



City of Campbell
70 North First Street
Campbell, CA 95008 –1423



Courtesy Notice

Dear Campbell Resident,

April 6, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1320 Burrows Road

Zoning | Area Plan: R-1-10 | STANP

Neighborhood Association(s): N/A

Council District: 5

File No: PLN-2023-60

APN: 403-16-034

Applicant: Valley Home Builders

Property Owner: Eufemia Vasapollo

Application Type: Site and Architectural Review Permit

Project Planner: Tracy Tam, Associate Planner

Email Contact: tracyt@campbellca.gov

Phone Contact: (408) 871-5103

Project Description:

To allow the demolition of an existing single-family residence and the construction of a new 3,667 SF single-family dwelling.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



VASAPOLLO RESIDENCE



3466 Edward Ave.
Santa Clara CA 95054
P: 408.248.8000
F: 408.695.7652
www.valleyhomebuilders.com



Job Title/Address:

VASAPOLLO RESIDENCE
NEW 2-STORY RESIDENCE
1320 BURROWS ROAD,
CAMPBELL, 95008

Revision :

Planning Submittal 02-23-2023

Contents :
COVER SHEET

Date :
DEC.20.2022

Drawn by :
NP

Scale :
AS SHOWN

Sheet No :

A0.1

Proposed Front Elevation

4

NEW 2-STORY RESIDENCE w/ ATTACHED 2-CAR GARAGE (3,666.3 SF)

Scope of Work

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ADDRESS: 1320 BURROWS ROAD	MAX BLDG HEIGHT:	35'
APN: 406-16-034	PROPOSED BLDG HEIGHT:	22'-7"
ZONING: R-1-10	EXISTING COND. FLOOR AREA:	1,301.0 SF
CONSTRUCTION TYPE: TYPE V-B	EXISTING GARAGE (UNCOND):	320.0 SF
OCCUPANCY: R-3/U	EXISTING FLOOR AREA:	1,621.0 SF
LOT AREA: 9,095 SF	EXISTING LOT COVERAGE:	1,621.0 SF
SETBACKS:	EXISTING LOT COVERAGE:	1,621.0 SF
FRONT: 20'	PROPOSED 1ST FLOOR AREA:	2,690.6 SF
INT. SIDE: 5'	PROPOSED 2ND FLOOR AREA:	975.7 SF
STREET SIDE: 12'	TOTAL PROPOSED FLOOR AREA:	3,666.3 SF
REAR: 5'	AREA:	3,666.3 SF
PROPOSED SETBACKS:	PROPOSED FAR:	40.3%
FRONT 1ST FLR: 33'-2"	PROPOSED COVERED PORCHES:	686.4 SF
FRONT 2ND FLR: 44'-5"	PROPOSED LOT COVERAGE:	3,377.0 SF
INT. SIDE 1ST FLR: 5'-6"	PROPOSED PARKING:	2 COVERED
INT. SIDE 2ND FLR: 10'-10"	FIRE SPRINKLERS:	REQUIRED
STREET SIDE 1ST FLR: 12'-0"		
STREET SIDE 2ND FLR: 25'-2"		
REAR 1ST FLR: 21'-3"		
REAR 2ND FLR: 48'-0"		

Project Data Table

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OWNER:
EUFEMIA VASAPOLLO
1320 BURROWS RD.
CAMPBELL CA 95008
femie77@yahoo.com

LANDSCAPE DESIGNER:
MENAKA RAO
4653 MONTECARLO PARK COURT
FREMONT CA 94538
rao.menaka@gmail.com

GENERAL CONTRACTOR:
VALLEY HOME BUILDERS, INC.
3466 EDWARD AVE.
SANTA CLARA, CA 95054
PH: (408) 992-1039
mvatani@valleyhomebuilders.com

SURVEYOR & CIVIL ENGINEER:
OSUNA ENGINEERING INC.
117 BERNAL RD. SUITE 70-336
SAN JOSE CA 95119
Jesus@osunaengineering.com

Project Team

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Solar PV system to be deferred submittal.
Fire sprinkler system to be deferred submittal.

Deferred Submittals

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- LICENSE NUMBER
- INSURANCE AND WORKER'S COMP POLICIES
- CONSTRUCTION STAGING PLAN
- CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

Req'd Contractor submittals to Bldg Dept prior to permit issuance

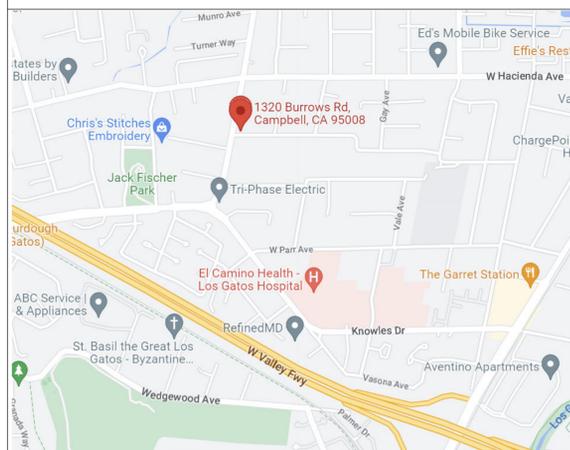
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- 2022 CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2022 CALIFORNIA BUILDING CODE, CBC
- 2022 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2022 CALIFORNIA ELECTRICAL CODE, CEC
- 2022 CALIFORNIA MECHANICAL CODE, CMC
- 2022 CALIFORNIA PLUMBING CODE, CPC
- 2022 CALIFORNIA ENERGY CODE, CEnC
- 2022 CALIFORNIA HISTORICAL CODE, CHC
- 2022 CALIFORNIA FIRE CODE, CFC
- 2022 CALIFORNIA EXISTING HOME BUILDING CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA REFERENCED STANDARDS
- SANTA CLARA COUNTY STANDARD DETAIL AND SPECIFICATION SI-7 FOR CONSTRUCTION SITE SAFETY

- A0.1 COVER SHEET
- A0.2.1 GENERAL NOTES
- S-1 BOUNDARY & TOPO SURVEY
- S-2 BOUNDARY & TOPO SURVEY
- A0.3.1 SITE PHOTOGRAPHY SHEET
- A0.3.2 NEIGHBORHOOD CONTEXT SHEET
- A0.4 EXISTING SITE PLAN
- A0.5 PROPOSED SITE & TREE PROTECTION PLAN
- A0.6 AREA CALCULATIONS
- A1.1 EXISTING FIRST FLOOR & ROOF PLAN
- A1.2 EXISTING ELEVATIONS
- A2.1 PROPOSED FIRST FLOOR PLAN
- A2.2 PROPOSED SECOND FLOOR PLAN
- A2.3 PROPOSED ROOF PLAN
- A3.0 PROPOSED COLOR/MATERIAL SHEET
- A3.1 PROPOSED FRONT ELEVATION
- A3.2 PROPOSED LEFT SIDE ELEVATION
- A3.3 PROPOSED REAR ELEVATION
- A3.4 PROPOSED RIGHT SIDE ELEVATION
- A4.1 PROPOSED SECTIONS
- L-1 LANDSCAPE PLAN
- L-2 HYDROZONE PLAN
- L-3 WATER CALCULATIONS
- L-4 IRRIGATION SCHEDULE
- C0 GRADING & DRAINAGE COVER SHEET
- C1 GRADING & DRAINAGE PLAN
- C2 UTILITY PLAN
- C3 CONSTRUCTION DETAILS
- C4 EROSION CONTROL PLAN & DETAILS
- C5 CONSTRUCTION BEST MANAGEMENT PRACTICES

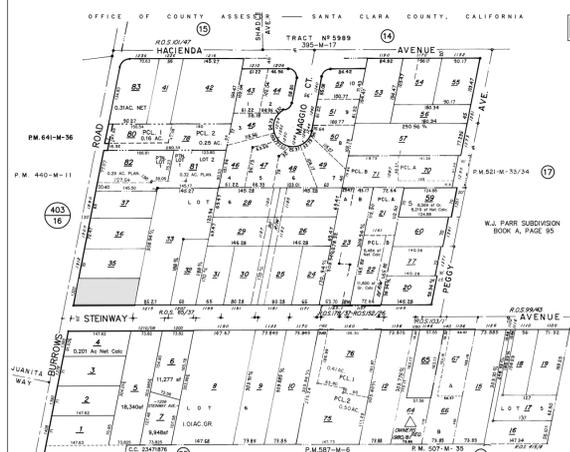
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Vicinity Map

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Parcel Map

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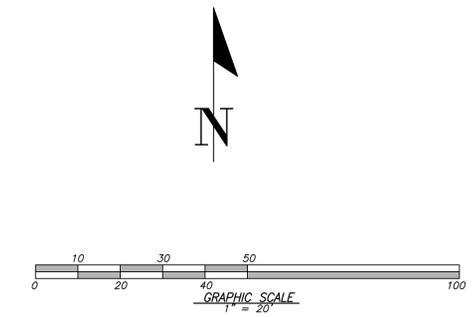
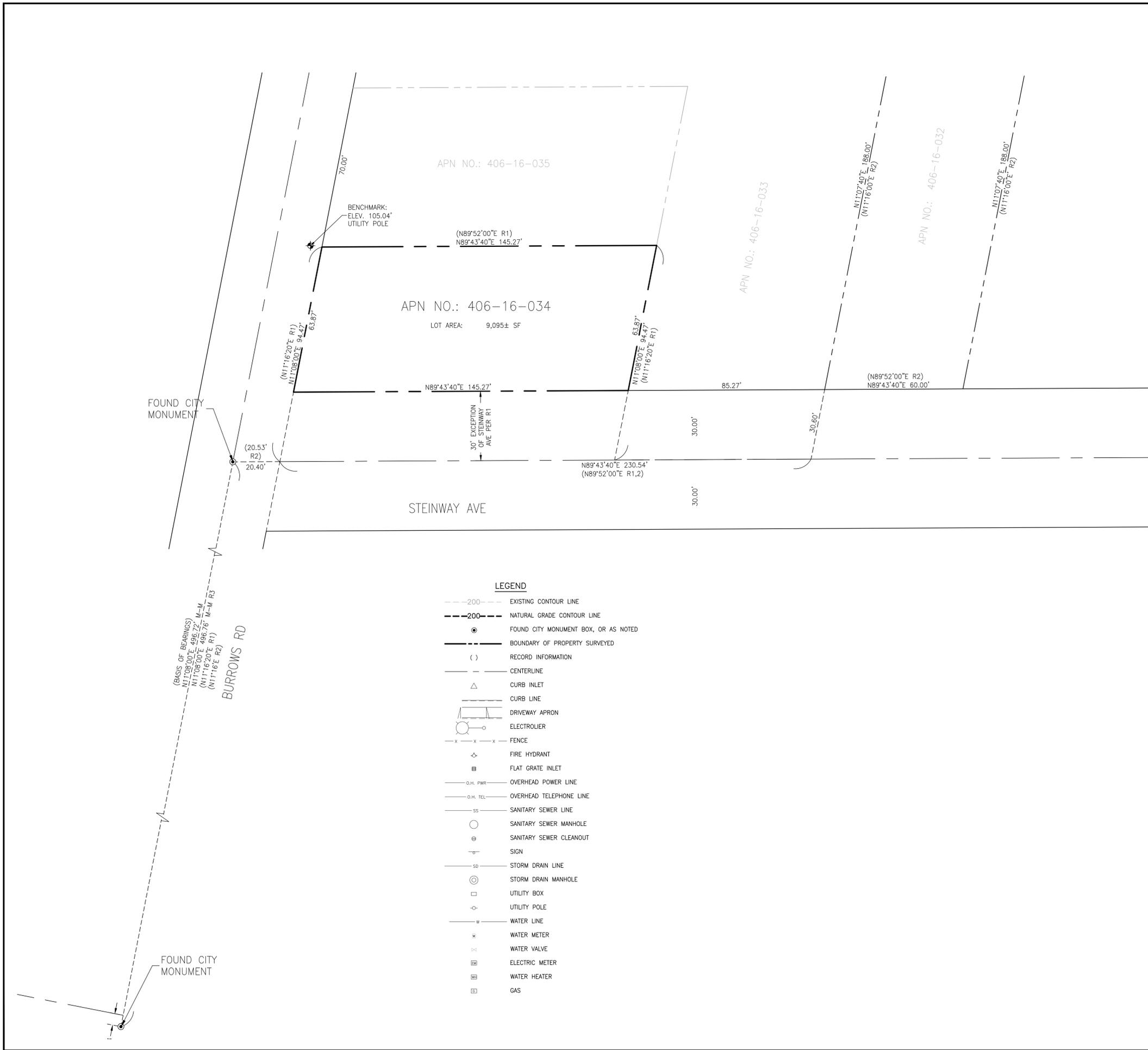
Applicable Codes

