

Location of Proposed Project




 City of Campbell
 70 North First Street
 Campbell, CA 95008 –1423

Project Image



Courtesy Notice

Dear Campbell Resident,

April 6, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 48 Civic Center Dr

Zoning | Area Plan: C-3 | DDP

Neighborhood Association(s): DCNA

Council District: 3

File No.: PLN-2023-59

APN: 279-41-062

Applicant: Out of the Barrel, Inc

Property Owner: Out of the Barrel, Inc

Application Type: Conditional Use Permit with Site and Architectural Review

Project Planner: Daniel Fama, Senior Planner

Email Contact: danielf@campbellca.gov

Project Description:

Construction of a new 2,933 square-foot single-story building, with a rooftop deck including a 320 square-foot prefab kitchen module, and a ground-level patio, for use as a taproom/ restaurant with on-site alcohol sales and "late-night" operational hours (11:00 PM - 12:00 AM public closing time)

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



FIELD TO BARREL TAPROOM CAMPBELL PLANNING PACKAGE

48 CIVIC CENTER DR,
CAMPBELL, CA 95008

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW 2933 SF SINGLE-STORY + OCCUPIABLE ROOF BUILDING, WITH A 320 SF PREFAB KITCHEN MODULE ON THE ROOF LEVEL. THE CURRENT SITE IS UNDEVELOPED AND WILL BE COMPLETELY REWORKED TO ACCOMMODATE THE PROPOSED STRUCTURE ALONG WITH ACCESSIBLE PEDESTRIAN ACCESS AND AN ACCESSWAY SERVING AN INTERNAL TRASH ENCLOSURE.

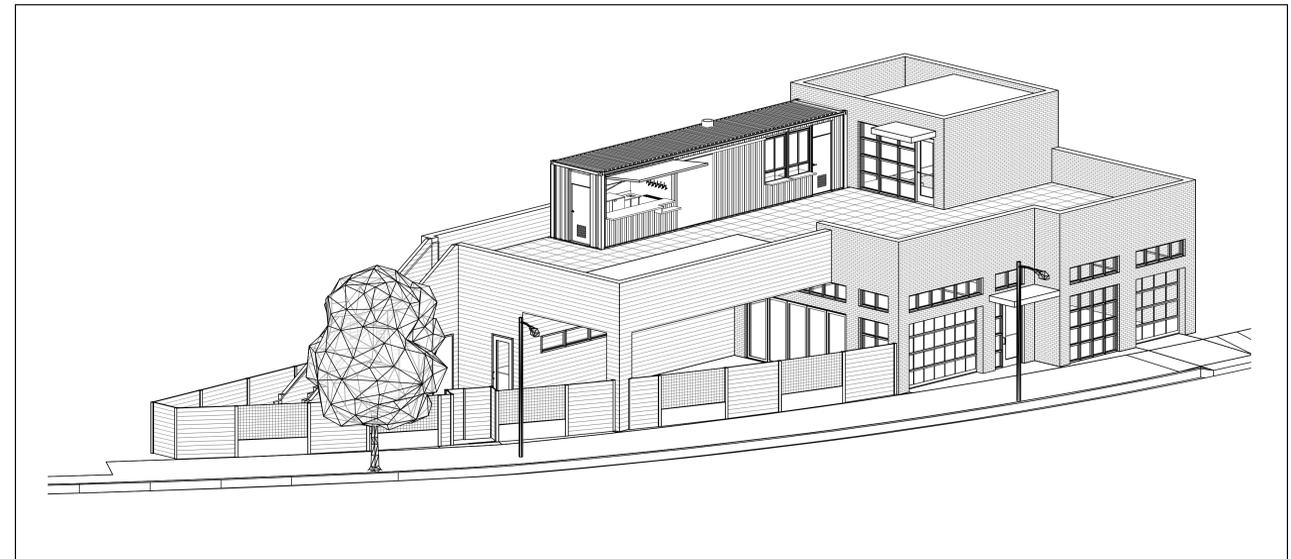
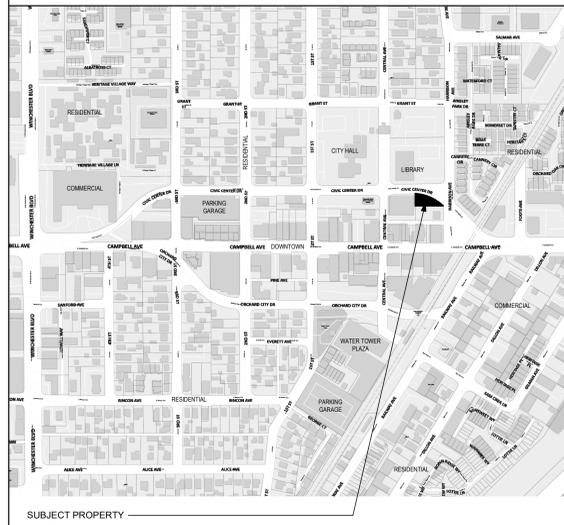
THE PROPOSED BUILD OUT WILL CONSIST OF A HIGH-END TAPROOM (SIMILAR TO A WINE TASTING BAR) WITH A SMALL FOOD PREPARATION COMPONENT, WITH INTERIOR AND EXTERIOR SEATING AREAS, A ROOFTOP PATIO, ACCESSIBLE RESTROOMS, AND ALL ATTENDANT BACK-OF-HOUSE COMPONENTS AND REQUIREMENTS.

NO UTILITIES CURRENTLY SERVICE THE SITE, AND FULL SERVICES INCLUDING WATER, SEWER, AND ELECTRICITY WILL NEED TO BE PROVIDED.

THE PROJECT PROPOSES NO ONSITE PARKING.

THE PROJECT SITS ON THE GATEWAY OF CAMPBELL'S DOWNTOWN AND WILL SUPPORT THE CITY'S INTENTIONS AND GOALS OF THE DOWNTOWN DEVELOPMENT PLAN.

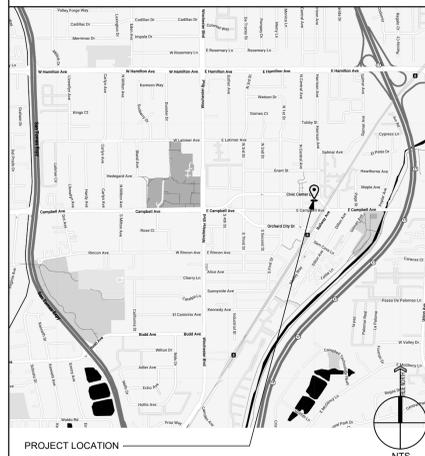
VICINITY MAP



PROJECT DATA

SITE AREA:	0.10 ACRES
	4,480 SF
PROPOSED BUILDING AREA:	
FIRST FLOOR:	2,485 SF
ROOF PENTHOUSE:	448 SF
PREFAB KITCHEN MODULE:	320 SF
TOTAL:	3,253 SF
PROPOSED CONSTRUCTION TYPE:	V-B
PROPOSED STORIES:	1
PROPOSED OCCUPANCY:	A-2
BUILDING CODE:	2022 CBC
FIRE CODE:	2022 CFC
MECHANICAL CODE:	2022 CMC
ELECTRICAL CODE:	2022 CEC
PLUMBING CODE:	2022 CPC
ENERGY CODE:	2022 CA ENERGY CODE
GREEN CODE:	2022 CAL GREEN BLDG CODE
SPRINKLERED:	FULLY
PARCEL NUMBER:	279-41-062
ZONING CLASSIFICATION:	C-3
PROPOSED SITE COVERAGE:	0.70
PROPOSED FAR:	0.73

PROJECT LOCATION



DRAWING INDEX

TITLE

PT.01 TITLE SHEET

ARCHITECTURAL

- PA0.0 EXISTING SITE PLAN
- PA0.1 PROPOSED SITE PLAN
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- PA3.0 PROPOSED SECTIONS
- PA3.1 PROPOSED EXTERIOR ELEVATIONS
- PA3.2 PROPOSED COLOR STREETScape
- PA3.3 PROPOSED AXONOMETRIC
- PA3.4 PROPOSED RENDERINGS
- PA3.5 PROPOSED FINISHES
- PA4.0 REFERENCE SITE PHOTOS

CIVIL

- C0.0 COVER SHEET
- C1.0 SITE PLAN
- C2.0 GRADING PLAN
- C2.1 SITE SECTIONS AND ELEVATION PROFILE
- C3.0 DRAINAGE AND UTILITY PLAN
- C3.1 STORMWATER CONTROL PLAN
- C3.2 STORMWATER CONTROL PLAN
- C4.0 EROSION CONTROL PLAN
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- C5.1 UTILITY DETAILS
- C5.2 UTILITY DETAILS

LANDSCAPE

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- L2.0 LANDSCAPE HYDROZONE PLAN

ELECTRICAL

- E1.0 PROPOSED PHOTOMETRIC STUDY

LOGISTICS

- GC1.0 SITE LOGISTICS PLAN

JURISDICTION APPROVAL STAMPS

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650.967.6600
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Contact: Jose Cotto
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180 Garlic Ave
Morgan Hill, CA 95037
408.807.8619
Contact: Evan Jaques
Evan@outofthebarrelbeer.com

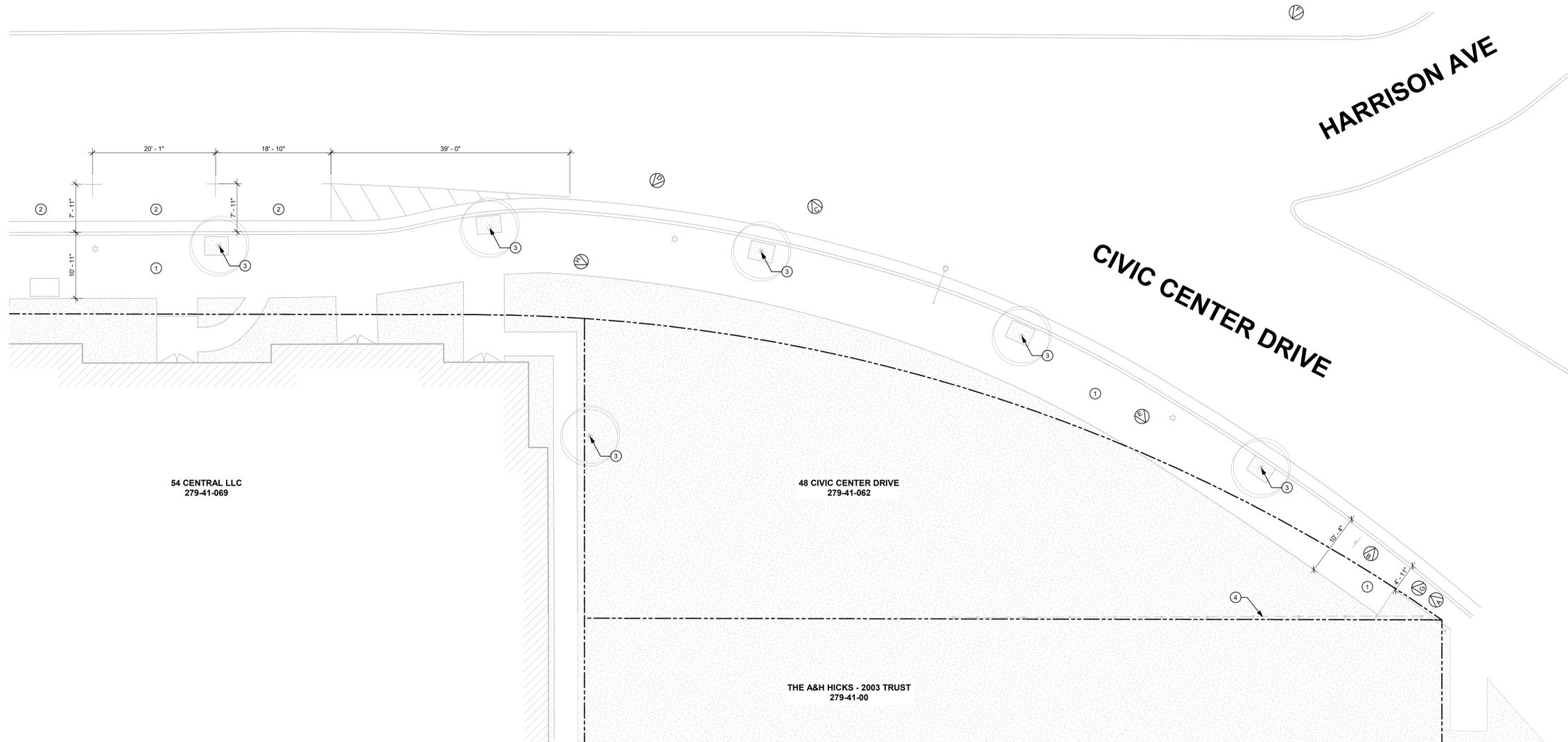
FIELD TO BARREL TAPROOM CAMPBELL

48 CIVIC CENTER DR,
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TITLE SHEET
PT.01



LEGEND	
DRAWING CONVENTIONS	
	CONSTRUCTION TO REMAIN (DASHED LINEWORK)
	NEW CONSTRUCTION (SOLID LINEWORK)
LEGEND	
	PROPERTY LINE
	ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY TO BUILDING
	LANDSCAPE AREA
	VIEW DIRECTION
	EXTERIOR ELEVATION NUMBER
	SHEET WHERE OCCURS
	PHOTOGRAPH LOCATION (REFER TO SHEET PA0.0)

SITE PLAN REMARKS	
①	EXISTING SIDEWALK.
②	EXISTING PARKING.
③	EXISTING TREE.
④	EXISTING FENCE.

EXISTING SITE PLAN
1/8" = 1'-0"

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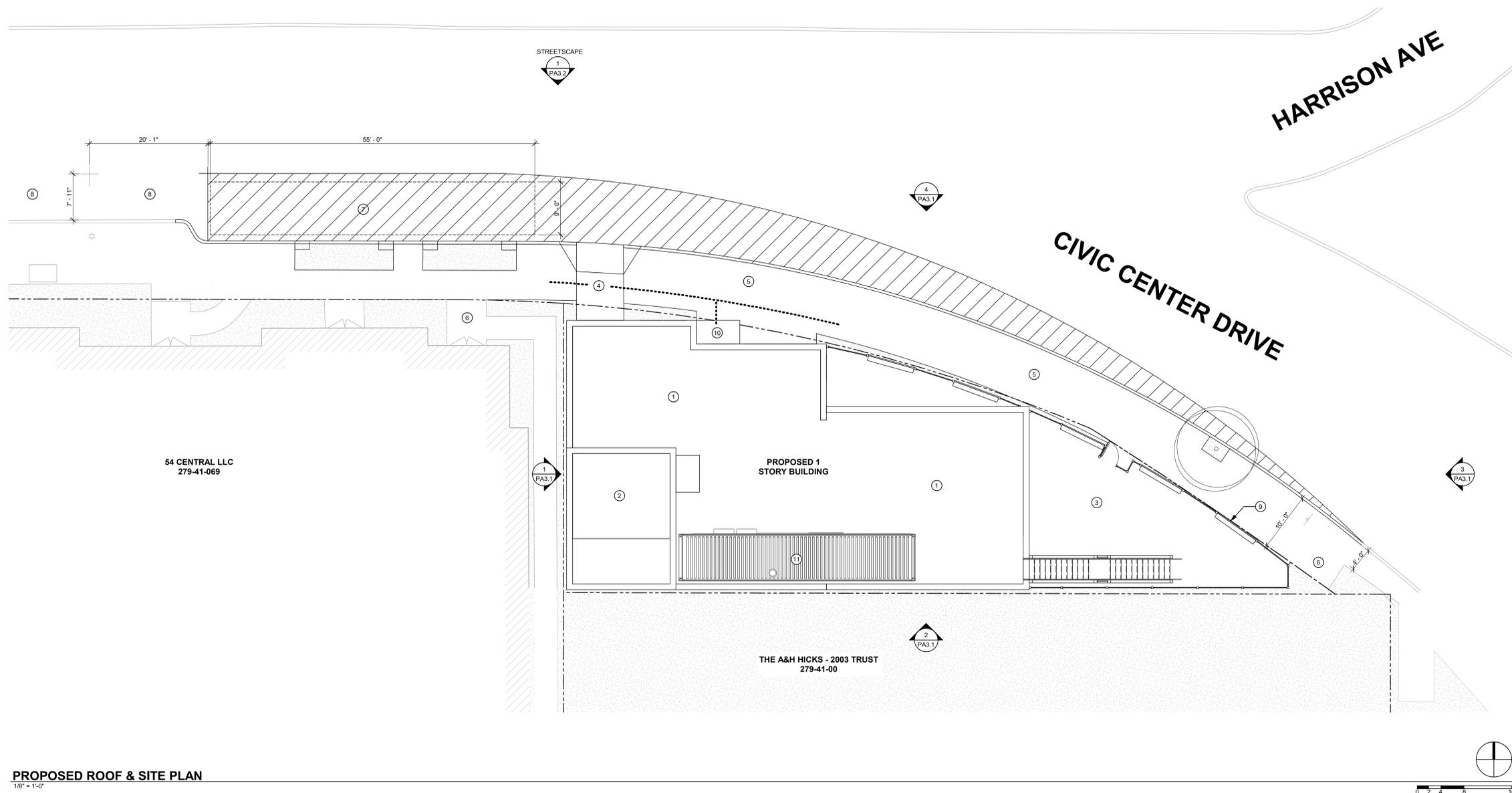
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**EXISTING SITE PLAN
 PA0.0**



LEGEND	
DRAWING CONVENTIONS	
	EXISTING CONSTRUCTION TO REMAIN (DASHED LINEWORK)
	NEW CONSTRUCTION (SOLID LINEWORK)
LEGEND	
	PROPERTY LINE
	ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY TO BUILDING
	LANDSCAPE AREA
	VIEW DIRECTION EXTERIOR ELEVATION NUMBER
	SHEET WHERE OCCURS
	PHOTOGRAPH LOCATION (REFER TO SHEET PA4.0)

SITE PLAN REMARKS	
1	ROOFTOP PATIO. REFER TO SHEET PA2.1
2	ELEVATOR AND STAIR CORE. REFER TO SHEET PA2.1
3	OPEN PATIO. REFER TO SHEET PA2.1
4	NON-VEHICULAR DELIVERY & REFUSE PATH.
5	REVISED SIDEWALK & CURBLINE.
6	EXISTING SIDEWALK.
7	NEW LOADING ZONE WITH REVISED CURBLINE.
8	EXISTING PARKING.
9	REVISED PROPERTY LINE FOLLOWING EXISTING SIDEWALK.
10	ENTRY CANOPY.
11	PREFAB KITCHEN AND TAP SERVARY.

