR: 'ZINCALUME PLUS', 24 GA, 5RI 65, INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- E** 'STEEL WOOL' BM - 2121-20, BENJAMIN MOORE SMOOTH CEMENT PLASTER FINISH, PAINTED



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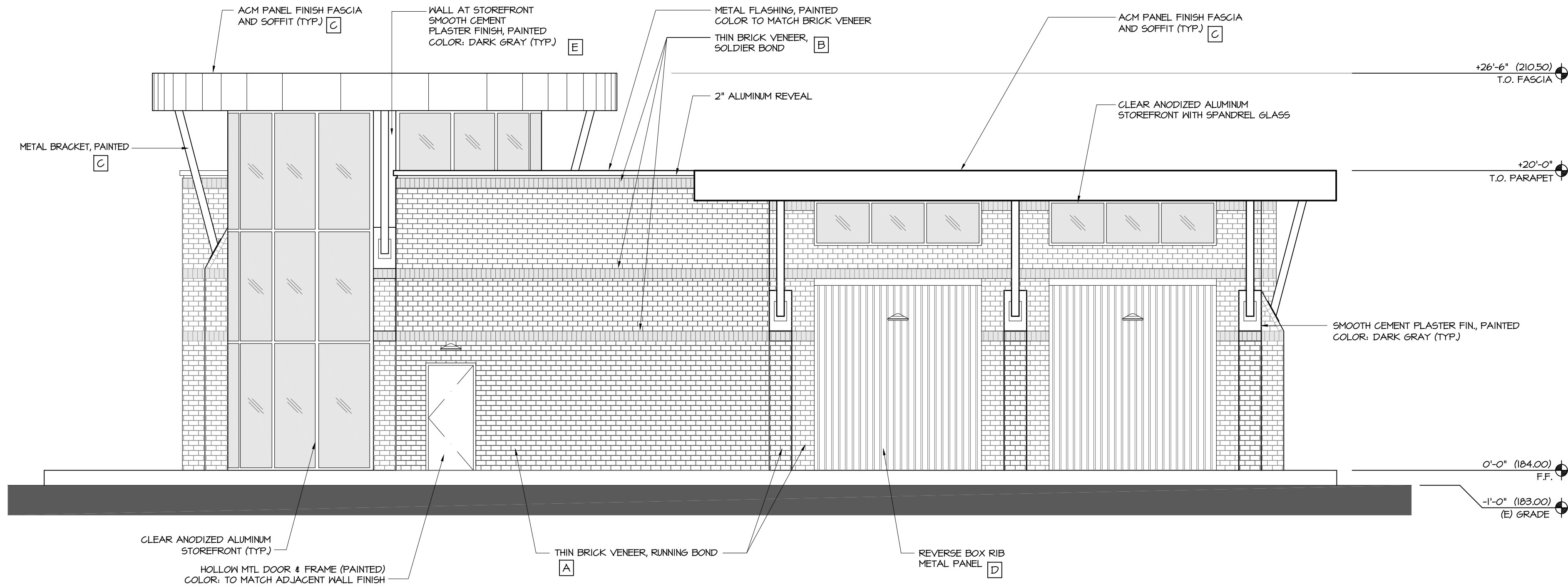
CONVENIENCE STORE
EXTERIOR ELEVATIONS

PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MI
SCALE: AS NOTED DATE: 06-XX-21

