




City of Campbell  
70 North First Street  
Campbell, CA 95008 -1423

## Project Image



# Notice of Public Hearing

Dear Campbell Resident,

March 30, 2023

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday April 11, 2023, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

**Project Address:** 57-101 Gilman Ave., & 60 Dillon Ave.

**Zoning | Area Plan:** P-D| SOCA

**Neighborhood Association(s):** DCNA

**Council District:** 2

**File No.:** PLN-2023-37

**APN:** 412-09-032

**Applicant:** Robson Homes, LLC

**Property Owner:** Robson Homes, LLC

**Application Type:** Preliminary Application

**Project Planner:** Daniel Fama, Senior Planner

**Project Description:**

Preliminary proposal for a 29-unit townhome/duet residential development on a 1.1 acre assemblage.

**You may participate virtually or watch online:**

- ◇ Register online to speak via Zoom:  
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:  
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS ) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal. To view the project plans, please scan the QR code.

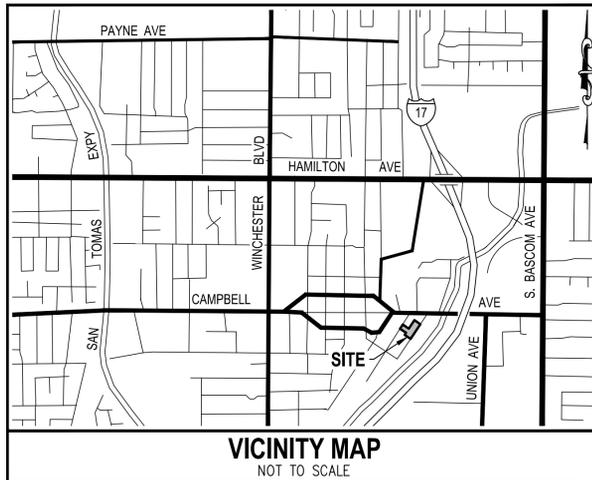
\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traduccion en Español



# PRELIMINARY REVIEW PACKAGE

# GILMAN AVENUE SITE DEVELOPMENT

## CAMPBELL CALIFORNIA

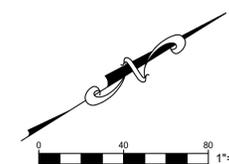


PROJECT TEAM:  
 APPLICANT:  
**ROBSON HOMES**  
 A CALIFORNIA LIMITED LIABILITY COMPANY  
 2185 THE ALAMEDA, SUITE 150  
 SAN JOSE, CA 95126

CIVIL ENGINEER:  
 **Civil Engineering Associates**  
 Civil Engineers • Planners • Surveyors  
 28 Railway Avenue  
 Campbell, CA 95008  
 T: (408) 453-1066

ARCHITECTURE  
**R H A**  
**ROBERT HIDEY ARCHITECTS**  
 3337 MICHELSON DRIVE | SUITE 170 | IRVINE, CA 92612  
 949.655.1550 | WWW.ROBERTHIDEY.COM

LANDSCAPE:  
 **DESIGN FOCUS**  
 LANDSCAPE ARCHITECTURE & CONSTRUCTION  
 PO BOX 485  
 BEN LOMOND, CA 95005  
 (831) 336-3100



### SHEET INDEX

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3	C3	PROJECT AREA EXHIBIT
4	C4	EXISTING CONDITIONS PLAN
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7	A-2	BUILDING 1A ELEVATIONS
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9	A-4	BUILDING 2 FLOOR PLAN & ROOF PLAN
10	A-5	BUILDING 2A ELEVATIONS
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12	A-7	BUILDING 3A ELEVATIONS
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### LEGEND

---	BOUNDARY LINE
- - -	RIGHT-OF-WAY
---	LOT LINE
---	CENTER LINE
---	MONUMENT LINE
SS -	SANITARY SEWER
---	STORM DRAIN
W	WATER LINE
⊙	FIRE HYDRANT
⊙	WATER VALVE
G	GAS LINE
OH	OVERHEAD LINE
X	CHAIN LINK FENCE
---	IRON FENCE
---	WOOD FENCE
•	BOLLARD
#275	TREE NUMBER

### ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CONC	CONCRETE
ELEC	ELECTRIC
FH	FIRE HYDRANT
GM	GAS METER
GV	GAS VALVE
INV	INVERT
MH	MANHOLE
PED	PEDISTAL
SS	SANITARY SEWER
SD	STORM DRAIN
STLT	STREET LIGHT
WM	WATER METER
WT	WATER
WV	WATER VALVE
WF	WOOD FENCE

### SCOPE

DEVELOPER REQUESTS AN SB 330 APPLICATION BE ACCEPTED FOR 29 RESIDENTIAL UNITS

### STATEMENT AND TABLES

#### SITE DATA

SITE ADDRESS	60 DILLON AVENUE & 57-101 GILMAN AVENUE
ASSESSOR'S PARCEL NUMBER:	412-09-026, 032, 033, 034, 035, 036
EXISTING ZONING DISTRICT:	P-D (PLANNED DEVELOPMENT)
EXISTING SPECIAL PROJECT AREAS:	SOUTH OF CAMPBELL AVENUE AREA PLAN / EAST CAMPBELL AVENUE MASTER PLAN AREA
EXISTING GP DESIGNATIONS:	COMMERCIAL/MED-HIGH DENSITY RESIDENTIAL (14-27 GR ACRE) / CENTRAL COMMERCIAL
GROSS SITE AREA:	1.452 ACRES (INCLUDING AREA TO CENTERLINE OF ADJACENT PUBLIC STREETS)
GROSS SITE DENSITY:	20.0 DU/AC
NET SITE AREA:	1.138 ACRES
NET SITE DENSITY:	25.5 DU/AC
NOTE:	SEE SHEET C3 FOR ADDITIONAL INFORMATION.
FLOOR AREA RATIO:	1.59 (78,789 SF GROSS FLOOR AREA / 49,571 SF NET LOT AREA)
BUILDING LOT COVERAGE:	26,450 SF
LANDSCAPING COVERAGE:	8,800 SF
PAVING COVERAGE:	12,330 SF

