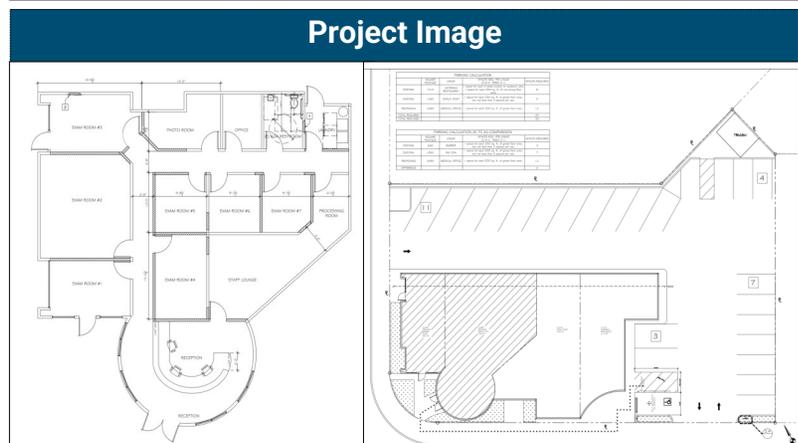




City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423



Notice of Public Hearing

Dear Campbell Resident,

June 2, 2023

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday June 13, 2023, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 1402 Camden Ave
Zoning | Area Plan: C-2 | CVNP
Neighborhood Association(s): CVNA
Council District: 1
File No: PLN-2023-41
APN: 414-04-009
Applicant: Vanessa Lau
Property Owner: Angela Phan
Application Type: Conditional Use Permit
Project Planner: Larissa Lomen, Assistant Planner

Project Description:
To allow a change of use from an existing personal services use (beauty spa) to a medical use (plastic surgeon) within an existing multi-tenant commercial building.

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible, Simplemente marque (408) 866-2140 y pida traducción en Español**



ERIC LI MD AND ASSOCIATES, INC.

CONDITIONAL USE PERMIT

1402-1408 CAMDEN AVE., CAMPBELL, CA 95008



Innovative Design Architecture, Inc.

JOHN HA, AIA
510 LAWRENCE EXPWY.
SUITE # 201
SUNNYVALE, CA 94085
TEL: (408) 245-0991
TEL: (408) 245-0711

OWNER:
Ms. Angela Phan
3059 Ruby Ave.
San Jose, CA 95135
(408) 334-5949
angelaphan26@gmail.com

ERIC LI MD AND ASSOCIATES, INC.

MEDICAL OFFICE

CONDITIONAL USE PERMIT
1402-1408 CAMDEN AVE.
CAMPBELL, CA 95008

CITY APPROVAL STAMP

REVISIONS:

SHEET TITLE:
TITLE SHEET

DATE: 2-9-2023 PROJECT NO.: 23-1895

SCALE: AS SHOWN DRAWN: JHW/L

SHEET

G-000

0 OF 1 SHEETS

ABBREVIATION	GENERAL NOTES	DRAWING INDEX
<p>∠ And Angle</p> <p>∅ Centerline</p> <p>∅ Diameter or Round</p> <p># Found or Number</p> <p>≡ Property Line</p> <p>(E) Existing</p> <p>(R) Relocated</p> <p>(N) New</p> <p>A.B. Anchor Bolt</p> <p>ACCUS. Acoustical</p> <p>A.D. Area Drain</p> <p>AGGR. Aggregate</p> <p>AL. Aluminum</p> <p>ALT. Alternate</p> <p>A.P. Access Panel</p> <p>APPROX. Approximate</p> <p>ARCH. Architectural</p> <p>ASB. Asbestos</p> <p>ASPH. Asphalt</p> <p>A.F.F. Above Finish Floor</p> <p>B.B. Bulletin Board</p> <p>BD. Board</p> <p>BITUM. Bituminous</p> <p>BKG. Backing</p> <p>BLDG. Building</p> <p>BLK. Block</p> <p>BLKG. Blocking</p> <p>BM. Beam</p> <p>BOT. Bottom</p> <p>CAB. Cabinet</p> <p>C.B. Catch Basin</p> <p>CEM. Cement</p> <p>CER. Ceramic</p> <p>C.I. Cast Iron</p> <p>C.G. Corner Guard</p> <p>C.J. Construction Joint</p> <p>CLG. Ceiling</p> <p>CLKG. Calking</p> <p>CLO. Closet</p> <p>CLR. Clear</p> <p>C.O. Cased Opening</p> <p>COL. Column</p> <p>CONC. Concrete</p> <p>CONN. Connection</p> <p>CONSTR. Construction</p> <p>CONT. Continuous</p> <p>CORR. Corridor</p> <p>CPT. Carpet</p> <p>CTSK. Countersunk</p> <p>CNTR. Counter</p> <p>CTR. Center</p> <p>DET. Detail</p> <p>DIA. Diameter</p> <p>DIM. Dimension</p> <p>DISP. Dispenser</p> <p>DN. Down</p> <p>D.O. Door Opening</p> <p>DR. Door</p> <p>DWR. Drawer</p> <p>DS. Downspout</p> <p>D.S.P. Dry Standpipe</p> <p>DWG. Drawing</p> <p>E. East</p> <p>EA. Each</p> <p>E.B. Expansion Bolt</p> <p>E.J. Expansion Joint</p> <p>ELEV. Elevation</p> <p>ELEC. Electrical</p> <p>ELEV. Elevator</p> <p>EMER. Emergency</p> <p>ENCL. Enclosure</p> <p>ENGR. Engineer</p> <p>E.P. Electrical Panelboard</p> <p>E.Q. Equal</p> <p>E.QPT. Equipment</p> <p>E.W.C. Electrical Water Cooler</p> <p>EXST. Existing</p> <p>EXPO. Exposed</p> <p>EXP. Expansion</p> <p>EXT. Exteror</p> <p>F.A. Fire Alarm</p> <p>F.B. Flat Bar</p> <p>F.D. Floor Drain</p> <p>FDN. Foundation</p> <p>F.A. Fire Extinguisher</p> <p>F.A.C. Fire Extinguisher Cab.</p> <p>F.H.C. Fire Hose Cabinet</p> <p>F.H.W.S. Flat Head Wood Screw</p> <p>FIN. Finish</p> <p>FIXT. Fixture</p> <p>FL. Floor</p> <p>FLASH. Flashing</p> <p>FLUOR. Fluorescent</p> <p>F.O.C. Face of Concrete</p> <p>F.O.F. Face of Finish</p> <p>F.O.S. Face of Studs</p> <p>FRFR. Fireproof</p> <p>F.S. Full Size</p> <p>FT. Foot or Feet</p> <p>FTG. Footing</p> <p>FURR. Furring</p> <p>FUT. Future</p> <p>GA. Gauge</p> <p>GALV. Galvanized</p> <p>G.B. Grab Bar</p> <p>GL. Glass</p> <p>GND. Ground</p> <p>GR. Grade</p> <p>GYP. Gypsum</p> <p>H.B. Hose Bibb</p> <p>H.C. Hollow Core</p> <p>HDWD. Hardwood</p> <p>HWDE. Hardware</p> <p>HORIZ. Horizontal</p> <p>HR. Hour</p> <p>HGT. Height</p> <p>I.D. Inside Diameter(Dim.)</p> <p>INC. Incandescent</p> <p>INFO. Information</p> <p>INSUL. Insulation</p> <p>INT. Interior</p> <p>INTER. Intermediate</p> <p>JAN. Janitor</p> <p>JT. Joint</p> <p>LAB. Laboratory</p> <p>LAM. Laminate</p> <p>LAV. Lavatory</p> <p>LED. Light-Emitting Diode</p> <p>LKR. Locker</p> <p>LT. Light</p> <p>MAS. Masonary</p> <p>MAT. Matenal</p> <p>MAX. Maximum</p> <p>M.B. Machine Bolt</p> <p>M.C. Medicine Cabinet</p> <p>MECH. Mechanical</p> <p>MEMB. Membrane</p> <p>MET. Metal</p> <p>MFR. Manufacturer</p> <p>MH. Manhole</p> <p>MIN. Minimum</p> <p>MIR. Mirror</p> <p>MISC. Miscellaneous</p> <p>M.O. Masonry Opening</p> <p>MTD. Mounted</p> <p>MUL. Mullion</p> <p>N. North</p> <p>N.I.C. Not in Contract</p> <p>NO. Number</p> <p>NOM. Nominal</p> <p>N.T.S. Not to Scale</p> <p>O.A. Overall</p> <p>OBS. Obscure</p> <p>O.C. On Center</p> <p>O.D. Outside Diameter(DIM.)</p> <p>OFF. Office</p> <p>O.H. Opposite Hand</p> <p>OPNG. Opening</p> <p>OPP. Opposite</p> <p>P. Paint</p> <p>P.A.D. Powder Actuated Device</p> <p>PRCST. Pre-cast</p> <p>PL. Plate</p> <p>P.LAM. Plastic Laminate</p> <p>PLAS. Plaster</p> <p>PLYWD. Plywood</p> <p>FR. Pair</p> <p>PT. Point</p> <p>P.T.D. Paper Towel Dispenser</p> <p>P.T.D/R. Dispenser & Receptacle</p> <p>FTN. Partition</p> <p>PTR. Paper Towel Reptacle</p> <p>Q.T. Quarry Tile</p> <p>QTY. Quantity</p> <p>R. Riser</p> <p>RAD. Radius</p> <p>R.D. Rood Drain</p> <p>REF. Reference</p> <p>REFR. Refrigerator</p> <p>REGTR. Register</p> <p>REINIF. Reinforced</p> <p>REQ. Required</p> <p>RESIL. Resilient</p> <p>RM. Room</p> <p>R.O. Rough Opening</p> <p>RUB. Rubber</p> <p>RWD. Redwood</p> <p>R.W.L. Rain Water Leader</p> <p>S. South</p> <p>S.A.D. See Architectural Drawing</p> <p>S.C. Solid Core</p> <p>S.C.D. Seat Cover Dispenser</p> <p>SCHED. Schedule</p> <p>S.A. Soap Dispenser</p> <p>SECT. Section</p> <p>S.E.D. See Electrical Drawing</p> <p>SH. Shelf</p> <p>SHR. Shower</p> <p>SHT. Sheet</p> <p>SIM. Similar</p> <p>S.M.D. See Mechanical Drawing</p> <p>S.M.S. Sheet Metal Screw</p> <p>S.N.D. Sanitary Napkin Dispenser</p> <p>S.N.R. Sanitary Napkin Receptacle</p> <p>SPEC. Specification</p> <p>SPD. See Plumbing Drawing</p> <p>SQ. Square</p> <p>S.S.D. See Structural Drawing</p> <p>S.ST. Stainless Steel</p> <p>S.S.K. Service Sink</p> <p>STA. Station</p> <p>STD. Standard</p> <p>STL. Steel</p> <p>STOR. Storage</p> <p>STR. Structural</p> <p>SUSP. Suspended</p> <p>SYM. Symmetrical</p> <p>TRD. Tread</p> <p>T.B. Towel Bar</p> <p>T.C. Top of Curb</p> <p>TEL. Telephone</p> <p>TER. Terrazzo</p> <p>T.&G. Tongue and Groove</p> <p>THK. Thick</p> <p>THRES. Threshold</p> <p>T.P. Top of Pavement</p> <p>T.P.B. Telephone Panelboard</p> <p>T.P.D. Toilet Paper Dispenser</p> <p>T.V. Television</p> <p>T.W. Top of Wall</p> <p>TYF. Typical</p> <p>UNF. Unfinished</p> <p>U.O.N. Unless Otherwise Noted</p> <p>UR. Urnal</p> <p>V.C.T. Vinyl Composition Tile</p> <p>VERT. Vertical Vestibule</p> <p>VEST. Vestibule</p> <p>V.I.F. Verify in Field</p> <p>W. West</p> <p>WC. Wall Covering</p> <p>WC. Water Closet</p> <p>DW. Wood</p> <p>WF. Wide Flange</p> <p>WO. Where Occurs</p> <p>WO. Without</p> <p>WP. Waterproof</p> <p>WSC. Wainscot</p> <p>WT. Weight</p> <p>W.R. Water Resistant</p>	<p>1. BY EXECUTING CONTRACTS, CONTRACTOR AND SUBCONTRACTORS REPRESENT THAT THEY HAVE:</p> <p>A. VISITED THE SITE AND ITS SURROUNDING AND MADE DUE ALLOWANCES FOR DIFFICULTIES AND CONTINGENCIES.</p> <p>B. COMPARED DRAWINGS WITH EXISTING CONDITIONS AND INFORMED THEMSELVES OF CONDITIONS TO BE ENCOUNTERED, INCLUDING WORK BY OTHERS, IF ANY, BEING PERFORMED, AND</p> <p>C. NOTIFIED THE ARCHITECT OF AMBIGUITIES, INCONSISTENCIES, AND ERRORS THEY HAVE DISCOVERED WITHIN DRAWINGS OR BETWEEN SCOPE AND EXISTING CONDITIONS</p> <p>2. FAILURE TO VISIT THE SITE AND BECOME FAMILIAR WITH CONDITIONS SHALL NOT RELIEVE CONTRACTOR OR A SUBCONTRACTOR FROM FURNISHING MATERIALS OR COMPLETING THE WORK IN ACCORDANCE WITH PLANS AND OTHER CONTRACT DOCUMENT AT NO ADDITIONAL COST.</p> <p>3. CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO CONDITIONS THEY CAN DETERMINE BY EXAMINING THE SITE AND PLANS AND OTHER CONTRACT DOCUMENTS.</p> <p>4. CONTRACTOR OR SUBCONTRACTOR WILL NOT BE GIVEN EXTRA PAYMENT FOR WORK RELATED TO AMBIGUITIES, INCONSISTENCIES OR ERRORS WITHIN CONTRACT DOCUMENTS, OR BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS, WHEN SUCH AMBIGUITIES, INCONSISTENCIES, OR ERROR ARE KNOWN TO CONTRACTOR OR SUBCONTRACTOR BEFORE CONTRACT EXECUTION UNLESS CONTRACTOR OR SUBCONTRACTOR HAS NOTIFIED THE OWNER IN WRITING OF SUCH CONDITION BEFORE EXECUTION OF AGREEMENT BETWEEN OWNER AND CONTRACTOR.</p> <p>5. CONTRACTOR SHALL ACCEPT THE SITE AND THE EXISTING SURROUNDING IN THE CONDITIONS IN WHICH THEY EXIST AT THE TIME CONTRACTOR IS GIVEN ACCESS TO BEGIN THE WORK.</p> <p>6. DAMAGE CAUSED BY CONTRACTOR TO EXISTING STRUCTURES, AND WORK BY OTHERS SHALL BE REPAIRED BY CONTRACTOR AND LEFT IN AS GOOD CONDITIONS AS EXISTING BEFORE THE DAMAGING, UNLESS SUCH EXISTING WORK IS SHOWN TO BE REMOVED OR REPLACED BY NEW WORK.</p> <p>7. COMPLETE DOCUMENTATION OF EXISTING CONSTRUCTION IS NOT AVAILABLE, DIMENSIONS, LAYOUT, EXISTING MATERIALS, AND CONCEALED CONDITIONS HAVE NOT NECESSARILY BEEN VERIFIED AND AREA NOT REPRESENTED TO BE ACCURATE BEYOND THE LEVEL NECESSARY TO DEFINE THE APPROXIMATE SCOPE OF SURFACE RENOVATION AND SYSTEM REPLACEMENT.</p> <p>8. IMMEDIATELY UPON ENTERING THE SITE FOR PURPOSES OF BEGINNING WORK, LOCATE GENERAL REFERENCE POINTS AND LAY OUT WORK AND BE RESPONSIBLE FOR LINES, ELEVATION AND MEASUREMENTS, AND WORK EXECUTED UNDER THIS CONTRACT. EXERCISE PROPER PRECAUTIONS TO VERIFY FIGURES SHOWN ON PLANS BEFORE LAYING OUT WORK.</p> <p>9. CONTRACTOR AND EACH SUBCONTRACTOR, BEFORE STARTING WORK, SHALL VERIFY GOVERNING DIMENSION AT THE SITE INCLUDING ELEVATIONS AND SHALL EXAMINE ADJOINING WORK ON WHICH CONTRACTORS OR SUBCONTRACTORS WORK ARE IN ANY WAY DEPENDENT. NO "EXTRA" OR ADDITIONAL COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCES BETWEEN ACTUAL MEASUREMENTS AND DIMENSIONS SHOWN. SUBMIT DIFFERENCES DISCOVERED DURING THE WORK TO THE OWNER FOR INTERPRETATION BEFORE PROCEEDING WITH ASSOCIATED WORK.</p> <p>10. NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.</p> <p>11. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECTS AND HIS CONSULTANTS FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHTETS.</p> <p>12. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO: CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.</p> <p>13. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WILL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.</p>	<p>GENERAL: G-000 TITLE SHEET G-100 ACCESSIBILITY, CODE ANALYSIS, EXIT PLAN</p> <p>ARCHITECTURAL: A-001 SITE PLAN A-051 SITE DETAIL A-201 EXISTING & DEMOLITION PLAN, FLOOR PLAN</p>