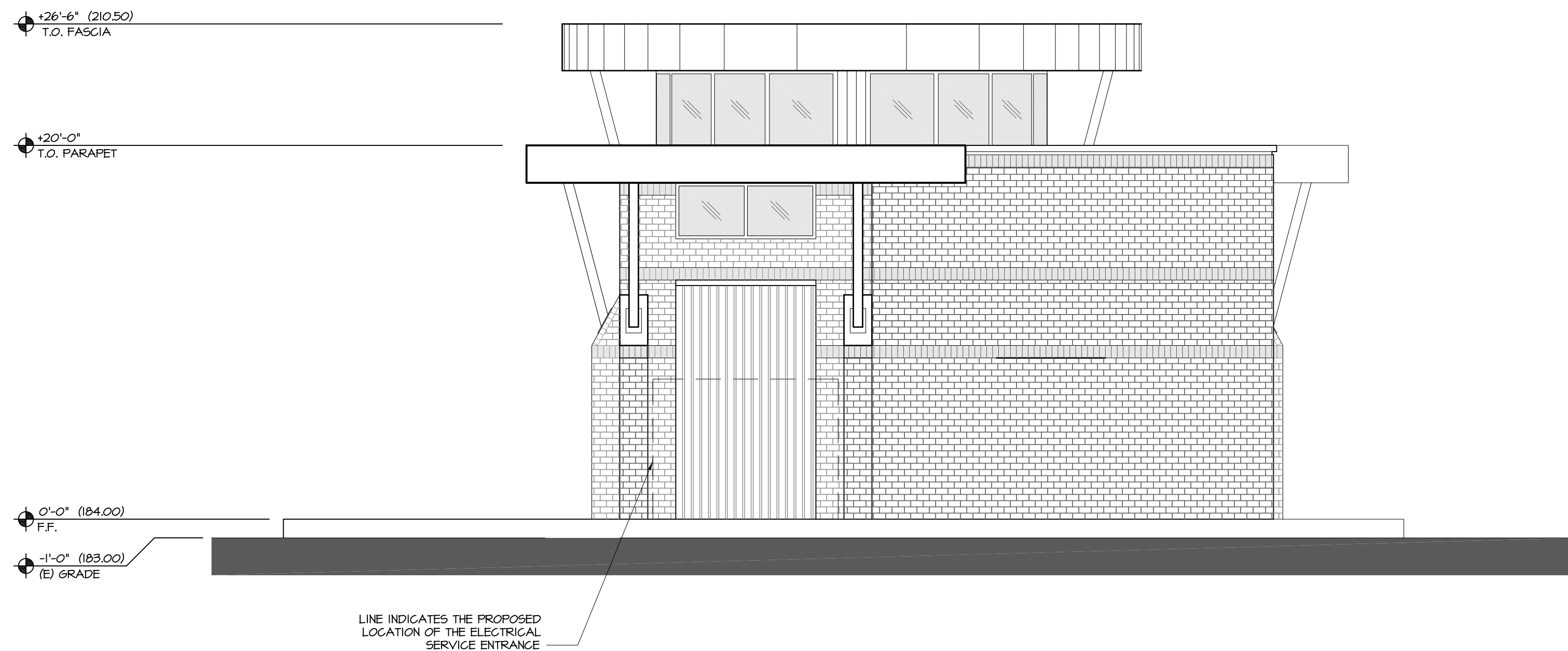
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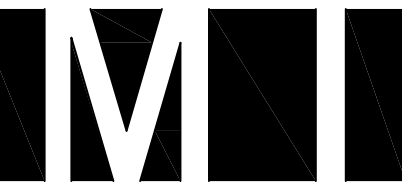
A NORTH ELEVATION
3/16" = 1'-0"



B WEST ELEVATION
3/16" = 1'-0"

COLOR & MATERIAL NOTES

- A** SANTA CRUZ TOWN SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK, INSTALLED PER MANUFACTURER REQUIREMENTS.
- B** SEPIA, COMMERCIAL SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK, INSTALLED PER MANUFACTURER REQUIREMENTS.
- C** ACM FASCIA & METAL BRACKET, PAINTED, COLOR: 'REGAL WHITE' BY AEP SPAN.
- D** METAL PANEL, AEP SPAN, REVERSE BOX RIB COLOR: 'ZINCALUME PLUS', 24 GA, 561 65, INSTALLED PER MANUFACTURER'S REQUIREMENTS.
- E** 'STEEL WOOL' BM - 2121-20, BENJAMIN MOORE SMOOTH CEMENT PLASTER FINISH, PAINTED