PROPOSED ROOF & SITE PLAN
1/8" = 1'-0"

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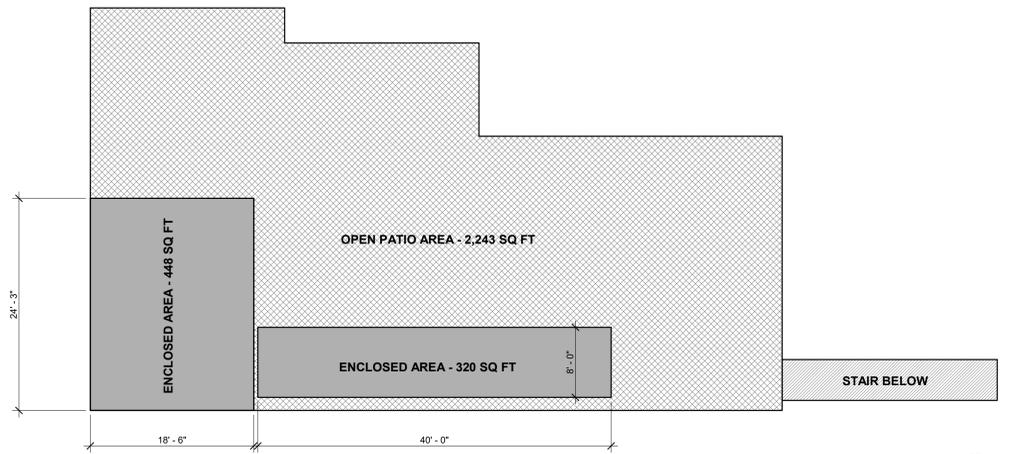
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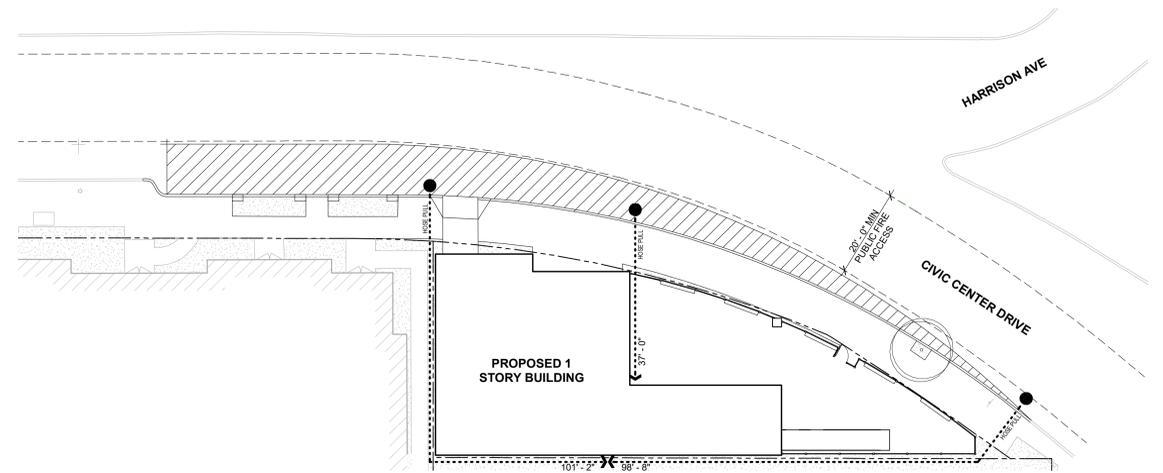
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PROPOSED SITE PLAN
PA0.1



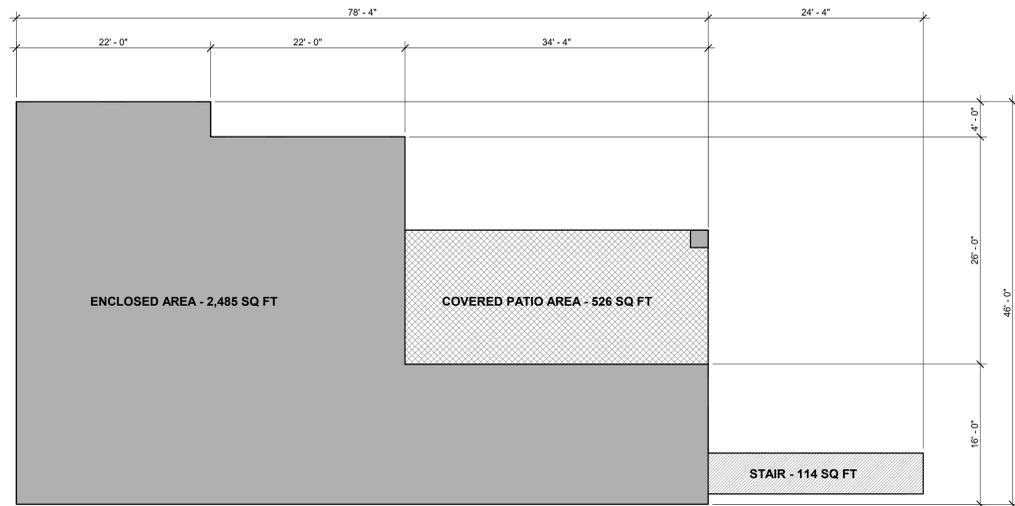
D SECOND FLOOR AREA DIAGRAM

1/8" = 1'-0"



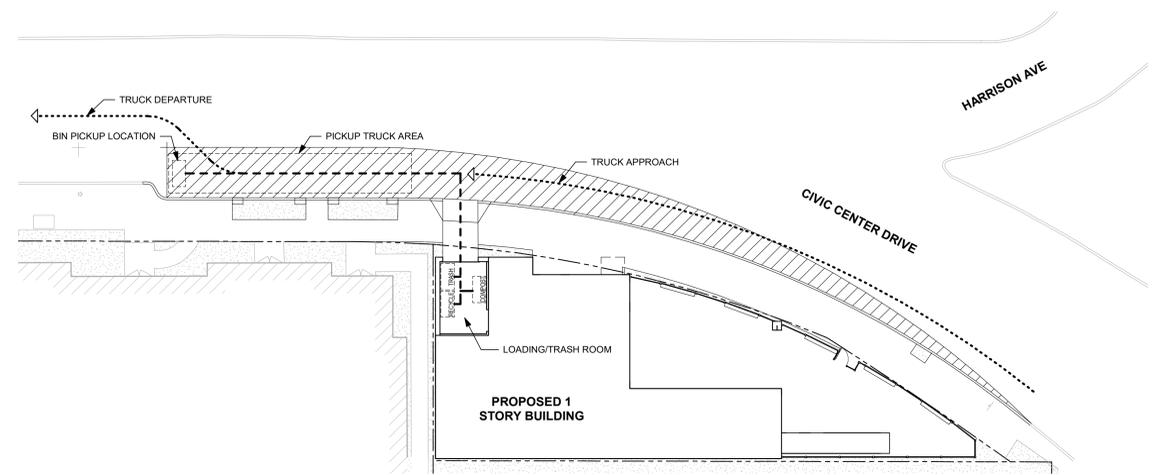
B EMERGENCY ACCESS PLAN

1/16" = 1'-0"



C FIRST FLOOR AREA DIAGRAM

1/8" = 1'-0"



A TRASH MANAGEMENT PLAN

1/16" = 1'-0"



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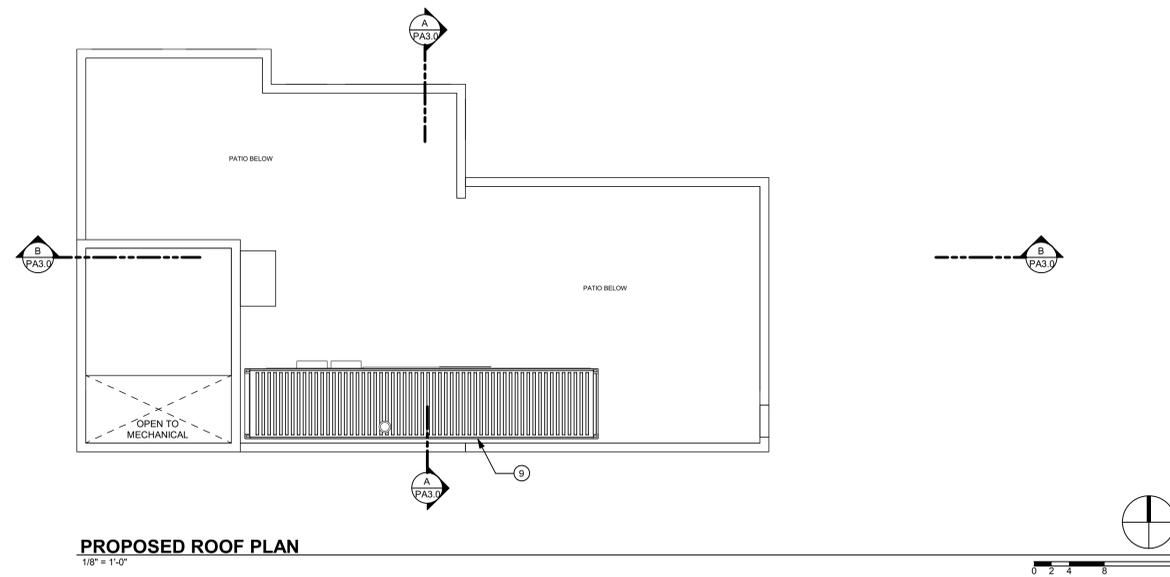
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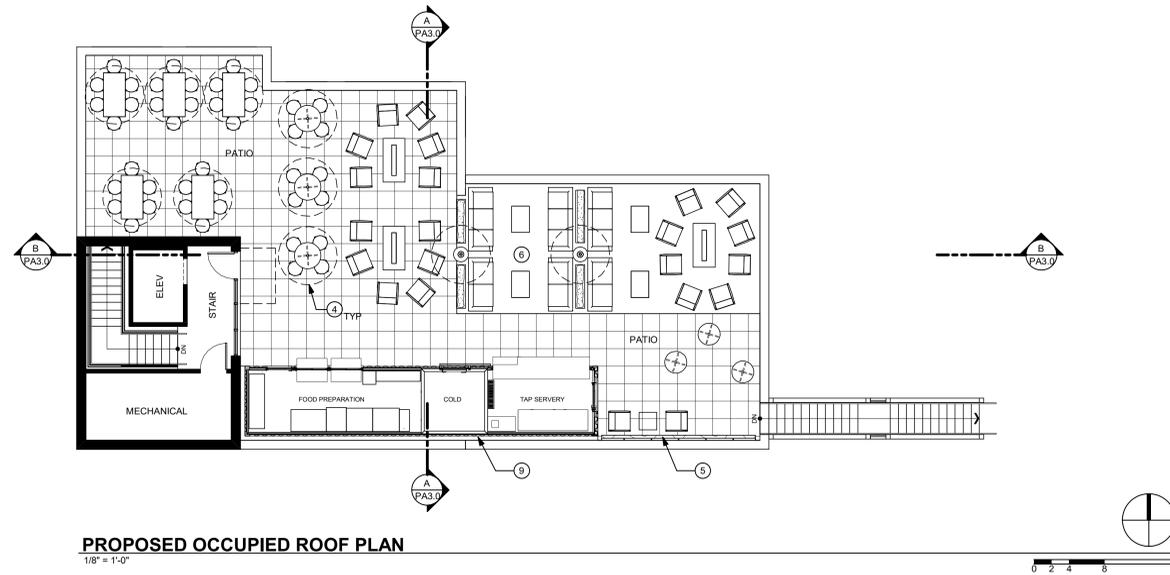
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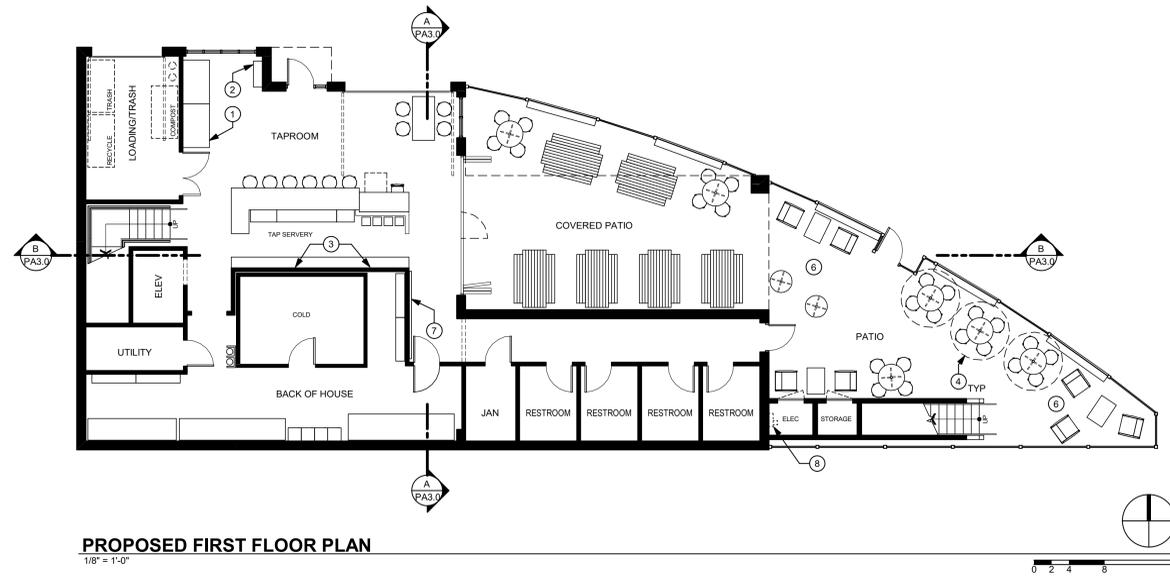
PROPOSED AREA AND ACCESS PLANS
PA0.2



PROPOSED ROOF PLAN
1/8" = 1'-0"



PROPOSED OCCUPIED ROOF PLAN
1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"

LEGEND	
DRAWING CONVENTIONS	
	<E> CONSTRUCTION TO REMAIN (DASHED LINEWORK)
	NEW CONSTRUCTION (SOLID LINEWORK)
LEGEND	
	VIEW DIRECTION
	SECTION NUMBER
	SHEET WHERE OCCURS

FLOOR PLAN REMARKS	
1	GRAB AND GO.
2	MERCHANDISE.
3	TAPS.
4	UMBRELLA.
5	PLANTED GREEN WALL ELEMENT W/ HOPS GRAPHIC.
6	ARTIFICIAL TURF.
7	HOPS GRAPHIC ON WALL.
8	PG&E METER LOCATION.
9	PREFAB KITCHEN AND TAP SERVERY.

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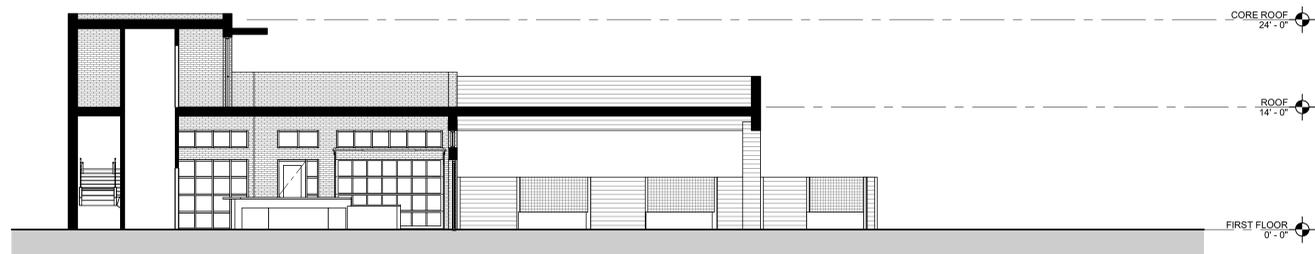
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PROPOSED FLOOR PLANS
PA2.1



B BUILDING SECTION
1/8" = 1'-0"



A CROSS SECTION
1/8" = 1'-0"

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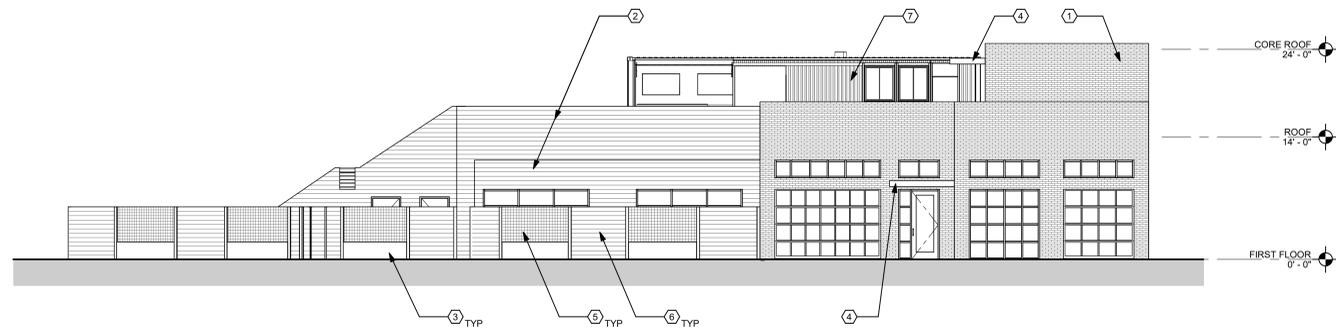
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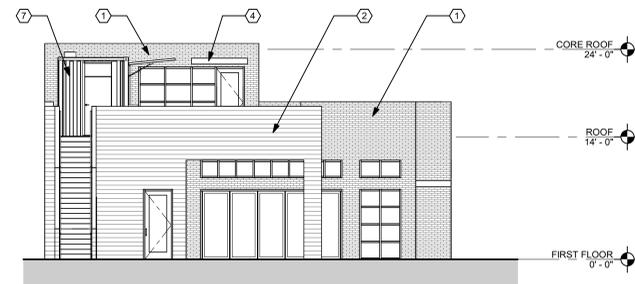
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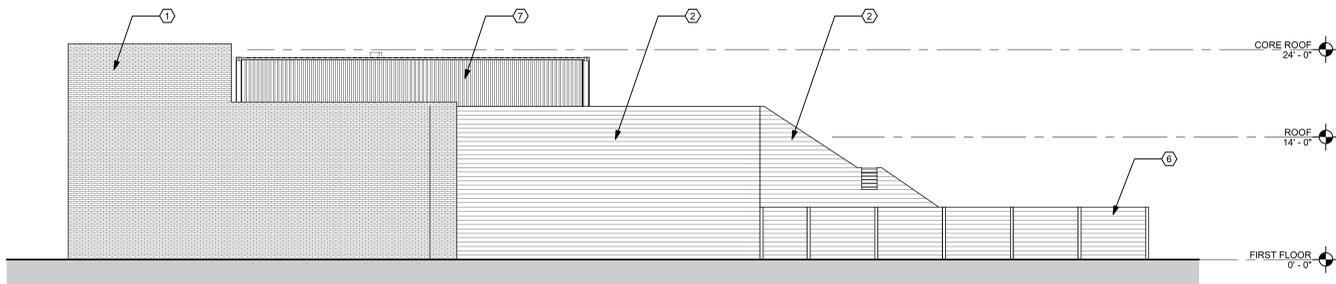
PROPOSED SECTIONS
PA3.0



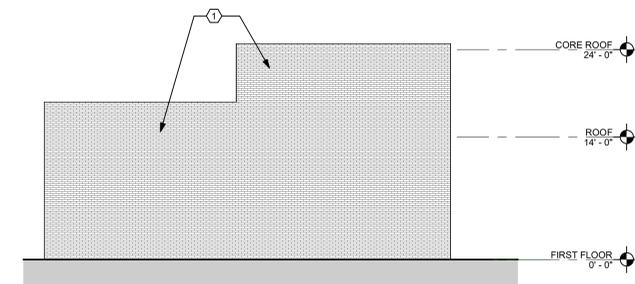
NORTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

MATERIALS

- ① BRICK.
- ② WOOD SIDING.
- ③ METAL PLANTER.
- ④ ALUMINUM COMPOSITE PANEL.
- ⑤ GREENSCREEN.
- ⑥ WOOD FENCE TO MATCH ②.
- ⑦ HIGH-GLOSS GREY PAINTED METAL.