PROJECT TEAM	VICINITY MAP
<p>CLIENT: Ms. Angela Phan 3059 Ruby Ave San Jose, CA 95135 TEL: (408) 334-5949 Email: angelaphan26@gmail.com</p> <p>ARCHITECT: IDA, inc. John Ha, AIA 510 Lawrence Expressway, #201 Sunnyvale, CA 94085 TEL: (408) 245-0991 FAX: (408) 245-0711 Email: Contact@IDA88.com Email: JohnHaHa99@gmail.com</p>	

TABULATION	SCOPE OF WORK
<p>ASSESSOR'S PARCEL NUMBER: 414-04-009</p> <p>ZONING: PD-PLANNED DEVELOPMENT</p> <p>TOTAL SUITE AREA: PREVIOUS BARBER: 660 FT² PREVIOUS SPA: 1830 FT²</p> <p>CONSTRUCTION TYPE: V-B</p> <p>BUILDING USE GROUP: B</p> <p>PREVIOUS USE: SERVICES</p> <p>PROPOSED USE: MEDICAL OFFICE</p> <p>PARKING: SEE SITE PLAN (A-001)</p> <p>BUILDING SETBACK: EXISTING</p> <p>FLOOD ZONE: NO</p> <p>HISTORIC: NO</p> <p>FIRE SPRINKLER SYSTEM: NO</p> <p>NUMBER OF STORIES: 1</p>	<p>PROPOSING A NEW MEDICAL OFFICE TO OCCUPY 1402 CAMDEN AVE (PREVIOUS BARBER SHOP), AND 1408 CAMDEN AVE (PREVIOUS DAY SPA).</p>

CODE COMPLIANCE	SYMBOL	PARCEL MAP
<p>CA. BUILDING CODE: 2022</p> <p>CA. FIRE CODE: 2022</p> <p>CA. ELECTRICAL CODE: 2022</p> <p>CA. MECHANICAL CODE: 2022</p> <p>CA. PLUMBING CODE: 2022</p> <p>CA. RESIDENTIAL CODE: 2022</p> <p>CA. ENERGY CODE: 2022</p>	<p>DOOR NUMBER DOOR SCHEDULE HARDWARE GROUP</p> <p>WINDOW TYPE</p> <p>REVISION DELTA</p> <p>WORK POINT, DATUM POINT OR CONTROL POINT</p> <p>ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN</p> <p>SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN</p> <p>DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN</p> <p>ROOM FINISH SCHEDULE ROOM NO. FLOOR SCHEDULE BASE SCHEDULE CEILING SCHEDULE WALL SCHEDULE</p>	

REVISION TABLE						
<table border="1"> <thead> <tr> <th>NO.</th> <th>REFERENCE DATE</th> <th>NOTES</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1.24.2023</td> <td>ARCHITECTURAL REVISION #1</td> </tr> </tbody> </table>	NO.	REFERENCE DATE	NOTES	1	1.24.2023	ARCHITECTURAL REVISION #1
NO.	REFERENCE DATE	NOTES				
1	1.24.2023	ARCHITECTURAL REVISION #1				

*SYMBOLS, LEGENDS, AND ABBREVIATIONS LISTED ARE FOR GENERAL USE. DISREGARD THOSE WHICH ARE NOT USED ON THE DRAWINGS

DOOR SCHEDULE

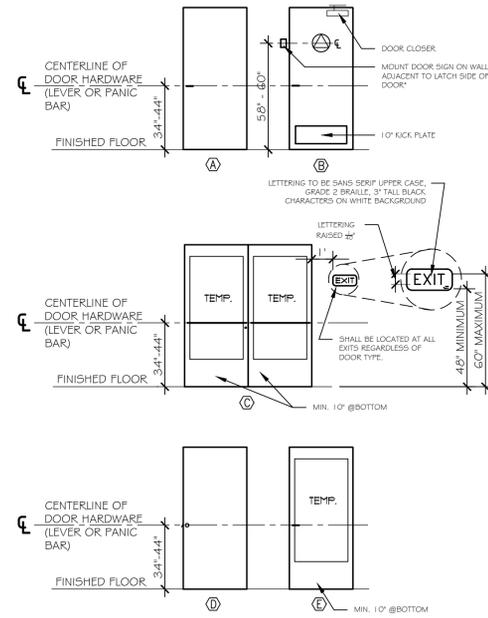
DOOR & HARDWARE SCHEDULE										
EN	ROOM NAME	DOOR No.	DOOR TYPE	WIDTH	HEIGHT	LOCK SET	DR. HANDLE TYPE	CLOSER	ACCESSIBILITY	PANIC HARDWARE
E	ENTRANCE	001	C	6'-0"	6'-8"	YES	LEVER	YES	YES	NO
E	LAUNDRY	101	A	3'-0"	6'-8"	NO	LEVER	NO	YES	NO
E	LAUNDRY EXIT	201	A	3'-0"	6'-8"	NO	LEVER	NO	YES	NO
N	STAFF LOUNGE	102	A	3'-0"	6'-8"	NO	LEVER	NO	YES	NO
E	(E) ADA RESTROOM	103	A	3'-0"	6'-8"	NO	LEVER	YES	YES	NO
N	EXAM ROOM 1	104	A	3'-0"	6'-8"	YES	LEVER	NO	YES	NO
E	EXAM ROOM 1 EXIT	204	E	3'-0"	6'-8"	YES	LEVER	NO	YES	NO
N	EXAM ROOM 2	105	A	3'-0"	6'-8"	YES	LEVER	NO	YES	NO
N	EXAM ROOM 3	106	A	3'-0"	6'-8"	YES	LEVER	NO	YES	NO
E	EXAM ROOM 3 EXIT	206	E	3'-0"	6'-8"	YES	LEVER	NO	YES	NO
N	EXAM ROOM 4	107	A	3'-0"	6'-8"	YES	LEVER	NO	YES	NO
N	EXAM ROOM 5	108	A	3'-0"	6'-8"	YES	LEVER	NO	YES	NO
N	EXAM ROOM 6	109	A	2'-8"	6'-8"	YES	LEVER	NO	YES	NO
N	EXAM ROOM 7	110	A	2'-8"	6'-8"	YES	LEVER	NO	YES	NO
E	PHOTO ROOM	111	A	2'-8"	6'-8"	NO	LEVER	NO	YES	NO
N	PROCESSING ROOM	112	A	3'-0"	6'-8"	NO	LEVER	NO	YES	NO
E	OFFICE	113	A	3'-0"	6'-8"	YES	LEVER	NO	YES	NO
N	PROCESSING ROOM/STAFF LOUNGE	114	A	3'-0"	6'-8"	NO	LEVER	NO	YES	NO