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<p>1. DRAWING SHOWS SCOPE OF DEMOLITION ONLY. METHOD OF DEMOLITION REQUIRED TO COMPLETE THE WORK TO BE PER STANDARD INDUSTRY PRACTICES AND WITHIN LIMITATIONS OF GOVERNING REGULATIONS.</p> <p>2. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE DESIGN INTENT ARE ENCOUNTERED, CONTRACTOR IS TO NOTIFY OWNER AND ARCHITECT PRIOR TO PROCEEDING.</p> <p>3. VERIFY LOCATION OF REQUIRED STRUCTURAL FRAMING PRIOR TO REMOVAL. DO NOT REMOVE ANY ELEMENT THAT MIGHT RESULT IN A STRUCTURAL DEFICIENCY WITHOUT PROPER TEMPORARY SHORING.</p> <p>4. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED OR INDICATED AS OWNERS PROPERTY, DEMOLITION MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM ON SITE. COMPLY WITH LOCAL REQUIREMENTS FOR OFF-HAULING AND DISPOSAL. VERIFY ITEMS TO BE SALVAGED WITH OWNER IN FIELD.</p> <p>5. NOTIFY ARCHITECT AND OWNER OF SUSPECTED HAZARDOUS MATERIAL. ANY HAZARDOUS MATERIAL SHALL BE REMOVED BY LICENSED HAZMAT CONTRACTOR.</p> <p>6. PROVIDE TEMPORARY PROTECTION FOR ANY EXISTING TREES OR LANDSCAPING TO REMAIN.</p> <p>7. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.</p> <p>8. THE EXISTING BUILDING SHALL BE PROTECTED DURING THE COURSE OF DEMOLITION.</p> <p>9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION PRIOR TO COMMENCING DEMOLITION.</p> <p>10. ALL REQUIRED EXCAVATION SHALL BE CLEARED OF ALL CONCRETE AND ORGANIC MATERIALS PRIOR TO BACKFILLING. ALL EXCAVATION SHALL BE FILLED UNDER THE SUPERVISION OF A SOILS ENGINEER WHERE APPLICABLE OR TO ACCEPTED INDUSTRY STANDARDS.</p> <p>11. SAW CUT EXISTING CONCRETE TO BE DEMOLISHED WHEREVER FEASIBLE.</p> <p>12. OWNER TO RETAIN POSSESSION OF ALL DOORS, WINDOWS, BATHROOM MIRRORS, BATHROOM MEDICINE CABINET, AND CEILING LIGHT FIXTURES.</p> <p>13. DEMOLITION PLAN IS A GRAPHIC REPRESENTATION OF SCOPE OF DEMOLITION BUT IS NOT INTENDED TO BE COMPREHENSIVE. CONTRACTOR TO REVIEW EXISTING CONDITIONS RELATIVE TO SCOPE OF NEW WORK ON ALL ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL DEMOLITION REQUIREMENTS, PRIOR TO FINALIZING BID. CONTACT ARCHITECT IN THE EVENT OF ANY CONFLICTS OR DISCREPANCIES.</p>	<p>8. CONTRACTOR SHALL ARRANGE FOR A MEETING AFTER DETERMINING THE PROJECT DIMENSIONAL LAYOUT FOR REVIEW BY THE ARCHITECT AND OWNER.</p> <p>9. CHANGE ORDERS MUST BE PROVIDED IN WRITING AND SHALL BE FOR EITHER ADDITIONS OR SUBTRACTIONS TO THE CONSTRUCTION CONTRACT. CHANGE ORDERS MUST BE SIGNED BY ALL PARTIES BEFORE THE WORK PROCEEDS.</p> <p>10. CONTRACTOR TO REVIEW ALL DESIGN CHANGES OR SUBSTITUTIONS WITH THE ARCHITECT AND RECEIVE APPROVAL FOR ALL CHANGES.</p> <p>11. CODE UPGRADE WORK NOT REQUIRED BY BUILDING INSPECTORS IS TO BE REVIEWED WITH THE ARCHITECT AND OWNER TO DETERMINE COURSE OF ACTION. IF THE CONTRACTOR BELIEVES CODE UPGRADE IS NECESSARY AND IT HAS NOT BEEN REQUIRED BY THE BUILDING INSPECTOR, THE ARCHITECT AND OWNER SHALL DETERMINE WHETHER THE WORK IS TO BE UNDERTAKEN.</p> <p>12. VERIFY ALL EQUIPMENT SIZES BEFORE COMMENCEMENT OF THE WORK.</p> <p>13. ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS ARE "DESIGN/BUILD." PERFORMANCE SPECIFICATIONS ARE TO BE REVIEWED BY THE ARCHITECT AND OWNER BEFORE COMMENCEMENT OF THE WORK, I.E., FURNACE SIZE AND TYPE, ELECTRICAL PANEL SIZES, ETC. PROVIDE SHOP DRAWINGS OF MECHANICAL LAYOUT INCLUDING SOFFIT REQUIREMENTS FOR REVIEW BY OWNER AND ARCHITECT FOR APPROVAL.</p> <p>14. PROVIDE COMPLETE FURRING AND SOFFITS TO INSTALL ALL HORIZONTAL AND VERTICAL HVAC DUCTS, VENTING, AND PLUMBING. CONTRACTOR IS TO CONCEAL ASSEMBLIES ABOVE CEILING WITHOUT USING SOFFITS WHEREVER POSSIBLE. COORDINATE WITH OWNER IN FIELD PRIOR TO INSTALLATION.</p> <p>15. INSTALL ALL EQUIPMENT, FIXTURES, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>16. CONTRACTOR TO COORDINATE WITH OWNER FOR OWNER-PROVIDED MATERIALS AND PRODUCTS.</p> <p>17. CONTRACTOR TO COMBINE VENTS WHEREVER FEASIBLE TO MINIMIZE PIPE PENETRATIONS THROUGH ROOF. VENTS TO BE ROUTED TO SIDE OF ROOF FACING AWAY FROM STREET(S) WHEREVER POSSIBLE. SEE ALSO ROOF PLAN FOR LOCATION OF FALSE CHIMNEYS FOR VENTING.</p> <p>18. PROVIDE INSULATION IN WALLS, FLOORS, CEILINGS, AND ROOFS ADJOINING EXTERIOR OR UNCONDITIONED SPACES--SEE BID INSTRUCTIONS FOR SCHEDULE (INSULATION VALUES TO BE NO LESS THAN AS INDICATED IN TITLE 24 ENERGY REPORT)--INSULATION TO CONFORM TO FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CRC 302.10</p> <p>19. PROVIDE WATER-RESISTANT GYP. BD. AT ALL BATH, TOILET, AND LAUNDRY ROOM WALLS THAT WILL BE PAINTED. PROVIDE FIBER-MAT REINFORCED CEMENTITIOUS BACKER UNITS AT ALL WALL AND CEILING SURFACES THAT MAY BE FINISHED WITH TILE PER CRC702.4.2.</p> <p>20. ALL WOOD SHALL BE PAINTED AS FOLLOWS: 20.1. EXTERIOR: TWO COAT OVER PRIMER, STAIN AND SEAL WHERE INDICATE 20.2. INTERIOR: TWO COAT OVER PRIMER, STAIN AND SEAL WHERE INDICATED</p> <p>21. COLORS TO BE SELECTED BY ARCHITECT AND OWNER. FINAL ACCEPTANCE OF COLORS WILL BE FROM JOB-APPLIED SAMPLES. PROVIDE FULL-COAT FINISH SAMPLES ON SURFACE WITH A MINIMUM SIZE OF 25 S.F. FOR APPROVAL BY ARCHITECT AND OWNER.</p> <p>22. ADEQUATE PREPARATION OF THE SUBSTRATE IS IMPERATIVE TO PROPER BONDING OF THE PAINT. PREP EACH SUBSTRATE AS RECOMMENDED BY MANUFACTURER. THOROUGHLY CLEAN ALL SURFACES. REMOVE ANY PAINT WHERE BONDING FAILURE IS EVIDENT AND ROUGHEN SURFACES AS REQUIRED FOR ADHESION OF NEW PAINT.</p> <p>23. TILE FLOORING TO BE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR (I.B.C.), UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING AND ORDERING INFORMATION. CONTRACTOR SHALL ASSIST IN DETERMINING QUANTITIES WHEN REQUIRED.</p> <p>24. CONTRACTOR SHALL PROVIDE OWNER WITH REQUESTED DATES FOR DELIVERY OF ALL P.B.O. PRODUCTS AND KEEP OWNER ABREAST OF SCHEDULE. OWNER SHALL DETERMINE LEAD TIME FOR ALL PRODUCTS AND PROVIDE DELIVERY WHEN REQUIRED BY CONTRACTOR.</p> <p>25. FOR ALL MATERIALS PROVIDED BY CONTRACTOR WHICH REQUIRE COLOR OR FINISH SELECTION, CONTRACTOR SHALL CONTACT ARCHITECT AND OWNER FOR ALL DECISIONS.</p>	<p>26. THE CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND SAFE AT ALL TIMES AND SHALL LEAVE THE PREMISES CLEAN AND ORDERLY, AND READY FOR OCCUPANCY.</p> <p>27. THE CONTRACT FOR CONSTRUCTION SHALL GENERALLY FOLLOW THE GENERAL CONDITIONS OF AIA CONTRACT A201, 1997 VERSION.</p> <p>28. USE QUARTER ROUND TRIM PIECES (FOR FULL MORTAR BED) OR BULLNOSE EDGE TRIM PIECES (FOR THINSET), OR MFR. METAL EDGING FOR EXPOSED OUTSIDE EDGE CONDITIONS.VERIFY WITH OWNER IN FIELD.</p> <p>29. CONTRACTOR TO COORDINATE WITH THE OWNER FOR ALL A/V AND/OR TELECOM WORK.</p> <p>30. ALL EXPOSED SHEET METAL EDGES TO BE FLAT HEMMED BACK A MINIMUM OF 10 TIMES THE MATERIAL THICKNESS.</p> <p>31. R317.3.1 FASTENERS FOR PRESERVATIVE-TREATED WOOD: FASTENERS, INCLUDING NUTS AND WASHERS, FOR PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED, ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE R COPPER. COATING TYPES AND WEIGHTS FOR CONNECTORS IN CONTACT WITH PRESERVATIVE-TREATED WOOD SHALL BE IN ACCORDANCE WITH THE CONNECTOR MANUFACTURER'S RECOMMENDATIONS. IN THE ABSENCE OF MANUFACTURER'S RECOMMENDATIONS, A MINIMUM OF ASTM A655 TYPE G185 ZINC-COATED GALVANIZED STEEL, OR EQUIVALENT, SHALL BE USED.</p>	<p>15. ELECTRICAL BOXES ON OPPOSITE SIDES OF RATED GARAGE WALL TO BE SEPARATED BY HORIZONTAL DISTANCE OF 24" MIN. WITH INDIVIDUAL NON-COMMUNICATING STUD CAVITIES.</p> <p>16. PROVIDE LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) (COMBINATION TYPE) PROTECTION FOR ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, 15 & 20 AMP OUTLETS (FOR RECEPTACLES, LIGHTS, & SMOKE ALARMS) INSTALLED IN FAMILY ROOMS, LIVING ROOMS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS. GROUND FAULT (GFCI) IS REQUIRED IN BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, AND BASEMENTS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS AND LAUNDRY AREAS PER ART 210.12 AND CEC 210.8</p> <p>17. ALL RECEPTACLES IN BATHROOMS, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES, DISHWASHERS, DISPOSALS), LAUNDRY AREA, SINKS (WITHIN 6 FEET OF THE EDGE OF THE SINKS, BATHTUBS, OR SHOWERS), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI OR GFI) PROTECTION. (CEC 210.8)</p> <p>18. FOR REMODEL PROJECTS: EXISTING WIRING TO BE UPGRADED TO MEET CURRENT CODE.</p> <p>19. TWO SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. NOTE: THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES-- ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING THE REFRIGERATOR. CEC 210.11(C)(1) & 210.52(B)</p> <p>20. LAUNDRY RECEPTACLE OUTLET TO BE A DEDICATED 20-AMP BRANCH CIRCUIT PER CEC 210.11(C)(2) & 210.52(F). PROVIDE AN ADDITIONAL 30-AMP 4-WIRE CIRCUIT FOR ELECTRICAL DRYER.</p> <p>21. DEDICATED 20-AMP CIRCUIT REQUIRED TO SERVE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) CEC 210.11(C)(3) & 210.52(D)</p> <p>22. PLACE RECEPTACLES IN REMODELED AREAS @ 12 FEET O.C. MAXIMUM AND WITHIN 6 FEET OF END WALLS. WALL SPACES INCLUDE FIXED PANELS IN EXTERIOR WALLS, EXCLUDING SLIDING PANELS AND ALSO FIXED ROOM DIVIDERS SUCH AS BAR TYPE COUNTERS OR RAILINGS. CEC 210.52(A). OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP. CEC 210.52(C)(1).</p> <p>23. SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING, BE EQUIPPED WITH BATTERY BACK-UP, AND BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS. ALARMS SHALL BE AUDIBLE IN ALL SLEEPING ROOMS. SMOKE ALARMS SHALL NOT BE INSTALLED WITHIN 36" HORIZONTAL PATH FROM SUPPLY OR RETURN REGISTERS OF HEATING OR COOLING SYSTEMS AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW OF THOSE REGISTERS PER CRC SEC. R314 AND 315. SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED LESS THAN 36 INCHES FROM THE DOOR OR OPENING OF A BATHROOM WITH A TUB OR SHOWER. REFER TO MANUF. INSTRUCTIONS FOR INSTALLATION IN ROOMS WITH VARIATIONS IN CEILING HEIGHT. OWNER TO PROVIDE DETECTORS FOR INSTALLATION.</p> <p>24. ALL RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE IC RATED AND AIR-TIGHT (AT) LABELED AND SHALL HAVE AN ELECTRONIC BALLAST. FIXTURES NOT IC RATED CAN BE USED IN NON-INSULATED AREAS AND SHALL BE SPACED AT LEAST 1/2" FROM COMBUSTIBLE MATERIALS.</p> <p>25. RECEPTACLES INSTALLED OUTDOORS IN LOCATIONS UNPROTECTED FROM THE WEATHER SHALL HAVE AN ENCLOSURE THAT IS WATERPROOF WHETHER OR NOT A PLUG IS INSERTED. ALL 15 & 20 AMP 125 & 250 VOLT NON-LOCKING RECEPTACLES SHALL BE LISTED WEATHER AND TAMPER RESISTANT TYPE (AND MARKED "WR" & "TR") CEC SECTIONS 210.52(E) AND 406.09</p> <p>26. ALL MULTIWIRE BRANCH CIRCUITS REQUIRE SIMULTANEOUS DISCONNECT AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES. MULTIWIRE BRANCH CIRCUITS IN A PANELBOARD OR OTHER ENCLOSURE MUST BE GROUPED TOGETHER BY WIRE TIES OR SIMILAR MEANS TO IDENTIFY THE CORRESPONDING GROUNDED AND UNGROUNDED CONDUCTORS OF THE CIRCUIT.</p> <p>27. A DEDICATED BRANCH CIRCUIT SHALL BE PROVIDED TO WATER HEATER. INSTALL PER MANUFACTURER INSTRUCTIONS</p> <p>28. A 125 V RECEPTACLE SHALL BE LOCATED WITHIN 20 FT OF ALL HEATING, AC AND REFRIGERATION EQUIPMENT</p>																		
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Job Title/Address:	VASAPOLLO RESIDENCE	
	NEW 2-STORY RESIDENCE 1320 BURROWS ROAD, CAMPBELL, 95008	
	Revision :	
Planning Submittal		02-23-2023
	Contents :	
	GENERAL NOTES	
	Date :	
	DEC.20.2022	
	Drawn by :	
	NP	
	Scale :	
	AS SHOWN	
	Sheet No :	
	A0.2.1	



BASIS OF BEARINGS
 THE BEARING NORTH 11°08'00" EAST OF THE CENTER LINE OF BURROWS RD AS SHOWN ON THAT MAP OF W.J. PARR SUBDIVISION FILED FOR RECORD IN BOOK A OF MAPS PAGES 95, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

REFERENCES:
 R1 GRANT DEED DOC#21639314
 R2 ROS 65-M-37
 R3 CORNER RECORD #1576

BENCH MARK
 DESCRIPTION: ASSUMED BENCHMARK, UTILITY POLE ON STREET, NEAR THE NORTH WESTERLY CORNER OF LOT AS SHOWN:
 PROJECT BENCHMARK 105.04' (NAVD88 DATUM)

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FF	FINISH FLOOR
FL	FLOW LINE ELEVATION
GFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
R#	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

NOTES:

- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
- TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
- TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
- UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
- BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
- FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
- A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

LEGEND

---	EXISTING CONTOUR LINE
- - -	NATURAL GRADE CONTOUR LINE
⊙	FOUND CITY MONUMENT BOX, OR AS NOTED
---	BOUNDARY OF PROPERTY SURVEYED
()	RECORD INFORMATION
---	CENTERLINE
---	CURB INLET
---	CURB LINE
---	DRIVEWAY APRON
---	ELECTROLIER
- x - x - x -	FENCE
⊕	FIRE HYDRANT
■	FLAT GRATE INLET
---	O.H. PWR OVERHEAD POWER LINE
---	O.H. TEL OVERHEAD TELEPHONE LINE
---	SS SANITARY SEWER LINE
○	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER CLEANOUT
⊕	SIGN
---	SD STORM DRAIN LINE
⊕	SD STORM DRAIN MANHOLE
□	UTILITY BOX
⊕	UTILITY POLE
---	W WATER LINE
⊕	WATER METER
⊕	WATER VALVE
⊕	ELECTRIC METER
⊕	WATER HEATER
⊕	GAS

	REVISIONS																																																		
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<p>OSUNA ENGINEERING INC. Planning Surveying Civil Engineering CONSULTING CIVIL ENGINEERS & LAND SURVEYORS 117 BERNAL RD, STE. 70-336 TEL. (408) 772-4381 SAN JOSE, CA 95119 info@osunainc.com</p>																																																			
<p>PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY 1320 BURROWS RD APN: 406-16-034</p>																																																			
<p>SHEET 1 OF 2 SHEETS</p>																																																			

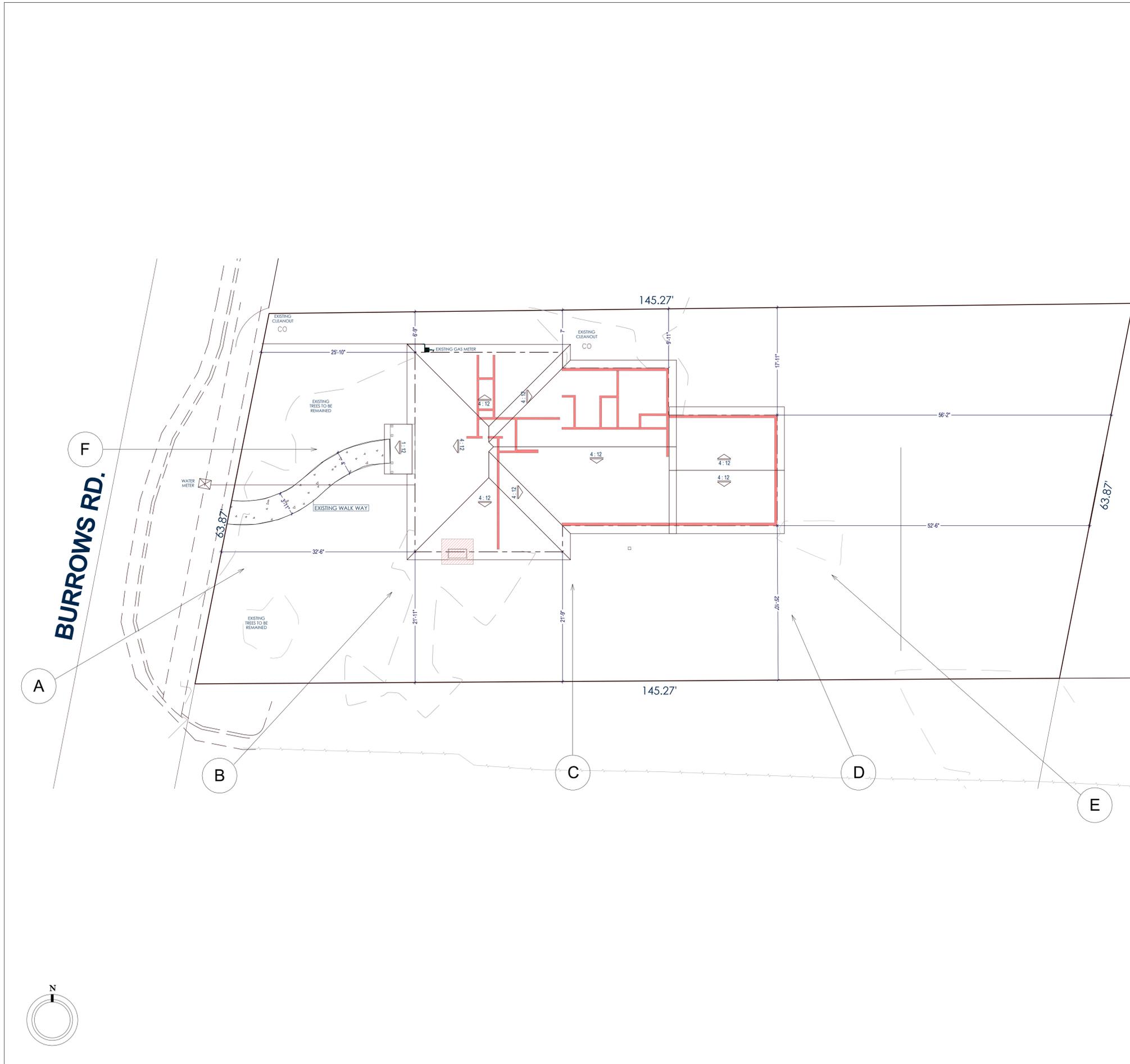


IMAGE (A)



IMAGE (B)



IMAGE (C)



IMAGE (D)



IMAGE (E)



IMAGE (F)

3466 Edward Ave.
 Santa Clara CA 95054
 P: 408.248.8000
 F: 408.695.7652
 www.valleyhomebuilders.com



Job Title/Address:
**VASAPOLLO
 RESIDENCE**
 NEW 2-STORY RESIDENCE
 1320 BURROWS ROAD,
 CAMPBELL, 95008

Issue Log :

Planning Submittal	02-23-2023

Contents :

SITE PHOTOGRAPHY SHEET

Date :

DEC.20.2022

Drawn by :

NP

Scale :

AS SHOWN

Sheet No :

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1312 BURROWS ROAD

1320 BURROWS ROAD

Neighborhood Context - Burrows Road Elevation 3/32"=1'-0" 4



1320 BURROWS ROAD

1215 STEINWAY AVE.

Neighborhood Context - Steinway Ave. Elevation 3/32"=1'-0" 3

EXISTING 1-STORY RESIDENCE (1290 BURROWS RD)