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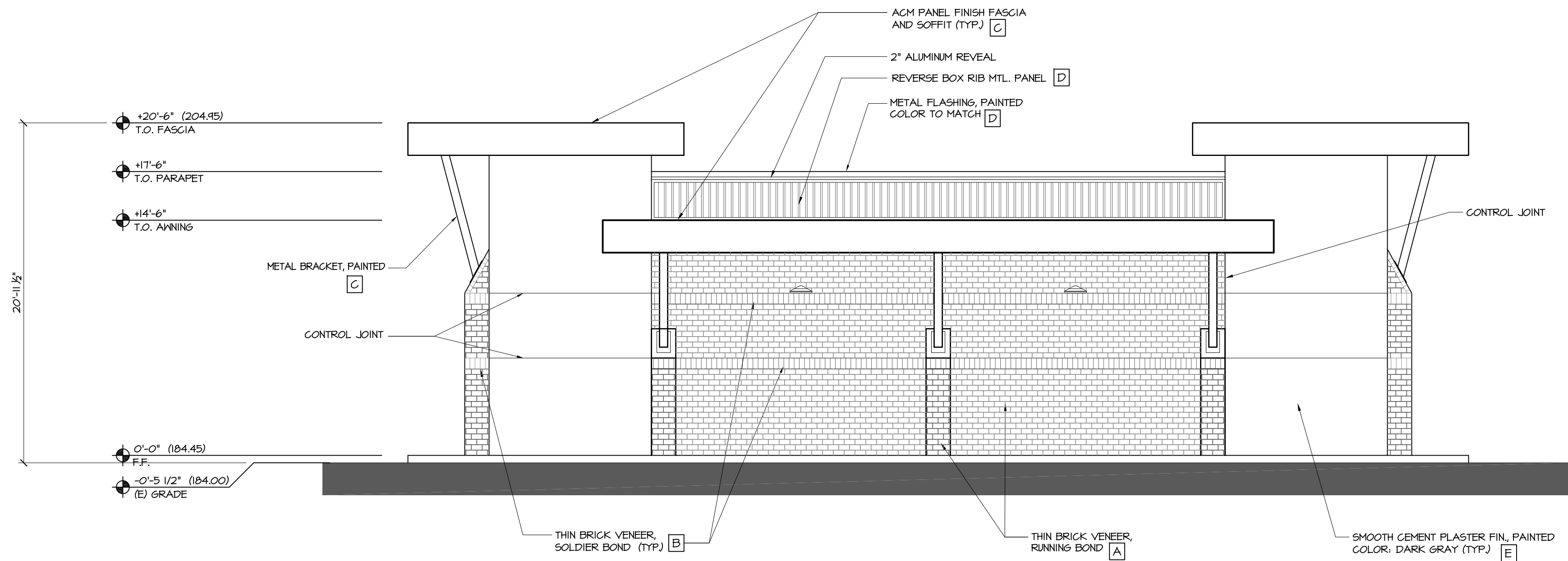
CONVENIENCE STORE
EXTERIOR ELEVATIONS

PROJECT #: 20-50120
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SCALE: AS NOTED DATE: 06-XX-21