(REFER TO MATERIAL BOARD ON SHEET PA3.4)

ELEVATION REMARKS

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PROPOSED EXTERIOR ELEVATIONS
PA3.1



1 PROPOSED STREETScape - CIVIC CENTER DRIVE
1/8" = 1'-0"



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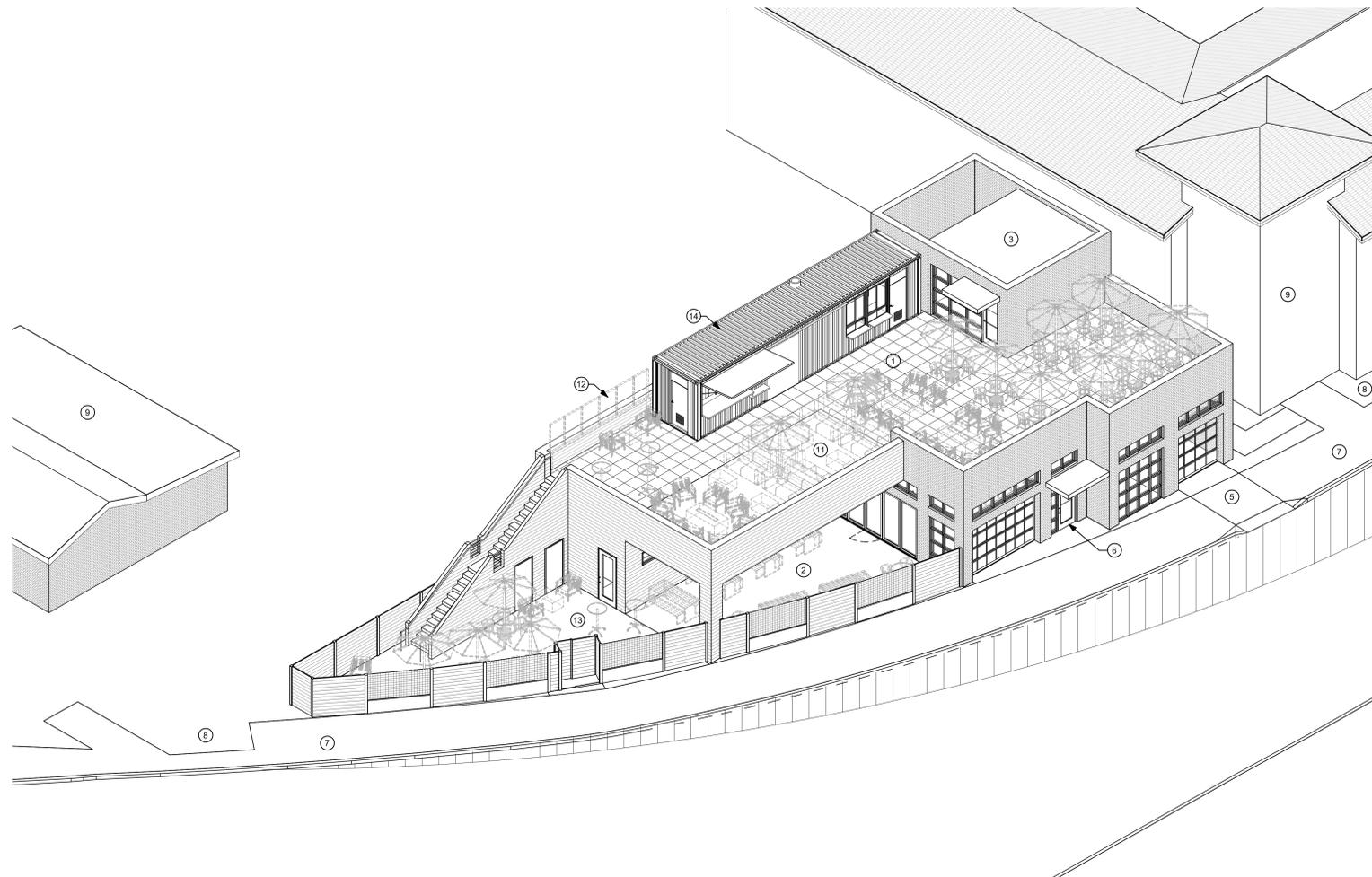
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PROPOSED COLOR STREETScape
PA3.2



PROPOSED AXONOMETRIC

AXONOMETRIC REMARKS

- ① ROOFTOP PATIO.
- ② COVERED PATIO.
- ③ ELEVATOR AND STAIR CORE.
- ④ RETRACTABLE FABRIC AWNINGS.
- ⑤ NON-VEHICULAR DELIVERY & REFUSE PATH.
- ⑥ PRIMARY BUILDING ENTRY.
- ⑦ EXISTING SIDEWALK.
- ⑧ LANDSCAPE & PLANTING.
- ⑨ EXISTING ADJACENT BUILDING.
- ⑩ PLANTERS.
- ⑪ ROOFTOP PATIO W/ ARTIFICIAL TURF.
- ⑫ PLANTED GREEN WALL ELEMENT W/ HOPS GRAPHIC.
- ⑬ PATIO W/ ARTIFICIAL TURF.
- ⑭ PREFAB KITCHEN & TAP SERVERY.

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PROPOSED AXONOMETRIC
PA3.3



VIEW ALONG CIVIC CENTER DRIVE SIDEWALK APPROACHING SITE



VIEW ALONG SIDEWALK TOWARDS HARRISON



VIEW DOWN CIVIC CENTER DRIVE AT HARRISON



VIEW FROM ACROSS CIVIC CENTER DRIVE



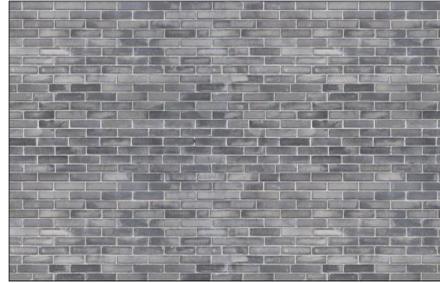
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MATERIAL BOARD



① BRICK



④ ALUMINUM COMPOSITE PANEL



② WOOD SIDING



⑥ WOOD FENCE (TO MATCH WOOD SIDING)



⑤ GREEN SCREEN



③ METAL PLANTER



⑦ HIGH GLOSS PAINTED METAL



H VIEW EAST FROM PROPERTY CORNER
12" = 1'-0"



G VIEW WEST FROM PROPERTY CORNER
12" = 1'-0"



F VIEW SOUTH FROM HARRISON
12" = 1'-0"



E VIEW OF ADJACENT PROPERTY
12" = 1'-0"



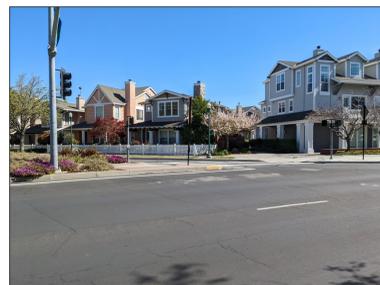
D VIEW OF ADJACENT PROPERTY
12" = 1'-0"



1 AERIAL OF PROJECT SITE
12" = 1'-0"



C VIEW OPPOSITE CIVIC CENTER
12" = 1'-0"



B VIEW OPPOSITE CIVIC CENTER
12" = 1'-0"



A VIEW DOWN CIVIC CENTER
12" = 1'-0"

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY... AND DATED... THIS REPORT IS SUPPLEMENTED BY: 1) 2) 3) 4) THESE PLANS AND SPECIFICATIONS, 5) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 6) THE COUNTY OF SANTA CLARA STANDARD SPECS, 6) STATE OF CALIFORNIA STANDARD DETAILS, 7) STATE OF CALIFORNIA STANDARD SPECIFICATIONS... IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE. 3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL. 4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR. 5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. 6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED. 7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR. 8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS. 9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT DEPARTMENT OF TRANSPORTATION TO THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 86-18). 10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE PRE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION, TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEPT IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE. 2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. 3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN. 4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS. 5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY. 6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

Table with 4 columns: LOCATION, CUT (C.Y.), FILL (C.Y.), VERT. DEPTH (FT). Rows include SITE, STREET, SIDEWALK, and GRADING TOTAL.

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE. 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADE WORK TO COORDINATE THE WORK WITH THE SOILS ENGINEER. 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE. 9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%. 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION. 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY. 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA. 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL. 14. TOTAL DISTURBED AREA FOR THE PROJECT IS 8,200 SF. 15. WDD NO. N/A. 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB. 2. ANY PROPERTY LINE STAKES OR ROAD MOMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR. 3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK. 4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. 2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR AIR QUALITY INSPECTION, AND 72 HOURS FOR INTEGRATED LANDSCAPE GUIDELINE. AND INCLUDE THE FOLLOWING: A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES. B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION. C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES. D. SIGNAGE STATING, "WARNING-- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT https://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY. 2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR. 3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

SITE PREPARATION (CLEANING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE) B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS. 2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES. 2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY. 3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE BY THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS. 4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY. 5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED. 6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL. 2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. 2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD. 3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. 4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. 6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE. 7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR. 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE OPERATIONAL IN PROPER CONDITION BEFORE USE. 9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS: - OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROAD DISTRICT OR OTHER APPLICABLE AGENCY IF REQUIRED. A. 15 MILES PER HOUR (MPH) SPEED LIMIT B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367. 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROUND COVER. 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDR. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. GROUT AND DISCHARGES SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW. 14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE. 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE. 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING: A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS. B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. 18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY. 19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLIOT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT xxxx / ORDER NO. xxx. 2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS. 3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW. 4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES. 5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___ WERE) (___ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (*). THERE (___ WERE) (___ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

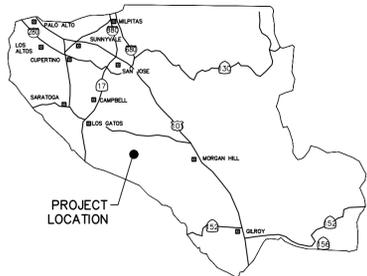
DATE: _____ SIGNATURE: _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

- 1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

DATE: _____ SIGNATURE: _____ R.C.E. NO. _____ EXPIRATION DATE: _____

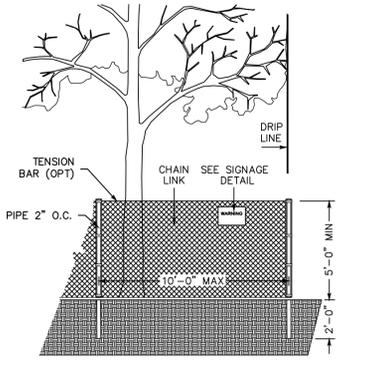


COUNTY LOCATION MAP



VICINITY MAP

LEGEND section containing symbols and descriptions for Catch Basin, Storm Drainage Pipe, Performed Subdrain Pipe, Contour (Major/Minor), Finish Grade Elevation, Proposed Asphalt/Concrete Pavement, Level Spreader, Property Line, and Slope.



EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS. 2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH / DURABILITY). 3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART. 4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION. 5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE." SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS ISSUED BY: _____ DATE: _____ ENCROACHMENT PERMIT NO. _____

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING GRADING / DRAINAGE PERMIT NO. _____ ISSUED BY: _____ DATE: _____

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED PLAN AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED: _____ FILE(S) NO. _____

DATE: _____ SIGNATURE: _____ R.C.E. NO. _____

EXPIRATION DATE: _____

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE: _____ SIGNATURE: _____ R.C.E. NO. _____ EXPIRATION DATE: _____

FIELD TO BARREL LLC 48 CIVIC CENTER DRIVE CAMPBELL, CALIFORNIA

ABBREVIATION

Table mapping abbreviations to full names for materials and construction terms, such as AC for Asphalt Concrete, BLDG for Building, and MAX for Maximum.

SCOPE OF WORK

ALL WORK MENTIONED BELOW TO BE PERFORMED: 2-STORY SINGLE FAMILY RESIDENCE, GRAVEL DRIVEWAY, DETACHED GARAGE, FIRE TRUCK TURN AROUND WITH WITH PAVERS.

- 1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLIOT DISCHARGES FROM THE SITE DURING CONSTRUCTION. 2. GRADE SITE, MOVE AND COMPACT SOILS TO THE GRADES SHOWN HEREON. 3. INSTALL DRAINAGE INLETS, PIPES, AND BIORETENTION SYSTEM. 4. HAUL OFF EXCESS MATERIAL FROM SITE. 5. CONSTRUCT DRIVEWAY. 6. INSTALL EROSION CONTROL DEVICES AS REQUIRED. 7. RESEED ALL EXPOSED AND DISTURBED AREAS IN ACCORDANCE WITH THE COUNTY SPECIFICATIONS OR BETTER.

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES. 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY. 3. THE CONTRACTOR SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL PLACE A CORNER RECORD OR RECORD OF SURVEY MONUMENT(S) IN THE SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



ENGINEER'S NAME: BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS

ADDRESS: 3949 RESEARCH PARK CT, SOQUEL, CA 95073

PHONE NO. (831) 426-3560

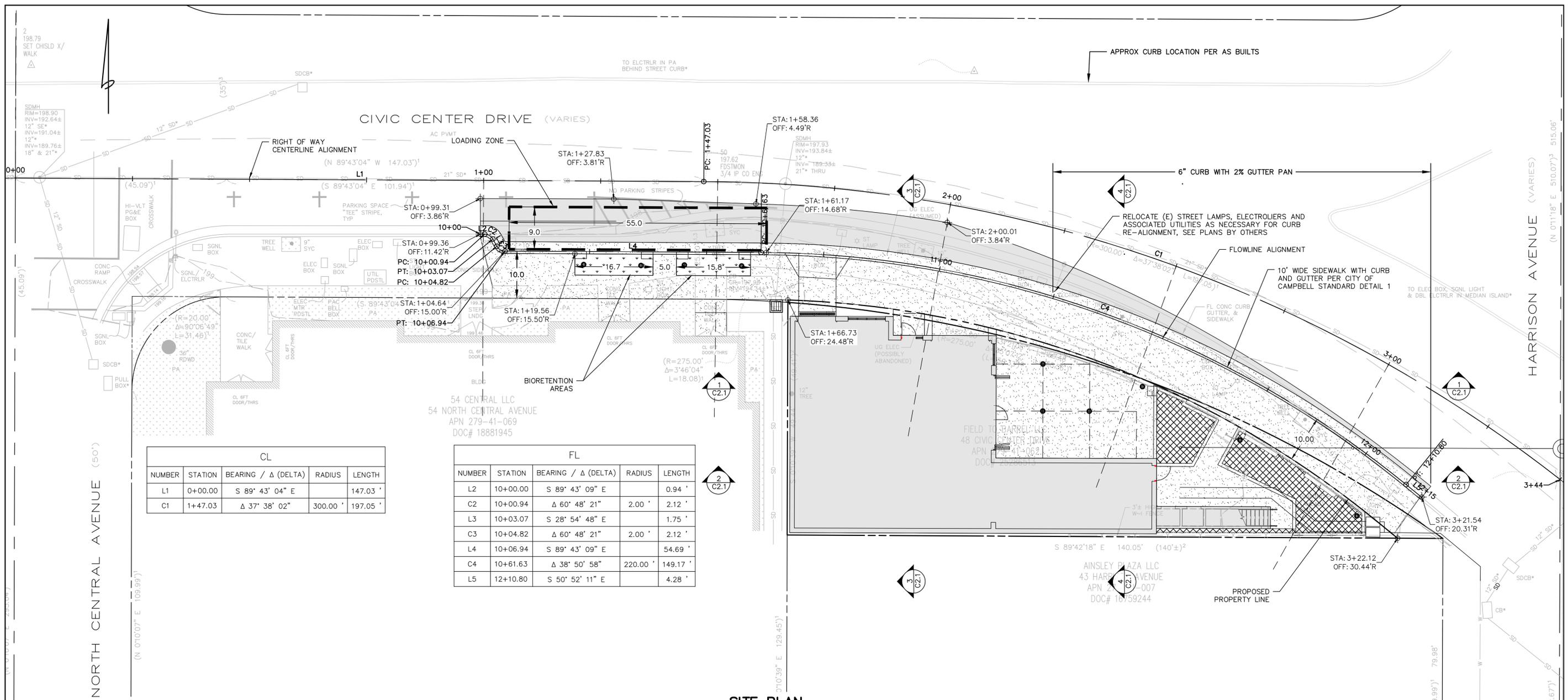
FAX NO. (831) 426-9182

Table with columns: SCALE AS NOTED, DRAWN JCG, JOB 28883, DATE 2023/01/31, CHECKED, INDEX SANTA CLARA, DESIGN SHV, DWG NAME 00, FILE 28883, CO.0

COVER SHEET

Table with columns: Revision 1, Revision 2, Revision 3, APN 708-39-009, Co. File XXX-XX-XX-XXXX-XXX, Sheet 1 of

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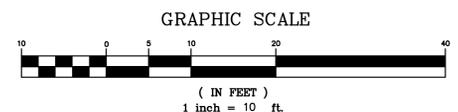


CL				
NUMBER	STATION	BEARING / Δ (DELTA)	RADIUS	LENGTH
L1	0+00.00	S 89° 43' 04" E		147.03'
C1	1+47.03	Δ 37° 38' 02"	300.00'	197.05'

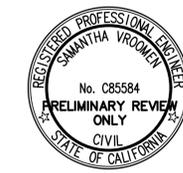
FL				
NUMBER	STATION	BEARING / Δ (DELTA)	RADIUS	LENGTH
L2	10+00.00	S 89° 43' 09" E		0.94'
L3	10+03.07	S 28° 54' 48" E	2.00'	1.75'
C3	10+04.82	Δ 60° 48' 21"	2.00'	2.12'
L4	10+06.94	S 89° 43' 09" E		54.69'
C4	10+61.63	Δ 38° 50' 58"	220.00'	149.17'
L5	12+10.80	S 50° 52' 11" E		4.28'

SITE PLAN

SCALE: 1"=10'



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BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		SITE PLAN FIELD TO BARREL LLC 48 CIVIC CENTER DRIVE CAMPBELL, CALIFORNIA DOC# 25286513	
SCALE 1" = 10' DATE FEBRUARY 17, 2023 DESIGN	DRAWN KAB CHECKED SHV DWG NAME CIVIC CENTER	JOB NO. 28970 INDEX SANTA CLARA FILE NO. 28970	SHEET C1.0 OF 6

GENERAL NOTES

- 1) THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. HE/SHE IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. HE/SHE IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.
- 2) THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING BETWEEN THE DRAWINGS AND THE ON-SITE CONSTRUCTION THAT DOES NOT HAVE PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- 3) ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW, BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.
- 4) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST APPLICABLE EDITION, THE LATEST EDITION OF THE "COUNTY OF SANTA CLARA DESIGN CRITERIA", AND ALL OTHER FEDERAL AND STATE LAWS, WHICHEVER IS MOST STRINGENT.
- 5) NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF SANTA CLARA COUNTY OF PUBLIC WORKS AND THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- 6) ALL PERMITS, CITY, COUNTY AND STATE, SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- 7) THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- 8) THE CONTRACTOR SHALL NOTIFY THE GEOTECHNICAL ENGINEER AT LEAST 4 WORKING DAYS PRIOR TO THE START OF GRADING CONSTRUCTION.
- 9) ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.
- 10) THE DIRECTOR OF PUBLIC WORKS OR HIS AUTHORIZED REPRESENTATIVE SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
- 11) ALL FIELD ENGINEERING SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A LAND SURVEYOR OR CIVIL ENGINEER QUALIFIED TO PRACTICE CONSTRUCTION SURVEYING IN THE STATE OF CALIFORNIA.
- 12) CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.
- 13) GRADING SHALL BE DONE UNDER THE OBSERVATION OF A LICENSED GEOTECHNICAL ENGINEER.
- 14) CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE SANTA CLARA COUNTY DESIGN MANUAL (DATED 2007).