EXISTING 1-STORY RESIDENCE (1300 BURROWS RD)

EXISTING 2-STORY RESIDENCE (1312 BURROWS RD)

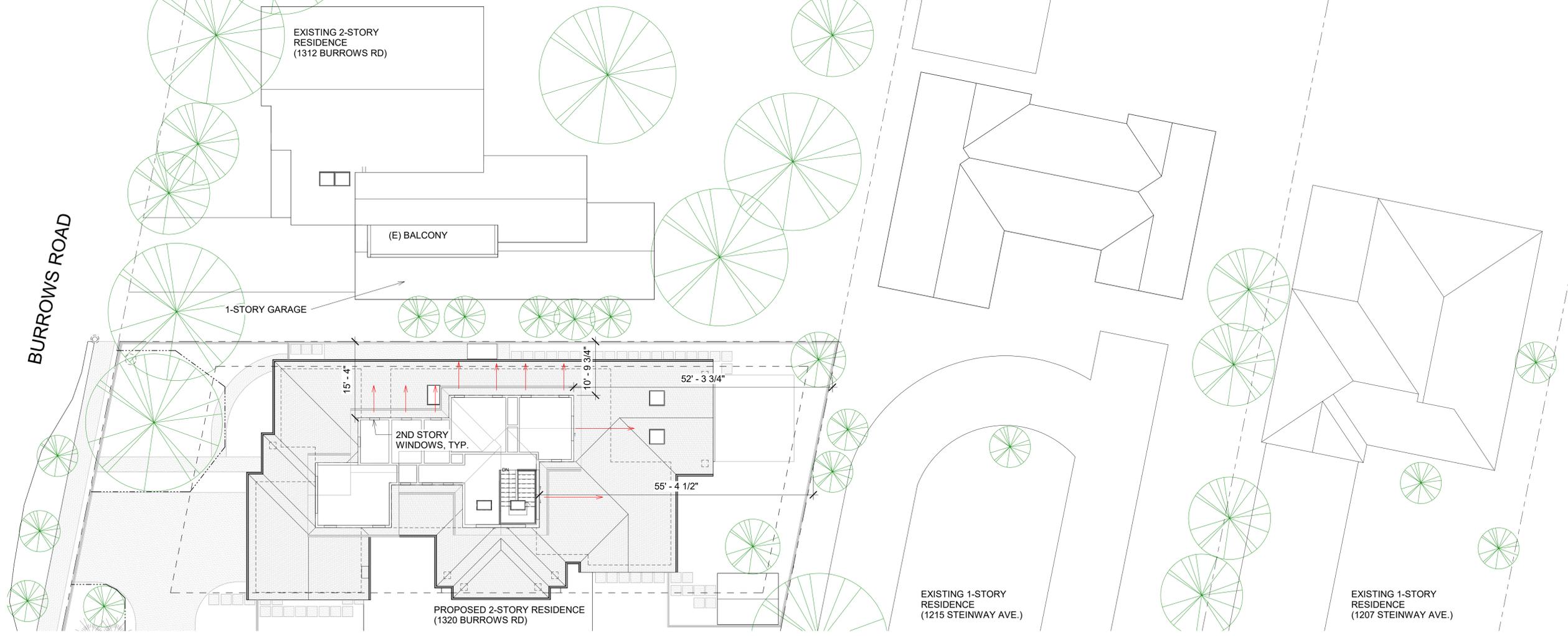
PROPOSED 2-STORY RESIDENCE (1320 BURROWS RD)

EXISTING 1-STORY RESIDENCE (1215 STEINWAY AVE.)

EXISTING 1-STORY RESIDENCE (1207 STEINWAY AVE.)



Neighborhood Context - Site Plan 1"=40'-0" 2



STEINWAY AVE

Neighborhood Context - Privacy Plan 3/32"=1'-0" 1



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Contents :
NEIGHBORHOOD CONTEXT

Date :
DEC.20.2022

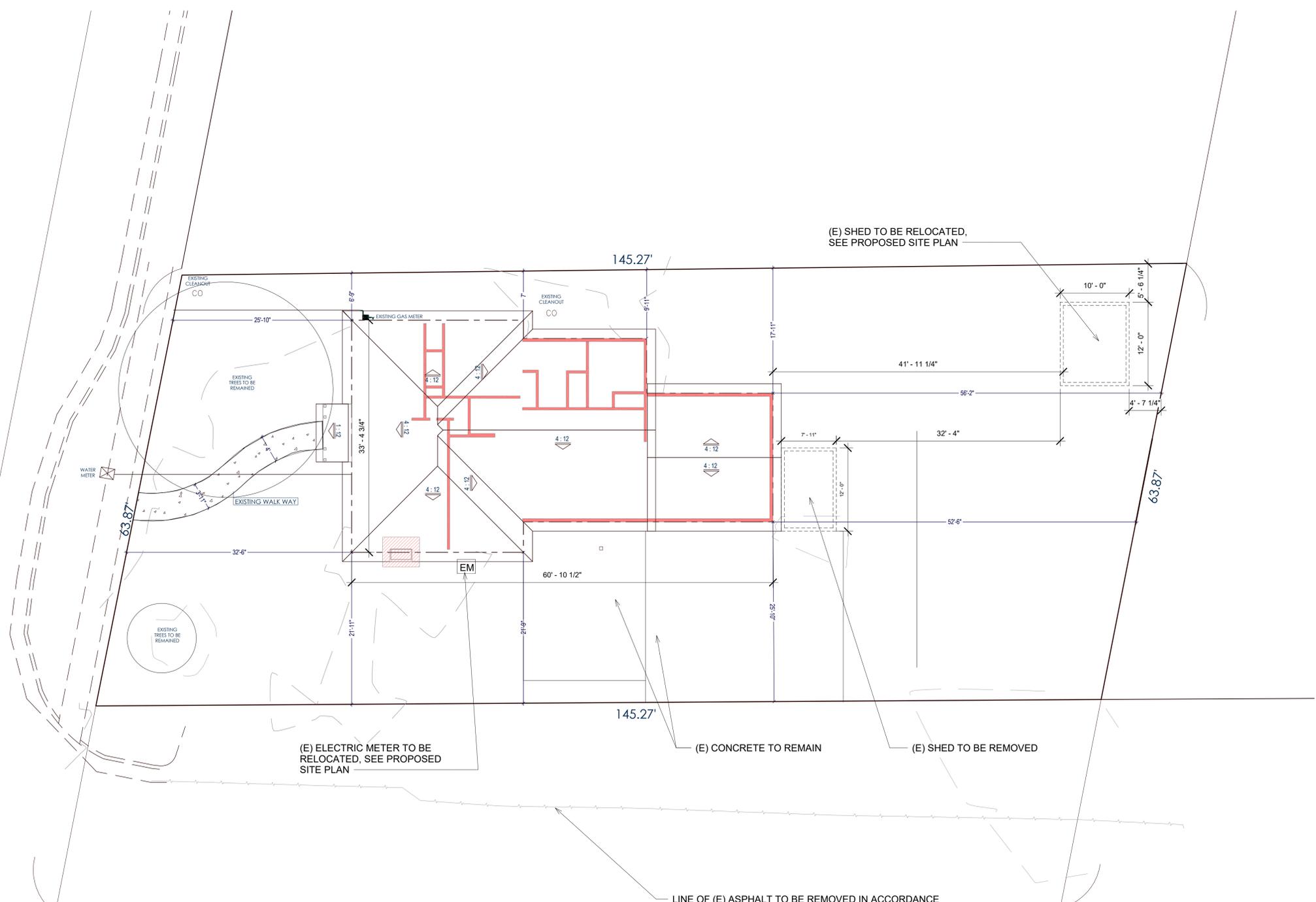
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BURROWS RD.



TREE PROTECTION NOTES:

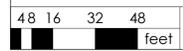
1. ALL TREES TO BE PRESERVED ON THE PROPERTY & ALL TREE ADJACENT TO THE PROPERTY SHALL BE PROTECTED AGAINST DAMAGE DURING CONSTRUCTION OPERATIONS BY CONSTRUCTING A FOUR-FOOT HIGH FENCE AROUND THE DRIP LINE. THE TREE PROTECTION SHALL BE PLACED BEFORE ANY EXCAVATION OR GRADING IS BEGUN AND SHALL BE MAINTAINED IN REPAIR FOR THE DURATION OF THE CONSTRUCTION WORK.
2. NO CONSTRUCTION OPERATIONS SHALL BE CARRIED ON WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED EXCEPT AS IS AUTHORIZED BY THE CITY.
3. IF TRENCHING IS REQUIRED TO PENETRATED THE PROTECTION BARRIER FOR THE TREE, THE SECTION OF TRENCH IN THE DRIP LINE SHALL BE HAND DUG SO AS TO PRECLUDE THE CUTTING OF ROOTS.
4. THE AREA UNDER THE DRIP LINE SHALL BE KEPT CLEAN. NO CONSTRUCTION MATERIALS NOR CHEMICAL SOLVENTS SHALL BE STORED OR DUMPED UNDER A TREE.
5. NO STORAGE OF CONSTRUCTION MATERIALS OR PARKING SHALL BE PERMITTED WITHIN THE DRIP LINE AREA OF ANY TREE DESIGNATED TO BE SAVED.

LINE OF (E) ASPHALT TO BE REMOVED IN ACCORDANCE WITH FRONTAGE IMPROVEMENTS PER THE SAN TOMAS AREA NEIGHBORHOOD PLAN; INCLUDES CONSTRUCTION OF CURB ALONG PROJECT FRONTAGE, & REMOVAL OF CONCRETE INSTALLED IN THE DESIGNATED PERVIOUS AREA (PROPERTY LINE TO NEW CURB)



LEGEND:

- DEMO WALLS
- EXISTING FIREPLACE TO BE REMOVED
- PROPERTY LINE
- BLDG 1ST FLOOR FOOTPRINT LINE



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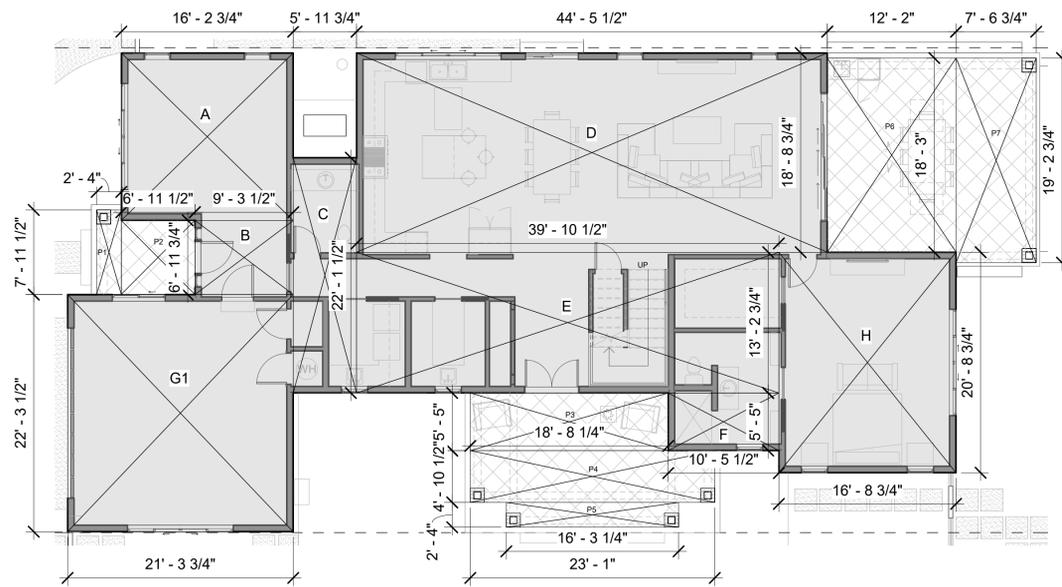
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EXISTING SITE PLAN

Date :
DEC.16.2022

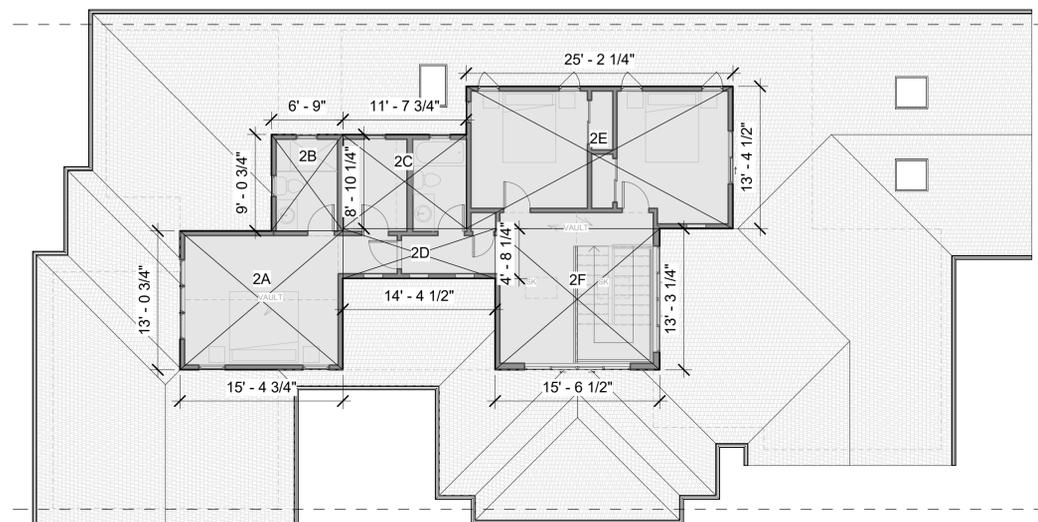
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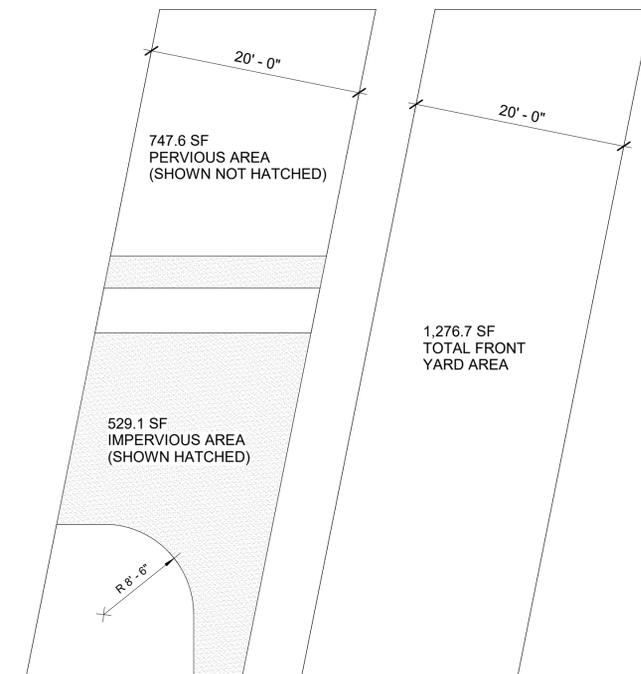


1ST FLOOR PLAN

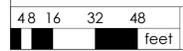


2ND FLOOR PLAN

PROPOSED 1ST FLOOR AREA CALCULATIONS - CONDITIONED		
BOX	AREA (SF)	NOTES
A	255.3	
B	44.8	
C	132.2	
D	832.5	
E	527.5	
F	56.6	
H	346.8	
TOTAL PROPOSED 1ST FLOOR CONDITIONED AREA		2215.7
PROPOSED 1ST FLOOR AREA CALCULATIONS - UNCONDITIONED		
BOX	AREA (SF)	NOTES
G1	474.9	
TOTAL PROPOSED 1ST FLOOR UNCONDITIONED AREA		474.9
PROPOSED 2ND FLOOR AREA CALCULATIONS - CONDITIONED		
BOX	AREA (SF)	NOTES
2A	201	
2B	61.1	
2C	103	
2D	67.4	
2E	336.9	
2F	206.3	
TOTAL PROPOSED 2ND FLOOR CONDITIONED AREA		975.7
PROPOSED AREA CALCULATIONS - LOT COVERAGE		
BOX	AREA (SF)	NOTES
P1	18.6	New Covered Porch
P2	48.5	New Covered Porch
P3	101.3	New Covered Porch
P4	112.5	New Covered Porch
P5	38	New Covered Porch
P6	221.9	New Covered Porch
P7	145.6	New Covered Porch
TOTAL PROPOSED COVERED PORCH AREA		686.4
TOTAL PROPOSED 1ST FLOOR AREA		2690.6
TOTAL PROPOSED 2ND FLOOR AREA		975.7
TOTAL PROPOSED FLOOR AREA		3666.3 < 4,092.8 SF ALLOWABLE
TOTAL PROPOSED LOT COVERAGE		3377 < 3,638.0 SF ALLOWABLE



TOTAL FRONT YARD AREA = 1,276.7 SF
 50% OF FRONT YARD AREA = 1,276.7/2 = 638.35 SF
 PROPOSED IMPERVIOUS FRONT YARD AREA = 529.1 SF
 529.1 SF < 638.35 ALLOWABLE