#### RESIDENTIAL UNIT SUMMARY

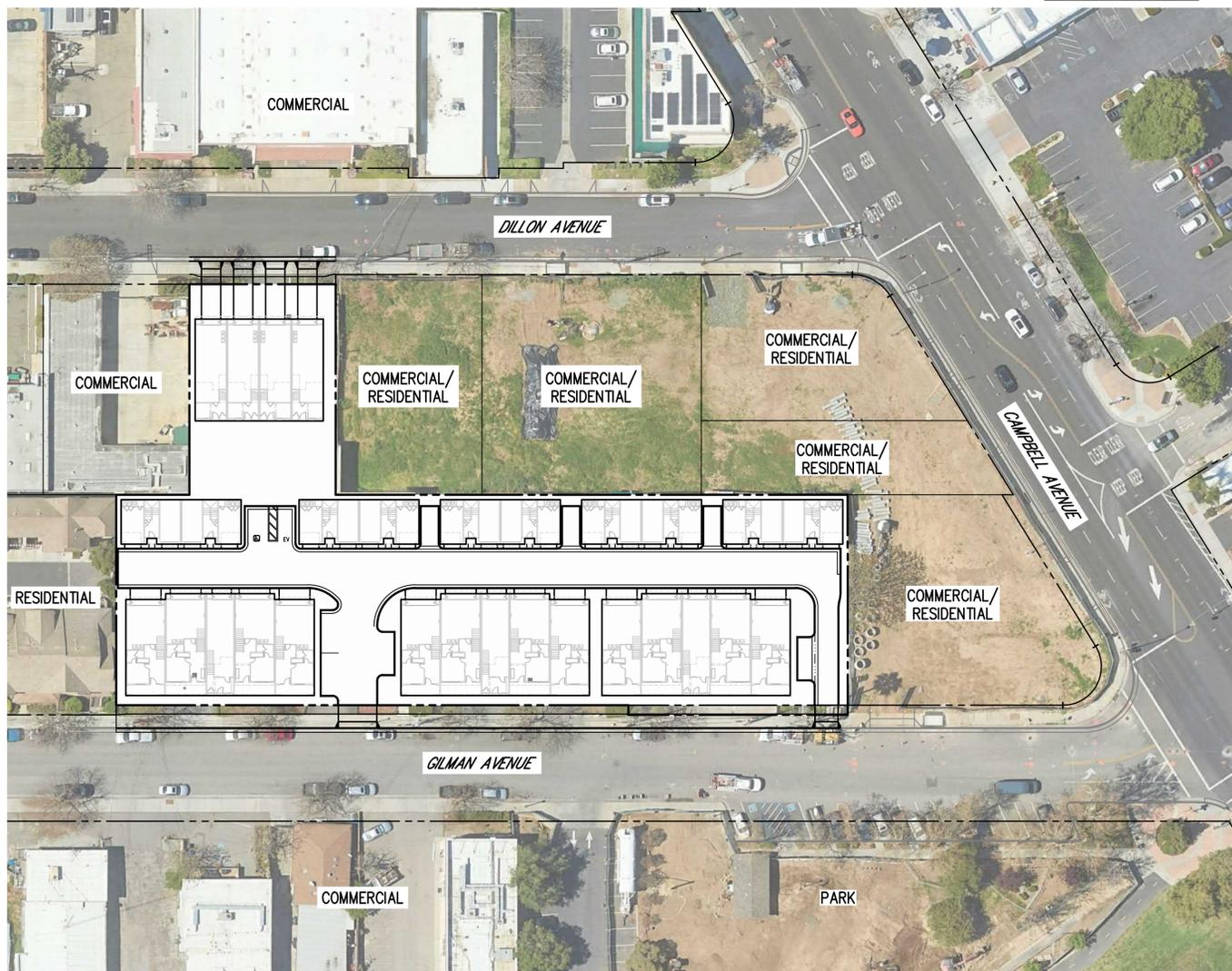
TOTAL RESIDENTIAL TOWNHOME UNITS:	29			
<b>PLAN TYPE</b>	<b>BED COUNT</b>	<b>GARAGE TYPE</b>	<b>NO. OF UNITS</b>	<b>UNIT MIX (%)</b>
PLAN 1	3 BD / 3 BA	2 CAR TANDEM	3	10%
PLAN 2	3 BD / 3 BA	2 CAR TANDEM	4	14%
PLAN 3	4 BD / 3.5 BA	2 CAR SIDE BY SIDE	6	21%
PLAN 4	4 BD / 3.5 BA	2 CAR SIDE BY SIDE	6	21%
PLAN 5	2 BD / 2.5 BA	2 CAR	10	34%
		(1 EACH SIDE OF ENTRY)		
TOTAL			29	100%