EARTHWORK QUANTITIES

	CUT (CU. YDS)	FILL (CU. YDS)	NET (CU. YDS)	MAX VERTICAL DEPTH
SITE	54	1	53 EXPORT	0.8'
SIDEWALK	11	5	6 EXPORT	0.8'
STREET	6	1	5 EXPORT	0.7'
GRADING TOTAL	71	7	64 EXPORT	0.8'

EARTHWORK VOLUMES SHOWN ARE FOR PERMITTING PURPOSES. EARTHWORK VOLUMES SHOWN ON THESE PLANS ARE TAKEN AS THE DIFFERENCE BETWEEN EXISTING GRADE AS SHOWN ON THE TOPOGRAPHIC SURVEY AND THE FINISH GRADES SHOWN HEREON. ACTUAL EARTHWORK VOLUMES MAY VARY. THE QUANTITIES SHOWN DO NOT TAKE IN ACCOUNT SITE SCARIFICATION OR THE SPOILS ASSOCIATED WITH SITE RETAINING WALLS OR FOUNDATIONS ELEMENTS NOT NOTED BELOW.

CONTRACTOR SHALL VERIFY THE EARTHWORK VOLUMES PRIOR TO CONSTRUCTION.

ALL EXCESS EXCAVATION (CUT) TO BE OFFHAULED FROM SITE AND DISPOSED AT COUNTY LANDFILL OR APPROVED SITE.

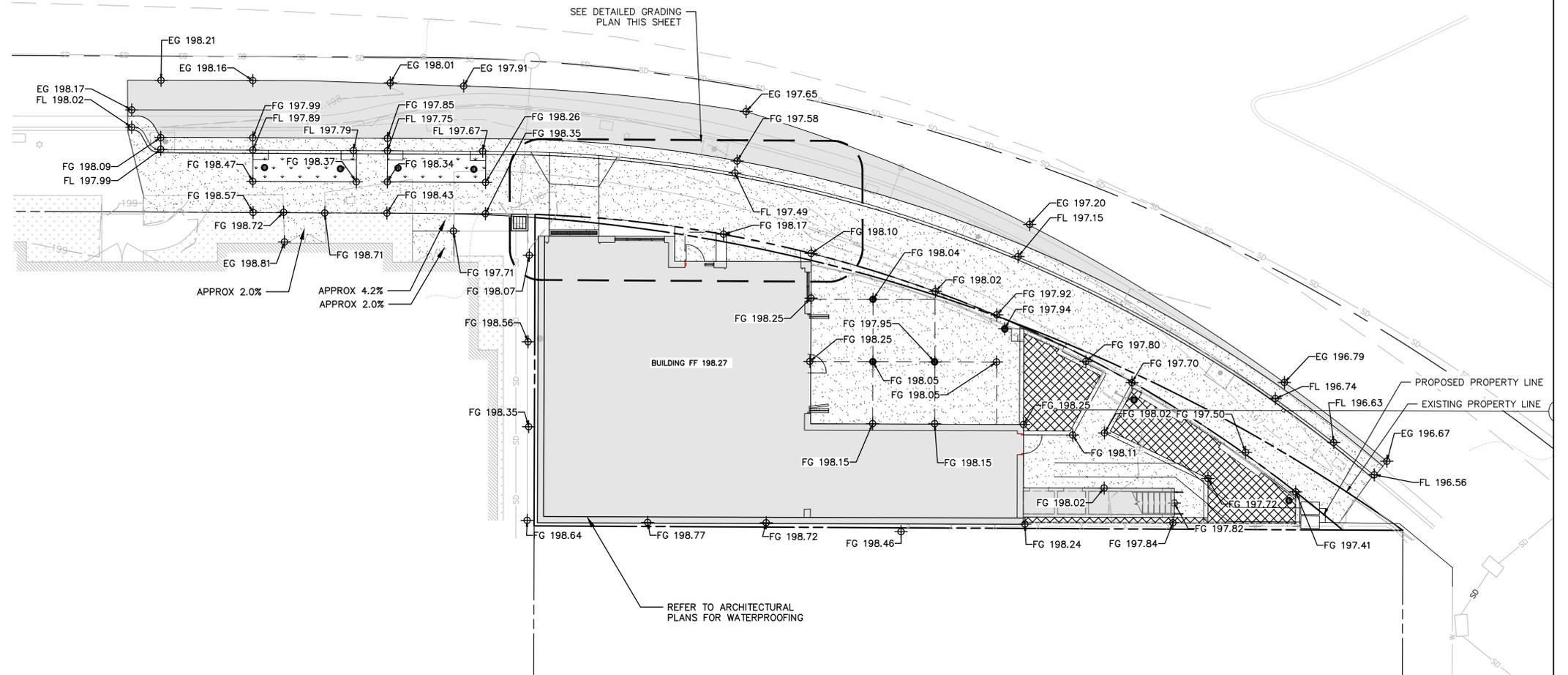
UNDERGROUND NOTES

- 1) ALL KNOWN EXISTING UTILITY LINES ARE SHOWN FOR INFORMATION ONLY AND HAVE COME FROM VARIOUS SOURCES OF RELIABILITY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING UTILITIES OR FACILITIES TO REMAIN IN PLACE, WHETHER OR NOT SUCH LINES OR FACILITIES ARE SHOWN ON THESE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO. CONTRACTOR IS ADVISED TO CONTACT A UNDERGROUND SERVICE LOCATOR FOR MARKING UNDERGROUND LINES PRIOR TO BEGINNING WORK (U.S.A. (UNDERGROUND SERVICE ALERT) 800-642-2444), AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT. THE PROJECT INSPECTOR SHALL BE PRESENT WHILE THE UNDERGROUND SERVICE LOCATOR IS ONSITE.
- 2) CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SANITARY AND STORM SEWERS, AND WATER LINES BEFORE CONSTRUCTING NEW FACILITIES.
- 3) MATERIALS FOR PIPE, STORM WATER INLETS, AND CLEANOUTS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH APPLICABLE UBC AND CPC SECTIONS, AND THESE PLANS AND DETAILS SHOWN HEREON. SANITARY SEWER PIPE DESIGNATED "SS" SHALL BE PVC OR SDR 26 BELL AND SPIGOT GASKET, SMOOTH INTERIOR PIPE OR APPROVED EQUAL. STORM DRAIN PIPE DESIGNATED "SD" SHALL BE PVC OR SDR 26 BELL AND SPIGOT GASKET, SMOOTH INTERIOR PIPE OR APPROVED EQUAL. RWL SHALL BE SCH 40 AND SHALL BE CONNECTED TO SD WITH WYE FITTINGS.
- 4) ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED AND INSTALLED PER THE PIPE MANUFACTURERS RECOMMENDATIONS.
- 5) ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL BE:
 - 1) CHRISTY BRAND PRECAST CONCRETE V12 OR THE EQUIVALENT, OR;
 - 2) DURA DRAIN P-4 MANUFACTURED BY KRISTAR, OR;
 - 3) ADS NYOPLAST.
 ALL STRUCTURES SHALL BE STORED, HANDLED AND INSTALLED PER THE MANUFACTURERS RECOMMENDATION.
- 2) STORM DRAIN TRENCH BACKFILL SHALL CONFORM TO COUNTY OF SANTA CRUZ STANDARD SPECIFICATIONS SECTION AND THE DETAILS SHOWN HEREON. SETTING OF BACKFILL MATERIALS TO ACHIEVE COMPACTION IS NOT ALLOWED.
- 3) ALL WATER PIPING SHALL BE AWWA C900 OR APPROVED EQUAL. ALL VALVES, ANGLES, AND THRUST BLOCKS SHALL BE INSTALLED PER CURRENT CPC SPECIFICATIONS. ANY TRENCHING OR DIGGING UNDER TREE CANOPIES SHALL BE DONE BY HAND IN ORDER TO PREVENT DAMAGE TO ROOTS. ROOTS THAT REQUIRE REMOVAL SHALL BE CUT CLEANLY WITH HAND TOOLS, USE WHITE LATEX PAINT ON CUTS GREATER THAN 3" IN DIAMETER.

EARTHWORK AND GRADING NOTES

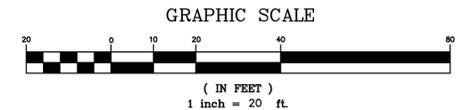
- 1) WORK SHALL CONSIST OF ALL CLEARING, GRUBBING, STRIPPING, PREPARATION OF LAND TO BE FILLED, EXCAVATION, SPREADING, COMPACTION AND CONTROL OF FILL, AND ALL SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADES, AND SLOPES, AS SHOWN ON THE APPROVED PLANS.
- 2) ALL GRADING OPERATIONS SHALL BE DONE IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION BY (TO BE PROVIDED)
- 3) THE CONTRACTOR SHALL GRADE TO THE LINE AND ELEVATIONS SHOWN ON THE PLAN AND SHALL SECURE THE SERVICES OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER TO PROVIDE STAKES FOR LINE AND GRADE.
- 4) THE EXCESS SOIL FROM GRADING OPERATIONS SHALL BE HAULED OFF SITE AND DISPOSED AT THE LOCAL LANDFILL, OR TAKEN TO A SITE WITH AN ACTIVE GRADING PERMIT.
- 5) IF ARCHEOLOGICAL RESOURCES OR HUMAN REMAINS ARE ACCIDENTALLY DISCOVERED DURING THE CONSTRUCTION OF THE IMPROVEMENTS, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED PROFESSIONAL ARCHEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.

CIVIC CENTER DRIVE



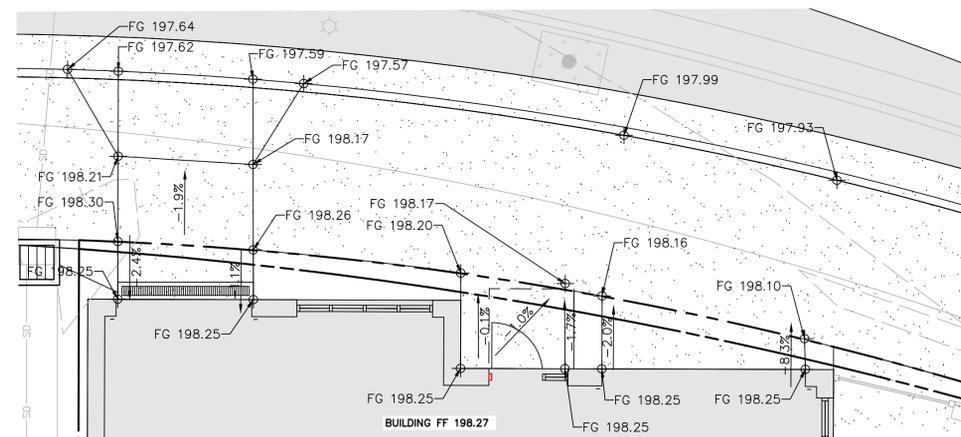
GRADING PLAN

SCALE: 1"=10'



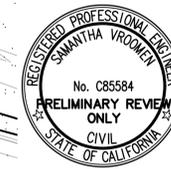
LEGEND

	PROPOSED CONCRETE/TILE
	PROPOSED BUILDING FOOTPRINT
	PAVERS PER 3/C3.0
	PROPERTY LINE
	EASEMENT OR SETBACK
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN LINE
	EXISTING WATER LINE
	TREE (EXISTING)
	FENCE (EXISTING)
	FENCE (EXISTING)
	FINISH GRADE ELEVATION
	SLOPE PERCENTAGE
	STORM DRAIN
	STORM DRAIN CATCH BASIN
	STORM DRAIN OR SEWER CLEAN OUT



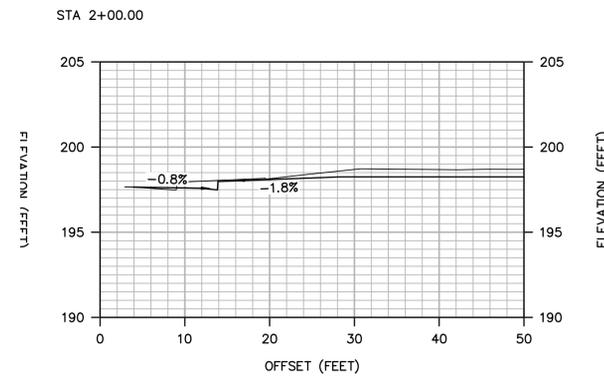
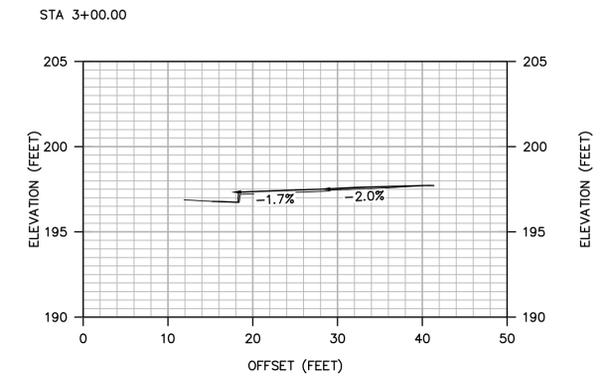
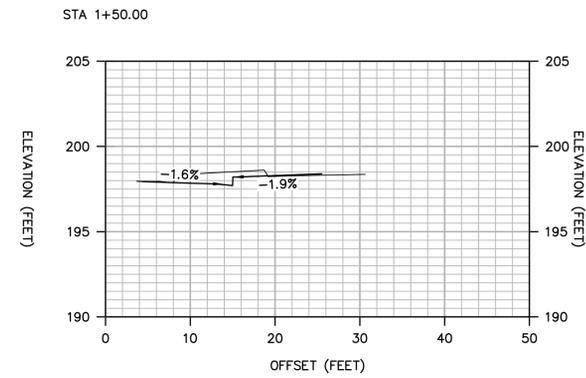
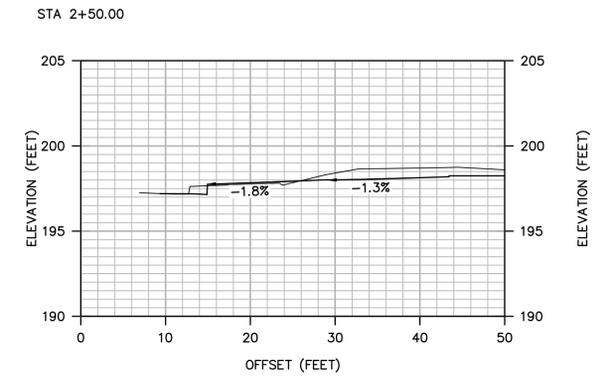
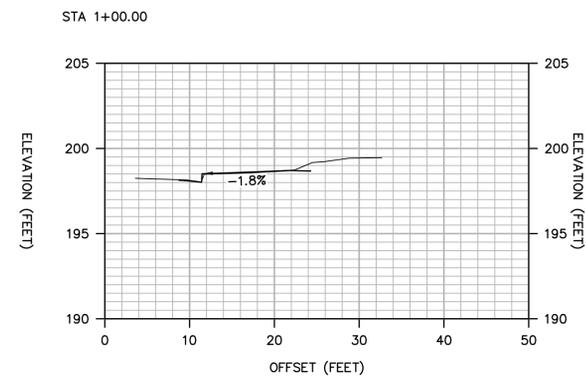
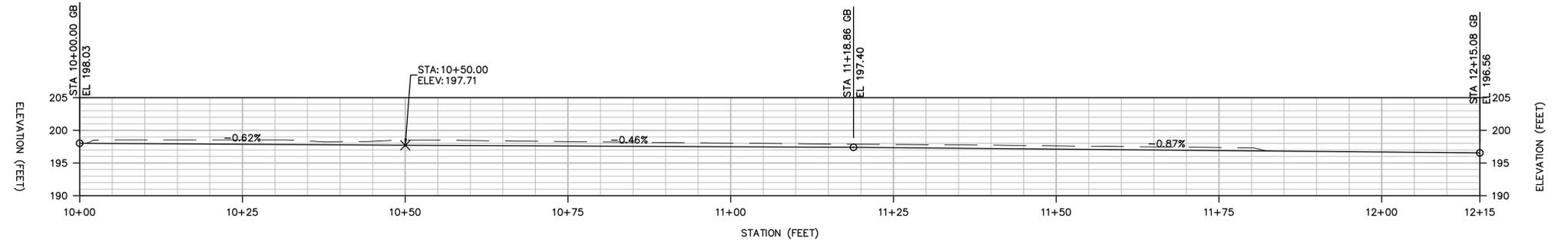
DETAILED GRADING PLAN

SCALE: 1"=5'



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APN 279-41-062

REVISIONS			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		GRADING PLAN FIELD TO BARREL LLC 48 CIVIC CENTER DRIVE CAMPBELL, CALIFORNIA DOC# 25286513	
SCALE 1" = 10'	DRAWN KAB	JOB NO. 28970	SHEET
DATE FEBRUARY 17, 2023	CHECKED SHV	INDEX SANTA CLARA	C2.0
DESIGN	DWG NAME CIVIC CENTER	FILE NO. 28970	OF 6

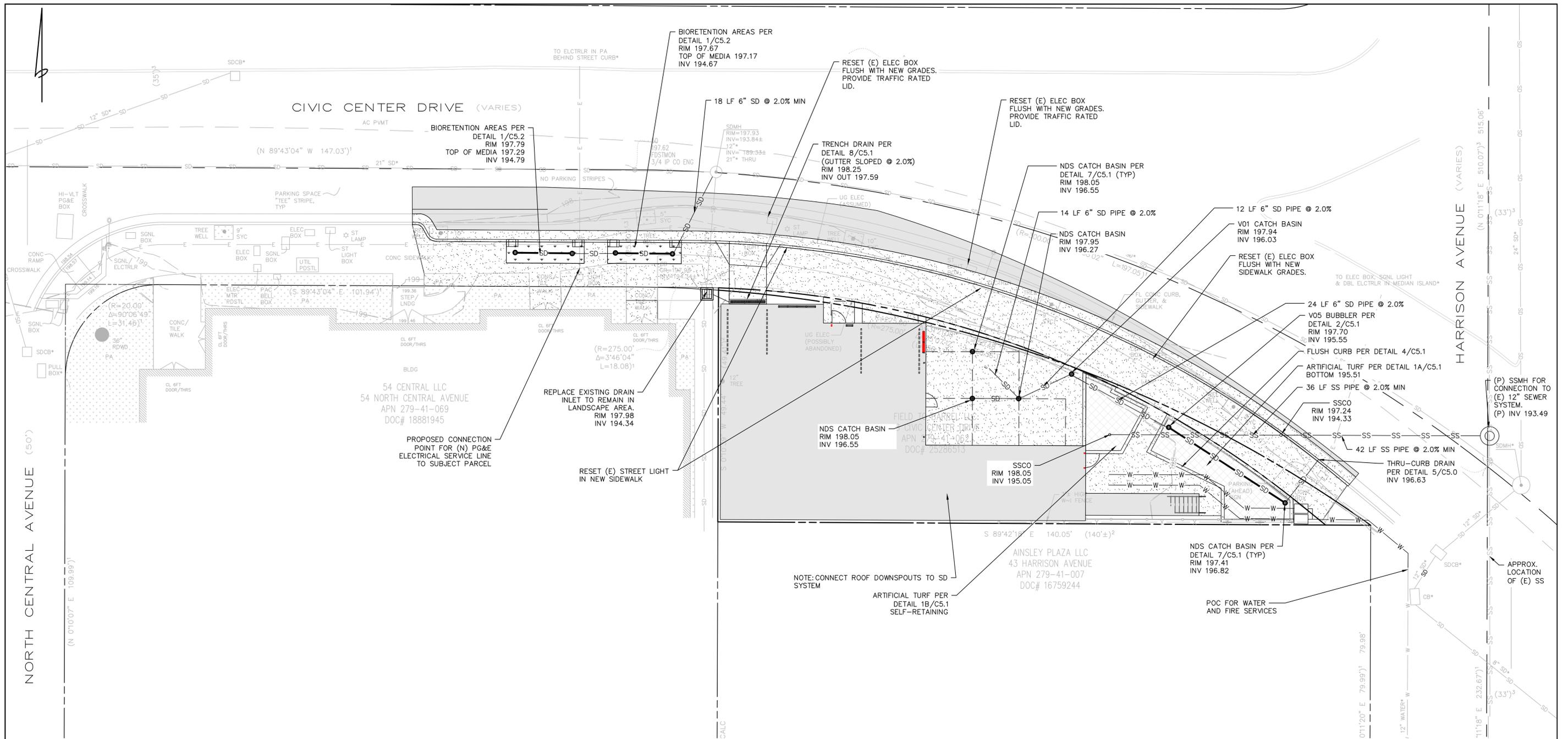


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 APN 279-41-062



Know what's below.
 Call before you dig.