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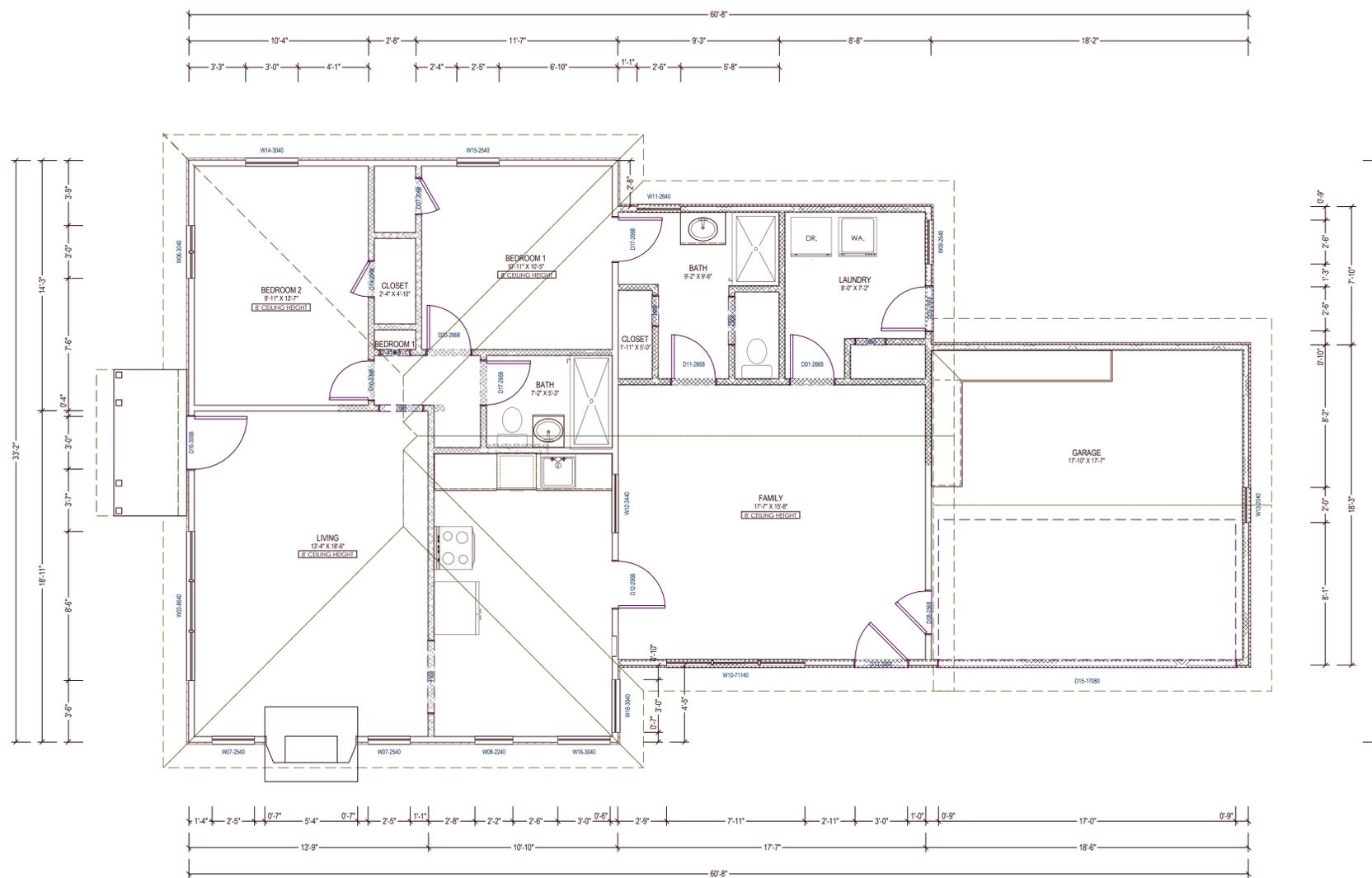
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 AREA CALCULATIONS

Date :
 DEC.20.2022

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 AS SHOWN

Sheet No :
A0.6



DEMOLITION NOTES:

1. METHOD OF DEMOLITION REQUIRED TO COMPLETE THE WORK TO BE PER STANDARD INDUSTRY PRACTICES AND WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
2. VERIFY LOCATION OF REQUIRED STRUCTURAL FRAMING PRIOR TO REMOVAL. DO NOT REMOVE ANY ELEMENT THAT MIGHT RESULT IN A STRUCTURAL DEFICIENCY WITHOUT PROPER TEMPORARY SHORING.
3. NOTIFY ARCHITECT AND OWNER OF SUSPECTED HAZARDOUS MATERIAL. ANY HAZARDOUS MATERIAL SHALL BE REMOVED BY LICENSED HAZMAT CONTRACTOR.
4. PROVIDE TEMPORARY PROTECTION FOR ANY EXISTING TREES OR LANDSCAPING TO REMAIN.
5. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

NORTH



LEGEND:

— EXISTING WALL TO STAY

- - - EXISTING WALL TO BE REMOVED

GRAPHIC SCALE: 1/4" INCH = 1 FEET



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EXISTING FLOOR PLAN
w/ DEMO NOTES

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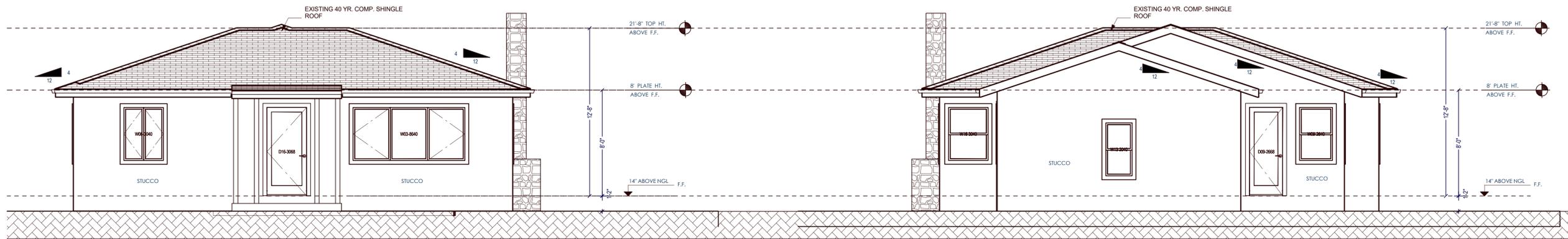
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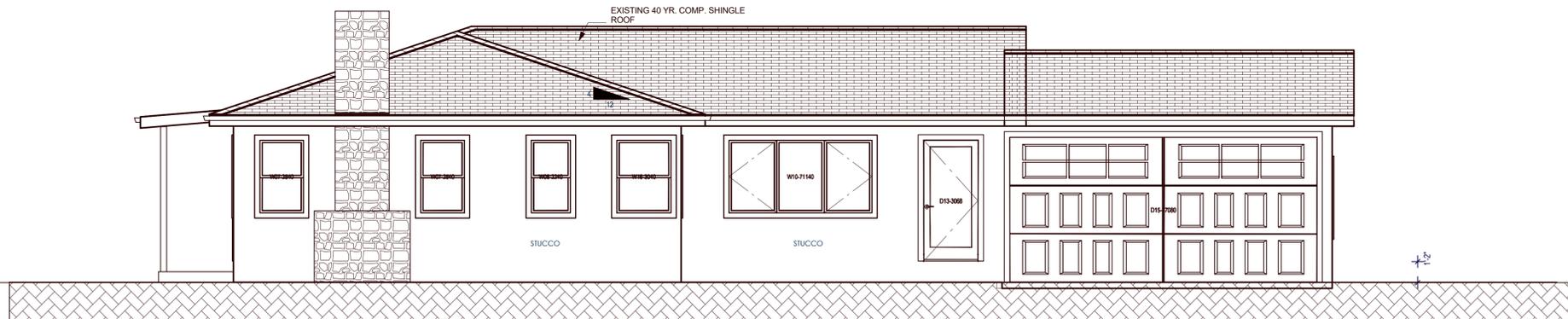
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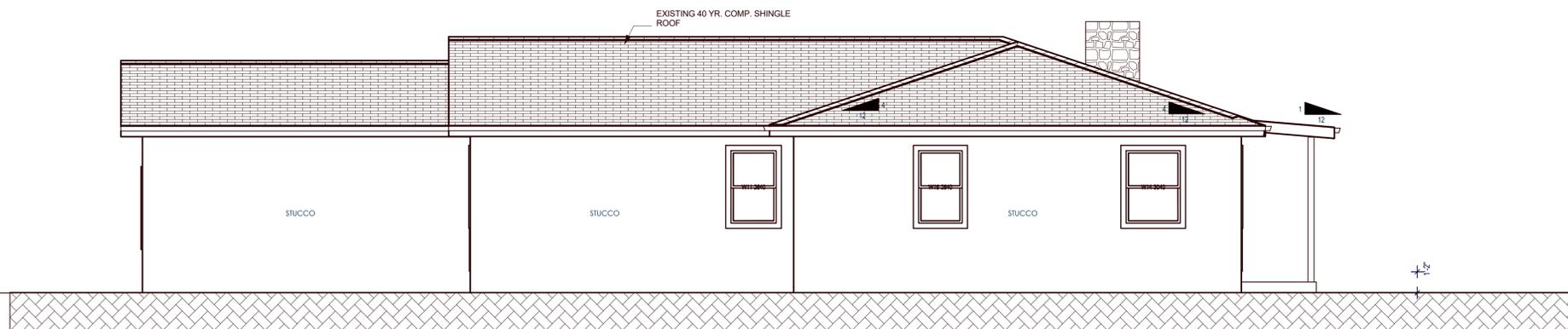


1 EXISTING FRONT (WEST) ELEVATION
SC: 1/4" = 1'-0"

2 EXISTING REAR (EAST) ELEVATION
SC: 1/4" = 1'-0"



3 EXISTING RIGHT (SOUTH) ELEVATION
SC: 1/4" = 1'-0"



4 EXISTING LEFT (NORTH) ELEVATION
SC: 1/4" = 1'-0"

Revision :

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EXISTING ELEVATIONS

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DEC.16.2022

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SB, AM

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A1.2

FLOOR PLAN NOTES:

1. OUTSIDE LANDING MUST BE NO MORE THAN 1.5" BELOW THE TOP OF THRESHOLDS @OUT-SWINGING EXTERIOR EGRESS DOORS, AND NO MORE THAN 7.75" BELOW THE TOP OF THRESHOLDS @IN-SWINGING EXTERIOR EGRESS DOORS PER CRC 311.3.1. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH A LANDING NO MORE THAN 7.75" BELOW THE TOP OF THRESHOLD PER CRC 311.3.2.
2. EMERGENCY ESCAPE/EGRESS OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SF, A NET CLEAR HEIGHT OF NOT LESS THAN 24" & A NET CLEAR WIDTH NOT LESS THAN 20". THE SILL HEIGHT SHALL NOT EXCEED 44" MEASURED FROM THE FLOOR.
3. NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE DOOR SHALL BE SIDE-HINGED.
4. (N) 18" X 24" MIN. CRAWLSPACE ACCESS.

STAIR NOTES:

1. STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT & BELOW THE REQ'D HEADROOM HEIGHT.
2. THE HEADROOM IN STAIRWAYS SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
3. THE RISER HEIGHT SHALL BE NOT MORE THAN 7 7/8" INCHES. THE TREAD DEPTH SHALL NOT BE LESS THAN 10".
4. HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS & SHALL NOT BE LESS THAN 34" HIGH & NOT BE MORE THAN 38".
5. PROVIDE CONTINUOUS 5/8" TYPE 'X' GYPSUM BOARD UNDER STAIR FOR ONE-HOUR FIRE SEPARATION.

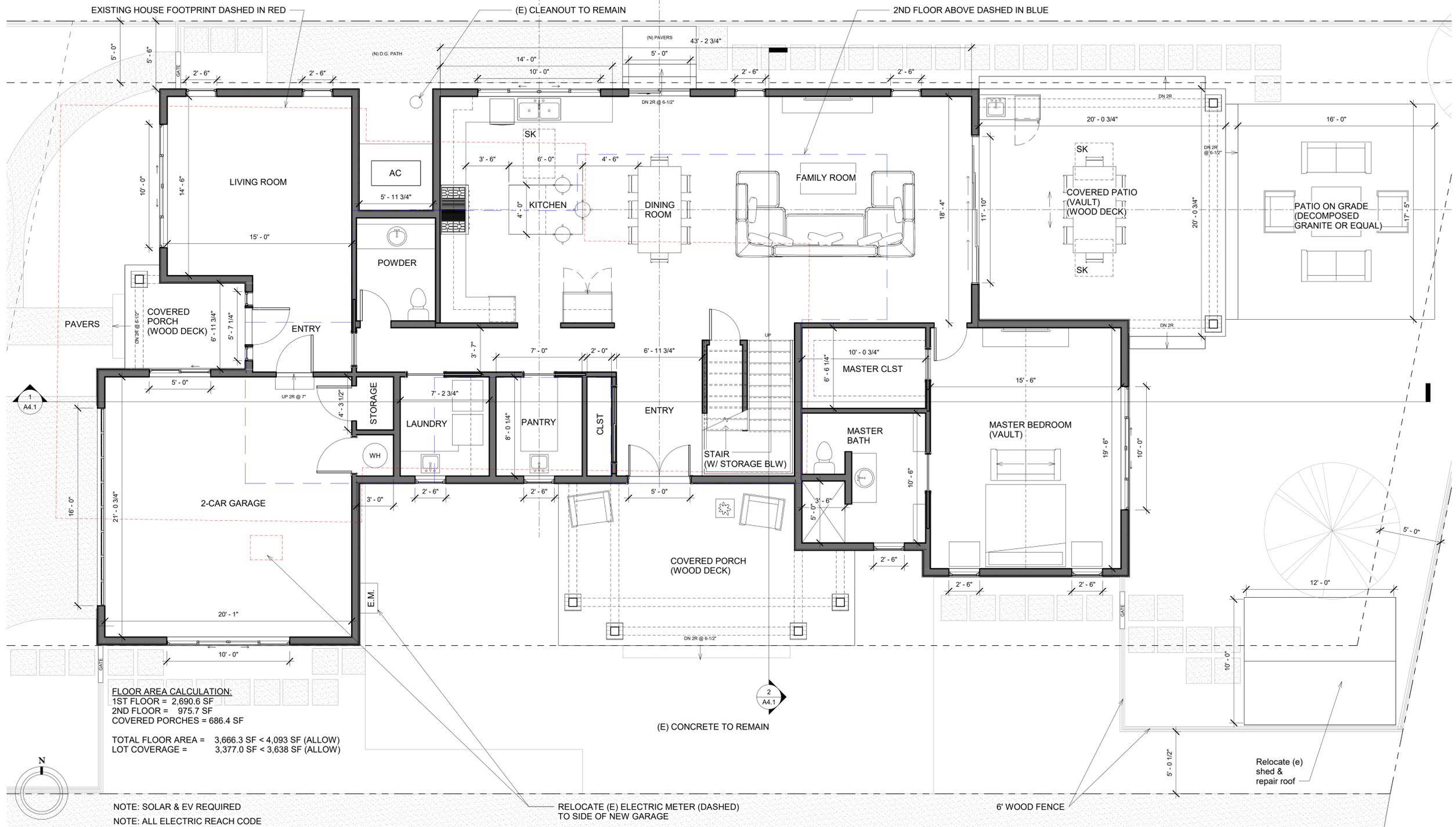
KITCHEN NOTES:

1. VERIFY NEW CABINETS, COUNTERTOPS, APPLIANCES & FINISH SELECTIONS w/ OWNER & DESIGNER PRIOR TO ORDER. VERIFY ELECTRICAL CONNECTION REQUIREMENTS PRIOR TO CONST.
2. A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED AND SHALL BE CONSTRUCTED OF METAL WITH A SMOOTH INTERIOR SURFACE. PROVIDE BACK DRAFT PROTECTION. CMC 504.1.1, 504.3. KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM WITH A MAXIMUM SOUND RATING OF 3 SONES FOR OPERATOR CONTROLLED FANS OR 1 SONE FOR FANS THAT OPERATE CONTINUOUSLY. ASHRA 62.2, CMC TABLE 403.7.
3. ADHESIVES, SEALANTS, CAULKS, PAINTS, & COATINGS SHALL COMPLY WITH THE VOC LIMITS. CALGREEN 4.504.2.1 & 4.504.2.2.
4. ALL PLUMBING WORK SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED CPC CODES.

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.—SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2—INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS.

- DOOR KEY-- SEE A6.1 FOR MORE INFORMATION
- WINDOW KEY-- SEE A6.1 FOR MORE INFORMATION

FLOOR PLAN LEGEND

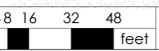


FLOOR AREA CALCULATION:
 1ST FLOOR = 2,690.6 SF
 2ND FLOOR = 975.7 SF
 COVERED PORCHES = 686.4 SF
 TOTAL FLOOR AREA = 3,666.3 SF < 4,093 SF (ALLOW)
 LOT COVERAGE = 3,377.0 SF < 3,638 SF (ALLOW)

NOTE: SOLAR & EV REQUIRED
 NOTE: ALL ELECTRIC REACH CODE

RELOCATE (E) ELECTRIC METER (DASHED) TO SIDE OF NEW GARAGE

Relocate (e) shed & repair roof



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Job Title/Address:
VASAPOLLO RESIDENCE
 NEW 2-STORY RESIDENCE
 1320 BURROWS ROAD,
 CAMPBELL, 95008

Revision :	
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PROPOSED FIRST FLOOR PLAN	
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AS SHOWN	
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FLOOR PLAN NOTES:

- (N) STAIRS --10" MIN. TREAD AND MAX. 7" RISER HEIGHT.
- (N) LANDING--MIN. 3' DEEP x WIDTH OF DOOR--MAX. 7-3/4" RISER HEIGHT TO TOP OF THE DOOR THRESHOLD OR DOOR TRACK TO THE EXTERIOR LANDING IN ORDER TO VERIFY COMPLIANCE WITH CRC R311.3.1 OR R311.3.2.
- VERIFY NEW CABINETS, COUNTERTOPS, FIXTURES, APPLIANCES & FINISH SELECTIONS w/ OWNER & DESIGNER PRIOR TO ORDER. VERIFY LOCATIONS.
- PROVIDE CLOSET POLES, CABINETS & BUILT-INS AS SHOWN. VERIFY SELECTION w/ OWNER.
- (N) 22" X 54" MIN. ATTIC ACCESS PULL DOWN LADDER. VERIFY ACCESS IS LARGE ENOUGH TO ALLOW FOR THE LARGEST PIECE OF EQUIPMENT TO FIT THROUGH.

