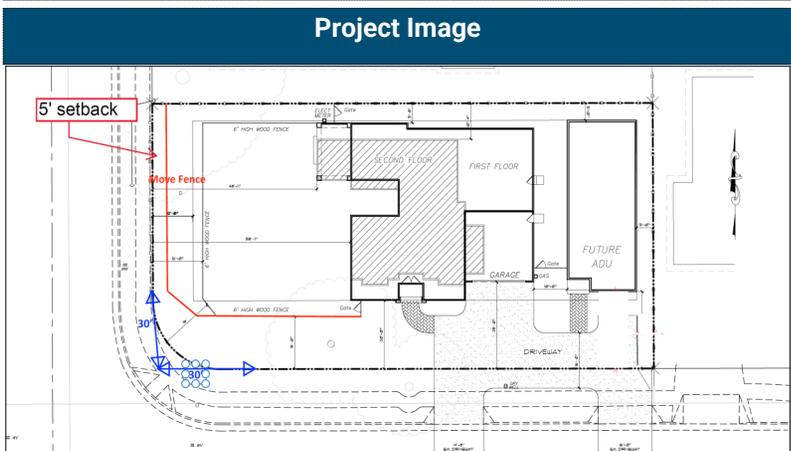






City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423



Notice of Decision on Proposed Project

Dear Campbell Resident,

June 2, 2023

The Community Development Director will be rendering a decision on the following project.

Project Address: 229 Budd Avenue

Zoning | Area Plan: R-1-6 | N/A

Neighborhood Assoc.(s): Four C's Neighborhood Assoc.

Council District: 4

File No: PLN-2023-88

APN: 305-34-017

Applicant: Amir Naghavi

Property Owner: Mehrdad Elie

Application Type: Fence Exception

Project Planner: Larissa Lome, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

Fence exception permit to allow a 7-foot fence within the front yard and side yard of a single-family dwelling.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **June 2, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **June 12, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.

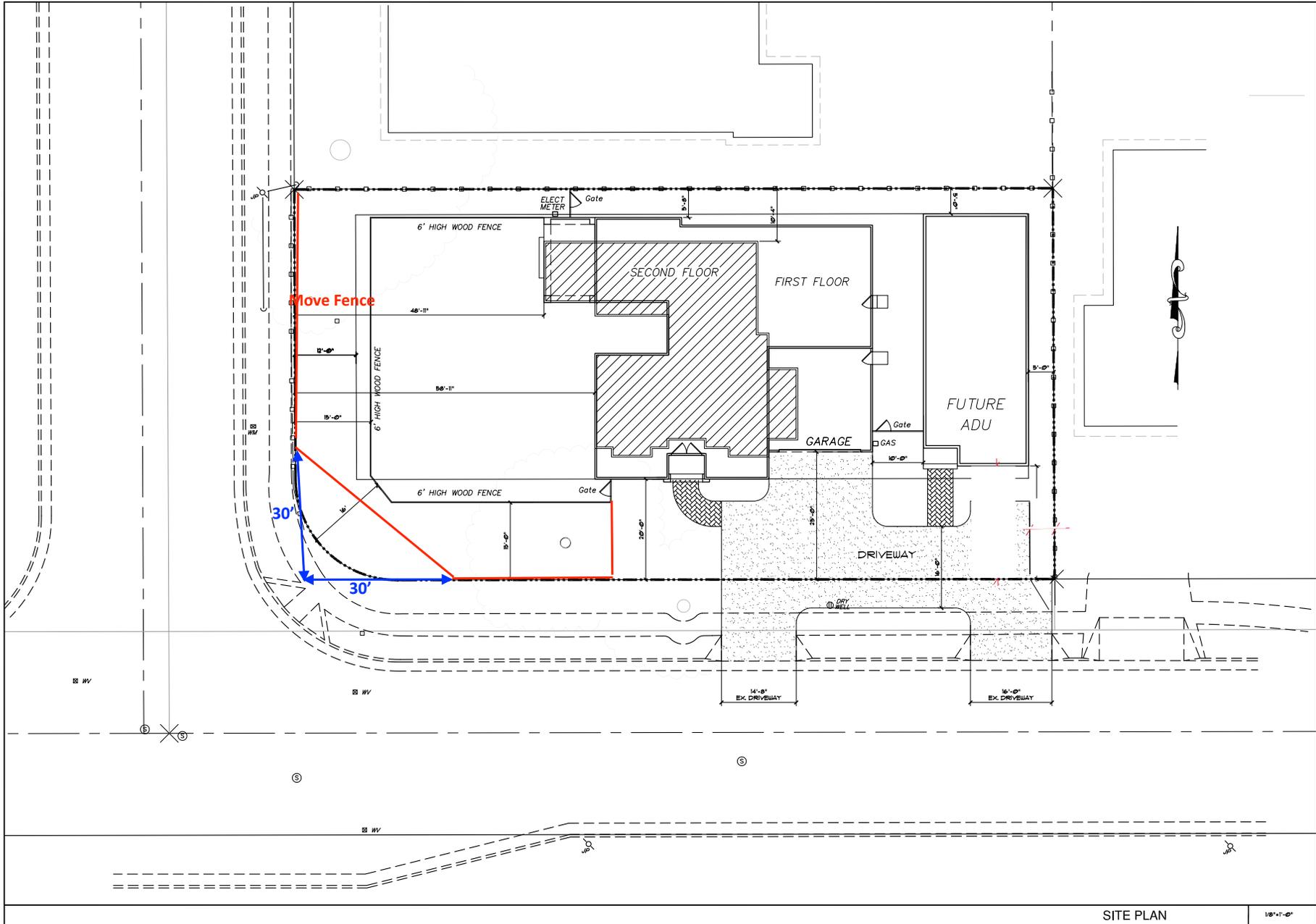


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español





REVISIONS	BY
PLAN CHECK 1-15-2022	

CB
BASSAL
Architecture
 916.433.0803
 498 BRINDSON PL.
 ROCKLIN, CA 95765
 bassalarchitecture.com

SITE PLAN

NEW RESIDENCE AT:
 229 BUDD AVENUE
 CAMPBELL, CA

DATE: 1-31-2022
 SCALE: 1/8" = 1'-0"
 DRAWN:
 JOB NO:

SHEET NO.
A11
 OF SHEETS

SITE PLAN

1/8" = 1'-0"

CONTRACT NOTES: USE OF THESE DRAWINGS AND SPECIFICATIONS IS LIMITED TO THE PROJECT AND SITE FOR WHICH THEY WERE PREPARED. THESE DRAWINGS DO NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.