REVISIONS		SITE SECTIONS AND FL PROFILE	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		FIELD TO BARREL LLC 48 CIVIC CENTER DRIVE CAMPBELL, CALIFORNIA DOC# 25286513	
SCALE 1" = 10'	DRAWN KAB	JOB NO. 28970	SHEET
DATE FEBRUARY 17, 2023	CHECKED SHV	INDEX SANTA CLARA	C2.1
DESIGN	DWG NAME CIVIC CENTER	FILE NO. 28970	OF 6



DRAINAGE AND UTILITY PLAN

SCALE: 1"=10'

UNDERGROUND NOTES

- ALL KNOWN EXISTING UTILITY LINES ARE SHOWN FOR INFORMATION ONLY. CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING UTILITIES OR FACILITIES TO REMAIN IN PLACE, WHETHER OR NOT SUCH LINES OR FACILITIES ARE SHOWN ON THESE PLANS, AND SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERE TO. CONTRACTOR IS ADVISED TO CONTACT UNDERGROUND SERVICE ALERT(U.S.A.) AT 800.642.2444 AND THE AFFECTED UTILITY COMPANY FOR MARKING UNDERGROUND LINES PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL EXPOSE AND VERIFY THE LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO SANITARY AND STORM SEWERS, AND WATER LINES BEFORE CONSTRUCTING NEW FACILITIES.
- MATERIALS FOR PIPE, STORM WATER INLETS, AND CLEANOUTS AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH APPLICABLE UBC AND UPC SECTIONS, AND THESE PLANS AND DETAILS SHOWN HEREON.
STORM DRAIN PIPE DESIGNATED "SD" SHALL BE ADS N-12 SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE, PVC SCH 40 OR SDR 26 BELL AND SPIGOT GASKET OR APPROVED EQUIVALENT. RWL SHALL BE SCH 40 PVC, OR SDR35 AND SHALL BE CONNECTED TO STORM DRAIN WITH WYE FITTINGS.
SANITARY SEWER PIPE SHALL BE PVC OR SDF 26 BELL AND SPIGOT GASKET, SMOOTH INTERIOR PIPE, OR APPROVED EQUAL.
- ALL DRAINAGE PIPE SHALL BE SHIPPED, STORED AND INSTALLED PER THE PIPE MANUFACTURERS RECOMMENDATIONS.
- ALL CONCRETE DRAINAGE INLETS CALLED OUT ON THE PLANS SHALL BE CHRISTY BRAND PRECAST CONCRETE OR THE EQUIVALENT. ALL STRUCTURES SHALL BE STORED, HANDLED AND INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS. DECORATIVE GRATES MAY BE USED AT ARCHITECTS DIRECTION. NDS BOXES MAY BE USED IN LANDSCAPED AREAS ONLY.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- ALL WATER PIPING SHALL BE SCH 80 OR ANWA C900 FOR ALL ANGLES, VALVES, AND THRUST BLOCKS SHALL BE INSTALLED PER CURRENT CPC SPECIFICATIONS.

DRAINAGE NARRATIVE SUMMARY

IN THE POST DEVELOPMENT CONDITION, THE PROJECT HAS BEEN DESIGNED TO UTILIZE PERVIOUS PAVERS IN THE PATIO AREA (THATS NOT ADJACENT TO THE BUILDING) TO INFILTRATE THE STORM WATER. DOWNSPOUTS WILL DISCHARGE THROUGH RAIN LEADERS TO THE PERMEABLE PAVERS. OVERFLOW FROM THE PERMEABLE PAVERS WILL DISCHARGE VIA A THRU-CURB DRAIN.

DUE TO PROPERTY-LINE AND SIGHT LINE CONSTRAINTS A BIORETENTION AREA WAS NOT ABLE TO TREAT THE REPLACED IMPERVIOUS AREA WITHIN THE RIGHT-OF-WAY. THE PROJECT IS SEEKING ALTERNATIVE COMPLIANCE BY PROVIDING LID TREATMENT FOR AN UPSTREAM AREA OF THE REPLACED IMPERVIOUS AREA WITHIN THE SAME WATERSHED AREA.

IT IS OUR OPINION THAT THE PROJECT MEETS THE COUNTY OF SANTA CLARA STORMWATER REQUIREMENTS AND THAT THE PROPOSED BMPs MINIMIZE AND MITIGATE POLLUTANT AND HYDROLOGIC IMPACTS.

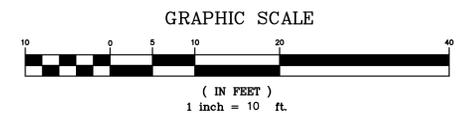
STORMWATER MAINTENANCE INFORMATION:

- THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF THE SITE DRAINAGE SYSTEM, WHICH INCLUDES DRAIN PIPES, INLETS, AND PERMEABLE PAVEMENT SURFACES.
- AT THE PROJECT COMPLETION, THE CONTRACTOR SHALL ENSURE THAT ALL DRAIN INLETS RISERS, PAVEMENT SURFACES ARE CLEAN AND FREE OF DIRT AND DEBRIS.
- THE OWNER SHOULD PERFORM ANNUAL MAINTENANCE OF THE SURFACE DRAINAGE SYSTEMS:
 - INSPECT AND TEST ROOF GUTTERS AND DOWNSPOUTS TO MAKE SURE THAT THEY ARE IN GOOD WORKING ORDER AND DO NOT LEAK.
 - INSPECT AND FLUSH DRAIN INLETS TO MAKE SURE THEY ARE FREE OF DEBRIS AND IN GOOD WORKING ORDER.
 - INSPECT SURFACE DRAINAGE OUTFALL TO VERIFY THAT THE RUNOFF FLOWS FREELY THROUGH THE DISCHARGE PIPES AND THAT NO EXCESSIVE EROSION HAS OCCURRED.

STORMWATER CONFORMANCE NOTES:

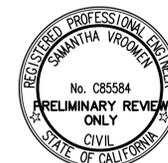
- THIS STORMWATER CONTROL PLAN, C3.0, HAS BEEN PREPARED TO MEET THE COUNTY OF SANTA CLARA STORM WATER REQUIREMENTS FOR THE SAN FRANCISCO BAY WATERSHED.
- THE PROJECT CREATES AND REPLACES A TOTAL IMPERVIOUS AREA THAT IS GREATER THAN 5,000 SF AND THEREFORE IS REQUIRED TO OBTAIN A DRAINAGE PERMIT. THE IMPERVIOUS AREA IS LESS THAN AN ACRE SO THE PROJECT IS ONLY SUBJECTED TO THE SOURCE CONTROL, SITE DESIGN MEASURES, AND TREATMENT MEASURES REQUIRED OF PERFORMANCE TIER 2.
- TO MEET THE STORMWATER TREATMENT REQUIREMENTS, INFILTRATION, EVAPOTRANSPIRATION, AND BIOTREATMENT ARE UTILIZED IN THE DRAINAGE DESIGN. DUE TO THE HIGH INFILTRATION RATE OF THE SITE SOILS, INFILTRATION FACILITIES ARE UTILIZED IN CONJUNCTION WITH UNLINED BIORETENTION AREAS TO FACILITATE INFILTRATION AND EVAPOTRANSPIRATION PRIOR TO DISCHARGE OF THE RUNOFF.

MAINTENANCE ACTIVITIES - PERMEABLE PAVEMENT	FREQUENCY
INSPECT PAVEMENT SURFACE FOR STANDING WATER, SEDIMENT, TRASH, AND DEBRIS.	SEMI-ANNUALLY
INSPECT DRAIN CONTROL INLETS AT PERVIOUS PAVEMENT ONCE DURING THE WINTER SEASON AFTER A LARGE STORM EVENT PRODUCING OVER 0.5-IN OF RAINFALL TO CONFIRM THE FACILITY DRAINS WITHIN 72 HOURS.	ANNUALLY
INSPECT PAVEMENT AND DRAINAGE CONTROL STRUCTURES FOR SIGNS OF DRAINAGE AND STRUCTURAL FAILURES.	ANNUALLY
VACUUM SWEEP	AS NEEDED
REPLENISH AGGREGATE ROCK AFTER VACUUMING.	AS NEEDED

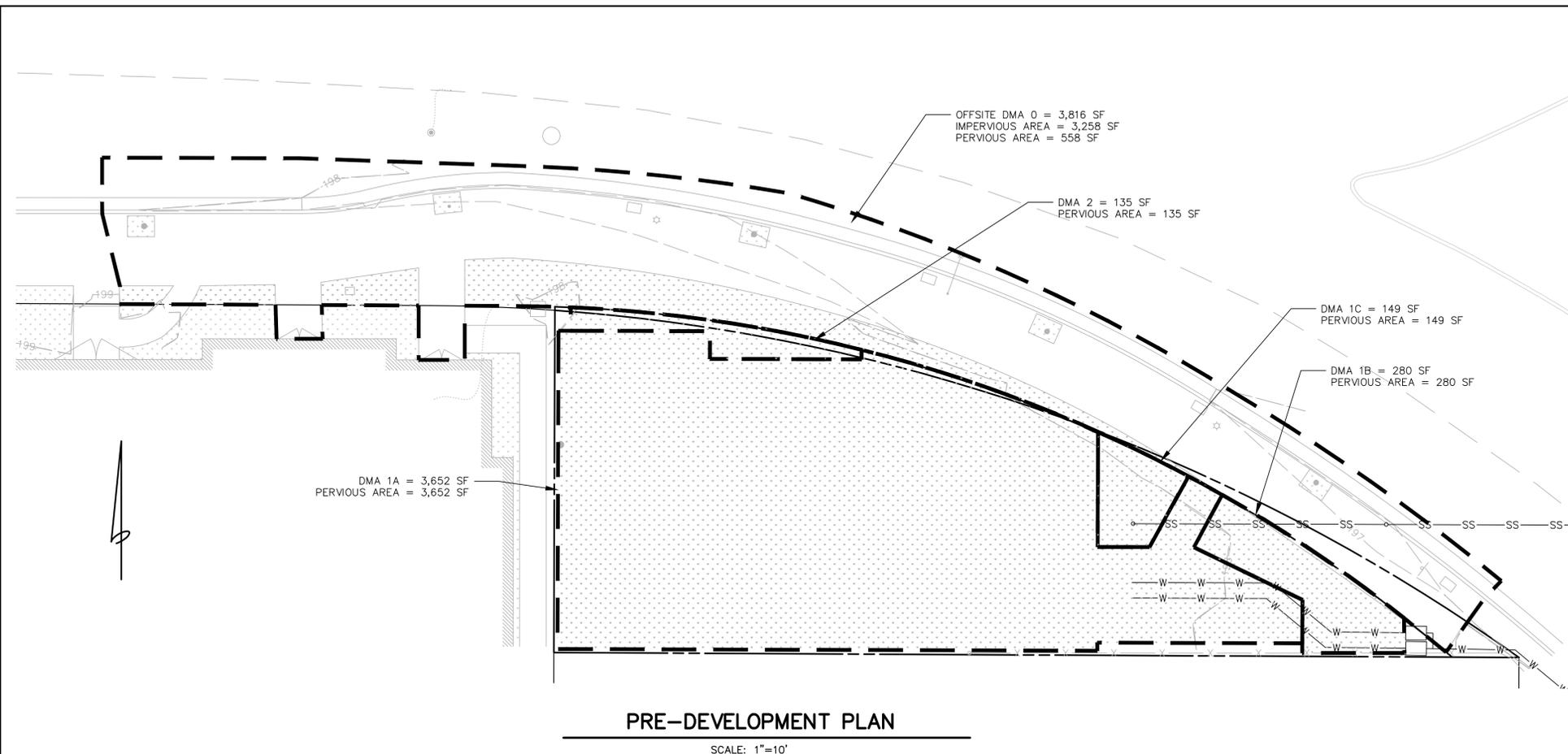


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SCALE 1" = 10' DATE FEBRUARY 17, 2023 DESIGN	DRAWN KAB CHECKED SHV DWG NAME CIVIC CENTER	JOB NO. 28970 INDEX SANTA CLARA FILE NO. 28970	SHEET C3.0 OF 6



SANTA CLARA COUNTY DRAINAGE MANUAL AND PROVISION C3. COMPLIANCE AND MAINTENANCE INFORMATION:

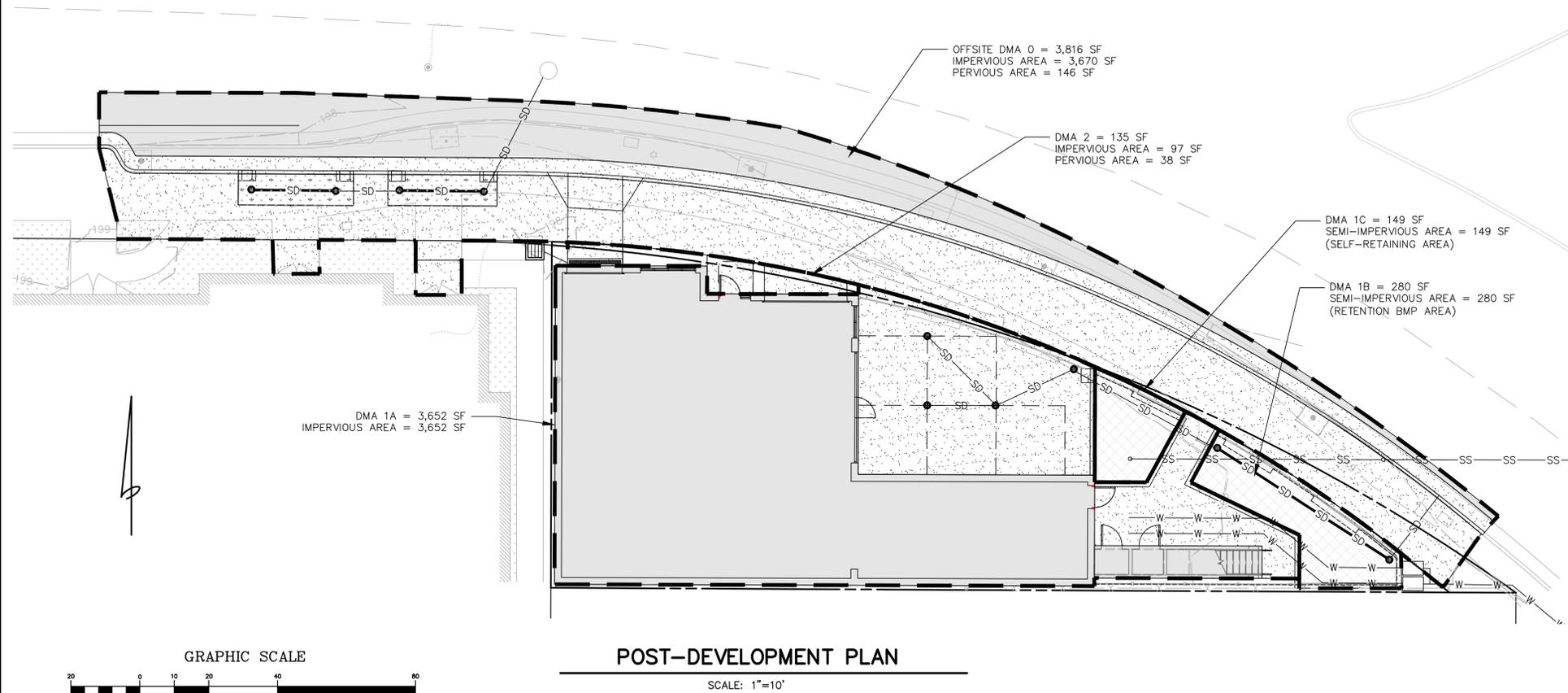
- THE PROPOSED STORM DRAINAGE SYSTEM AND MITIGATION COMPLY WITH THE REQUIREMENTS OF THE SANTA CLARA COUNTY DRAINAGE MANUAL, C3. OF THE 2009 MUNICIPAL REGIONAL NPDES PERMIT, THE SANTA CLARA COUNTY POST-CONSTRUCTION REQUIREMENTS, AND THE PROJECT GEOTECHNICAL INVESTIGATION BY ADDRESSING THE FOLLOWING ITEMS:
 - LIMIT DISTURBANCE OF NATURAL GRADING FEATURES, CLEARING, GRADING, AND SOIL COMPACTION
 - MINIMIZE RUNOFF BY DISPERSING RUNOFF TO LANDSCAPE
 - CONTROL AND DISPERSE RUNOFF AT SAFE LOCATIONS AWAY FROM SLOPES AND BUILDING.
- IN ORDER TO ENSURE THAT THE SYSTEM CONTINUES TO PROVIDE DRAINAGE CONTROL PER PLAN, THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF THE SITE DRAINAGE SYSTEM, WHICH INCLUDES DRAIN PIPES, INLETS, OUTLETS, DETENTION MANIFOLD, AND CONTROL STRUCTURE.
- AT THE PROJECT COMPLETION, THE CONTRACTOR SHALL ENSURE THAT ALL DRAIN INLETS AND AND CONTROL BOXES ARE CLEAN AND FREE OF DIRT AND DEBRIS.
- THE OWNER SHOULD PERFORM ANNUAL MAINTENANCE OF THE DRAINAGE SYSTEMS:
 - INSPECT AND TEST ROOF GUTTERS AND DOWNSPOUTS TO MAKE SURE THAT THEY ARE IN GOOD WORKING ORDER AND DO NOT LEAK.
 - INSPECT DRAIN INLETS TO MAKE SURE THEY ARE FREE OF DEBRIS AND IN GOOD WORKING ORDER.
 - INSPECT SURFACE DRAINAGE OUTFALL TO VERIFY THAT THE RUNOFF FLOWS FREELY THROUGH THE DISCHARGE PIPES AND THAT NO EXCESSIVE EROSION HAS OCCURED.
 - INSPECT AND REMOVE DEBRIS AT THE ORIFICE FLOW CONTROL STRUCTURE.