STAIR NOTES:

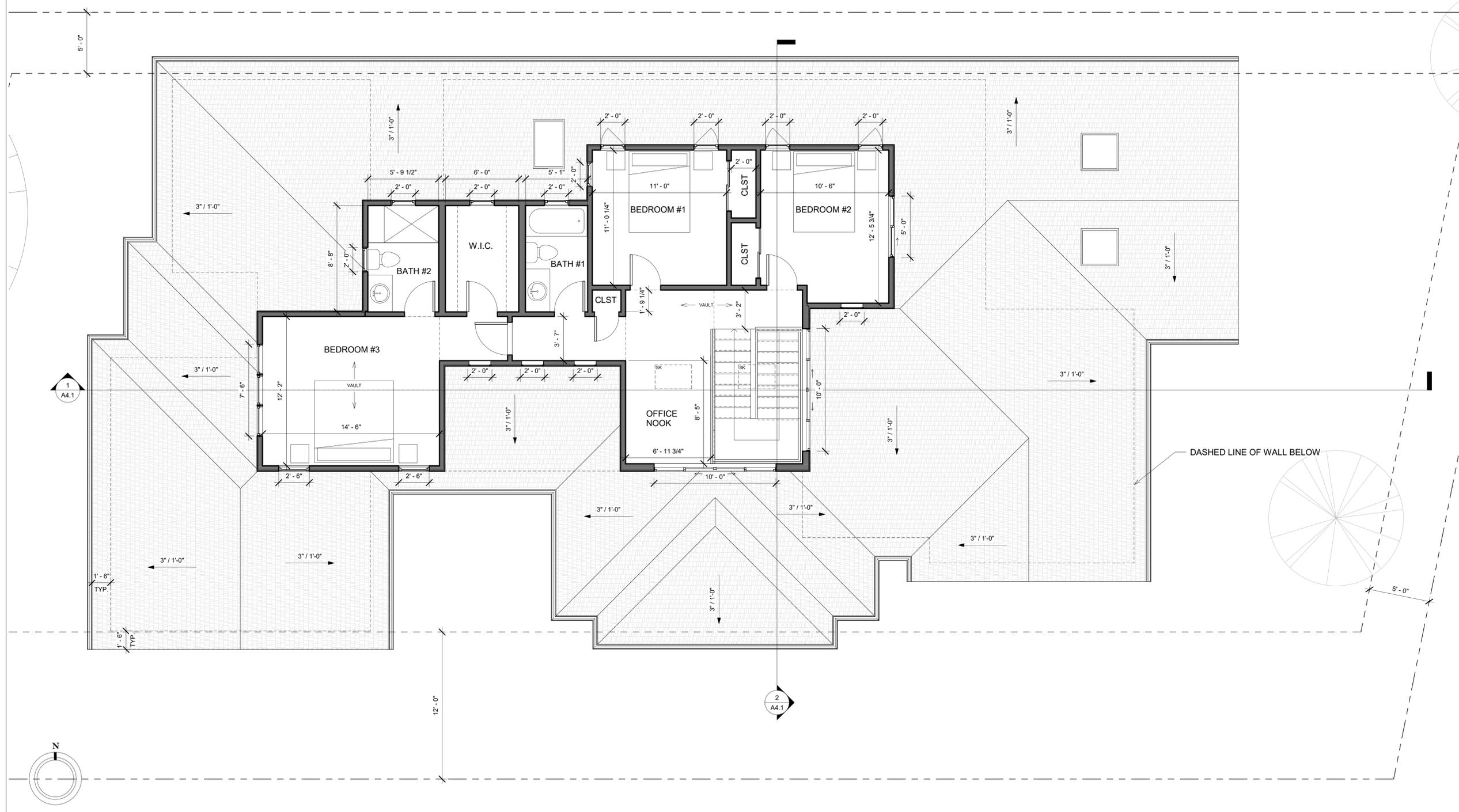
- STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT & BELOW THE REQ'D HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 31 1/2 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- REQUIRED GUARDRAILS SHALL NOT BE LESS THAN 42" IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE NOSINGS.
- REQUIRED GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4" IN DIAMETER.
- PROVIDE CONTINUOUS 5/8" TYPE 'X' GYPSUM BOARD UNDER STAIR FOR ONE-HOUR FIRE SEPARATION.

BATHROOM NOTES:

- VERIFY NEW CABINETS, COUNTERTOPS, FIXTURES & FINISH SELECTIONS w/ OWNER & DESIGNER PRIOR TO ORDER. VERIFY LOCATIONS.
- NEW OR RECONFIGURED SHOWER STALLS SHALL BE A MINIMUM FINISHED INTERIOR OF 1,024 SQUARE INCHES, BE CAPABLE OF ENCOMPASSING A 30 INCH DIAMETER CIRCLE. ANY DOORS SHALL SWING OUT OF THE ENCLOSURE HAVE A CLEAR OPENING OF 22 INCHES MINIMUM. (CPC 408.5, 408.6).
- THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT. (CPC 402.5)
- CURRENT WATER EFFICIENCY STANDARDS FOR VARIOUS PLUMBING FIXTURES:
 WATER CLOSET: 1.28 GALLONS/FLUSH
 SHOWERHEAD: 2.0 GALLONS/MINUTE AT 80 PSI
 FAUCET-BATH: 1.2 GALLONS/MINUTE AT 60 PSI

- (N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS.
- DOOR KEY-- SEE A6.1 FOR MORE INFORMATION
- WINDOW KEY-- SEE A6.1 FOR MORE INFORMATION

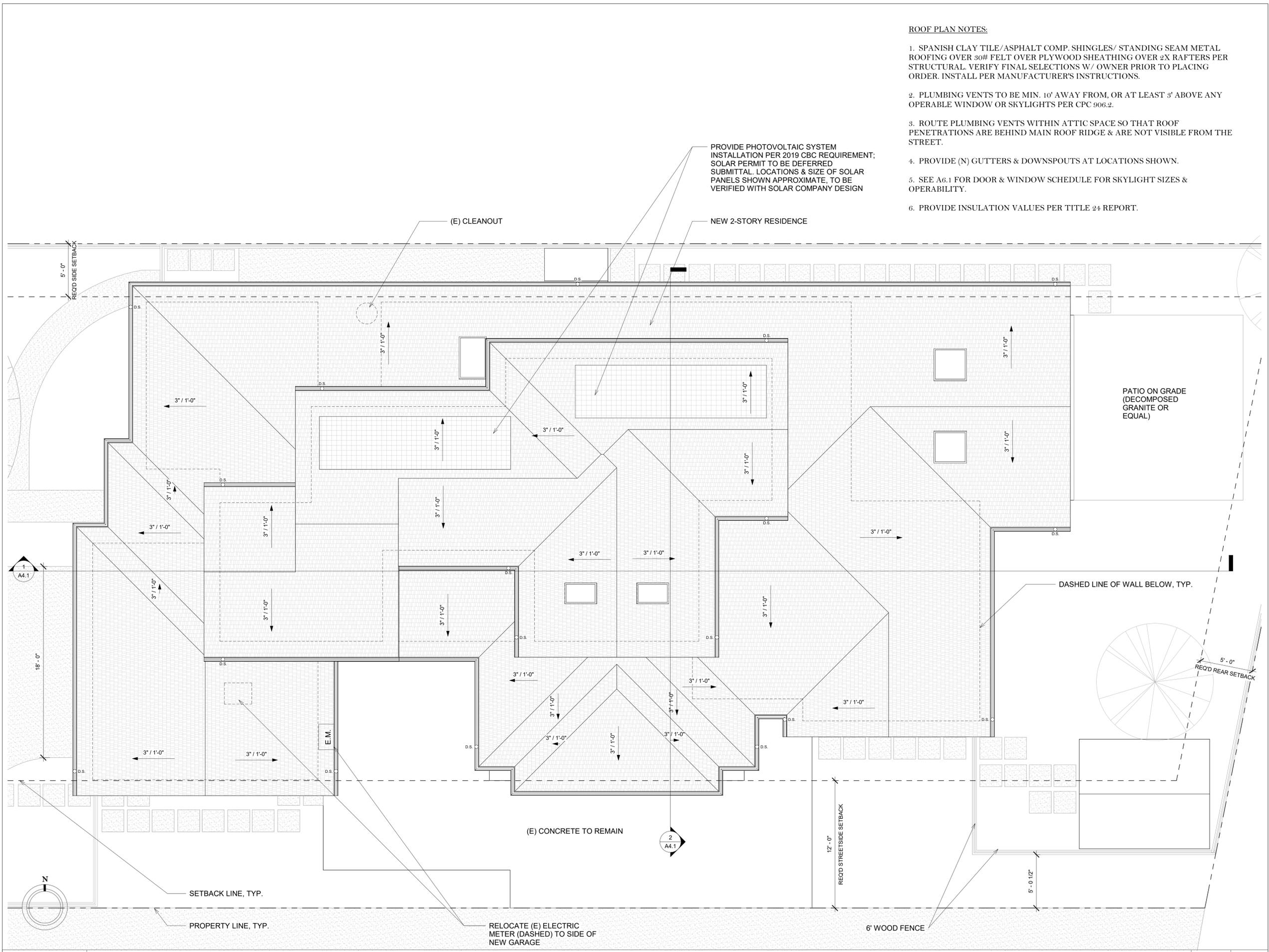
FLOOR PLAN LEGEND



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Revision :	
Planning Submittal	02-23-2023
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Drawn by :	NP
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ROOF PLAN NOTES:

1. SPANISH CLAY TILE/ASPHALT COMP. SHINGLES/ STANDING SEAM METAL ROOFING OVER 30# FELT OVER PLYWOOD SHEATHING OVER 2X RAFTERS PER STRUCTURAL. VERIFY FINAL SELECTIONS W/ OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHTS PER CPC 906.2.
3. ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE & ARE NOT VISIBLE FROM THE STREET.
4. PROVIDE (N) GUTTERS & DOWNSPOUTS AT LOCATIONS SHOWN.
5. SEE A6.1 FOR DOOR & WINDOW SCHEDULE FOR SKYLIGHT SIZES & OPERABILITY.
6. PROVIDE INSULATION VALUES PER TITLE 24 REPORT.

PROVIDE PHOTOVOLTAIC SYSTEM INSTALLATION PER 2019 CBC REQUIREMENT; SOLAR PERMIT TO BE DEFERRED SUBMITTAL. LOCATIONS & SIZE OF SOLAR PANELS SHOWN APPROXIMATE, TO BE VERIFIED WITH SOLAR COMPANY DESIGN

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Drawn by :
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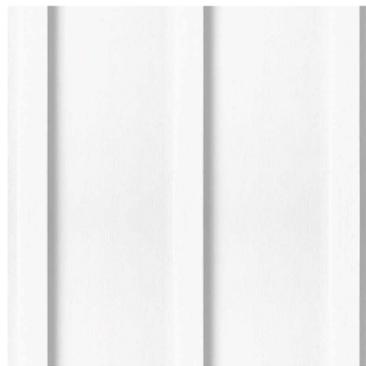
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STUCCO EXTERIOR WALL FINISH TO BE PAINTED (KELLY MOORE "BONE")



CERTAINTED BOARD & BATTEN VERTICAL VINYL SIDING (8") TO BE PAINTED (KELLY MOORE "BONE")



KELLY MOORE "BONE" PAINT FOR EXTERIOR WALLS

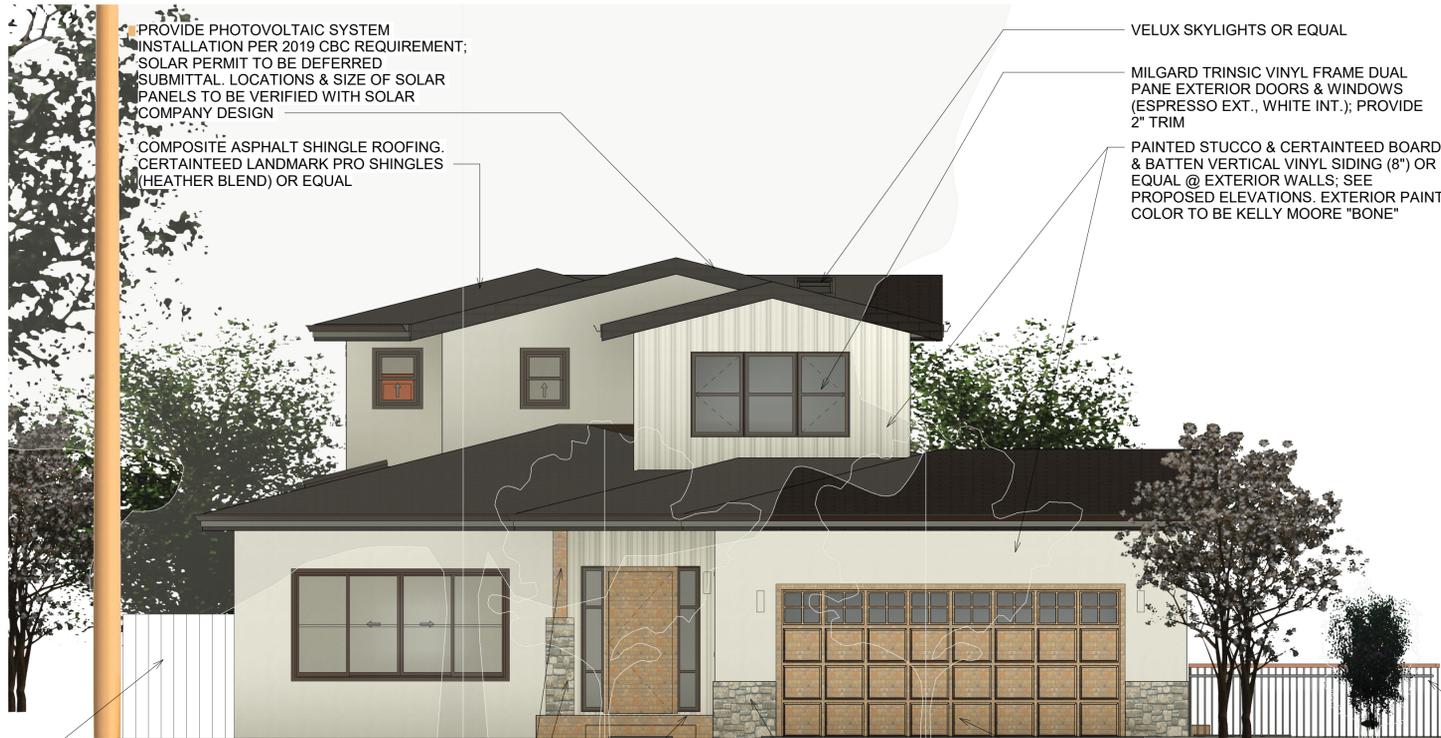
PROVIDE PHOTOVOLTAIC SYSTEM INSTALLATION PER 2019 CBC REQUIREMENT; SOLAR PERMIT TO BE DEFERRED SUBMITTAL. LOCATIONS & SIZE OF SOLAR PANELS TO BE VERIFIED WITH SOLAR COMPANY DESIGN

COMPOSITE ASPHALT SHINGLE ROOFING. CERTAINTED LANDMARK PRO SHINGLES (HEATHER BLEND) OR EQUAL

VELUX SKYLIGHTS OR EQUAL

MILGARD TRINSIC VINYL FRAME DUAL PANE EXTERIOR DOORS & WINDOWS (ESPRESSO EXT., WHITE INT.); PROVIDE 2" TRIM

PAINTED STUCCO & CERTAINTED BOARD & BATTEN VERTICAL VINYL SIDING (8") OR EQUAL @ EXTERIOR WALLS; SEE PROPOSED ELEVATIONS. EXTERIOR PAINT COLOR TO BE KELLY MOORE "BONE"



6" WOOD FENCING IN REAR & SIDE YARD TO COMPLY WITH CITY OF CAMPBELL FENCE REGULATIONS

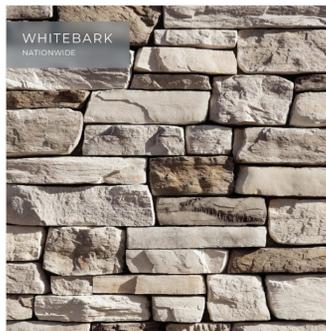
CEDAR WRAPPED COLUMNS w/ STONE VENEER BASE (TO MATCH EXTERIOR WALL STONE VENEER); STONE VENEER TO BE ELDORADO STONE - WHITEBARK

COVERED PORCHES TO BE TREX COMPOSITE DECKING (TIKI TORCH)

WOOD OR SIMILAR GARAGE DOOR TO MATCH CEDAR COLUMN OR TREX COMPOSITE DECKING COLOR/STAIN w/ TOP ROW OF WINDOWS

3'-6" WROUGHT IRON FENCING IN FRONT & STREETSIDE YARDS

STONE VENEER TO BE ELDORADO STONE - WHITEBARK (TO MATCH COLUMN BASE)



STONE VENEER TO BE ELDORADO STONE: WHITEBARK



WROUGHT IRON FENCING; VERIFY SELECTION & DESIGN w/ OWNER



VELUX FIXED CURB-MOUNTED SKYLIGHTS OR EQUAL



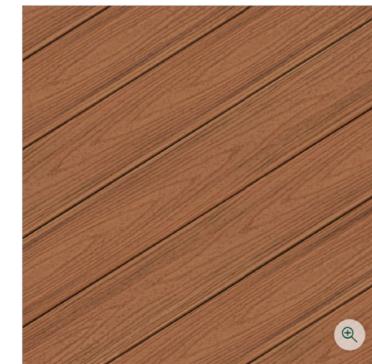
MILGARD TRINSIC VINYL FRAME DUAL PANE EXTERIOR DOORS & WINDOWS. EXT. COLOR: ESPRESSO; INT. COLOR: WHITE. 2" EXT. TRIM



CERTAINTED LANDMARK PRO COMPOSITE ASPHALT SHINGLE ROOFING; COLOR: HEATHER BLEND



CEDAR WRAPPED COLUMNS



TREX COMPOSITE DECKING: "TIKI TORCH"