	TOWNHOMES AS DEFINED IN ZONING CODE (CITY OF CAMPBELL, CA)					DUET	NOTES
	PLAN 1	PLAN 2	PLAN 3	PLAN 4	PLAN 5		
FIRST FLOOR	742	842	837	982	1055	714	To exterior walls including garage, stair, popouts, porch
SECOND FLOOR	792	885	892	1046	1007	736	To exterior walls including balcony and stair
THIRD FLOOR	723	1661	828	1041	1025	703	To exterior walls including stair
<b>TOTAL GROSS AREA</b>	<b>2257</b>	<b>3388</b>	<b>2557</b>	<b>3069</b>	<b>3087</b>	<b>2153</b>	

#### PARKING

- PROVIDED - 71 STALLS PROVIDED (2.45 STALLS PER UNIT)
- 58 COVERED STALLS (2 PER UNIT)
  - 13 SURFACE STALLS (INCLUDING 1 VAN ACCESSIBLE STALL AND 1 EV STALL)

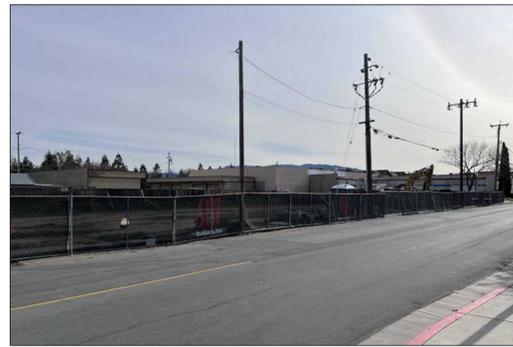
- REQUIRED - NONE
- PER AB 2097, PUBLIC AGENCIES SHALL NOT IMPOSE OR ENFORCE MINIMUM PARKING REQUIREMENTS ON PROJECTS THAT ARE WITHIN ONE-HALF MILE OF PUBLIC TRANSIT. THE SUBJECT SITE IS WITHIN ONE-HALF MILE OF THE CAMPBELL VTA LIGHT RAIL STATION (SEE SHEET C2).



<p>BY</p> <p>NO.</p> <p>DATE</p> <p>REVISIONS</p>	<p>PREPARED FOR:</p> <p><b>ROBSON HOMES</b>                  A CALIFORNIA LIMITED LIABILITY COMPANY                  2185 THE ALAMEDA, SUITE 150                  SAN JOSE, CA 95126</p> <p>CAMPBELL CALIFORNIA</p> <p><b>GILMAN AVENUE COVER SHEET</b></p>
<p>DATE: 2/16/2023</p> <p>SCALE: SEE PLAN</p> <p>DESIGNED: JG</p> <p>DRAWN: CH</p> <p>JOB NO.: 22-139</p> <p>SHEET: <b>C1</b></p> <p>OF SHEETS</p>	



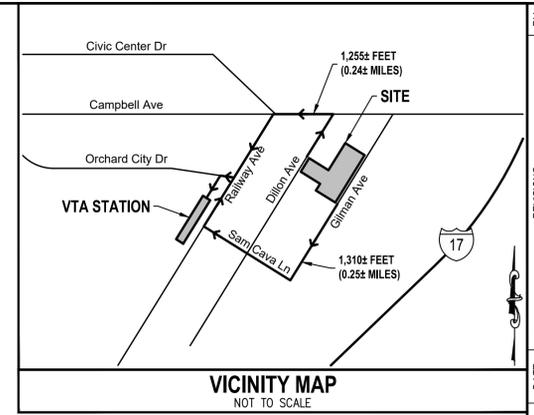
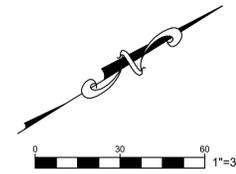
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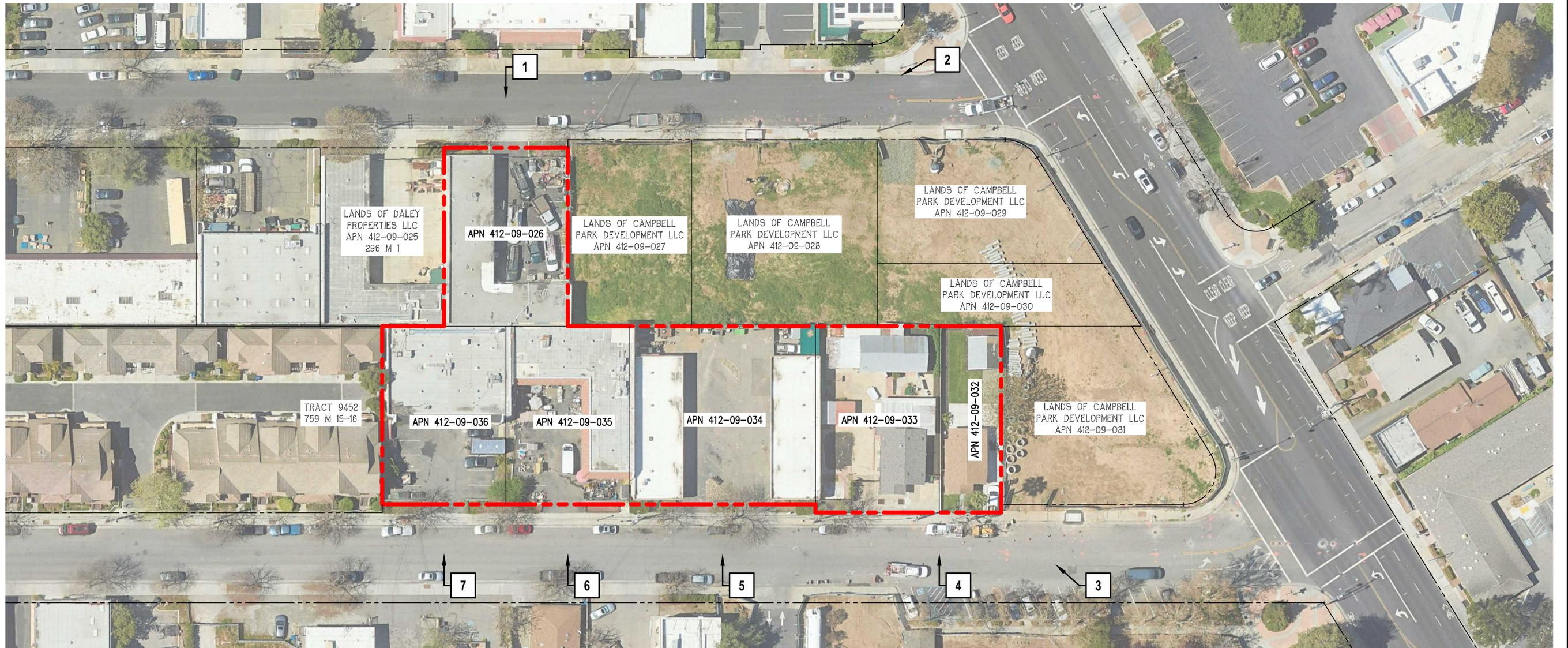
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3