BASIS OF DESIGN PER COUNTY OF SANTA CLARA DRAINAGE MANUAL

- THE PROJECT SITE SOIL IS DESCRIBED AS SILTY SAND AND HEREIN DESIGNATED AS TYPE-C SOIL.
- PERMEABLE PAVEMENTS SHALL BE DESIGNED TO MEET THE LID REQUIREMENTS USING THE URBAN RUNOFF QUALITY MANAGEMENT APPROACH (UROM)
- THE SITE AND ASSOCIATED RIGHT OF WAY IMPROVEMENTS HAVE A NEW AND REPLACED IMPERVIOUS AREA OF 7,245 SF, AND SEMI IMPERVIOUS AREA OF 511 SF. THE SITE IS REQUIRED TO MEET THE SANTA CLARA COUNTY SITE DESIGN AND TREATMENT REQUIREMENTS.
- SITE DESIGN MEASURES IN PLACE:
 - PERMEABLE PAVING
 - DISCHARGE OF STORMWATER TO LANDSCAPE
- TREATMENT MEASURES IN PLACE:
 - DMA 0 - BIORETENTION
 - DMA 1 - RETENTION WITHIN THE ARTIFICIAL TURF
 - DMA 2 - UNABLE TO BE TREATED PRIOR TO DISCHARGE (97 SF)

LEGEND

- PROPOSED CONCRETE
- PROPOSED BUILDING FOOTPRINT OR AC PAVEMENT
- PROPOSED ARTIFICIAL TURF
- LANDSCAPING



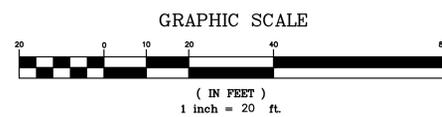
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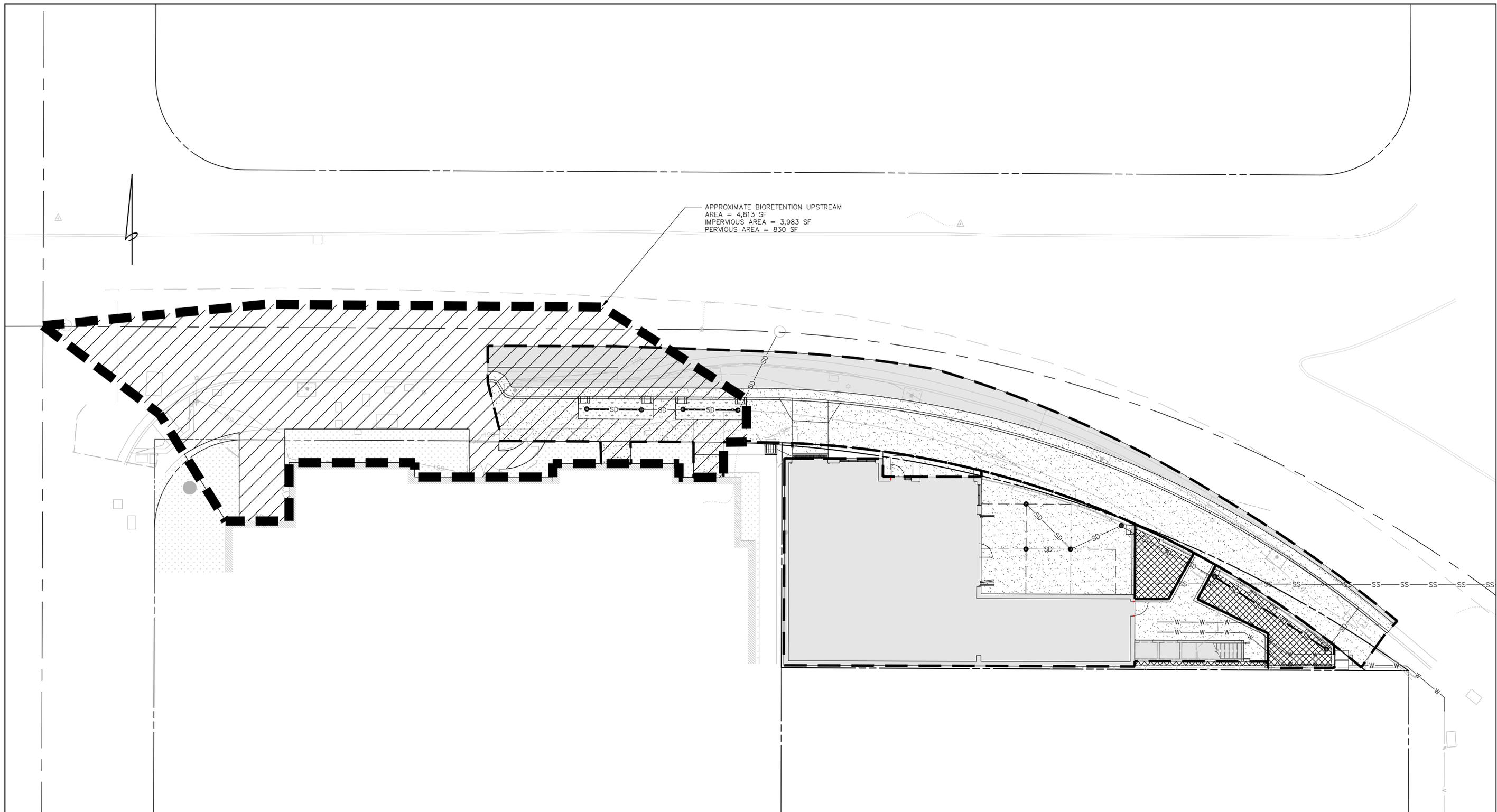
APN 279-41-062



Know what's below.
Call before you dig.



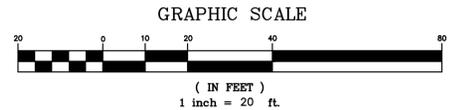
REVISIONS		STORMWATER CONTROL PLAN	
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		FIELD TO BARREL LLC 48 CIVIC CENTER DRIVE CAMPBELL, CALIFORNIA DOC# 25286513	
SCALE 1" = 10'	DRAWN KAB	JOB NO. 28970	SHEET
DATE FEBRUARY 17, 2023	CHECKED SHV	INDEX SANTA CLARA	C3.1
DESIGN	DWG NAME CIVIC CENTER	FILE NO. 28970	OF 6



APPROXIMATE BIORETENTION UPSTREAM
 AREA = 4,813 SF
 IMPERVIOUS AREA = 3,983 SF
 PERVIOUS AREA = 830 SF

UPSTREAM POST-DEVELOPMENT PLAN

SCALE: 1"=10'



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APN 279-41-062

REVISIONS			
BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		STORMWATER CONTROL PLAN FIELD TO BARREL LLC 48 CIVIC CENTER DRIVE CAMPBELL, CALIFORNIA DOC# 25286513	
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DESIGN	DWG NAME CIVIC CENTER	FILE NO. 28970	OF 6

INSPECTION & MAINTENANCE NOTES:

1. THE CONTRACTOR SHALL PERFORM AND MAKE WRITTEN RECORD OF ALL SITE INSPECTIONS TO ENSURE ADEQUATE DEPLOYMENT OF BEST MANAGEMENT PRACTICES (BMP'S).
2. DURING INSPECTIONS IDENTIFY AND RECORD BMP'S THAT NEED MAINTENANCE TO OPERATE EFFECTIVELY, THAT HAVE FAILED, OR THAT COULD FAIL TO OPERATE AS INTENDED.
3. REPAIR TO BMP'S SHALL BEGIN WITHIN 72 HOURS OF IDENTIFICATION AND THE CHANGES COMPLETED AS SOON AS POSSIBLE.
4. 48 HOURS PRIOR TO A PREDICTED RAIN EVENT, IN ADDITION TO THE INSTALLED BMP'S, THE CONTRACTOR SHALL COVER ANY DISTURBED BARE SOILS WITH MULCH, EROSION CONTROL BLANKETS OR APPROVED EQUAL METHOD. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL BMP'S AS NECESSARY TO MINIMIZE CONSTRUCTION SITE RUNOFF ONTO NEIGHBORING PROPERTIES.

GENERAL

1. THE DEVELOPER/CONTRACTOR SHALL COMPLY WITH THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN, EROSION AND THE COUNTY OF SANTA CLARA BEST MANAGEMENT PRACTICES AND EROSION CONTROL DETAIL SHEETS BMP-1 AND BMP-2.
2. EROSION CONTROL MEASURES ARE REQUIRED ONSITE YEAR ROUND. ALL PLANNED EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, WHERE APPLICABLE, BY THE TIME OF THE INITIAL "GRADE STAKE" INSPECTION.
3. GRADING WORK PERFORMED BETWEEN OCTOBER 15 & APRIL 15 IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
4. THE DEVELOPER SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING SITE EROSION CONTROL AT ALL TIMES.
5. ALL EMPLOYEES AND CONTRACTORS SHALL BE INFORMED ABOUT STORM WATER MANAGEMENT REQUIREMENTS AND THEIR RESPONSIBILITIES FOR COMPLIANCE.
6. THE OWNER, CONTRACTOR, AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD ROW THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS INTO THE SANTA CLARA COUNTY ROADROW, STORM SEWER WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMP'S SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
 - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
 - B. PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY, AND
 - C. PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY.
7. THE OWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC., ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD ROW.

EROSION CONTROL CONTROL

1. PROTECT AND PRESERVE EXISTING AREAS TO REMAIN AS SHOWN ON THE PLAN.
2. MINIMIZE LAND DISTURBANCE WITHIN THE LIMITS OF WORK. USE CONSTRUCTION FENCING AS NECESSARY.
3. ON ALL GRADED SLOPES, ON AND OFF SITE, EXPOSED DURING CONSTRUCTION, IF NOT PERMANENTLY LANDSCAPED PER PLAN, SHALL BE COVERED WITH 2" THICK OF STRAW MULCH OR APPROVED EQUAL. SLOPES GREATER THAN 10% SLOPE SHALL BE COVERED WITH EROSION CONTROL BLANKET.
4. PROPERLY INSTALL AND MAINTAIN ALL ON-SITE EROSION CONTROL MEASURES AND STRUCTURES DEVICES, BUT TEMPORARY AND PERMANENT.
5. A QUALIFIED PERSON SHOULD MONITOR AND CONDUCT INSPECTIONS OF ALL ON-SITE BMP'S DURING RAINSTORM EVENTS.

SEDIMENT CONTROL

1. USE SILT FENCES AND/OR STRAW WATTLES TO PREVENT SEDIMENT FROM LEAVING THE PROJECT SITE.
2. PROJECT STORM DRAIN INLETS IN THE VICINITY OF THE PROJECT SITE. EFFECTIVE METHODS TO PROTECT THE INLETS INCLUDE SAND BAGS BARRIER AND CATCH BASIN FILTER INSERT.
3. PROVIDE STABILIZED CONSTRUCTIONS ACCESS WITH 3"-6" AGGREGATE ROCK OR APPROVED EQUAL METHOD.
4. ON DISTURBED SLOPES, CONSTRUCT STRAW WATTLES AT 20 FT MAX INTERVAL TO REDUCE RUNOFF VELOCITY AND TRAP SEDIMENTS.
5. THE PROJECT SHALL BE LANDSCAPED PER THE PROJECT'S LANDSCAPING PLAN FOR LONG-TERM EROSION AND SEDIMENT CONTROL.

SITE HOUSEKEEPING REQUIREMENTS

EQUIPMENT AND VEHICLE MAINTENANCE AND CLEANING

1. INSPECT EQUIPMENT AND VEHICLES DAILY AND REPAIR ANY LEAKS AS SOON AS POSSIBLE. CONTAIN AND CLEAN UP LEAKS, SPILLS, AND DRIPS OF HAZARDOUS MATERIALS AND CHEMICALS WITH DRY METHODS.
2. STAGE ALL EQUIPMENTS AND VEHICLES ON 20 MIL VISQUEEN PLASTIC SHEETING.
3. FUELING AND REPAIR OF VEHICLES AND EQUIPMENT MUST BE DONE OFF SITE.. WASHING OF EQUIPMENT AND VEHICLES SHALL BE DONE OFF-SITE.

MATERIAL STORAGE AND SOIL STOCKPILES

4. PROTECT ALL CONSTRUCTION MATERIALS AND STOCKPILES WITH TARPS AND PERIMETER SEDIMENT CONTROL.
5. STORE OPEN BAGS OF PARTICULATE, GRANULAR, POWDER MATERIALS, AND CHEMICALS INDOORS.

WASTE MANAGEMENT (BUILDING MATERIALS, DEMOLITION WASTE, VEGETATION)

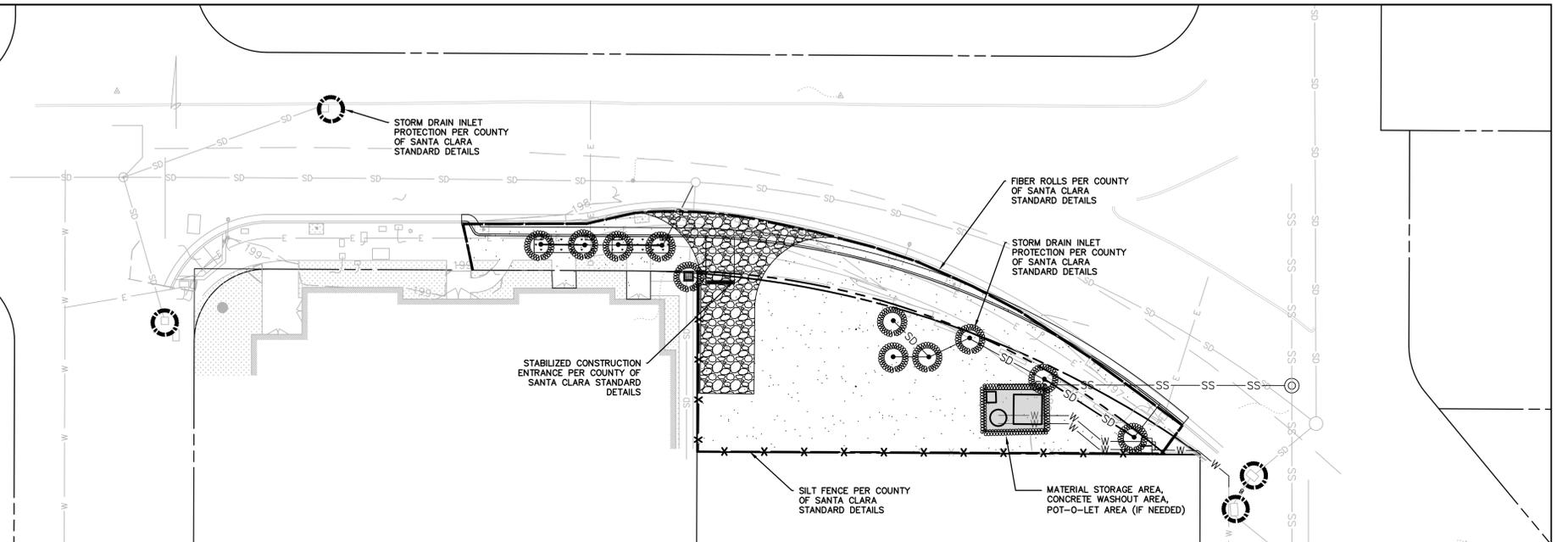
6. STORE WASTES IN CONTAINERS OR A DUMPSTER WHENEVER POSSIBLE. COVER PILES OF UNCONTAINED WASTES AND WASTES STORED IN OPEN CONTAINERS DURING WINDY CONDITIONS AND PRIOR TO SIGNIFICANT FORECASTED RAIN (0.25 INCHES IN A 24-HOUR PERIOD). DO NOT HOSE DUMPSTERS OUT ON THE CONSTRUCTION SITE.

PORTABLE TOILET-FACILITIES

7. IF PORTABLE TOILETS ARE USED, ENSURE THAT THE LEASING COMPANY PROPERLY MAINTAINS THE TOILETS AND PROMPTLY MAKES REPAIRS AS NEEDED. CONDUCT VISUAL INSPECTIONS FOR LEAKS.
8. PROVIDE SECONDARY CONTAINMENT FOR PORTABLE TOILETS LOCATED WITHIN 20 FEET OF A STREAM, STORM DRAIN, OR STREET.
9. DURING PUMP-OUT, TAKE APPROPRIATE MEASURES TO AVOID SPILLAGE. IF SPILLAGE OCCURS IT SHALL BE CLEANED UP IMMEDIATELY.

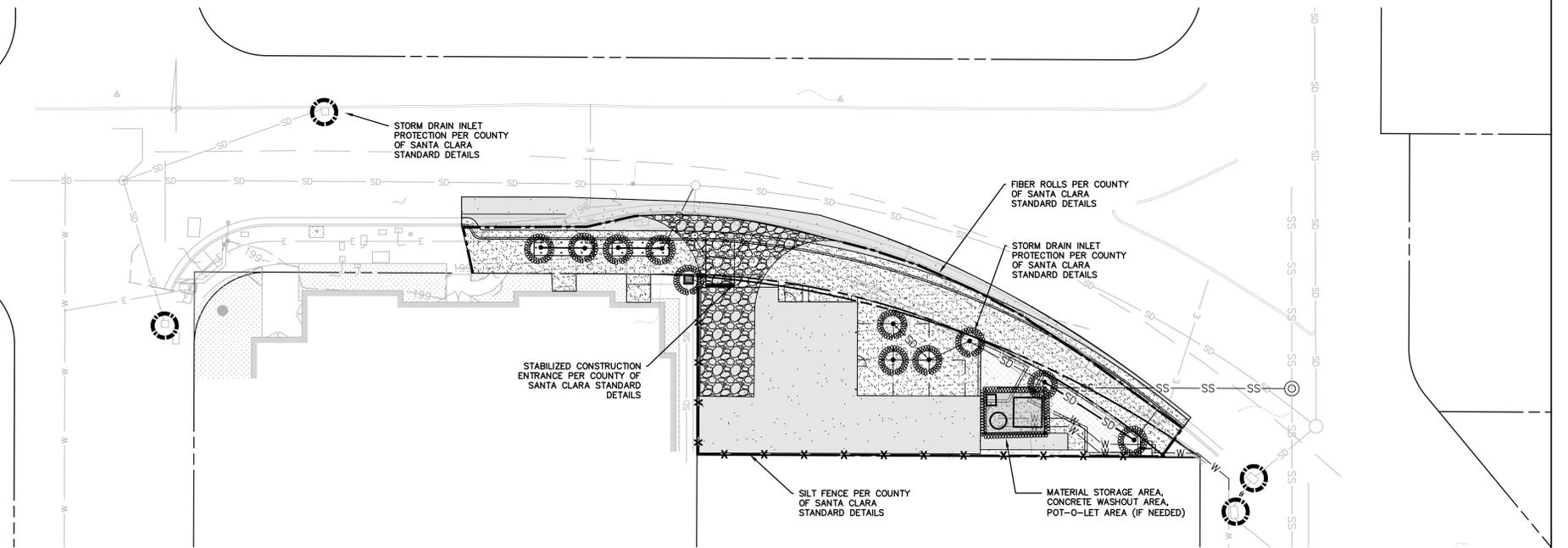
SITE CLEANUP

10. WHEN CLEANING UP, SWEEP WHENEVER POSSIBLE. LITTER AND DEBRIS MUST BE PICKED UP AND DISPOSED OF PROPERLY.
11. IN THE ROADWAY OR ON THE SIDEWALK, MATERIAL STOCKPILES MUST BE REMOVED AND CLEANED UP BY THE END OF EACH DAY.
12. SWEEP UP SOIL AND OTHER LANDSCAPE PRODUCTS THAT REMAIN ON PAVEMENT, SUCH AS THE SIDEWALK, DRIVEWAY, OR STREET BY THE END OF EACH DAY.
13. SWEEP AND REMOVE ANY SOLID WASTE THAT ACCUMULATES AT EROSION AND SEDIMENT CONTROL DEVICES AS SOON AS POSSIBLE.