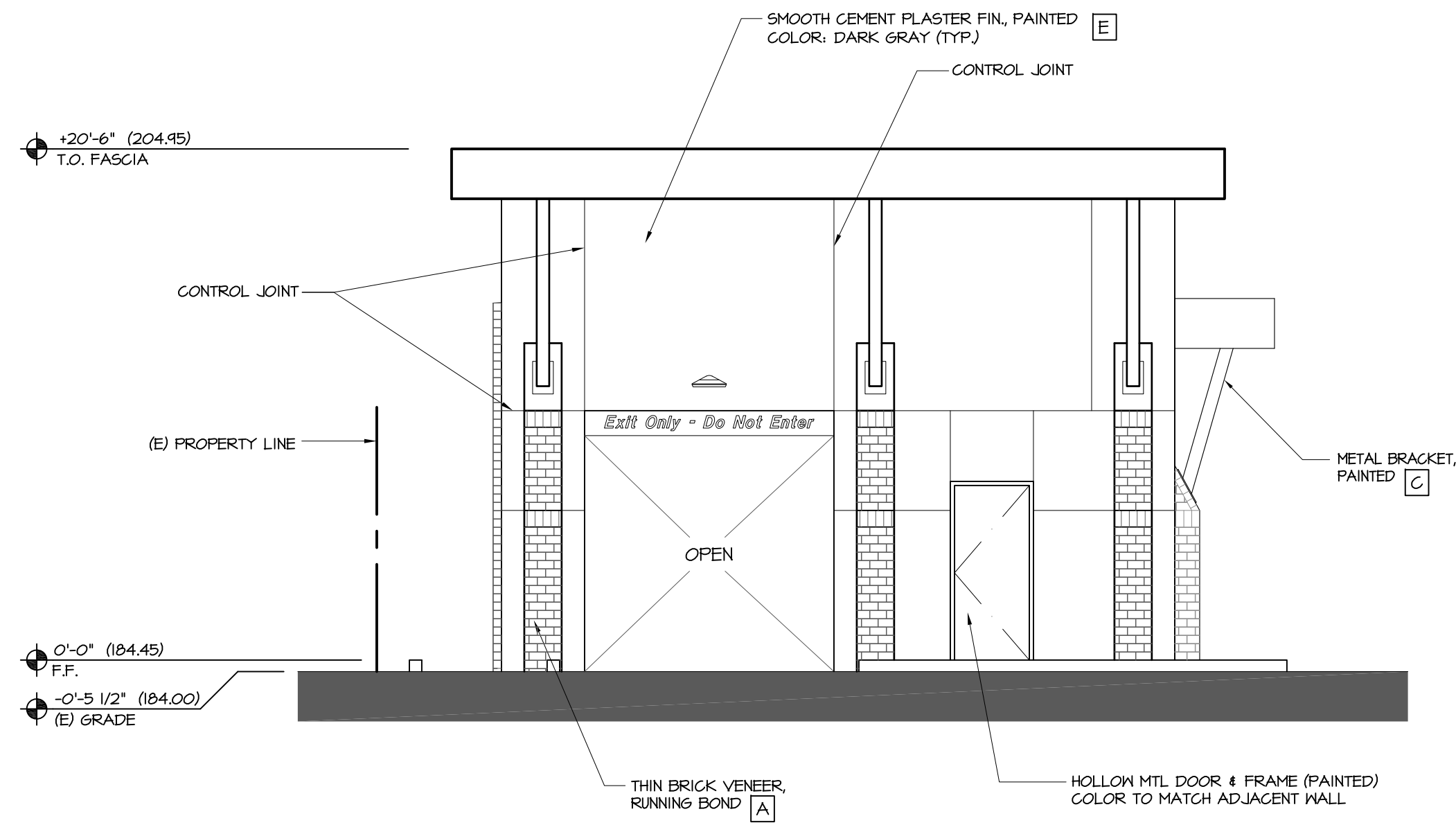
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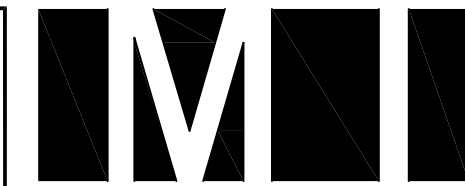
A NORTH ELEVATION
3/16" = 1'-0"



B EAST ELEVATION
3/16" = 1'-0"

COLOR & MATERIAL NOTES

- A** SANTA CRUZ TOWN SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK. INSTALLED PER MANUFACTURER REQUIREMENTS.
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- E** 'STEEL WOOL' BM - 2121-20, BENJAMIN MOORE SMOOTH CEMENT PLASTER FINISH, PAINTED



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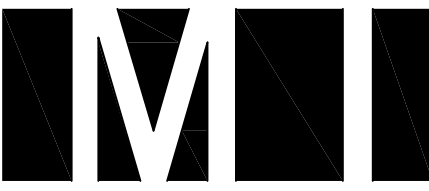
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CARWASH
EXTERIOR ELEVATIONS
PROJECT #: 20-50120
DRAWN: EMQ CHECKED: MI
SCALE: AS NOTED DATE: 06-XX-21