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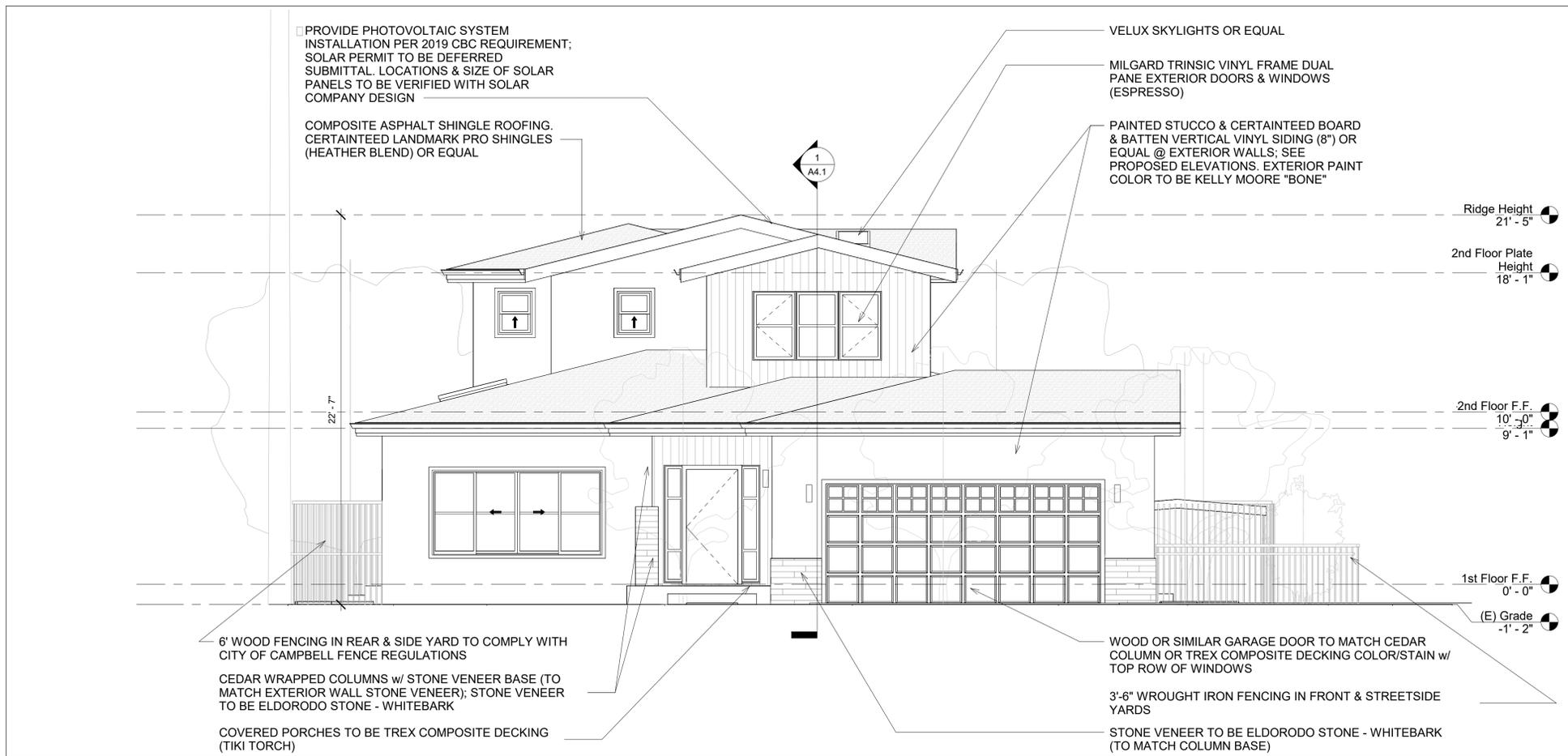
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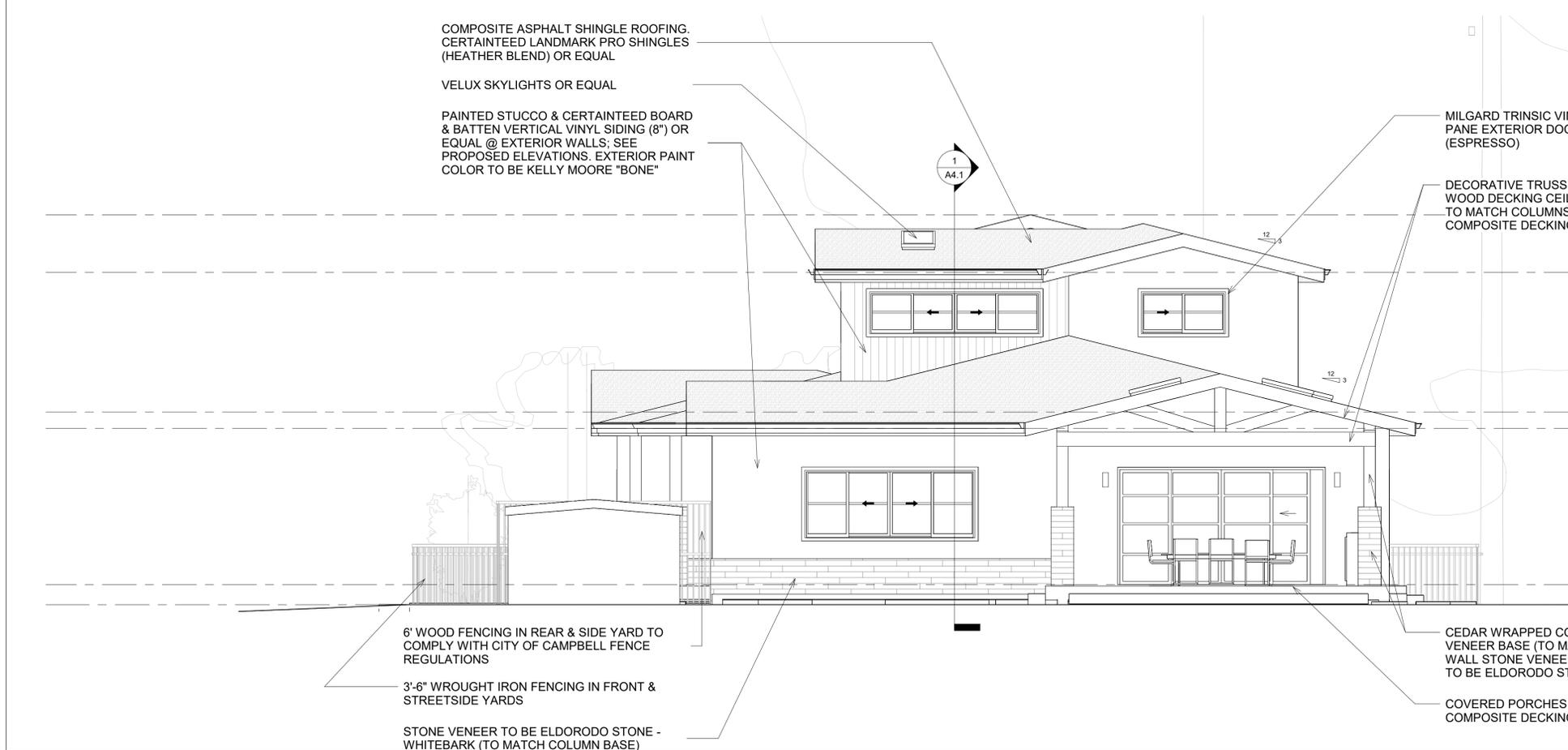


GENERAL NOTES:

1. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND (ARABIC NUMBERS OR ALPHABETICAL LETTERS), NOT LESS THAN 4" IN HEIGHT WITH A STROKE NOT LESS THAN .5".
2. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR, W/ A WIDTH NOT LESS THAN THE DOOR SERVED & A DIMENSION OF NOT LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 2%.
3. LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD OR 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7 3/4" INCHES BELOW THE TOP OF THE THRESHOLD.
4. EMERGENCY ESCAPE/EGRESS OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SF, A NET CLEAR HEIGHT OF NOT LESS THAN 24" & A NET CLEAR WIDTH NOT LESS THAN 20". THE SILL HEIGHT SHALL NOT EXCEED 44" MEASURED FROM THE FLOOR.
5. NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE DOOR SHALL BE SIDE-HINGED.
6. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET (3048 MM) OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.

48 16 32 48 feet

Proposed Front Elevation 1/4"=1'-0" 2



NOTE: SEE A0.2.1 & A0.2.2 FOR GENERAL NOTES

48 16 32 48 feet

Proposed Rear Elevation 1/4"=1'-0" 1

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PROPOSED FRONT & REAR ELEVATIONS

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DEC.20.2022

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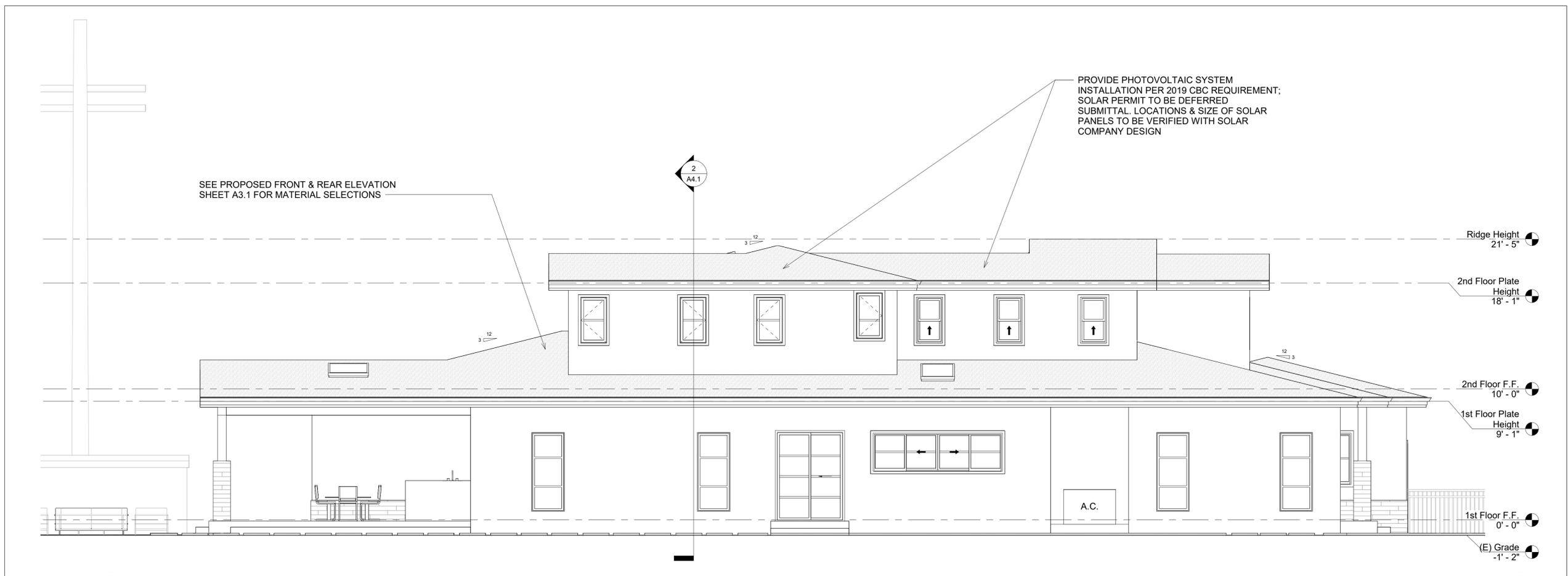
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A3.1



48 16 32 48 feet **Proposed Left Side Elevation** 1/4"=1'-0" 2

NOTE: SEE A0.2.1 & A0.2.2 FOR GENERAL NOTES



48 16 32 48 feet **Proposed Right Side Elevation** 1/4"=1'-0" 1

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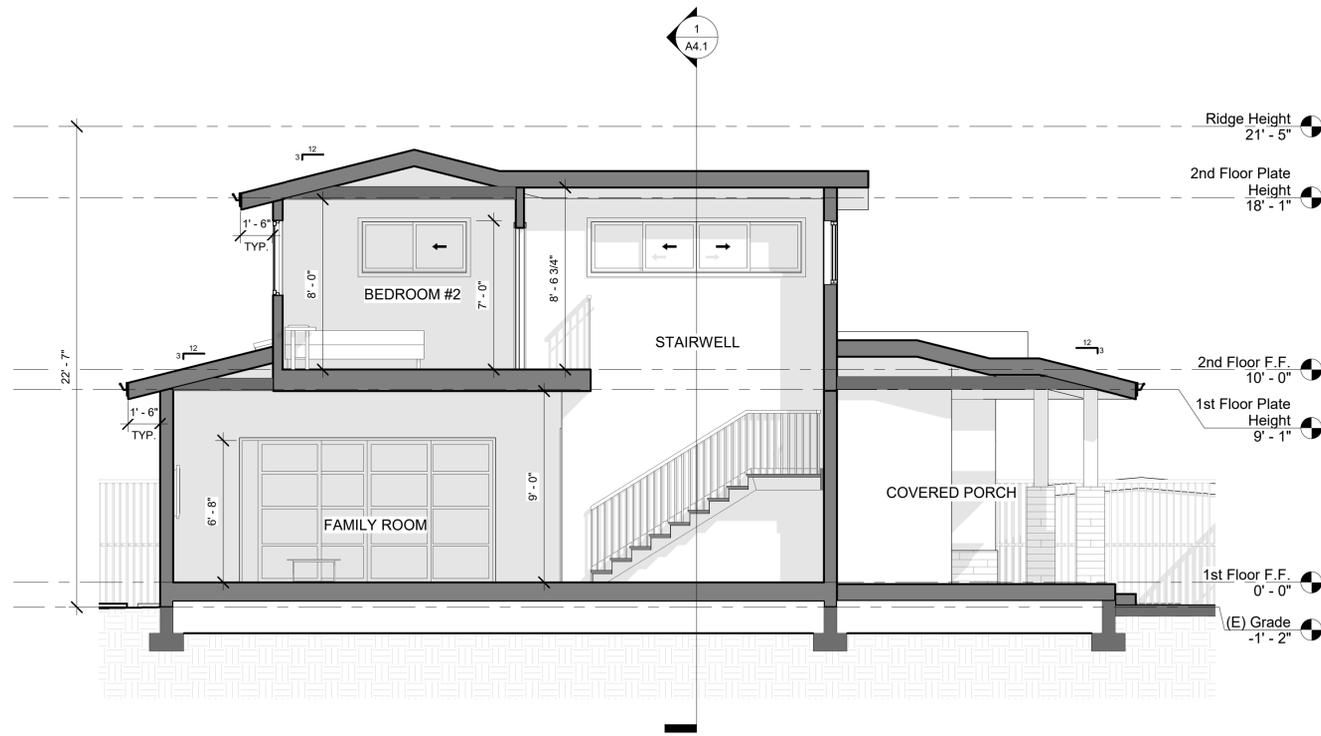
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PROPOSED SIDE ELEVATIONS

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GENERAL NOTES:

1. TYPICAL INTERIOR WALL: 2x4 STUDS @ 16" O.C. U.N.O. w/ 5/8" GYPSUM WALL BOARD ON EACH SIDE. PLUMBING WALLS SHALL BE 2x6.
2. TYPICAL EXTERIOR WALL: 2x4 STUDS @ 16" O.C. U.N.O. SEE ARCHITECTURAL FLOOR PLAN & STRUCTURAL PLANS FOR MORE INFO. PROVIDE INSULATION PER TITLE 24 REPORT REQUIREMENTS.
3. 1-HOUR FIRE RATED EXTERIOR WALLS: 2x4 STUDS @ 16" O.C. w/ 7/8" CEMENT PLASTER & METAL LATH OVER TWO LAYERS GRADE D BLDG PAPER OVER 1/2" PLYWOOD SHEATHING. PROVIDE 1/2" GYPSUM WALL BOARD @ INTERIOR SIDE.
4. INSTALL MIN. 1/2" GYP.BD. ON WALLS, UNDER-STAIR SURFACE, AND ANY SOFFITS AT ENCLOSED ACCESSIBLE SPACE UNDER STAIRS PER CRC 302.7
5. 5/8" GYPSUM BOARD PROVIDED @ CEILINGS, TYPICAL.
6. ASPHALT SHINGLE ROOFING OVER 30# FELT OVER 1/2" PLYWOOD SHEATHING. 2xX ROOF RAFTERS, SEE STRUCTURAL. VERIFY ROOFING SELECTION w/ OWNER & CONTRACTOR.
7. WHERE FLASHING IS INSTALLED, THE FLASHING SHALL NOT BE LESS THAN 0.019" NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL. FASTENERS FOR THE ROOFING SHALL ALSO BE CORROSION-RESISTANT.
8. VERIFY SELECTION OF GUTTERS & DOWNSPOUTS w/ OWNER & CONTRACTOR. ROOF GUTTERS SHALL BE PROVIDED w/ THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS IN THE GUTTER.
9. VERIFY FINISH MATERIALS w/ CLIENT & CONTRACTOR. SEE PROPOSED ELEVATIONS FOR REFERENCE.
10. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5%. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING.