ROUGH GRADING AND UTILITY EROSION CONTROL PLAN

SCALE: 1"=20'



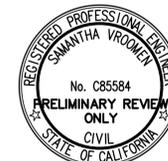
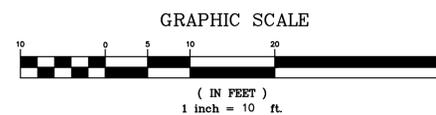
FINALIZATION EROSION CONTROL PLAN

SCALE: 1"=20'

LEGEND

- FIBER ROLLS / STRAW WATTLE — — — — —
- SILT FENCE — X — X —
- FIBER ROLL INLET PROTECTION 
- GRAVEL BAG BARRIER 

NOTE: TOTAL DISTURBED AREA IS APPROXIMATELY 8,200 SF



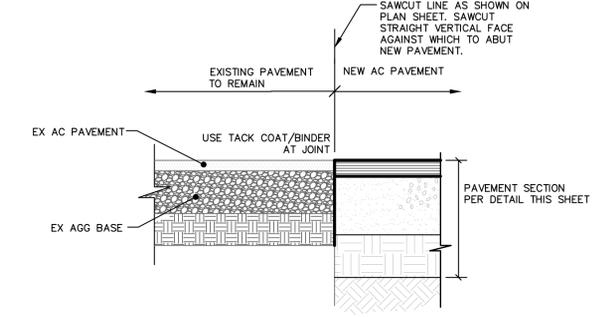
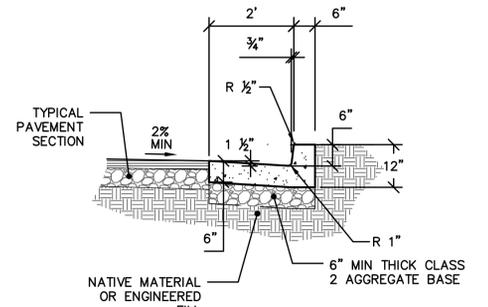
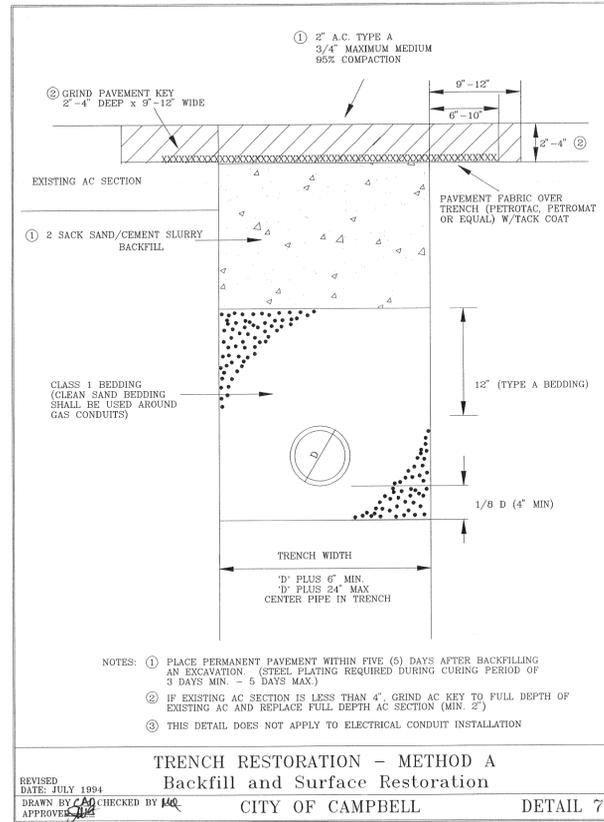
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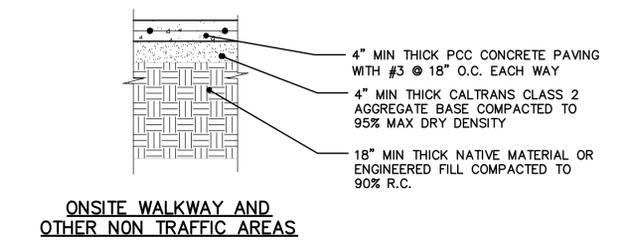
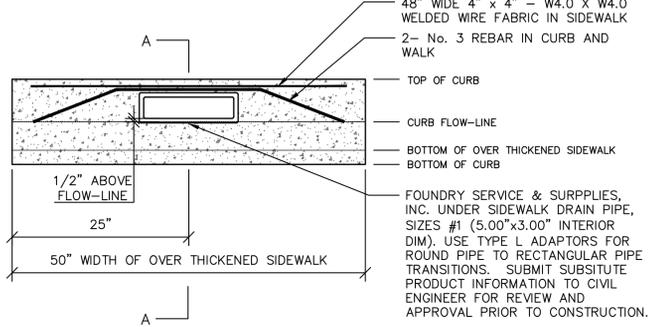
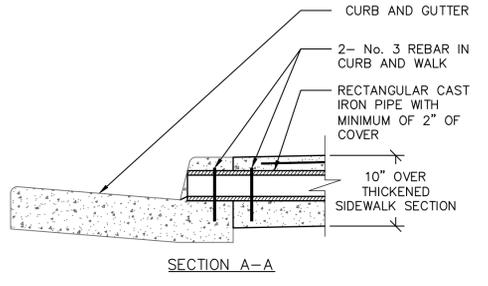
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BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS 3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		EROSION CONTROL PLAN	
FIELD TO BARREL LLC 48 CIVIC CENTER DRIVE CAMPBELL, CALIFORNIA DOC# 25286513			
SCALE 1" = 10'	DRAWN KAB	JOB NO. 28970	SHEET
DATE FEBRUARY 17, 2023	CHECKED SHV	INDEX SANTA CLARA	C4.0
DESIGN	DWG NAME CIVIC CENTER	FILE NO. 28970	OF 6

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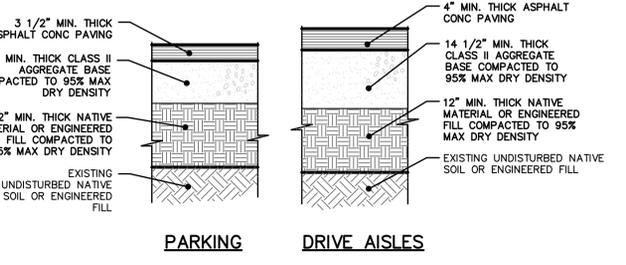
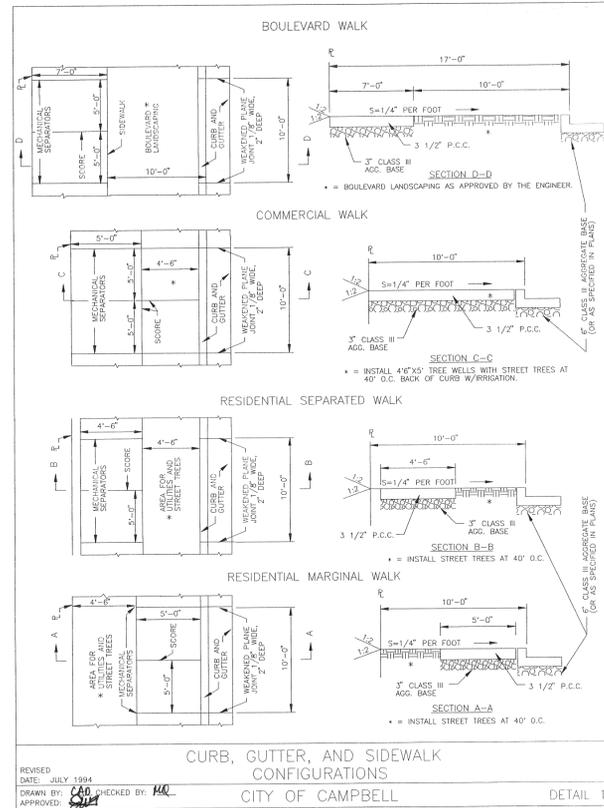
4 CURB AND GUTTER
SCALE: 1/2"=1'-0"

1 PAVEMENT CONFORM DETAIL
SCALE: 3/4"=1'-0"

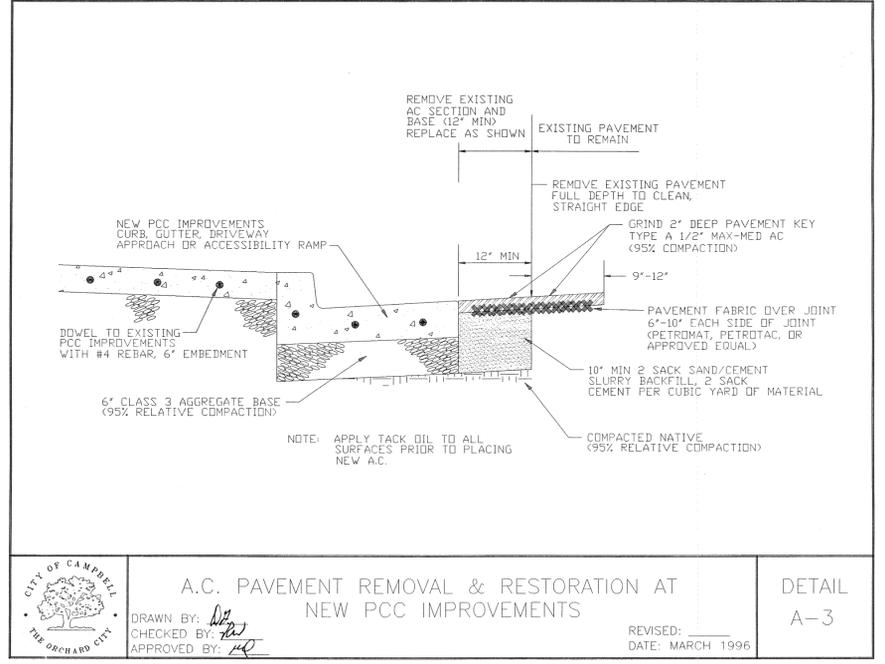


5 UNDER SIDEWALK DRAIN
SCALE: 1"=1'-0"

2 ONSITE CONCRETE SECTIONS
SCALE: 3/4"=1'-0"



3 TYPICAL AC PAVEMENT SECTION
SCALE: 3/4"=1'-0"

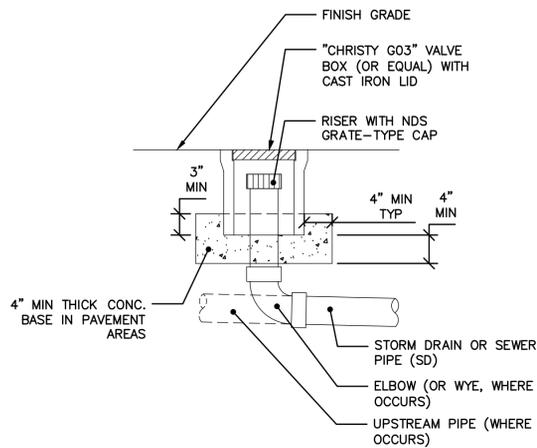


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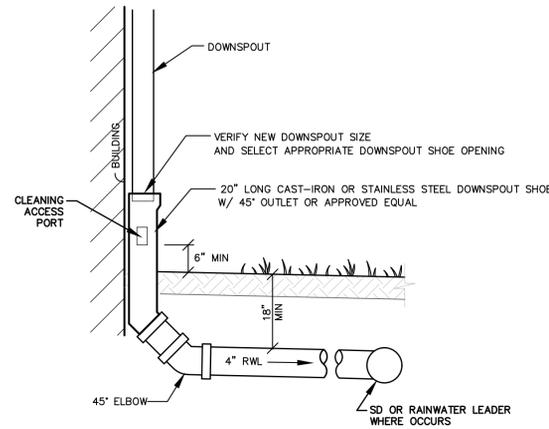


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SCALE 1" = 10' DATE FEBRUARY 17, 2023 DESIGN	DRAWN KAB CHECKED SHV DWG NAME CIVIC CENTER	JOB NO. 28970 INDEX SANTA CLARA FILE NO. 28970	SHEET C5.0 OF 6

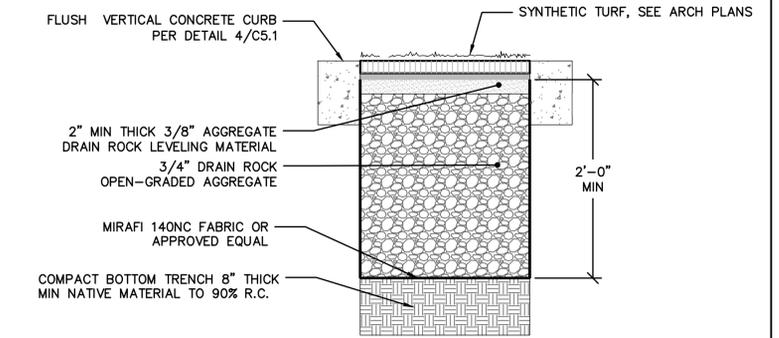
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 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 REVISIONS: [None]
 DATE: MARCH 1996



6
C5.1 **STORM DRAIN CLEANOUT**
SCALE: N.T.S.



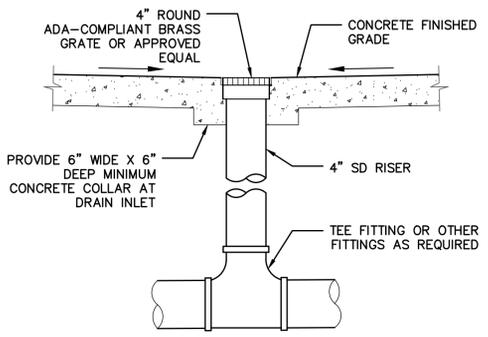
3
C5.1 **DOWNSPOUT CONNECTION TO STORM DRAIN**
SCALE: N.T.S.



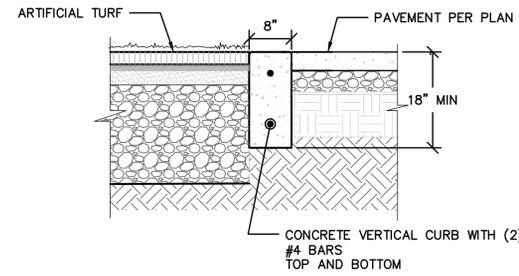
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C5.1 **SYNTHETIC TURF RETENTION AREA DETAIL**
SCALE: N.T.S.

NOTES:

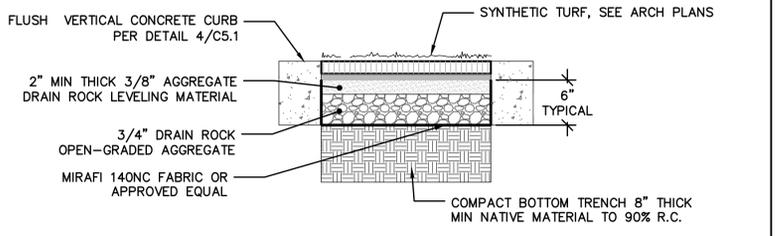
- 3/4" DRAIN ROCK LAYER CAN BE SPREAD AND COMPACTED WITH STATIC ROLLER IN 4-IN LIFTS. AT LEAST 4 PASSES SHOULD BE MADE PER LIFT. INITIAL PASSES SHALL BE WITH VIBRATION, FINAL PASSES SHALL BE WITHOUT VIBRATION.
- 3/8" DRAIN ROCK LAYER, SCREED AND LEVEL OVER 3/4", COMPACTED WITH STATIC ROLLER WITH AT LEAST 4 PASSES. INITIAL PASSES SHALL BE WITH VIBRATION, FINAL PASSES SHALL BE WITHOUT VIBRATION.



7
C5.1 **NDS AREA DRAIN**
SCALE: N.T.S.



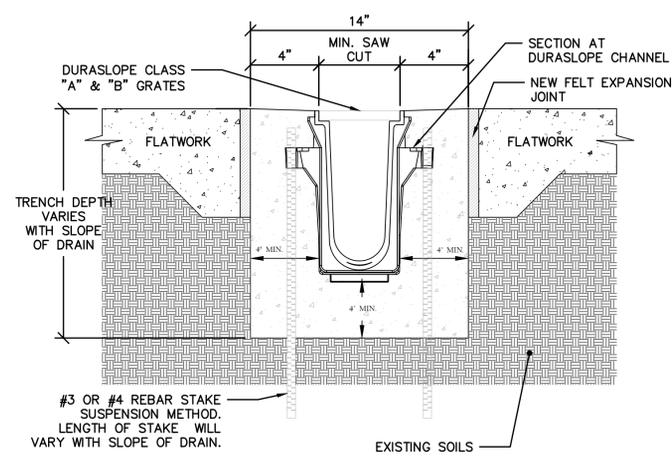
3
C5.1 **DOWNSPOUT CONNECTION TO STORM DRAIN BETWEEN PAVEMENT TYPES**
SCALE: N.T.S.



1B
C5.1 **SYNTHETIC TURF SELF-RETAINING AREA DETAIL**
SCALE: N.T.S.

NOTES:

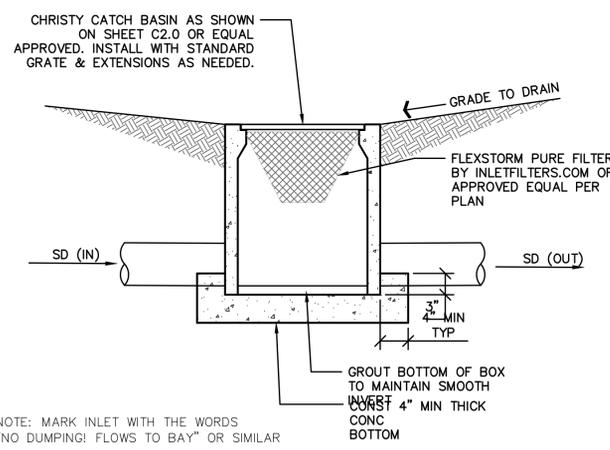
- 3/4" DRAIN ROCK LAYER CAN BE SPREAD AND COMPACTED WITH STATIC ROLLER IN 4-IN LIFTS. AT LEAST 4 PASSES SHOULD BE MADE PER LIFT. INITIAL PASSES SHALL BE WITH VIBRATION, FINAL PASSES SHALL BE WITHOUT VIBRATION.
- 3/8" DRAIN ROCK LAYER, SCREED AND LEVEL OVER 3/4", COMPACTED WITH STATIC ROLLER WITH AT LEAST 4 PASSES. INITIAL PASSES SHALL BE WITH VIBRATION, FINAL PASSES SHALL BE WITHOUT VIBRATION.



8
C5.1 **NDS DURASLOPE DETAIL**
SCALE: N.T.S.

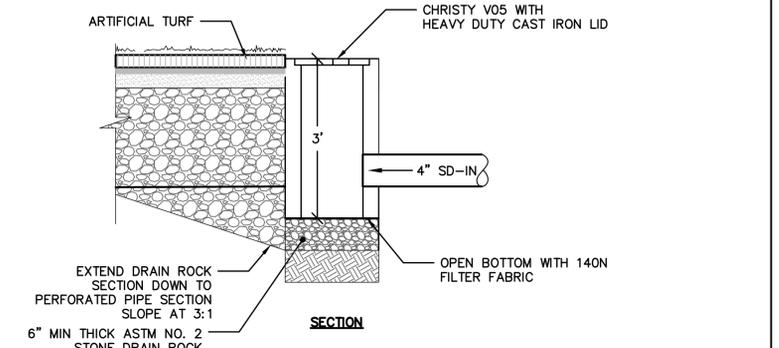
NOTE:
CHANNELS TO BE INSTALLED WITH BLANK GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR (COVER HOLES WITH TAPE). SET TRENCH DRAIN IN CHANNEL SURROUNDED BY 4" OF CONCRETE OR THICKNESS OF THE CONCRETE SLAB WITH A MINIMUM OF 2,500 P.S.I. AVOID FULL LOAD TRAFFIC FOR 28 DAYS OR UNTIL CONCRETE HAS COMPLETELY HARDENED.