A2.3

SHEET OF



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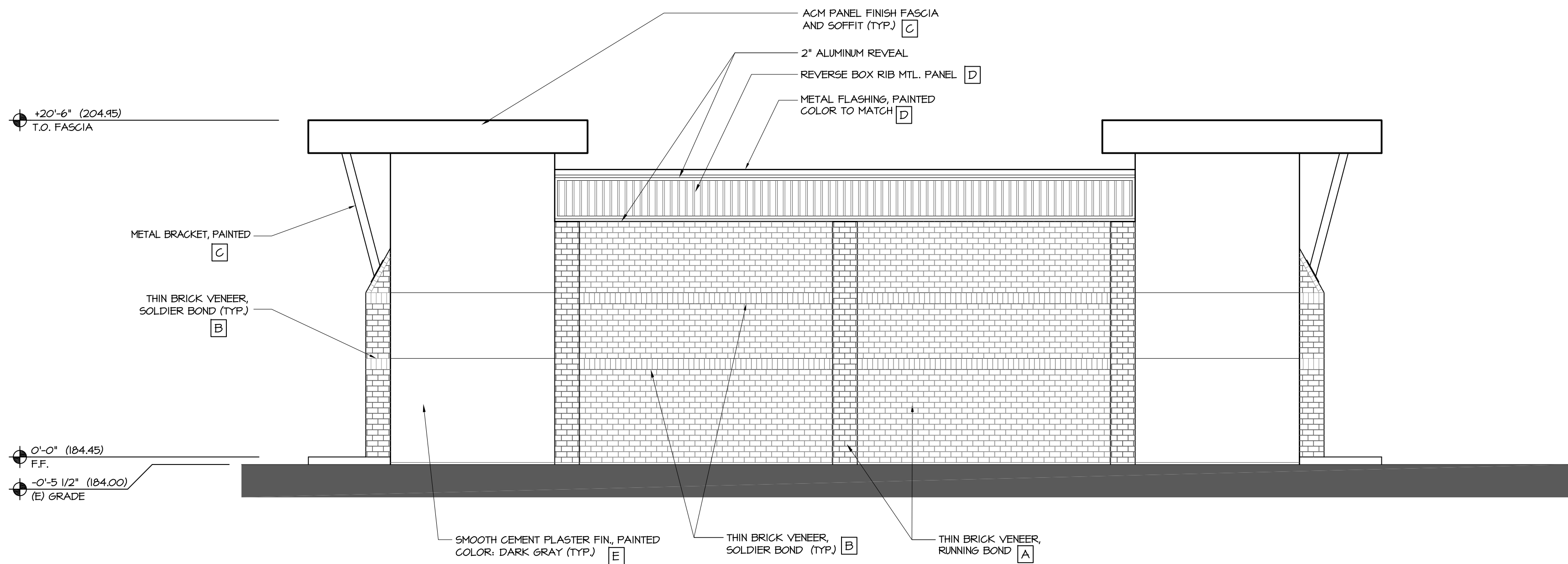
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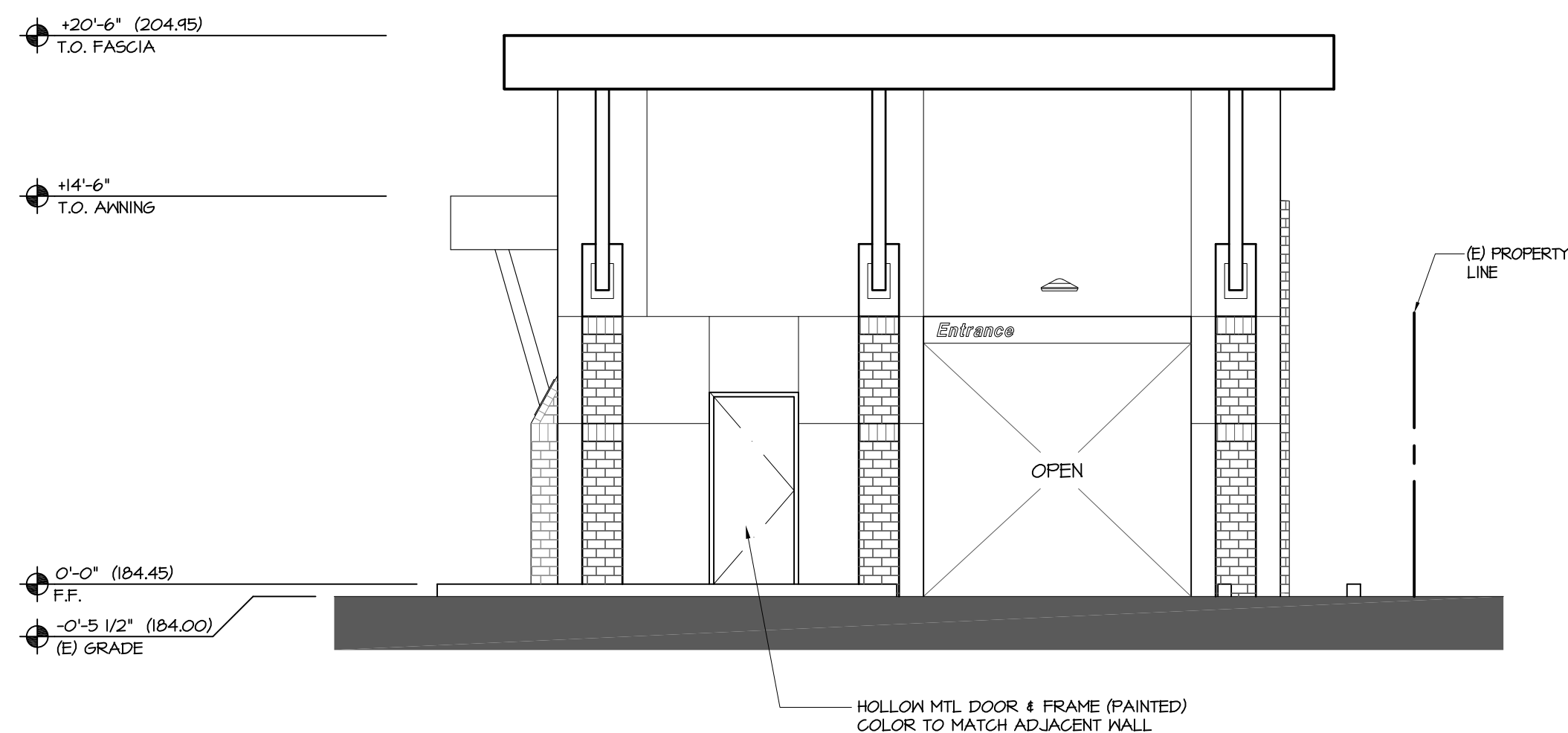
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A SOUTH ELEVATION
3/16" = 1'-0"