NO.	DATE	REVISIONS	BY



7



6



5



4

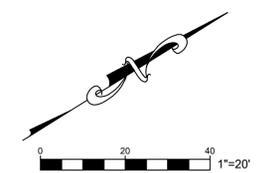
28 Railway Avenue  
Campbell, CA 95008  
T: (408) 453-1066

**Civil Engineering Associates**  
Civil Engineers • Planners • Surveyors

PREPARED FOR:  
**ROBSON HOMES**  
A CALIFORNIA LIMITED LIABILITY COMPANY  
2185 THE ALAMEDA, SUITE 150  
SAN JOSE, CA 95126

GILMAN AVENUE  
SITE PHOTOGRAPHY SHEET  
CALIFORNIA  
CAMPBELL

DATE	2/16/2023
SCALE	SEE PLAN
DESIGNED	JG
DRAWN	CH
JOB NO.	22-139
SHEET	C2
OF	SHEETS



**LEGEND**

--- BOUNDARY LINE  
 - - - RIGHT-OF-WAY  
 --- LOT LINE  
 --- EXISTING LOT LINE  
 --- CENTER LINE

**SITE AREA CALCULATIONS**

NET AREA  
 (49,593 SF - 1.138 AC)

GROSS AREA  
 (63,266 SF - 1.452 AC)

ROW DEDICATION  
 (570 SF)



NO.	DATE	BY	REVISIONS
△			
△			
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△			
△			

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 A CALIFORNIA LIMITED LIABILITY COMPANY  
 2185 THE ALAMEDA, SUITE 150  
 SAN JOSE, CA 95126

**GILMAN AVENUE PROJECT AREA EXHIBIT**

CAMPBELL CALIFORNIA

DATE	2/16/2023
SCALE	SEE PLAN
DESIGNED	JG
DRAWN	CH
JOB NO.	22-139
SHEET	<b>C3</b>
OF	SHEETS

**LEGEND**

---	BOUNDARY LINE
---	RIGHT-OF-WAY
---	LOT LINE
---	CENTER LINE
---	MONUMENT LINE
SS	SANITARY SEWER
SD	STORM DRAIN
W	WATER LINE
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X	CHAIN LINK FENCE
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○	WOOD FENCE
○	BOLLARD
●	TREE NUMBER