DOOR HARDWARE NOTES:
 1. THE EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5LBS FOR INTERIOR DOORS.
 2. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, THUMB TURN, OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED, UNLESS ANY OF THE EXCEPTIONS TO THE SECTION 1008.1.9.4 ARE MET.
 3. DOOR HARDWARE AT REQUIRED EXIT DOORS ALLOWS DOORS TO BE OPENED FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR EFFORT. 2022 CBC 1010.1.9.5
 4. ALL DOORS ARE EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE CENTERED BETWEEN 34"-44" ABOVE FLOOR. CBC 2022 1026A.6.
 5. ALL DOORS LEADING TO THE 1-HOUR FIRE RATED CORRIDOR MUST BE EQUIPPED WITH FIRE RATED HARDWARE.
 6. DOOR HARDWARE ARE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE HAND. CBC 11B-404.2.7 AND 11B-3.9.4
 7. DOOR THRESHOLDS SHALL BE 1/2" HIGH MAXIMUM PER CBC 11B-404.2.5.

TACTILE SIGNAGE REQUIREMENTS
 1. SIGNAGE SHALL BE INSTALLED ON LATCH SIDE OF DOOR, OR IF NO SPACE ON THE NEAREST WALL PREFERABLE TO THE RIGHT.
 2. SIGNAGE MUST BE LOCATED SO THAT A PERSON CAN APPROACH WITHIN 3" WITHOUT OBSTRUCTION
 3. SIGNAGE SHALL HAVE A NON-GLARE FINISH WITH A CONTRASTING BACKGROUND.
 4. SIGNAGE TO HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 3:5 & 1:1
 5. CHARACTER STROKE WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 & 1:1:0
 6. SIGNAGE SHALL CONTRAIN GRADE 2 BRAILLE WITH DOTS 5 O.C. & 5/8" SPACE BETWEEN CELLS RAISED 3/8".
 7. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES (1219 MM) MINIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST BRAILLE CELLS AND 60 INCHES (1524 MM) MAXIMUM ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. CBC 11B-703.4.1

DOOR TYPES

- (A) TYPICAL, DOUBLE OR SINGLE, SOLID CORE DOOR, PAINTED
- (B) HOLLOW CORE, STEEL FRAME W/ 1'0"x24" 5.5. KICK PLATE
*WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, PLACE SIGN ON NEAREST ADJACENT WALL
- (C) (2) TEMPERED GLASS CORE, ALUMINUM FRAME
- (D) TYPICAL, SLIDING SOLID CORE DOOR, PAINTED

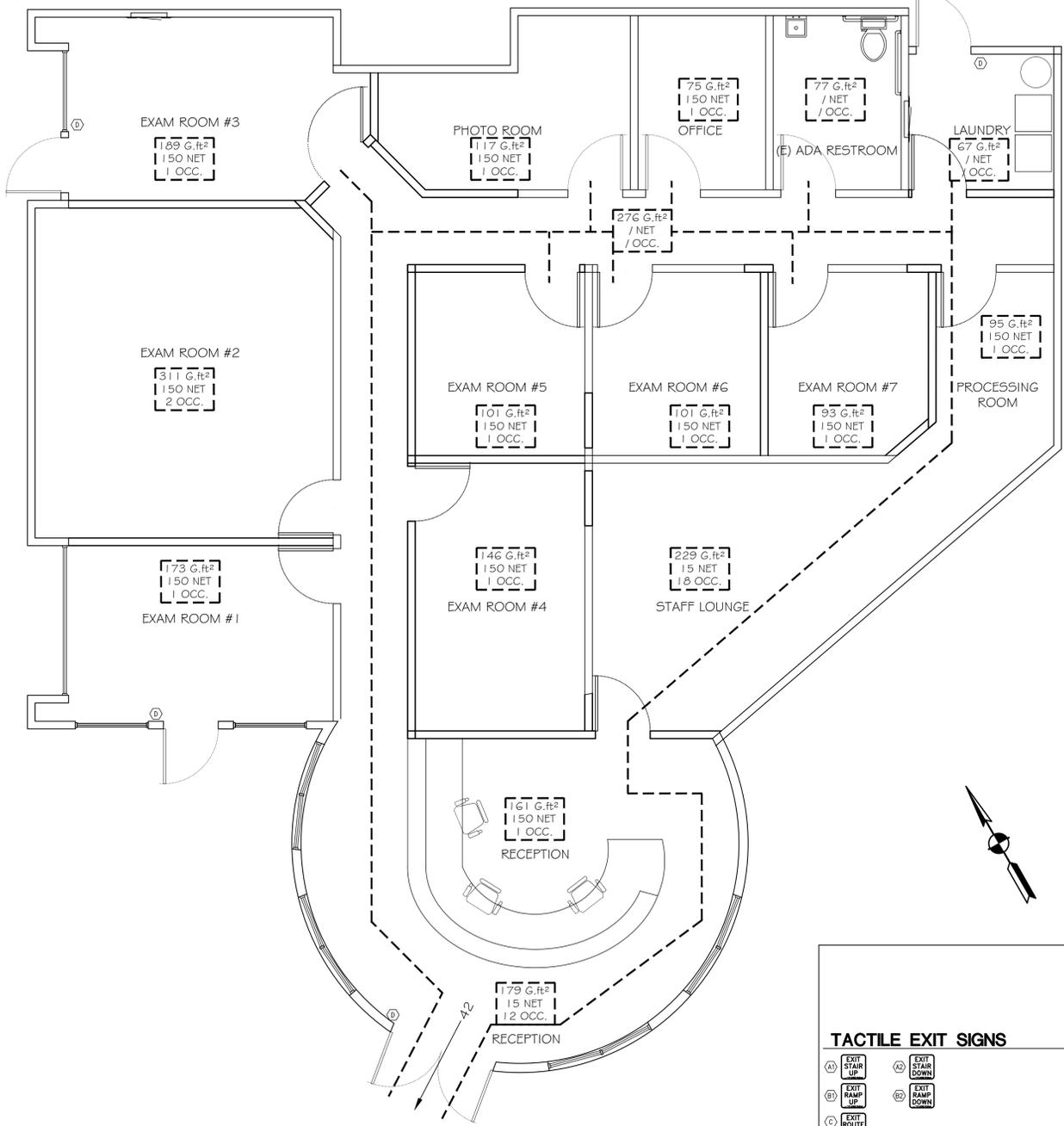


DOOR AND HARDWARE SCHEDULE

NTS 2
=1'-0"