48 16 32 48 feet

Proposed Section 1/4"=1'-0" **2**

NOTE: SEE A0.2.1 & A0.2.2 FOR GENERAL NOTES



48 16 32 48 feet

Proposed Section 1/4"=1'-0" **1**

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PROPOSED SECTIONS

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GRADING & DRAINAGE NOTES:

NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

- ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY. PERMITTEE OR REPRESENTATIVE SHALL NOTIFY THE CITY OF CAMPBELL DEPARTMENT OF PUBLIC WORKS PROJECT INSPECTOR AT LEAST 48 HOURS BEFORE START OF ANY GRADING.
- APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON-SITE (I.E. PRIVATE PROPERTY) STORM WATER CONVEYANCE AND TREATMENT FACILITIES THAT ARE OUTSIDE OF THE 5-FOOT BUILDING ENVELOPE, AND (C) THE INSTALLATION OF RETAINING STRUCTURES. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE. PROPOSED IMPROVEMENTS, WITH THE EXCEPTION OF THOSE LISTED ABOVE, ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEPICTION OF A RETAINING STRUCTURE ON THIS PLAN SHALL NOT CONSTITUTE APPROVAL FOR CONSTRUCTION OF THE RETAINING STRUCTURE UNLESS A SEPARATE STRUCTURAL REVIEW, BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
- THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE MARIN COUNTY CORONER IMMEDIATELY.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
- FOR NON-RESIDENTIAL PROJECTS, ANY NON-HAZARDOUS EXPORT RESULTING FROM PROJECT RELATED EXCAVATION OR LAND CLEARING SHALL BE 100% REUSED AND RECYCLED PER CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 5.408.
- ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER.
REPORT DATE:
REPORT NUMBER:
SOILS ENGINEERING COMPANY:
CONTACT INFORMATION:
- THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNOBSERVED AND/OR UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- PERIMETER BUILDING GRADES SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM
- ALL DOWNSPOUTS SHALL HAVE SPLASH BOXES AS SHOWN ON THE GRADING AND DRAINAGE PLAN. DIRECTION OF THE FLOW SHALL BE AWAY FROM THE BUILDING.

BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, UTILITY POLE ON STREET, NEAR THE NORTH WESTERLY CORNER OF LOT AS SHOWN:
PROJECT BENCHMARK 105.04' (NAVD88 DATUM)

EARTH WORK QUANTITIES

CUT: 4.0 CY
FILL: 36.0 CY
EXPORT: 13.0 CY
IMPORT: 0.0 CY

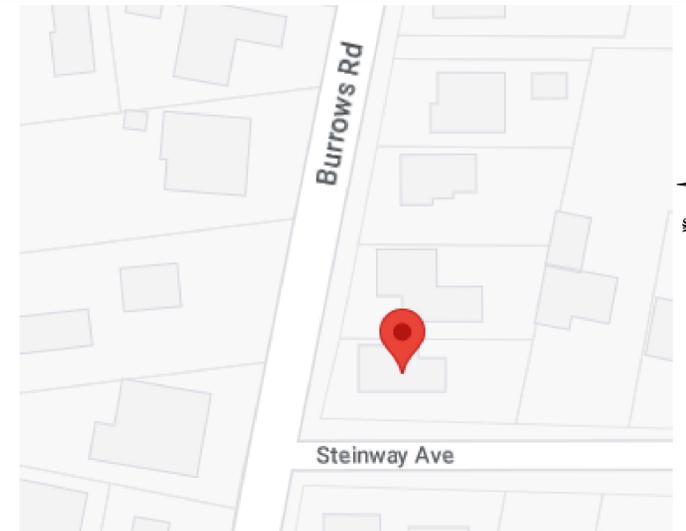
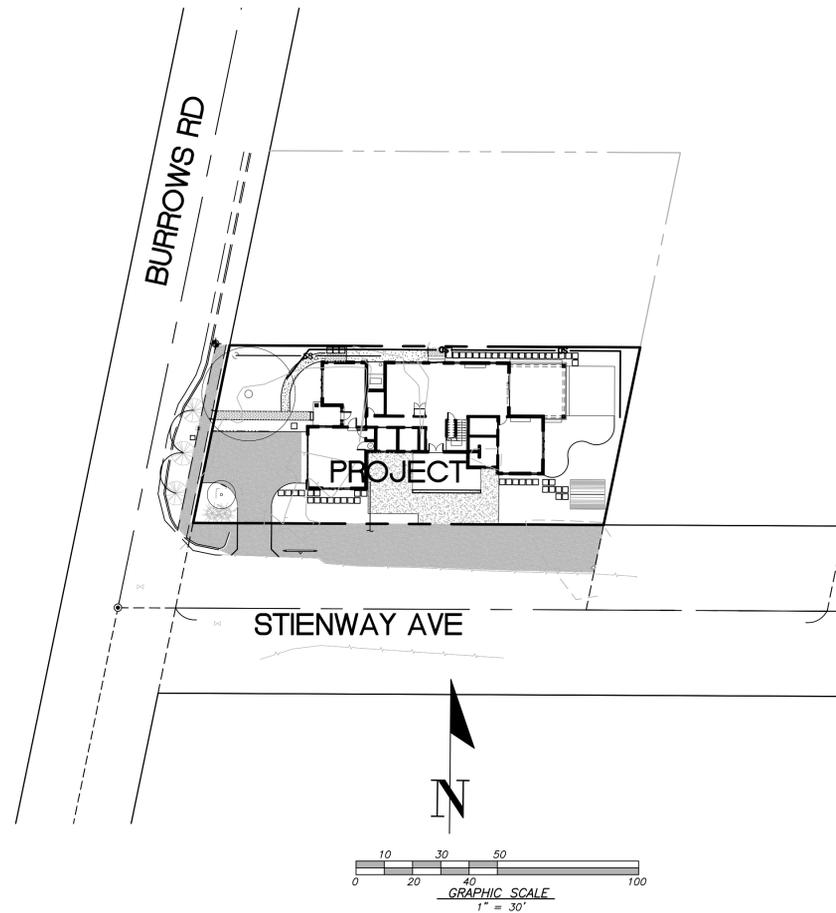
NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE. THE PAD OF THE HOUSE IS NOT INCLUDED

ABBREVIATIONS

- | | |
|--|--------------------------------------|
| AC = ASPHALT CONCRETE | LP = LOW POINT |
| AD = AREA DRAIN | PAD = PAD ELEVATION |
| AG = ADJACENT GRADE AT FOUNDATION | PCC = PORTLAND CEMENT CONCRETE |
| BC = BEGIN CURVE | PL = PROPERTY LINE |
| BS = BOTTOM OF STAIR | PV = PAVEMENT GRADE |
| BU = BUBBLE UP | PVC = POLYVINYL CHLORIDE PIPE |
| BVC = BEGIN VERTICAL CURVE | PVI = POINT OF VERTICAL INTERSECTION |
| BRW = BOTTOM OF RETAINED GRADE AT WALL | RCP = REINFORCED CONCRETE PIPE |
| CB = CATCH BASIN | ROW = RIGHT OF WAY |
| CL = CENTERLINE | S=004> SLOPE |
| CO = CLEANOUT | SD = STORM DRAIN |
| CS = DOWNSPOUT WITH SPLASH BOX | SSMH = STORM DRAIN MANHOLE |
| EC = END CURVE | SG = SUBGRADE ELEVATION |
| ELEV. = ELEVATION | SS = SANITARY SEWER |
| EVC = END VERTICAL CURVE | SSMH = SANITARY SEWER MANHOLE |
| EX. = EXISTING | STA = STATION |
| F/C = FACE OF CURB | TC = TOP OF CURB |
| FF = FINISHED FLOOR ELEVATION | TF = TOP OF FENCE |
| FH = FIRE HYDRANT | TRW = TOP OF RETAINED GRADE AT WALL |
| FL = FLOW LINE | TS = TOP OF STAIR |
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| HP = HIGH POINT | WM = WATER METER |
| HC = HANDICAP UNIT | WV = WATER VALVE |
| INV = INVERT | |

GRADING AND DRAINAGE PLAN

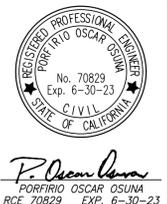
1320 Burrows Rd
Campbell, CA 95008
APN: 406-16-034



LOCATION MAP

LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
SIDEWALK	---
WOOD FENCE	X X
CHAIN LINK FENCE	---
RETAINING WALL	---
DRIVEWAY DRAIN INLET	---
AREA DRAIN	---
DROP INLET	---
MONUMENT	---
FIRE HYDRANT	---
ELECTROLIER	---
WATER METER	---
AC UNIT	---
SANITARY SEWER LATERAL	---
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	---
EXISTING CONTOUR	100
PROPOSED CONTOUR	100
OVERLAND RELEASE	---
DIRECTION OF SURFACE DRAINAGE	---
5% SLOPE AWAY FROM BUILDING	>>
GAS LINE	---
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE
DOWNSPOUTS W/SPLASH BOX	---
TREE TO BE REMOVED	X
ADJACENT GRADE	AG
AGGREGATE BASE (AB)	---
ASPHALT PAVEMENT (AC)	---
EARTHEN SINGLE	---



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SAN JOSE, CA 95119 info@osunaengineering.com

SHEET INDEX

COVER SHEET	C0
GRADING AND DRAINAGE PLAN	C1
UTILITY PLAN	C2
CONSTRUCTION DETAILS	C3
EROSION AND SEDIMENT CONTROL PLAN	C4
BEST MANAGEMENT PRACTICES (BMP SHEET)	C5

GRADING & DRAINAGE PLAN
COVER SHEET
1320 BURROWS RD

CAMPBELL, CALIFORNIA
Project No.: 2133 | Design: J.O. | Check: O.O. | Date: 3/06/23

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY THAT THIS CONTRACTOR SHALL BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CAMPBELL, CALIFORNIA, AND THE STATE OF CALIFORNIA, AND SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

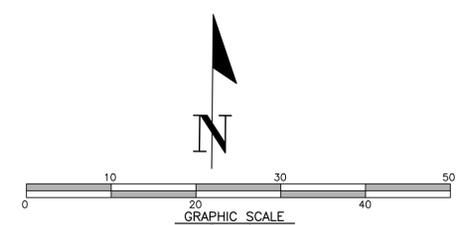
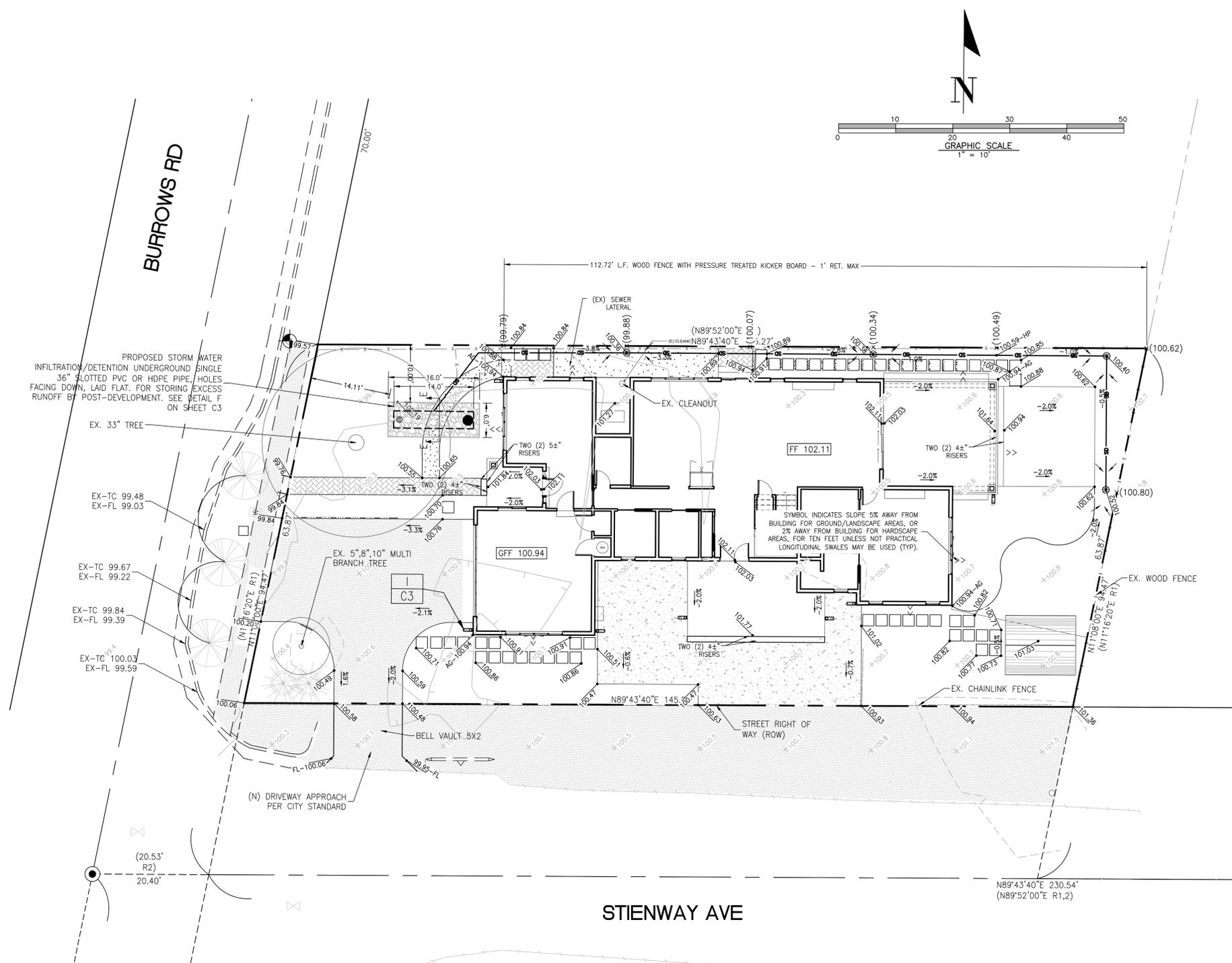
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LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
SIDEWALK	---
WOOD FENCE	X X
CHAIN LINK FENCE	---
RETAINING WALL	---
DRIVEWAY DRAIN INLET	---
AREA DRAIN	---
DROP INLET	---
MONUMENT	---
FIRE HYDRANT	---
ELECTROD	---
WATER METER	---
AC UNIT	---
SANITARY SEWER LATERAL	---
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	---
EXISTING CONTOUR	100
PROPOSED CONTOUR	100
OVERLAND RELEASE	---
DIRECTION OF SURFACE DRAINAGE	---
SITE SLOPE AWAY FROM BUILDING	---
GAS LINE	---
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE
DOWNSPOUT W/ SPLASH BOX	---
TREE TO BE REMOVED	X
ADJACENT GRADE	AG
AGGREGATE BASE (AB)	---
ASPHALT PAVEMENT (AC)	---
EARTHEN SWALE	---

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NO.	DATE	BY	CITY	REVISIONS



Porfirio Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23

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 SAN JOSE, CA 95119 info@osunaengineering.com

GRADING & DRAINAGE PLAN
 1320 BURROWS RD
 CAMPBELL, CALIFORNIA
 Project No.: 2133 | Design: J.O. | Check: O.O. | Date: 3/06/23

SHEET
C1
 OF 6 SHEETS

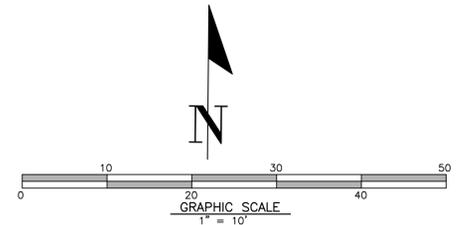
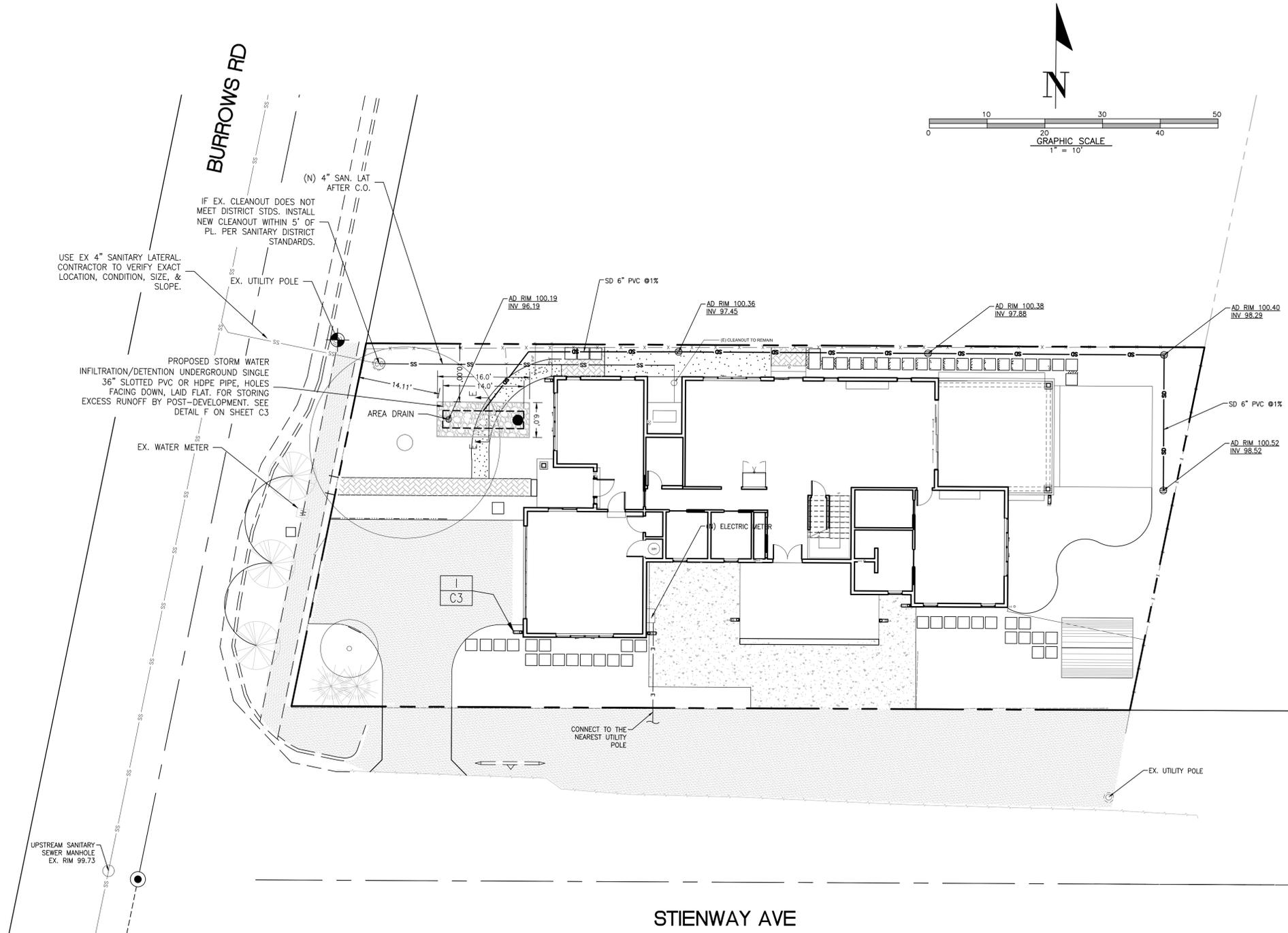
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AREA DRAIN	---
DROP INLET	---
MONUMENT	---
FIRE HYDRANT	---
ELECTRODER	---
WATER METER	---
AC UNIT	---
SANITARY SEWER LATERAL	---
STORM DRAIN	SD
SANITARY SEWER	SS
STREET LIGHT CONDUITS	SL
WATER	W
JOINT TRENCH	JT
HOUSE SERVICE	SVC
SLOPE ARROW	---
EXISTING CONTOUR	100
PROPOSED CONTOUR	100
OVERLAND RELEASE	---
DIRECTION OF SURFACE DRAINAGE	---
SITE SLOPE AWAY FROM BUILDING	>>
GAS LINE	---
OVERHEAD ELECTRICAL LINE	OE
UNDERGROUND ELECTRICAL LINE	UE
DOWNSPOUTS W/SPLASH BOX	---
TREE TO BE REMOVED	X
ADJACENT GRADE	AG
AGGREGATE BASE (AB)	---
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NO.	DATE	BY	CITY