**ABBREVIATIONS**

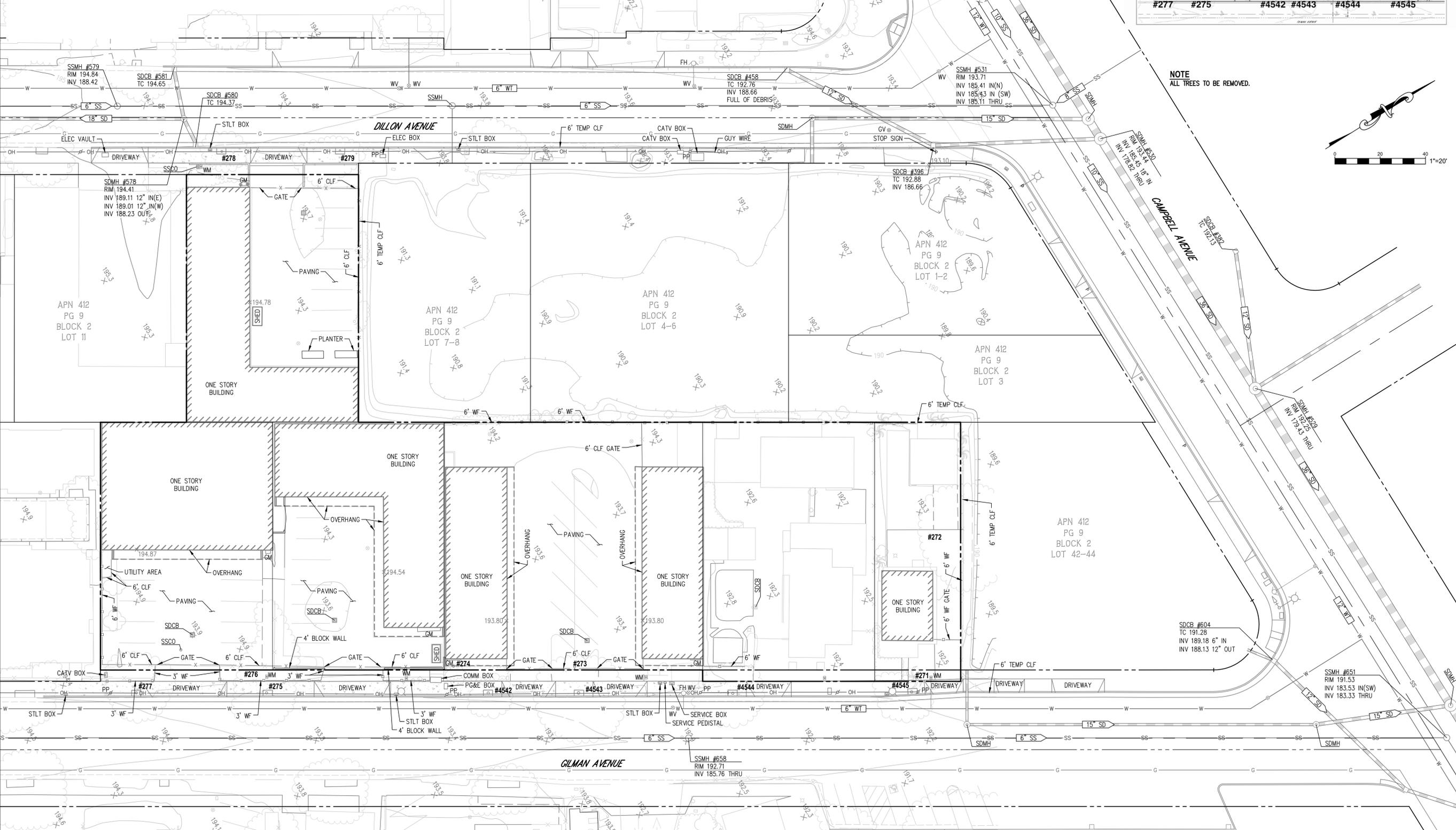
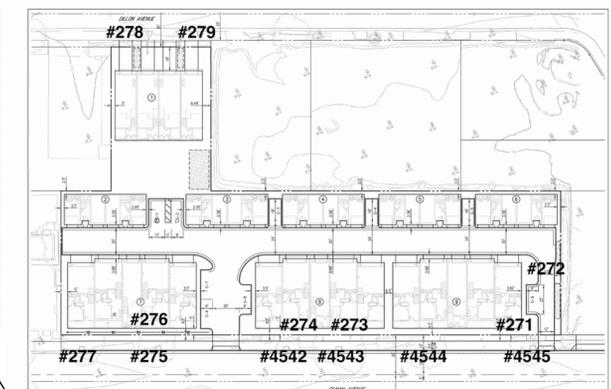
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WT	WATER
WV	WATER VALVE
WF	WOOD FENCE

**Appendix B: Tree Inventory Summary Table**

Table 4: Tree Inventory Summary

Tree Species	I.D. #	Trunk Diameter (in.)	Condition	Suitability	Expected Impact	Status
Chinese pistache ( <i>Pistacia chinensis</i> )	4545	14	Fair	Good	Moderate	Street Tree
fan palm ( <i>Washingtonia robusta</i> )	271	21	Good	Poor	High	Protected
tree of heaven ( <i>Ailanthus altissima</i> )	272	14, 9, 6, 8, 8, 4, 7, 13	Fair	Poor	High	Protected
Chinese pistache ( <i>Pistacia chinensis</i> )	4544	12	Good	Good	Moderate	Street Tree
Hollywood juniper ( <i>Juniperus chinensis</i> 'Torulosa')	273	8	Fair	Poor	High	Not-Protected
Chinese pistache ( <i>Pistacia chinensis</i> )	4543	17	Fair	Good	Moderate	Street Tree
Chinese pistache ( <i>Pistacia chinensis</i> )	4542	15	Fair	Good	Moderate	Street Tree
Hollywood juniper ( <i>Juniperus chinensis</i> 'Torulosa')	274	7, 8, 5, 5	Fair	Poor	High	Protected
Chinese pistache ( <i>Pistacia chinensis</i> )	275	14	Good	Good	Moderate	Street Tree
Almond ( <i>Prunus dulcis</i> )	276	6, 6, 4, 4	Good	Poor	High	Protected
Chinese pistache ( <i>Pistacia chinensis</i> )	277	13	Fair	Good	Moderate	Street Tree
Chinese pistache ( <i>Pistacia chinensis</i> )	278	10	Good	Good	Moderate	Street Tree
Chinese pistache ( <i>Pistacia chinensis</i> )	279	10	Good	Good	Moderate	Street Tree