OCCUPANT LOAD CALCULATION					
ROOM	NO.	FACTOR	FUNCTION	GROSS ft²	OCC.
ENTRANCE	001	150 GROSS	ASSEMBLY	179	12
RECEPTION	002	15 GROSS	BUSINESS	161	1
HALLWAY	003	TEMPORARY	EGRESS	276	0
LAUNDRY	101	TEMPORARY	TEMPORARY	67	0
STAFF LOUNGE	102	TEMPORARY	ASSEMBLY	229	18
(E) ADA RESTROOM	103	TEMPORARY	TEMPORARY	77	0
EXAM ROOM 1	201	150 GROSS	BUSINESS	173	1
EXAM ROOM 2	202	150 GROSS	BUSINESS	311	2
EXAM ROOM 3	203	150 GROSS	BUSINESS	189	1
EXAM ROOM 4	204	150 GROSS	BUSINESS	146	1
EXAM ROOM 5	205	150 GROSS	BUSINESS	101	1
EXAM ROOM 6	206	150 GROSS	BUSINESS	101	1
EXAM ROOM 7	207	150 GROSS	BUSINESS	93	1
PHOTO ROOM	208	150 GROSS	BUSINESS	117	1
PROCESSING ROOM	209	150 GROSS	BUSINESS	95	1
OFFICE	210	150 GROSS	BUSINESS	75	1
OCCUPANT TOTAL:				2390	42

EXIT PLAN



TACTILE EXIT SIGNS

- (A) EXIT STAIR UP
- (B) EXIT STAIR DOWN
- (C) EXIT RAMP UP
- (D) EXIT RAMP DOWN
- (E) EXIT ROUTE
- (F) EXIT
- (G) MAXIMUM OCCUPANCY

LEGEND

- WINDOWS PER PLAN
- WALL PER PLAN
- - - - - EXIT PATH
- 4 EXITING OCCUPANTS
- - - - - OCCUPANCY AREA BOUNDARY
- EMERGENCY LIGHT W/ BATTERY BACK-UP
- EXIT SIGN
- (E) 2-A-10-BC FIRE EXTINGUISHER

***FIRE EXTINGUISHER NOTES:**
 ALL PORTIONS OF THE BUILDING SHALL BE WITHIN 75'-0" OF TRAVEL DISTANCE OR 3,000 ft². THE MINIMUM FIRE EXTINGUISHER SHALL BE 2A-10BC (CFC 906.1(1), 906.3.1) MOUNTED AT +36" TO 48" A.F.F.

1/4" =1'-0" 1

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CITY APPROVAL STAMP

REVISIONS:

SHEET TITLE:
 FLOOR PLAN

DATE: 2-9-2023 PROJECT NO.: 23-1895
 SCALE: AS SHOWN DRAWN: JHV/L

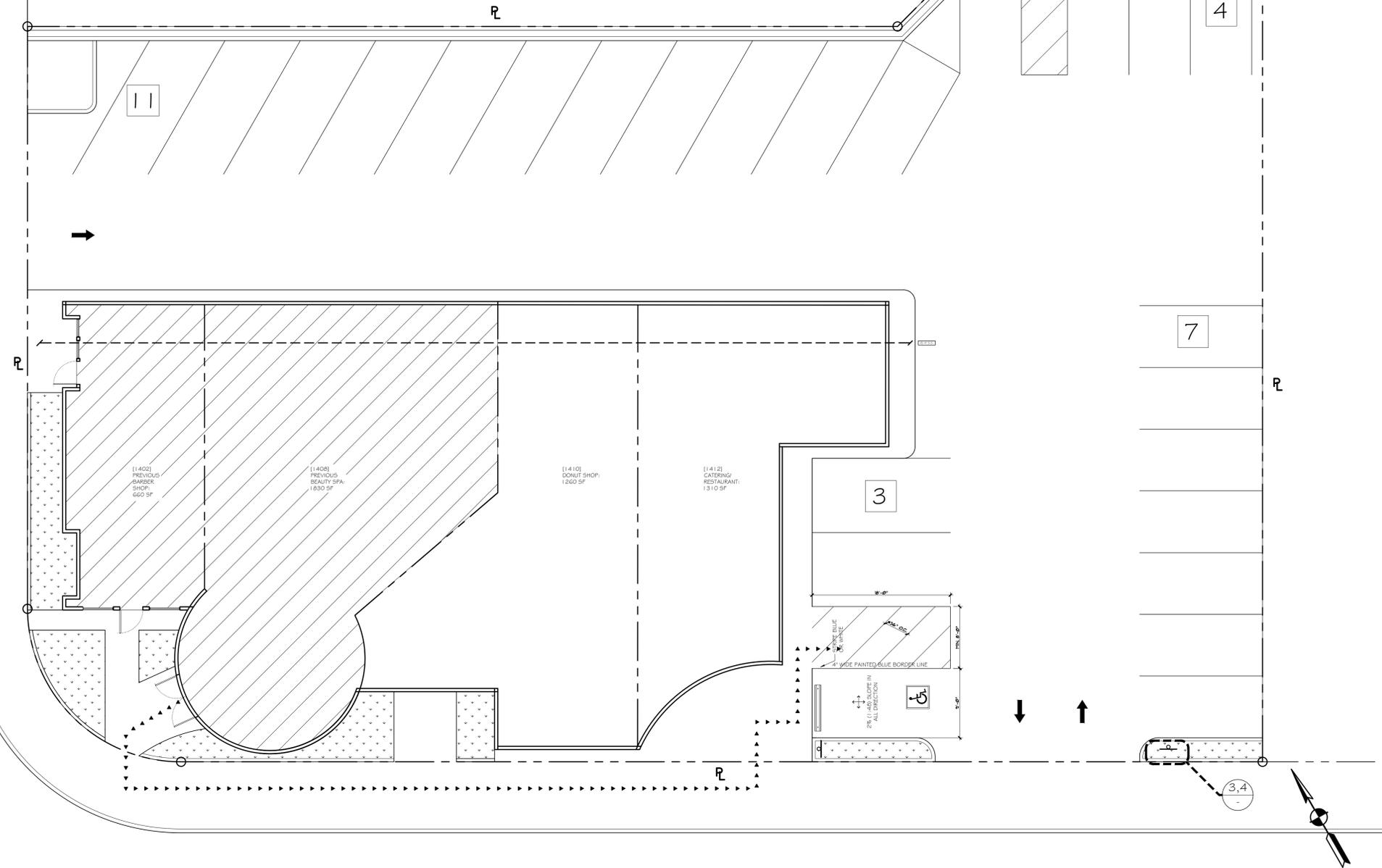
SHEET: **G-101**
 0 OF ___ SHEETS

GENERAL NOTES

- All work shall be performed in accordance with National, State and Local regulations. Secure required permits. Arrange with owner and/or appropriate persons for service shutoffs before beginning work. Identify and coordinate all existing hardware and devices scheduled to remain or to be salvaged for reuse, verify with owner.
- All bidders submitting proposals for this work shall first examine the site (premises) and all such conditions as may affect the work under this contract. Failure to examine site will not relieve the successful bidder from necessity to provide work that may be required to complete the work without additional cost to the owner.
- Work to be performed under this contract shall include all demolition, site work, building construction, and improvements to the property designated in the construction documents. The intent of the construction contract is to provide a Conditional Use Permit for Eric Lee M.D. + Associates Medical Office completely in all respect with all work performed in a quality and workmanlike manner with the building ready for occupancy when construction is complete.
- Survey existing site and building conditions with compliance of ADA regulations and upgrade as required per codes. The contractor shall bring to the attention of the owner any conflicts, omissions, deletions, or errors in the drawings and/or specifications, which do not conform to the applicable zoning, code and other use regulations and/or to the AMERICANS WITH DISABILITIES ACT and regulations promulgated thereunder. The contractor shall not be liable to the owner or the architect for any damages resulting from any such errors except that contract shall be fully and exclusively liable upon failure to put architect on notice of said conflicts, omissions, deletions or errors.
- Contractor shall remove from the job site all crates, packing, debris, etc., from kitchen equipment. He shall broom clean the building interior daily. At the completion of the project, the contractor shall leave the building cleaned dust free, clean all glass, replace any broken glass, remove stains, spots, marks and dirt from decorated work, clean hardware, remove paint spots from all surfaces, clean fixtures, and wash all tile floors.
- If there is a conflict and/or errors between the plans and specifications, the specifications shall take precedence unless specifically indicated otherwise by the owner or owner's representative. It shall be the contractor's responsibility to notify the owner of the owner's agent of any conflicts, omissions deletions or errors in the plans or specifications encountered during the bidding period and the course of the construction before continuing the work affected.
- Coordinate all demolition operations with owner for shutdown periods and sequence of work. Protect existing hardware and devices to remain and assure continuing facility operations in general.
- Remove all demolished materials not scheduled for salvage and reuse, or those to become property of the owner, local authorities, or utility company, from the site and dispose of in accordance with local regulations. Confirm with the owner, proper authorities or utility company all items to be salvaged and returned to the appropriate party. All items to be turned over to the owner, local authorities or utility company, shall be protected during demolition and removal and shall be delivered to the appropriate party in an undamaged condition.
- All items scheduled to be salvaged for reuse, shall be removed with care, stored and protected from damage until salvaged items are incorporated in the new work. It shall be the contractor's responsibility to replace and/or restore any items scheduled for salvage and reuse that are damaged during the course of contract operations the owner shall determine the suitability of these salvaged items for reuse in the work.
- Patch/repair/refinish all surfaces exposed by demolition work to match and align with existing adjacent surfaces scheduled to remain and prepare to receive new finishes as specified. Work shall include all labor and materials required rendering substrates acceptable and receiving new finishes as specified in accordance with manufacturers written recommendations.
- When walls, columns or other supporting and/or bracing elements are scheduled for demolition, temporary structural supports and bracing for the adjacent construction shall be provided and maintained until the permanent supporting structures are in place and able to support imposed loads.
- Terminate, cap and remove all abandoned electrical conduit, wiring boxes, switches, etc, plumbing, and piping, fixtures, etc, HVAC, ductwork, controls, piping, etc. as required and per code.
- It is the responsibility of the G.C. to coordinate delivery, uncrating, positioning, final hook-up and removal of trash of all owners supplied kitchen equipment.
- All kitchen equipment to be installed as per manufacturers specifications. Refer to equipment plan for location and schedule.
- Verify electrical, gas, and water capacity for new equipment requirements.
- Existing construction and finishes to be protected from damage. Responsible party to match surrounding surfaces shall repair all materials damaged.
- G.C. to prepare all surfaces to receive new finishes per manufacturer specifications. Refer to exterior and interior finish schedules for material and color selections.
- The contract documents call for certain items to be supplied by the owner or others and installed by the general contractor. Other items are to be furnished and installed by the owner or others, the general contractor shall coordinate the work of all trades and cooperate in the preparations of surfaces, dimensions and utilities for work to be performed by the owner or others. Subcontractors installing mechanical, electrical and plumbing services for food service equipment to be installed by the owner or by others are cautioned that the rough-in dimensions shown on the plans are extremely critical. Error in locating services shall be corrected by the contractor performing the rough-in work at no additional cost to the owner.

PARKING CALCULATION				
	SQUARE FOOTAGE	USAGE	SPACES REQ. PER USAGE (C.M.C. TABLE 3-1)	SPACES REQUIRED
EXISTING	1310	CATERING/ RESTAURANT	1 space for each 3 seats (indoor or outdoor), plus 1 space for each 200 sq. ft. of non-dining floor area.	8
EXISTING	1260	DONUT SHOP	1 space for each 250 sq. ft. of gross floor area, but not less than 2 spaces per use.	5
PROPOSING	2490	MEDICAL OFFICE	1 space for each 200 sq. ft. of gross floor area.	12
TOTAL REQUIRED				25
TOTAL PROVIDED				25

PARKING CALCULATION (E) TO (N) COMPARISON				
	SQUARE FOOTAGE	USAGE	SPACES REQ. PER USAGE (C.M.C. TABLE 3-1)	SPACES REQUIRED
EXISTING	660	BARBER	1 space for each 250 sq. ft. of gross floor area, but not less than 2 spaces per use.	3
EXISTING	1830	DAY SPA	1 space for each 250 sq. ft. of gross floor area, but not less than 2 spaces per use.	7
PROPOSING	2490	MEDICAL OFFICE	1 space for each 200 sq. ft. of gross floor area.	12
DIFFERENCE				2



REFERENCE SITE PLAN

- ▶▶▶▶ ACCESSIBLE PATH OF TRAVEL
*TRAVEL DIRECTION 5% MAX.
*CROSS SLOPE 2% MAX
- 🌳 EXISTING TREES TO REMAIN
- ▨ EXISTING LANDSCAPE AREA

1/16" = 1'-0" 1

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CITY APPROVAL STAMP

REVISIONS:

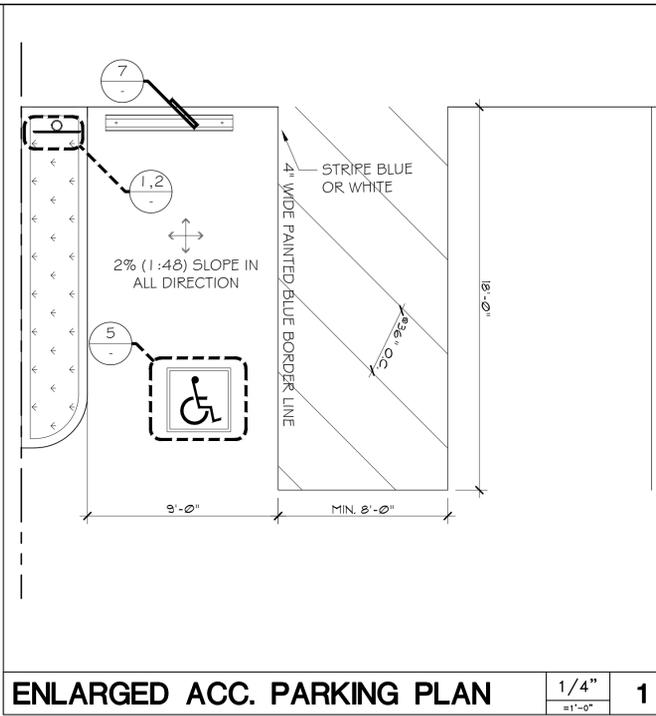
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REFERENCE SITE PLAN

DATE: 2-9-2023 PROJECT NO.: 23-1895

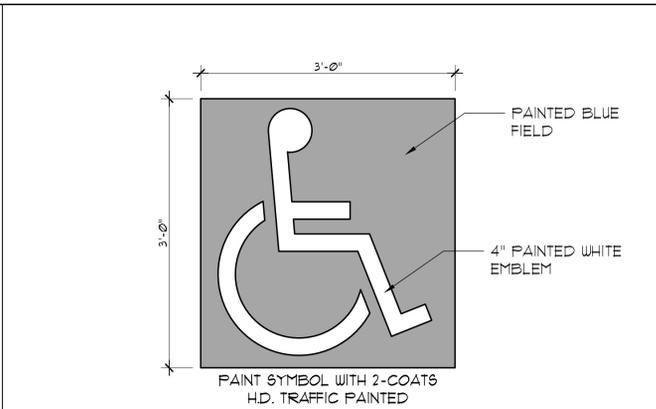
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SHEET: **A-001**