B WEST ELEVATION
3/16" = 1'-0"

COLOR & MATERIAL NOTES

- [A] SANTA CRUZ TOWN SERIES THIN BRICK, MANUFACTURED BY MCNEAR BRICK & BLOCK, INSTALLED PER MANUFACTURER REQUIREMENTS.
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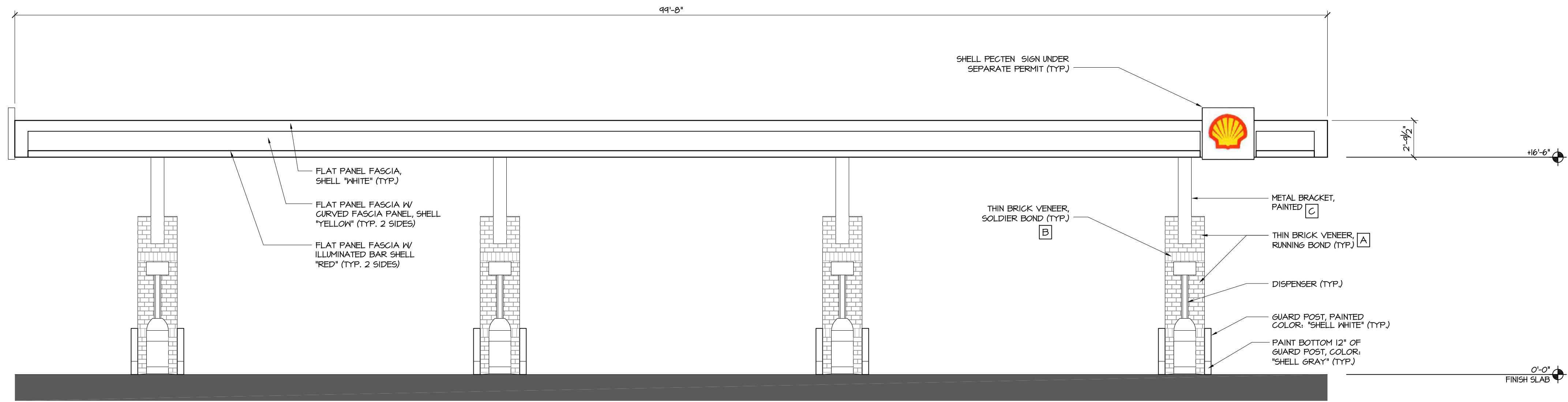
CARWASH
EXTERIOR ELEVATIONS

PROJECT #: 20-50120
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SCALE: AS NOTED DATE: 06-XX-21