**Appendix A: Tree Inventory and Site Plan**



BY	
REVISIONS	
NO.	DATE
△	△
△	△
△	△
△	△

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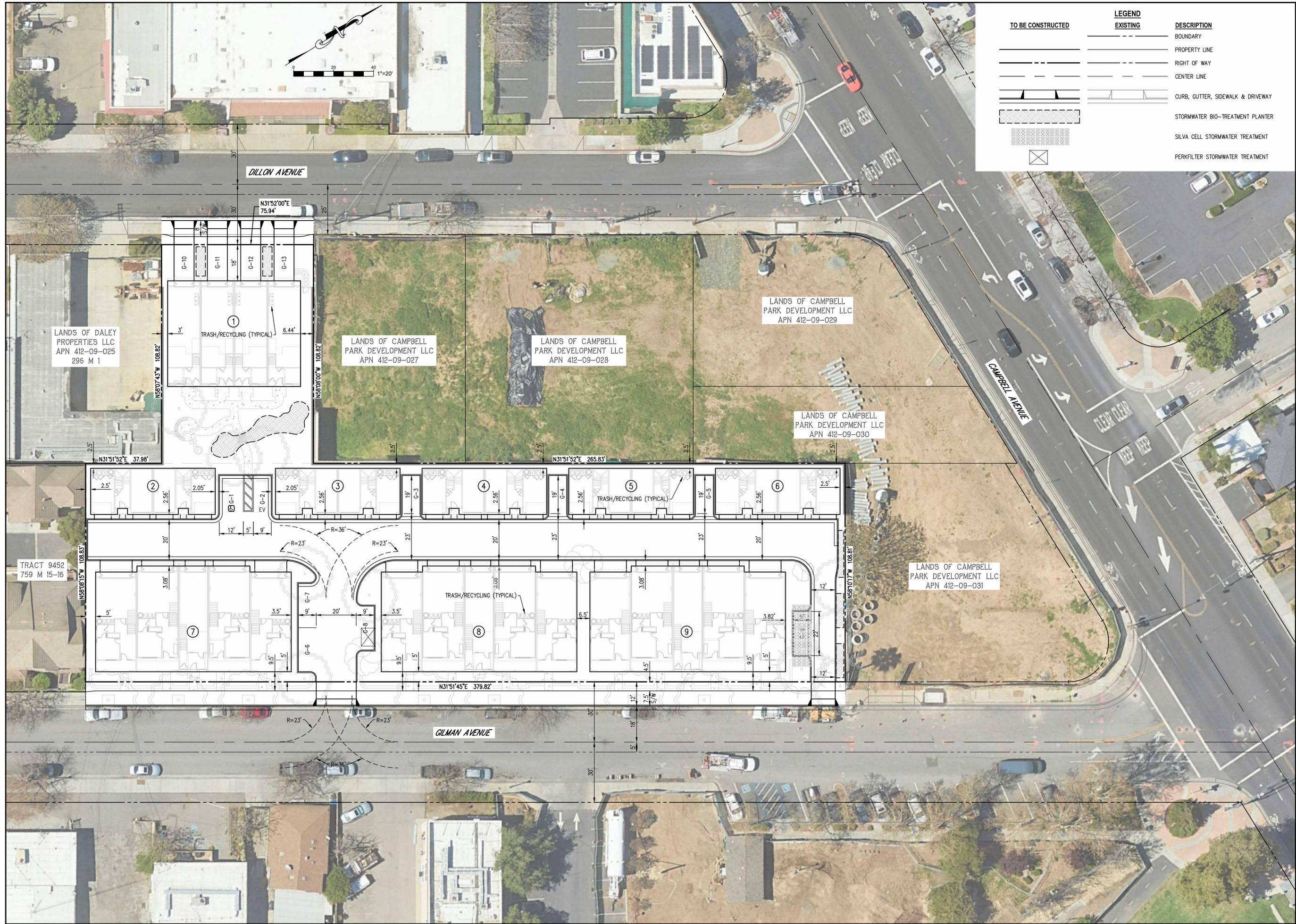
**Civil Engineering Associates**  
Civil Engineers • Planners • Surveyors

**ROBSON HOMES**  
A CALIFORNIA LIMITED LIABILITY COMPANY  
2185 THE ALAMEDA, SUITE 150  
SAN JOSE, CA 95126

PREPARED FOR: **GILMAN AVENUE EXISTING CONDITIONS PLAN** CALIFORNIA

DATE: 2/16/2023  
SCALE: SEE PLAN  
DESIGNED: JG  
DRAWN: CH  
JOB NO.: 22-139  
SHEET: **C4** OF SHEETS

R:\PROJECT\2022\22139 Gilman and dillon - campbell\PLANNING\PRELIM\C4 EXISTING CONDITIONS PLAN.dwg Feb 17, 2023



TO BE CONSTRUCTED	EXISTING	DESCRIPTION
		BOUNDARY
		PROPERTY LINE
		RIGHT OF WAY
		CENTER LINE
		CURB, GUTTER, SIDEWALK & DRIVEWAY
		STORMWATER BIO-TREATMENT PLANTER
		SILVA CELL STORMWATER TREATMENT
		PERKFILTER STORMWATER TREATMENT

NO.	DATE	BY

**Prepared For:**  
**ROBSON HOMES**  
 A CALIFORNIA LIMITED LIABILITY COMPANY  
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 SAN JOSE, CA 95126