PROFESIONAL ENGINEER
 PORFIRIO OSCAR OSUNA
 No. 70829 Exp. 6-30-23
 CIVIL ENGINEERING
 STATE OF CALIFORNIA

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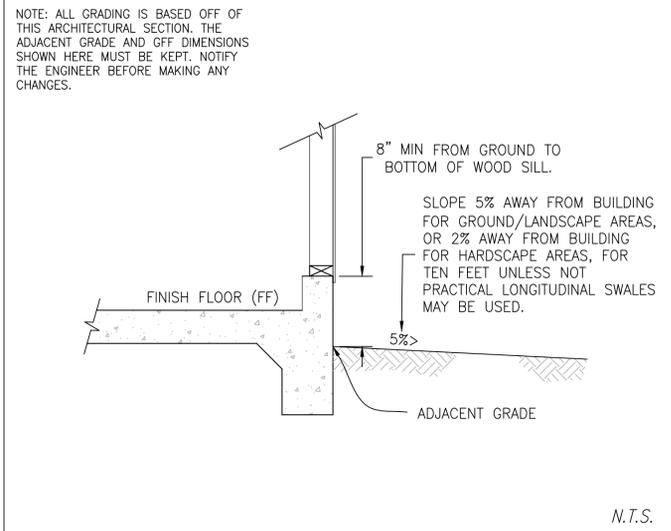
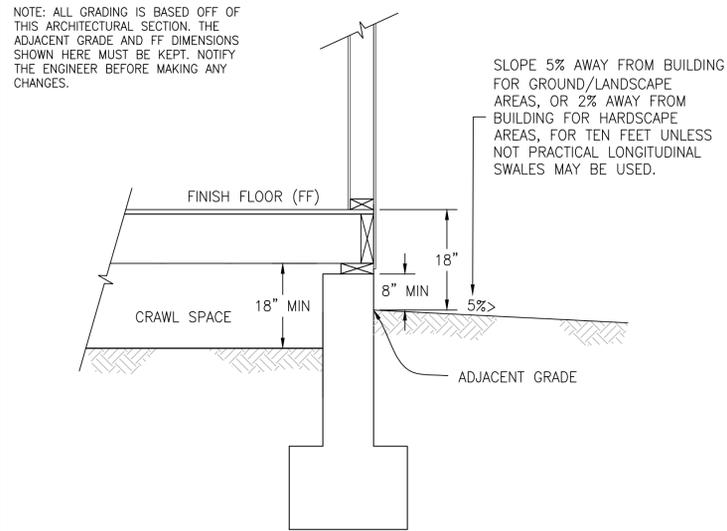
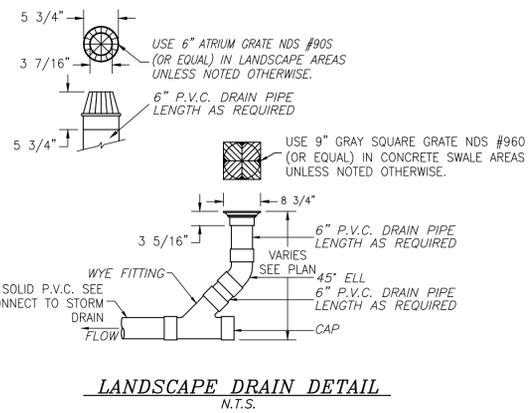
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 SAN JOSE, CA 95119 info@osunaengineering.com

GRADING & DRAINAGE PLAN
UTILITY PLAN
1320 BURROWS RD

CALIFORNIA
 Project No.: 2133 Design: J.O. Check: O.O. Date: 3/06/23

SHEET
C2
 OF 6 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL MAINTAIN THE NECESSARY SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



A NOT USED

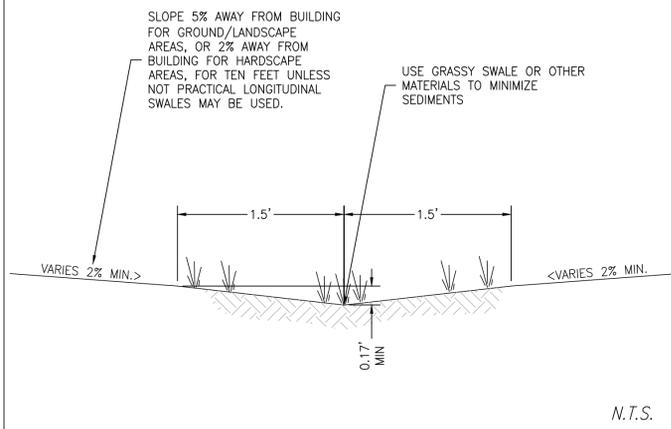
B AREA DRAIN DETAIL

C TYPICAL FOUNDATION/FF/GROUND SECTION

D TYPICAL FOUNDATION/GFF/GROUND SECTION

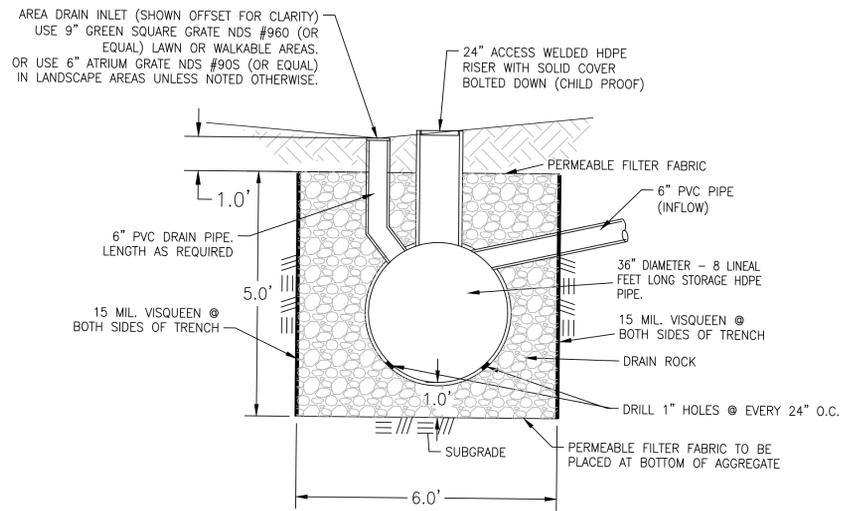


P. Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23



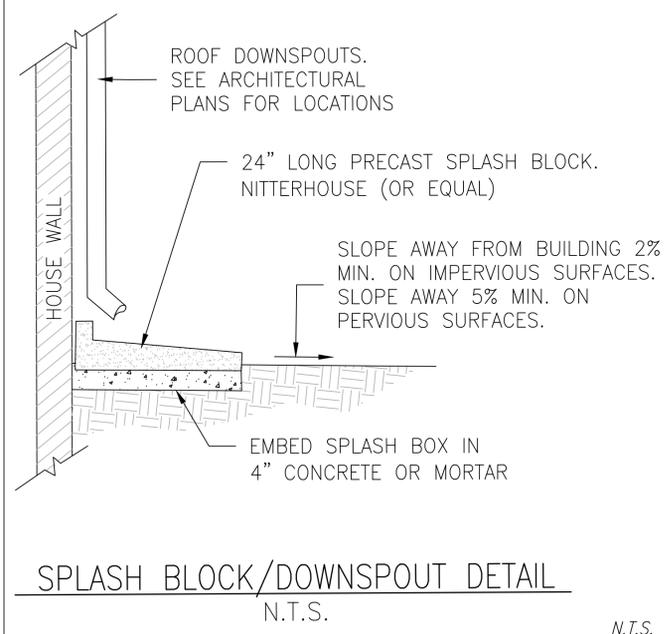
F NOT USED

G EARTHEN SWALE DETAIL



E STORM WATER INFILTRATION/DETENTION TRENCH DETAIL

H NOT USED



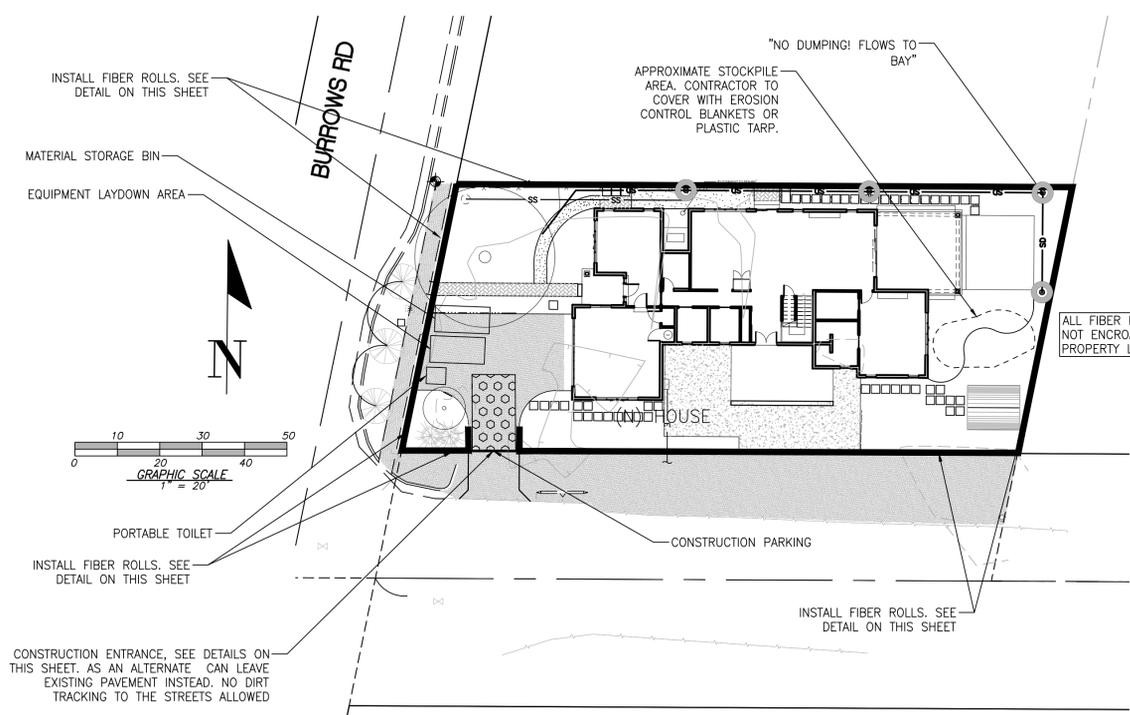
I SPLASH BLOCK/DOWNSPOUT DETAIL

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 ENGINEERING INC.
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 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
 6920 SANTA TERESA BLVD STE. 206 TEL. (408) 772-4381
 SAN JOSE, CA 95119 info@osunaeengineering.com

GRADING & DRAINAGE PLAN
 CONSTRUCTION DETAILS
 1320 BURROWS RD
 CAMPBELL, CALIFORNIA
 Project No.: 2133 Design: J.O. Check: O.O. Date: 3/06/23

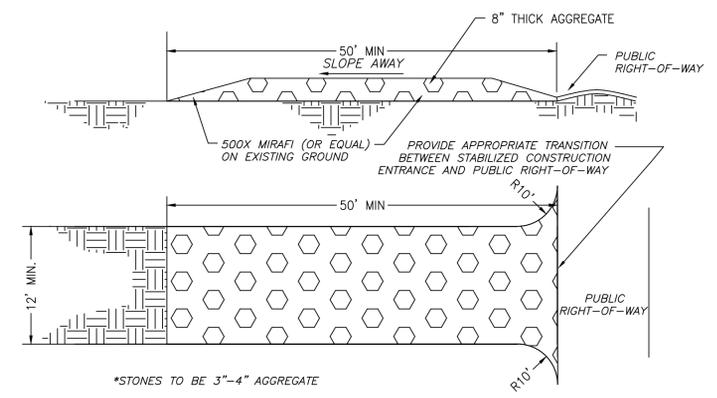
SHEET
C3
 OF 6 SHEETS

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NOTES:

- PROTECT ALL INLETS IN THE PUBLIC STREETS SURROUNDING THE SITE.
- ALL ON-SITE LANDSCAPE AREA DRAINS TO BE CAPPED OR PROTECTED UNTIL LANDSCAPING IS FINISHED.



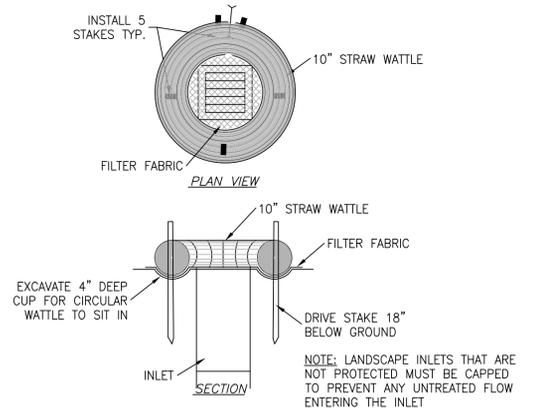
MAINTENANCE:

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.

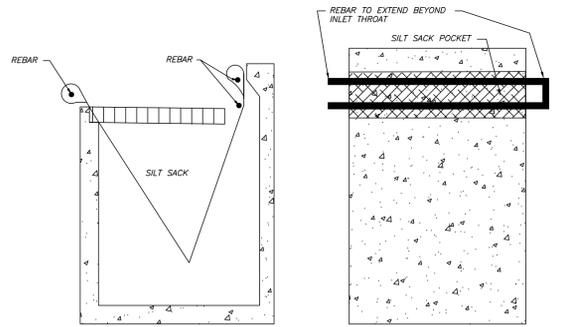
ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.

WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

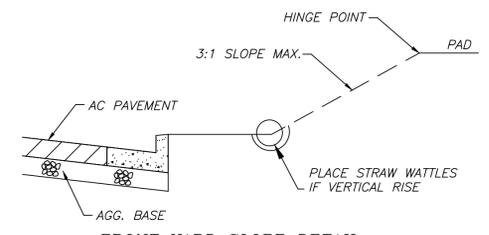
STABILIZED CONSTRUCTION ENTRANCE N.T.S.



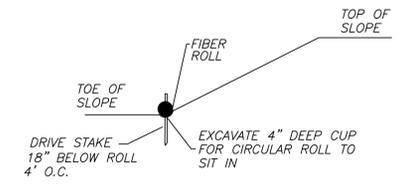
ALTERNATE FIBER ROLL INLET PROTECTION MAY BE USED IN LANDSCAPE AREA DRAINS N.T.S.



CALIFORNIA MODIFIED SILT SACK REED & GRAHAM, INC. (OR EQUAL) BEFORE & AFTER STREETS ARE PAVED N.T.S.



FRONT YARD SLOPE DETAIL AFTER STREET ARE PAVED N.T.S.



FIBER ROLL INSTALLATION DETAIL N.T.S.

EROSION & SEDIMENT CONTROL NOTES

- NOT USED
- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLAD WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).
- ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.

SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES

- SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

NO.	REVISIONS	DATE	CITY	BY

REGISTERED PROFESSIONAL ENGINEER
 PORFIRIO OSCAR OSUNA
 No. 70829
 Exp. 6-30-23
 CIVIL
 STATE OF CALIFORNIA

P. Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23

OSUNA ENGINEERING INC.
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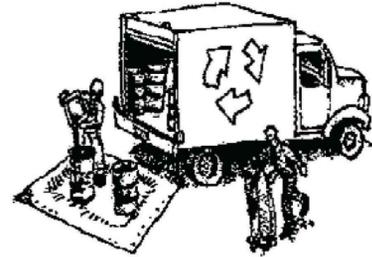
GRADING & DRAINAGE PLAN
 EROSION CONTROL
 1320 BURROWS RD

CAMPBELL, CALIFORNIA
 Project No.: 2133 Design: J.O. Check: O.C. Date: 3/06/23

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



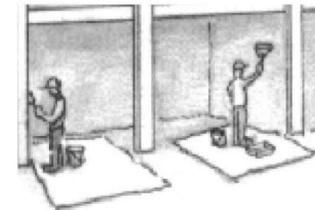
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

Storm drain polluters may be liable for fines of up to \$10,000 per day!

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL INCLUDE, BUT NOT BE LIMITED TO, NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

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 BMP SHEET
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CAMPBELL, CALIFORNIA
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SHEET
C5
 OF 6 SHEETS