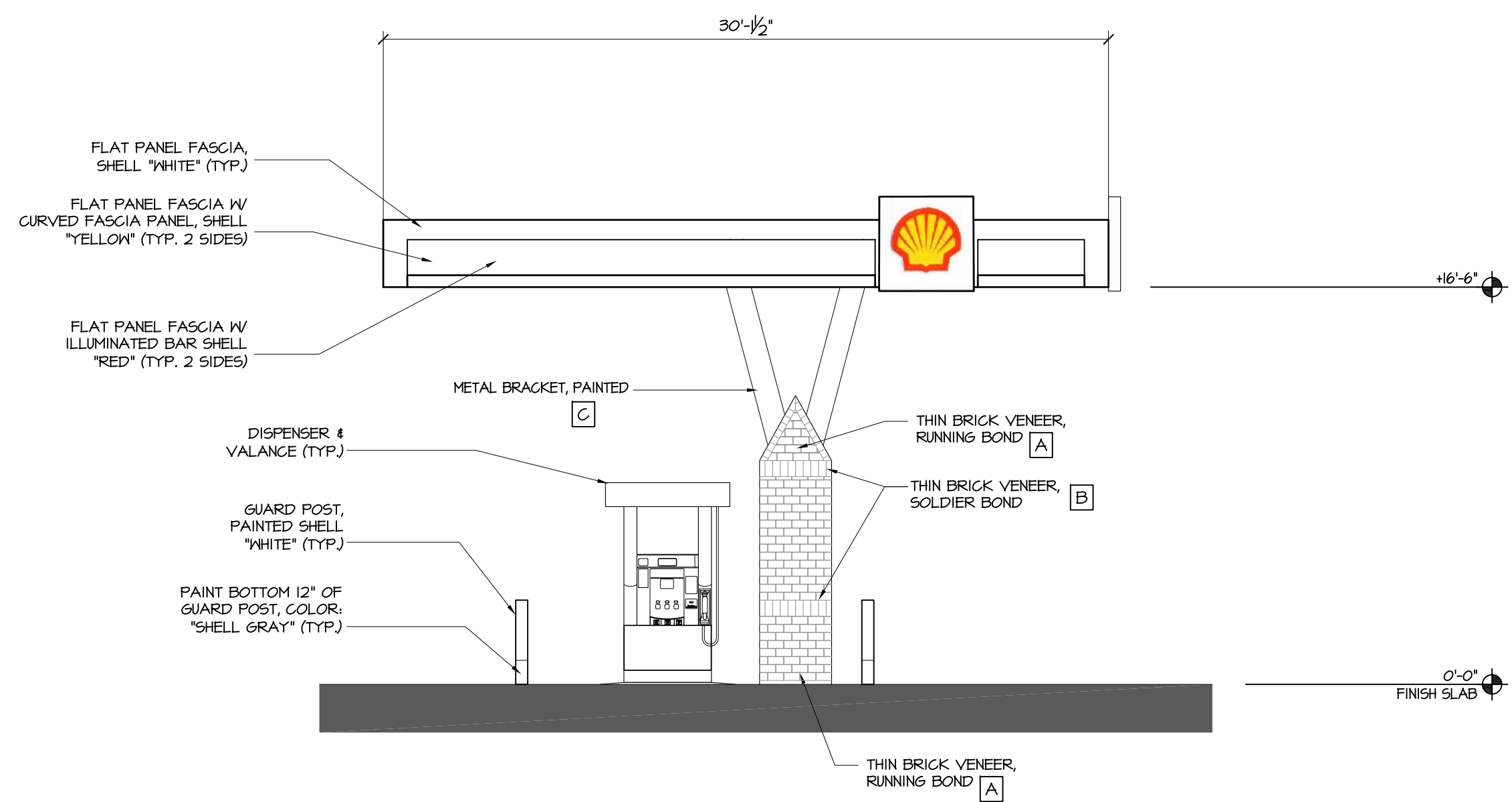
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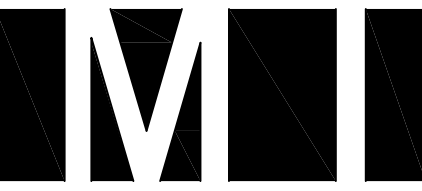


A SOUTH ELEVATION
3/16" = 1'-0"



B EAST ELEVATION
3/16" = 1'-0"

5 0 5 10
FEET
GRAPHIC SCALE: 3/16" = 1'-0"



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FUELING CANOPY
ELEVATIONS

PROJECT #: 20-50120
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CA1

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