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SHEET	C5
OF	SHEETS

R H A  
ROBERT HIDEY ARCHITECTS

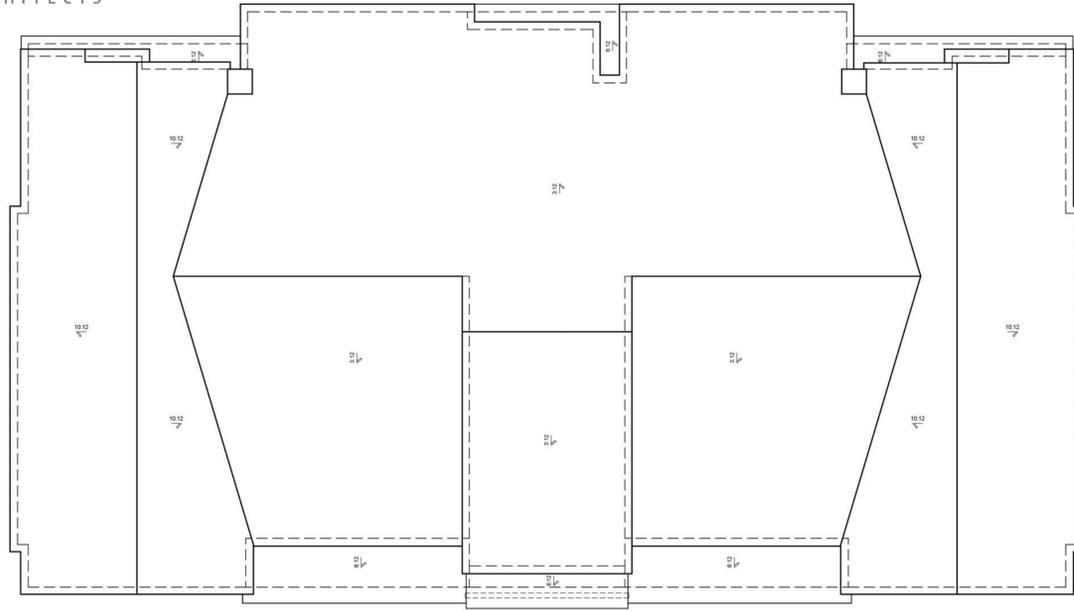
GILMAN AND DILLON SITE

CAMPBELL, CALIFORNIA

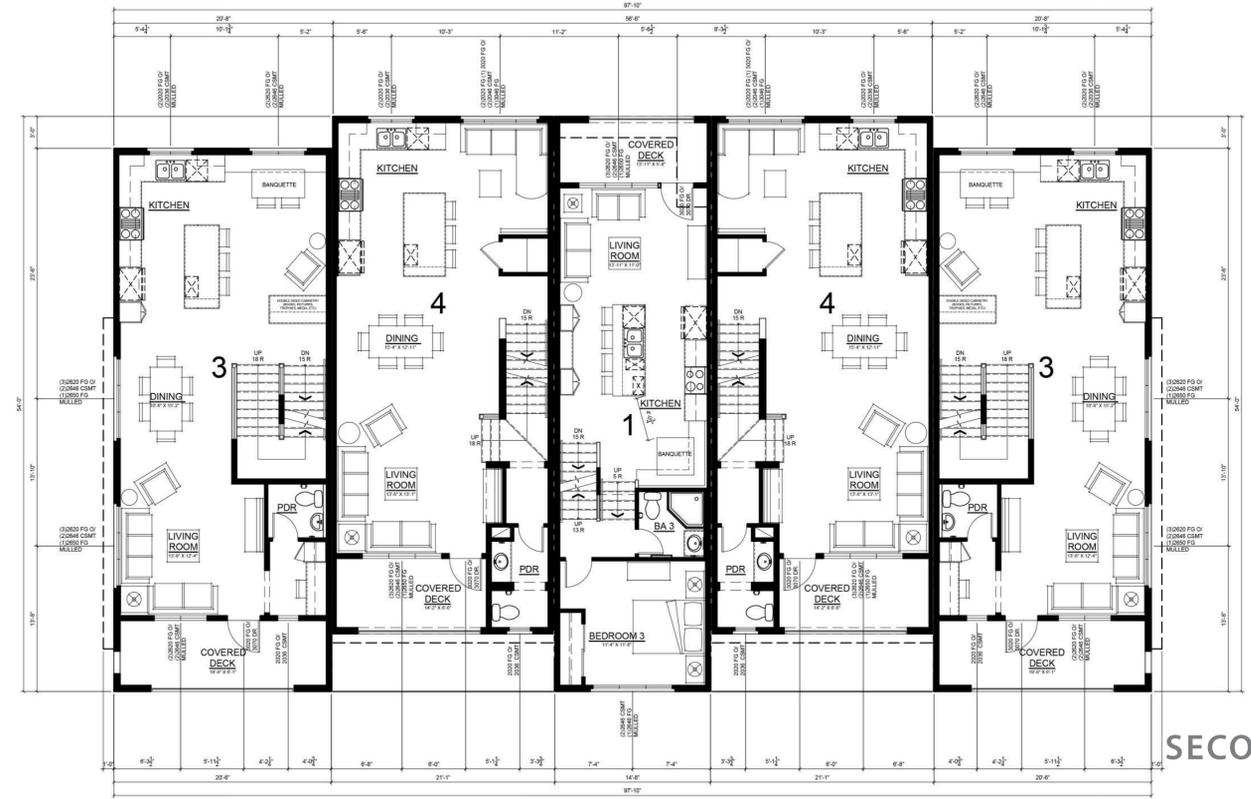
ROBSON  HOMES

PROJECT NUMBER 22094.02 02/20/2023

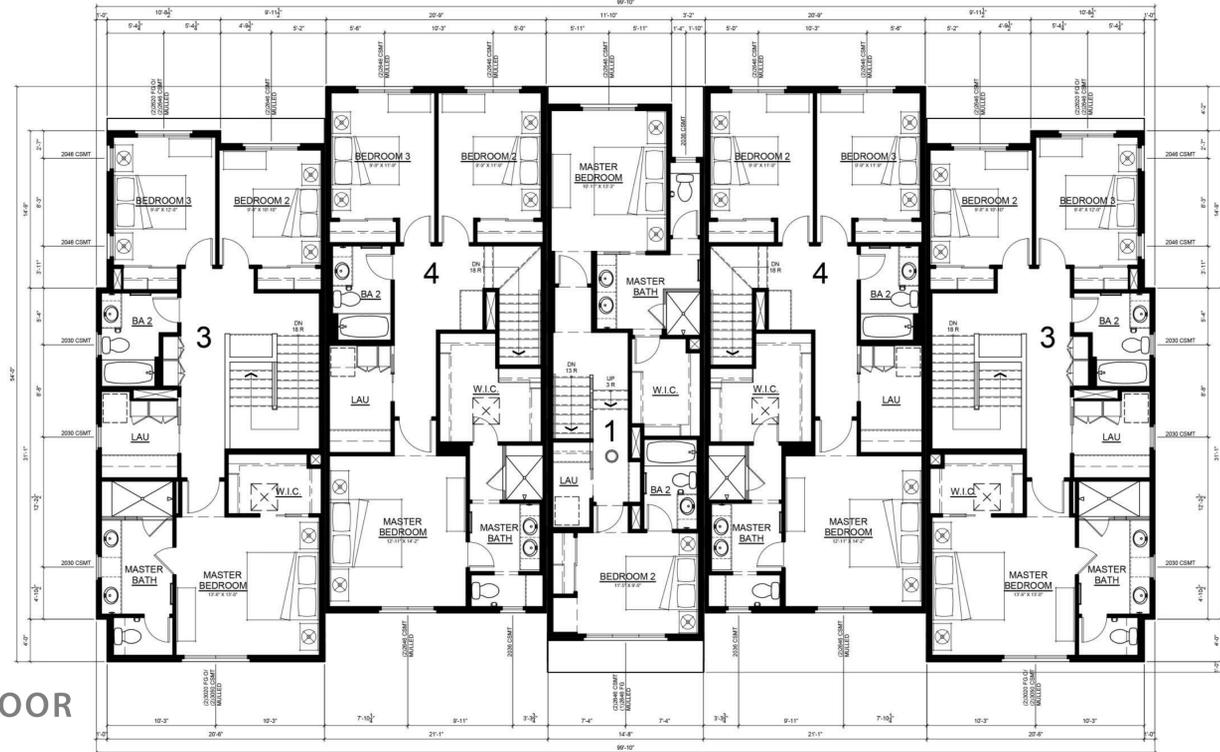
- A-1 BUILDING 1 FLOOR PLAN & 1A ROOF PLAN
- A-2 BUILDING 1A ELEVATIONS