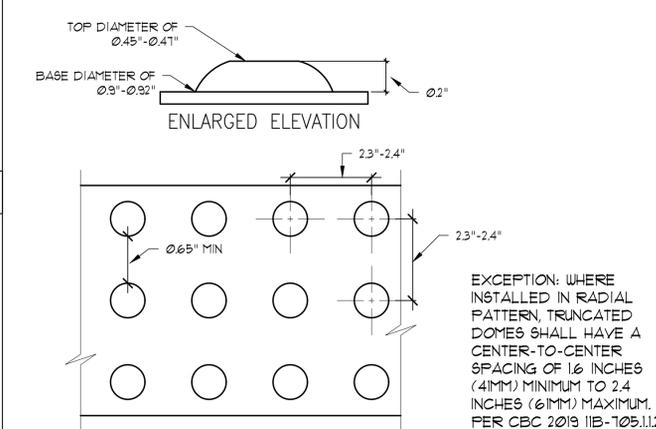
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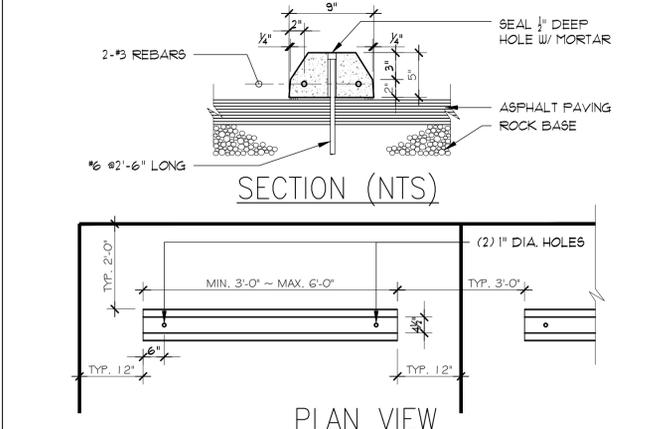
ENLARGED ACC. PARKING PLAN 1/4" = 1'-0" 1



INTERNATIONAL ACC. SYMBOL 1" = 1'-0" 5



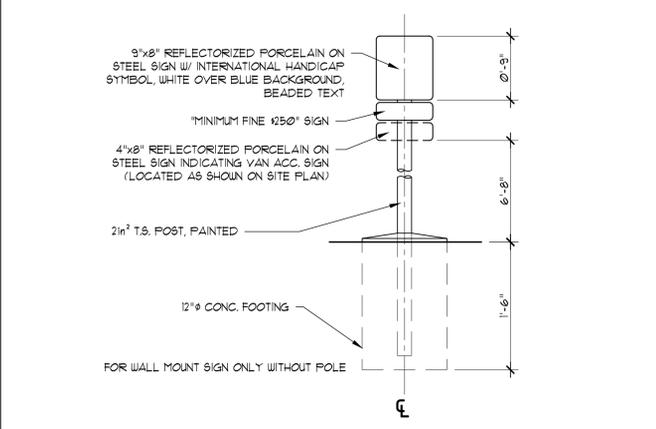
TRUNCATED DOME DETAIL 5" = 1'-0" 6



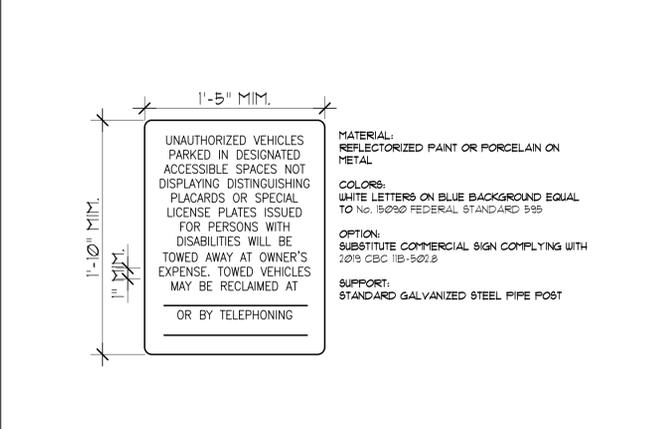
TYP. WHEEL STOP 1/2" = 1'-0" 7



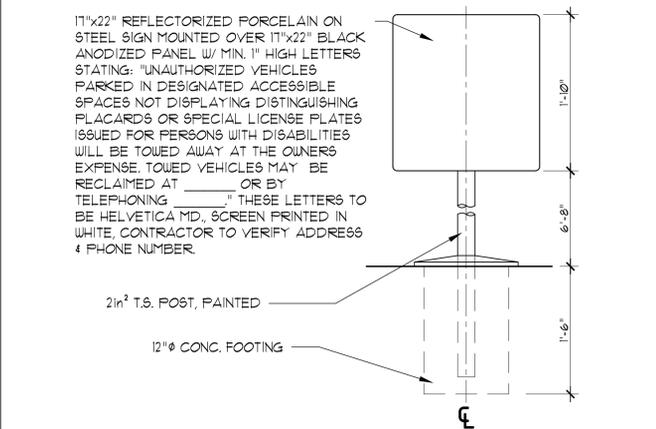
ACCESSIBLE PARKING SIGN 1.5" = 1'-0" 1



ACCESSIBLE PARKING POST 1" = 1'-0" 2



TOW AWAY SIGN 1.5" = 1'-0" 3



TWO AWAY POST 1" = 1'-0" 4

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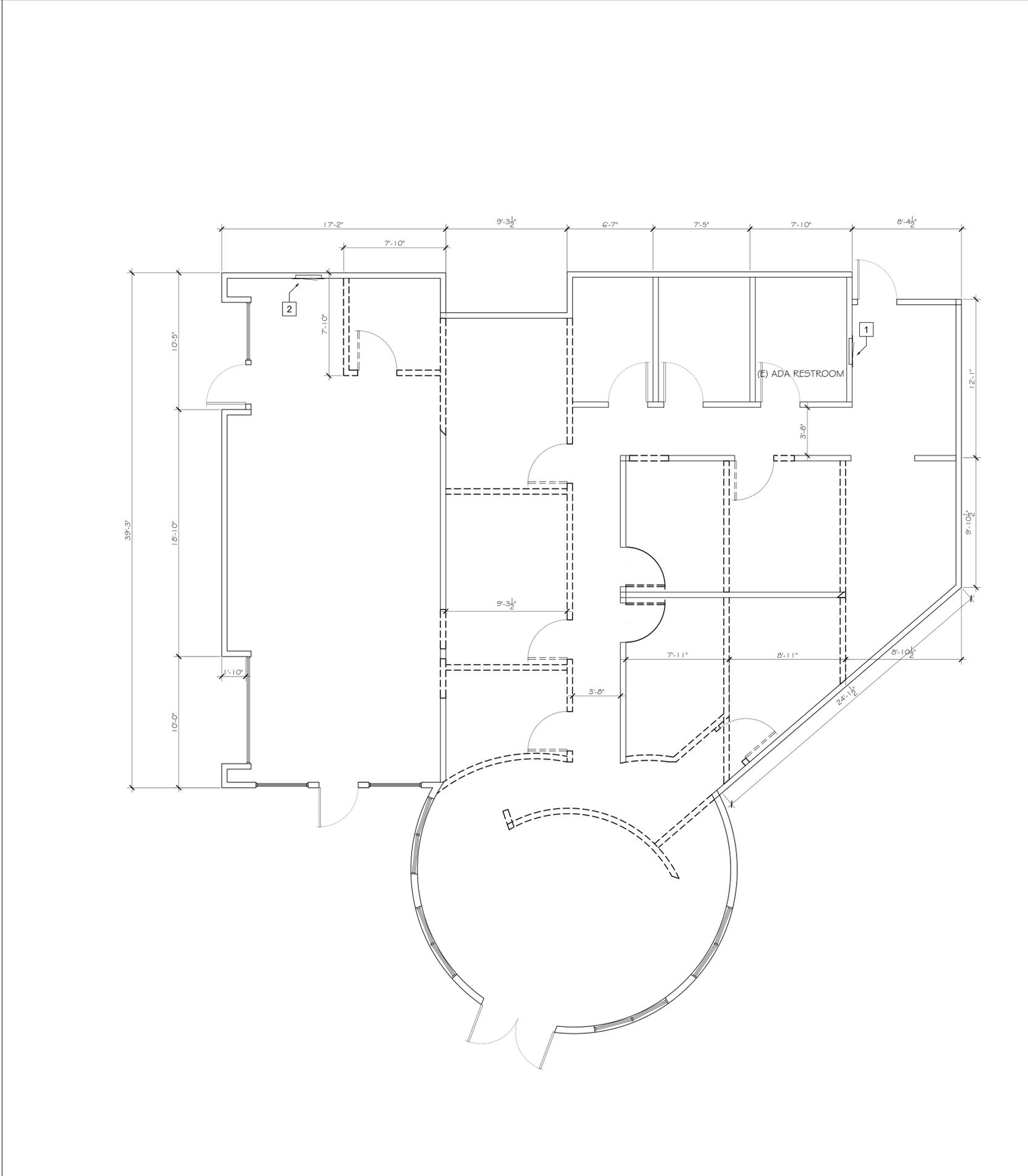
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SCALE: AS SHOWN DRAWN: JHV/L