4
C5.1 **FLUSH VERTICAL CONCRETE CURB**
SCALE: -



5
C5.1 **TYPICAL CATCH BASIN**
SCALE: N.T.S.

NOTE: MARK INLET WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR SIMILAR



2
C5.1 **V05 BUBBLER DETAIL**
SCALE: 3/4"=1'-0"

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SCALE: AS SHOWN DATE: FEBRUARY 17, 2023 DESIGN:	DRAWN: KAB CHECKED: SHV DWG NAME: CIVIC CENTER	JOB NO.: 28970 INDEX: SANTA CLARA FILE NO.: 28970	SHEET: C5.1 OF: 6

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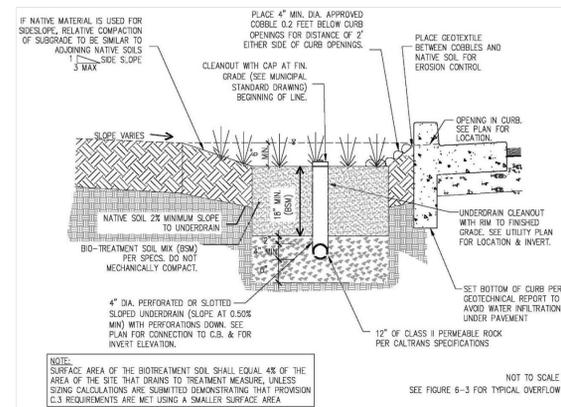


Figure 6-5: Cross Section of a Linear Bioretention Area (with Maximized Infiltration)

1
C5.2

SCVUPPP TYPICAL BIORETENTION

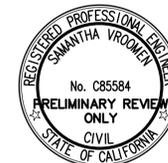
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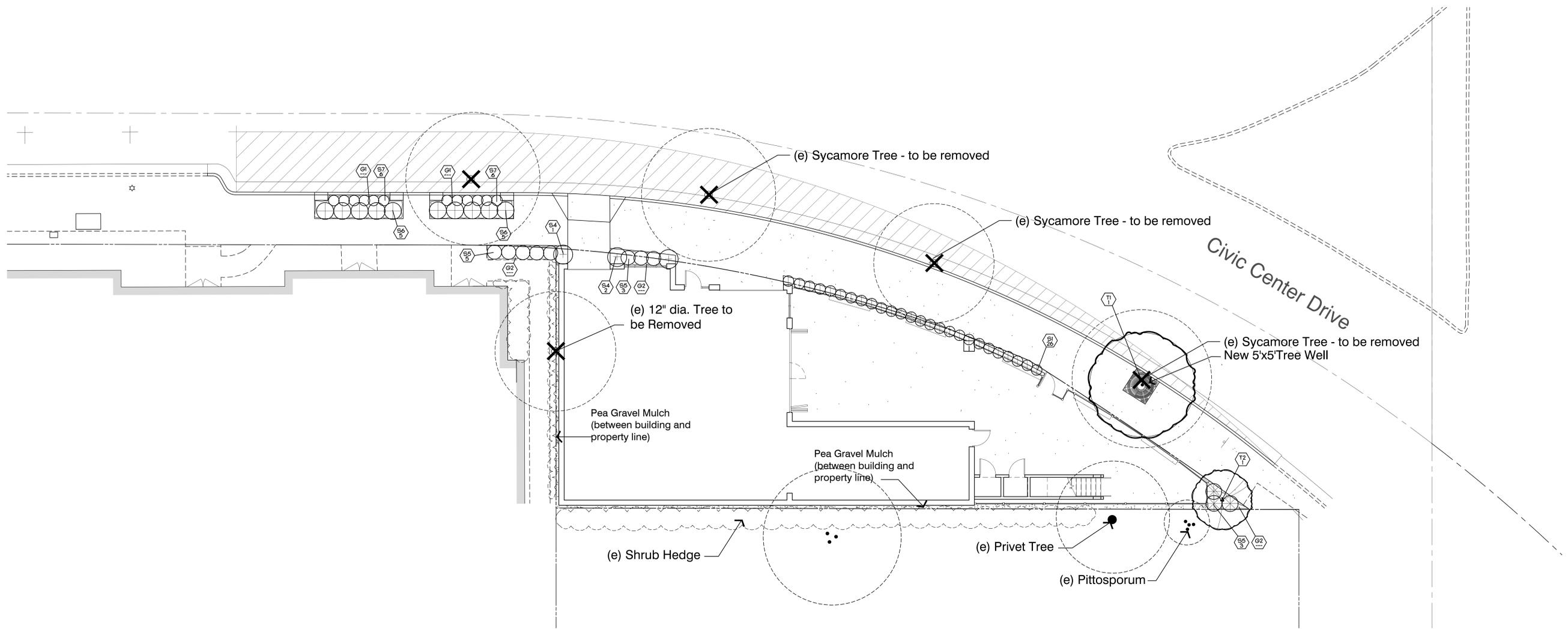
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Call before you dig.

REVISIONS		BOWMAN & WILLIAMS CONSULTING CIVIL ENGINEERS AND LAND SURVEYORS		UTILITY DETAILS	
		3949 RESEARCH PARK COURT, SUITE 100 SOQUEL, CA 95073-2094 (831) 426-3560		FIELD TO BARREL LLC 48 CIVIC CENTER DRIVE CAMPBELL, CALIFORNIA DOC# 25286513	
SCALE	AS SHOWN	DRAWN	KAB	JOB NO.	28970
DATE	FEBRUARY 17, 2023	CHECKED	SHV	INDEX	SANTA CLARA
DESIGN		DWG NAME	CIVIC CENTER	FILE NO.	28970
SHEET					C5.1
OF					6



PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
T1	PLATANUS A. 'COLUMBIA'	LONDON PLANE TREE	---	24" BOX	STANDARD	MEDIUM
T2	LAGERSTROEMIA I. 'NATCHEZ'	CREPE MYRTLE	---	24" BOX	NATURAL	LOW
SHRUBS						
S1	NANDINA D. 'FIRE POWER'	DWARF HEAVENLY BAMBOO	---	5 GAL		LOW
S2	TULBAGHIA V. 'TRICOLOR'	VARIEGATED SOCIETY GARLIC	---	1 GAL		LOW
S3	NANDINA D. 'GULF STREAM'	HEAVENLY BAMBOO	---	5 GAL		LOW
S4	AREBUTUS U. 'OKTOBERFEST'	STRAWBERRY TREE	---	15 GAL		LOW
S5	LOROPETALUM C. 'PURPLE DAYDREAM'	CHINESE FRINGE FLOWER	---	5 GAL		LOW
S6	CHONDRPETALUM TECTORUM	SMALL CAPE RUSH	---	5 GAL		LOW
S7	JUNCUS PATENS	CALIFORNIA GREY RUSH	---	5 GAL		LOW
GROUND COVERS						
G1	ERIOGONUM G. V. RUBESCENS	SAN MIGUEL ISLAND BUCKWHEAT	---	1 GAL	18" O.C.	LOW
G2	CAMPANULA PORTENSCHLAGIANA	DALMATIAN BELLFLOWER	---	1 GAL	18" O.C.	LOW

PLANT NOTES:

- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
- PLANT GROUNDCOVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
- SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
- THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
- IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
- LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
- ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MAY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
- PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT - 800.227.2600
- A MINIMUM OF 3" DEPTH LAYER OF MULCH IS REQUIRED ON ALL EXPOSED PLANTING SURFACES.
- EXISTING TREES SHALL NOT BE PRUNED/ROOT CUTS WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT OR AGRICULTURIST.

LANDSCAPE SOILS REPORT

- CONTRACTOR TO PROVIDE LANDSCAPE PLANTING SOILS TEST REPORT PRIOR TO CONSTRUCTION.
- SOIL SAMPLE TEST TO BE AT 15 INCH ROOT BALL DEPTH.
- CONTRACTOR TO INSTALL AMENDMENTS AS PER SOILS REPORT PRIOR TO PLANTING INSTALLATION.
- CONTRACTOR TO PROVIDE ANOTHER SOIL TEST REPORT AFTER AMENDMENTS HAVE BEEN INCORPORATED INTO LANDSCAPE AREAS AS TO VERIFY AMENDMENTS INSTALLED ARE SATISFACTORY PRIOR TO PLANTING.
- IF SOILS HAVE BEEN LIKED DURING GRADING, THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE LANDSCAPE ARCHITECT, PRIOR TO STARTING ANY WORK, FOR PLANT SUBSTITUTIONS AND SOILS PREP/TEST PROTOCOLS.

PLANT SYMBOLS

- 6xX INDICATES PLANT KEY
- XX INDICATES PLANT QUANTITY
- EXISTING TREE TO REMAIN
- ⊗ EXISTING TREE TO BE REMOVED

2022_048

architect

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 www.casarch.com
 Contact: Jose Cotto
 Jose@casarch.com

owner

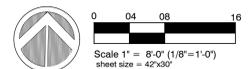
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 180 Garlic Ave
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 408.807.8619
 Contact: Evan Jaques
 Evan@outofthebarrelbeer.com

landscape architect

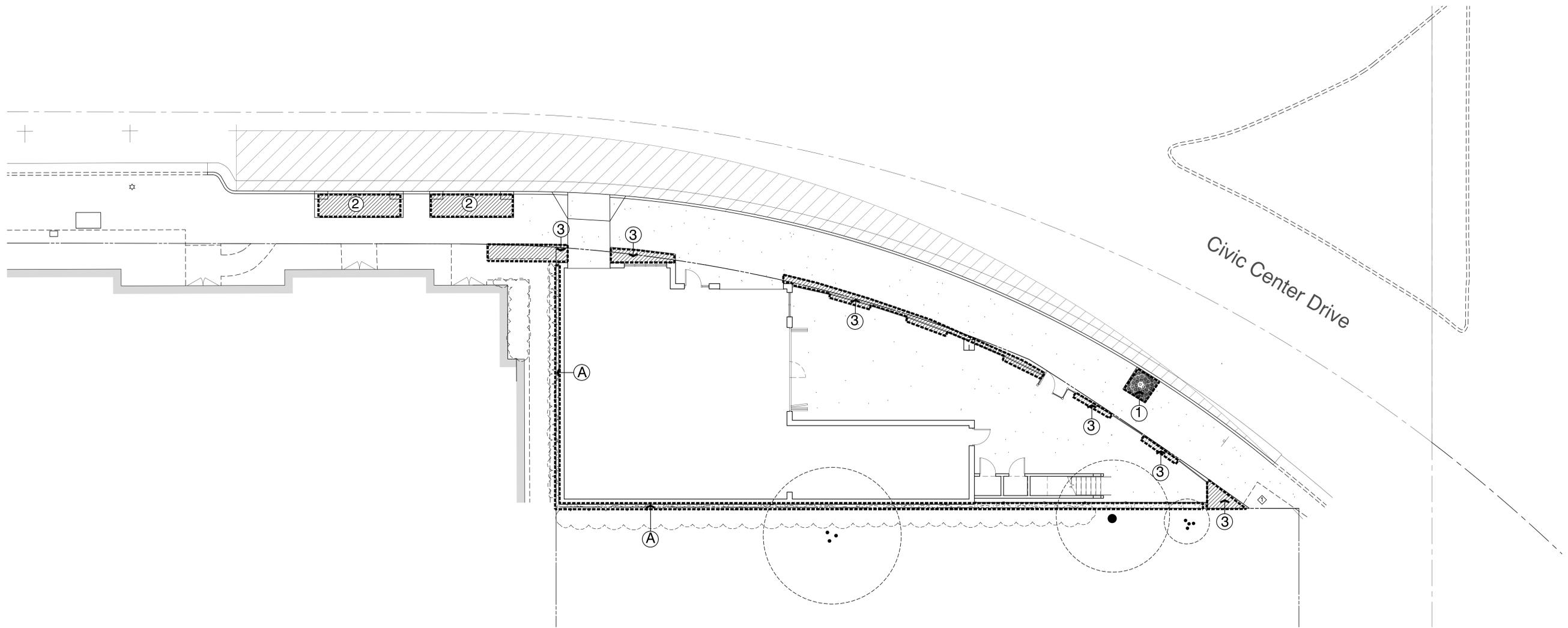
REED ASSOCIATES
 LANDSCAPE ARCHITECTURE
 1345 PAULINE DRIVE
 SUNNYVALE, CALIFORNIA 94087
 408.481.9020 / 408.569.1915 Cell

FIELD TO BARREL TAPROOM CAMPBELL

48 CIVIC CENTER DR,
 CAMPBELL, CA 95008



revisions



Water Efficient Landscape Budget Calculations

Reference Evapotranspiration (ET_o) 45.3

MAWA - Regular Landscape Areas

$$MAWA = (ET_o) \times (0.62) \times ((ETAF \times LA) + (1-ETAF \times SLA))$$

landscape area 317 s.f.
SLA 0 s.f.

ETAF 0.45 average ETAF for regular landscape areas must be 0.55 for residential areas, and 0.45 for non-residential areas.

total area with SLA 317
MAWA total 4,006 gallons per year

ETWU - Regular Landscape Areas

$$ETWU = (ET_o) \times (0.62) \times ((ETAF \times LA) + SLA)$$

hydro-zone number	plant water use	plant factor (PF)	irrigation method	irrigation efficiency	ETAF (PF/IE)	hydro-zone area	ETAF x Area	ETWU
1	medium	0.5	bubbler	0.90	0.556	23	12.8	359
2	low	0.2	drip	0.81	0.247	144	35.6	999
3	low	0.2	drip	0.81	0.247	181	45	1,255
SLA	---	1.0	---	1.00	1.000	0	0	0
A	rock mulch	0.0	---	---	---	178	---	---

ETWU totals 348 93.0 2,613
Total area with all zones and SLA 526

ETAF calculations

total ETAF x area 93.0
total area 348 s.f.
average ETAF 0.267 Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

ETWU calculations

$$ETWU = (ET_o) \times (0.62) \times ((PF \times HA) / (IE) + SLA)$$

ETWU= Eto conv. factor PF x Area/IE SLA
ETWU (gallon per year)= 45.30 .62 93.0 0
2,613

TOTALS

MAWA total 4,006 gallons per year
ETWU total 2,613 gallons per year

34.8 Percentage reduction of Potable Irrigation Water

Note: Zone 'A' not included in water calculations

IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS. HYDROZONE DESIGNATION IS DETERMINED BY HIGHEST WATER REQUIREMENT PLANTING IN ZONE.



MEDIUM WATER REQUIREMENT



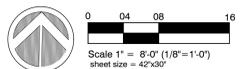
LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)



ROCK MULCH AREA - NOT TO BE INCLUDED IN WATER BUDGET



EXISTING TREE WELL AREA TO REMAIN (AREA NOT TO BE INCLUDED IN WATER BUDGET CALCULATIONS)



2022_048

architect

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landscape architect



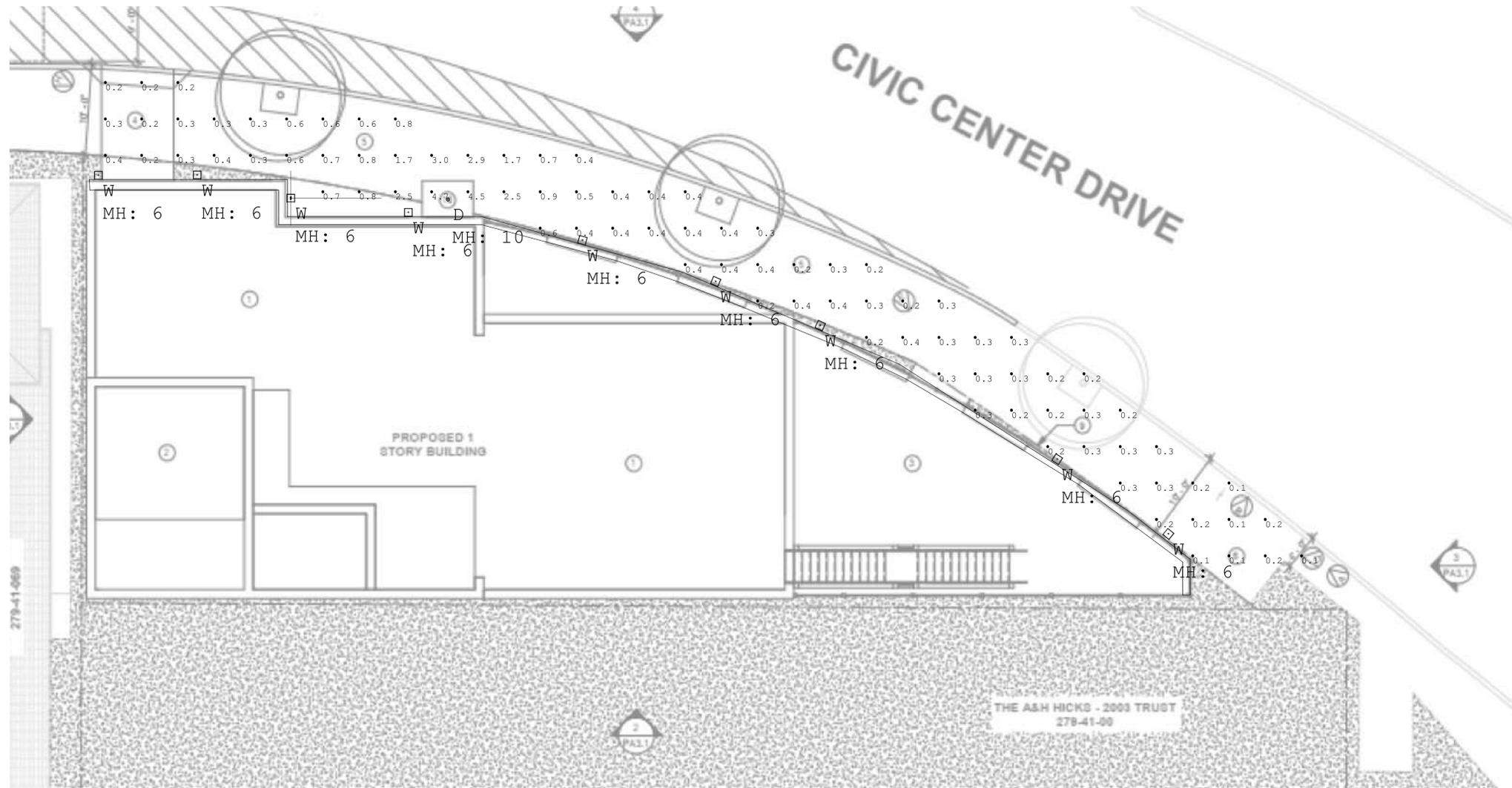
FIELD TO BARREL TAPROOM CAMPBELL

48 CIVIC CENTER DR,
CAMPBELL, CA 95008

revisions

Landscape Hydrozone Plan

L2.0



Luminaire Schedule							
Symbol	Qty	Tag	Description	Lum. Lumens	Lum. Watts [MANUFAC]		LLF
⊕	1	D	Z4RDL10927W0CD	868	10.1	LIGHTOLIER BY SIGNIFY	0.850
⊖	9	W	WS-W5620	405	17.1487	WAC LIGHTING	0.850

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
pavement	Fc	0.58	4.7	0.1	5.80	47.00

Actual light levels may vary due to real environment conditions (ambient temperature, reflectance of surfaces, furniture ect)
 No furniture included in this analysis.

48 CIVIC CENTER

Date: 14.03.2023

Engineer: Olga Zhuk

Tel. 408-970-0119
 1103 Montague Expressway
 Milpitas, CA 95035