SHEET

A-051

0 OF ___ SHEETS



KEY NOTES

- 1 (E) PANEL 'A' - 200A ELECTRICAL PANEL
- 2 (E) PANEL 'B' - 100A ELECTRICAL PANEL

FLOOR LEGEND

- ==== (E) WINDOW TO REMAIN
- ==== WINDOWS TO BE REMOVED AND SALVAGED OR RECYCLED UNLESS NOTED OTHERWISE
- ==== (E) ITEMS TO REMAIN, REPAIR OR REPAINT IF REQUIRED
- ITEMS TO DEMOLISHED, IF NOTED, IT SHALL BE SALVAGED OR RECYCLED
- ==== 3-5/8" x 25 GA. METAL STUDS @ 24" O.C. W/ 5/8" GYP. BD. BOTH SIDES. * USE 20 GA. METAL STUD FOR WALLS EXCEED 14'-0" IN HEIGHT
- ==== TYPICAL STUD WALLS WITH ADDITIONAL SOUND INSULATION
- (E) EXTERIOR WALL: 2X4 WOOD STUD @ 16" O.C. W/ 5/8" THICK GYP. BOARD INTERIOR SIDE, 7/8" CEMENT PLASTER OVER PAPER BACKED LATH OVER 3/8" CDX PLYWOOD, TYP.



EXISTING AND DEMO FLOOR PLANS

NTS
=1'-0"

1

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SHEET

A-101

0 OF ___ SHEETS

GENERAL NOTES

WATER FIXTURES SHALL FOLLOW CGBC 4.303.1 - 4.303.2
 - WATER CLOSETS = 1.28 GPF
 - SHOWERS = 1.6 GPM
 - LAVATORIES = 1.2 GPM
 - KITCHEN FAUCETS = 1.8 GPM

ALL EXHAUST FANS ARE EQUIPPED WITH BACKDRAFT DAMPERS

ALL PROPOSED HOSE BIBS TO HAVE NON-REMOVABLE BACKFLOW DEVICE

GENERAL CONTRACTOR TO DISCUSS WITH THE OWNER TO CHOOSE ALL CABINET DESIGNS, SIZE, DIMENSIONS, AND ETC.

NEW FURNACE FILTER SHALL PROVIDE A MINIMUM OF MERV-13 AS REQUIRED BY SECTION 150.0 (M) 1.2, CCEC

KEY NOTES

1 (E) PANEL 'A' - 200A ELECTRICAL PANEL

2 (E) PANEL 'B' - 100A ELECTRICAL PANEL

FLOOR LEGEND

==== (E) WINDOW TO REMAIN

≡≡≡≡ WINDOWS TO BE REMOVED AND SALVAGED OR RECYCLED UNLESS NOTED OTHERWISE

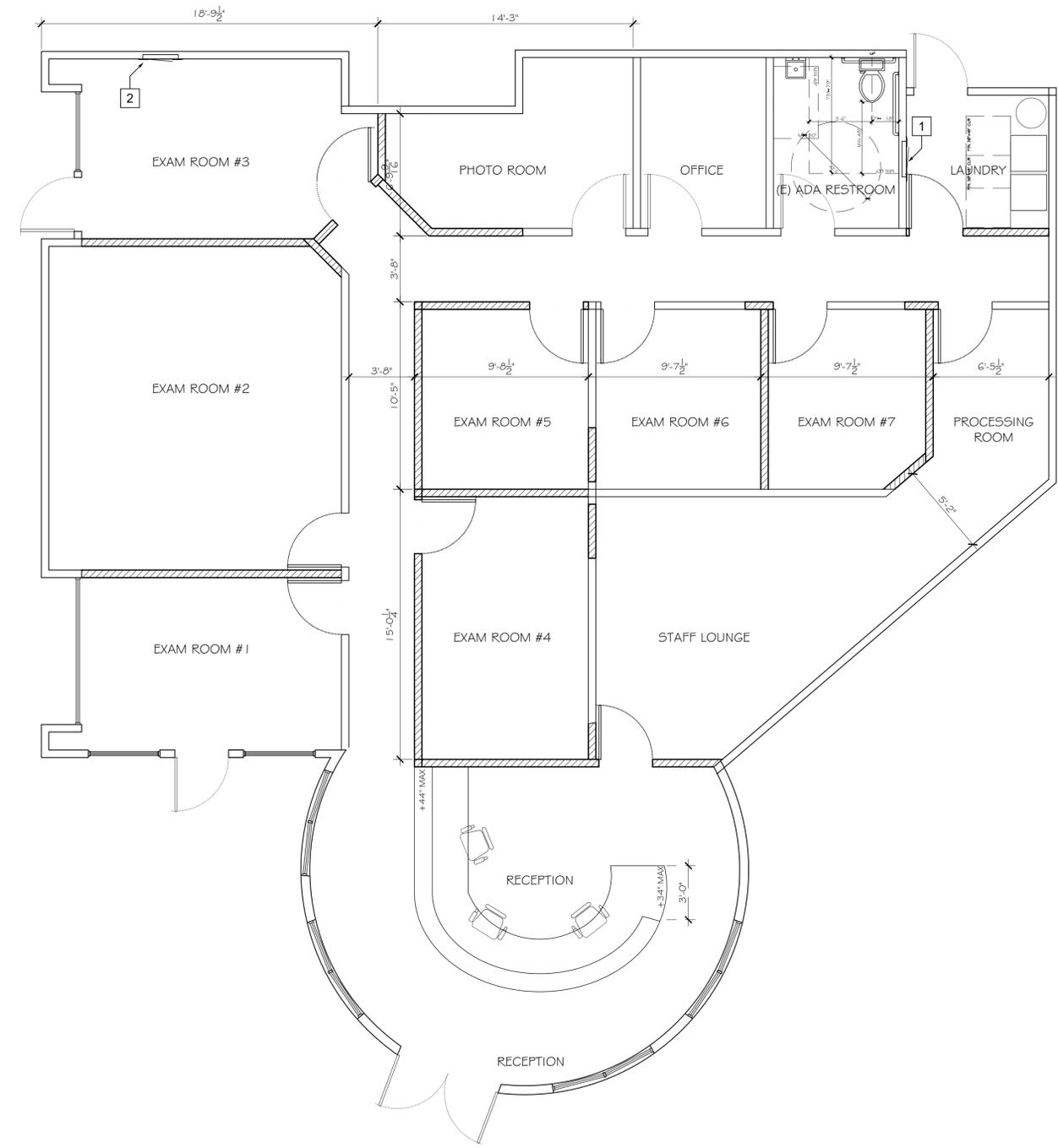
— (E) ITEMS TO REMAIN, REPAIR OR REPAIR IF REQUIRED

--- ITEMS TO DEMOLISHED, IF NOTED, IT SHALL BE SALVAGED OR RECYCLED

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PROPOSED FLOOR PLAN

1/4" = 1'-0" 1

CITY APPROVAL STAMP

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SHEET

A-201

OF SHEETS