- A-3 BUILDING 1B ELEVATIONS
- A-4 BUILDING 2 FLOOR PLAN & ROOF PLAN
- A-5 BUILDING 2A ELEVATIONS
- A-6 BUILDING 3 FLOOR PLAN & 3A ROOF PLAN
- A-7 BUILDING 3A ELEVATIONS
- A-8 BUILDING 3B ELEVATIONS



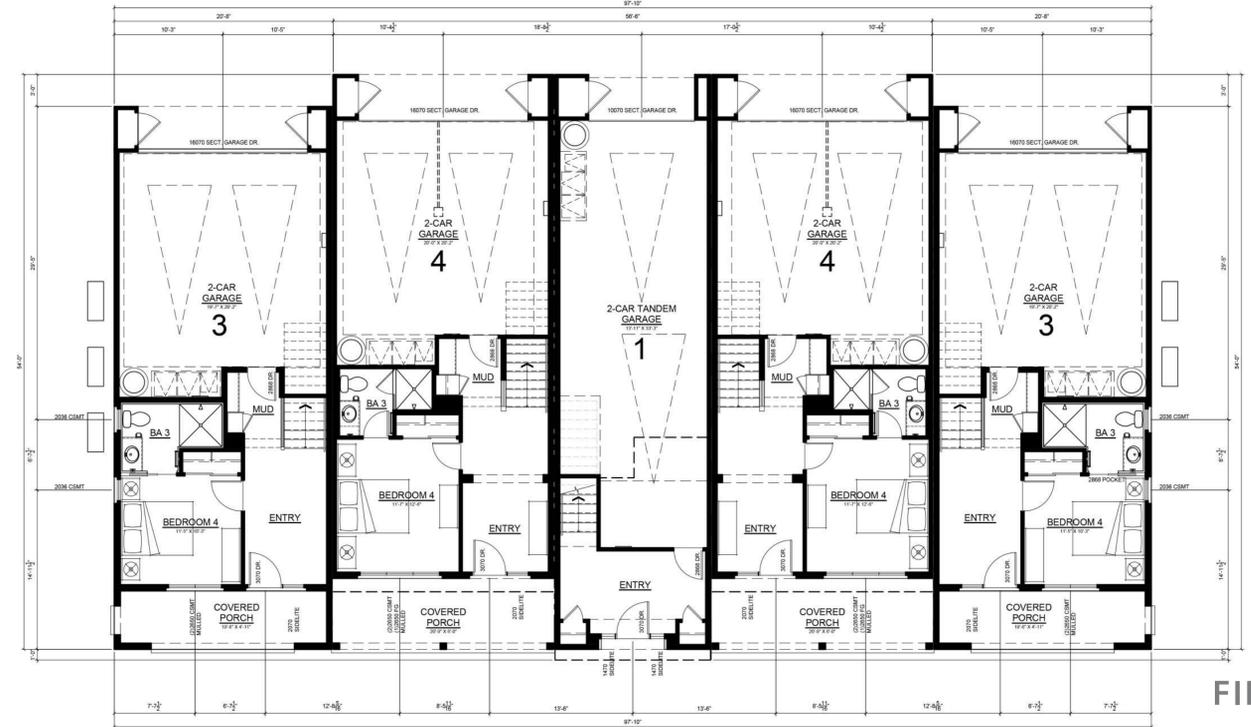
ROOF



SECOND FLOOR



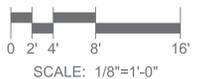
THIRD FLOOR



FIRST FLOOR

**BUILDING 1 FLOOR PLAN & 1A ROOF PLAN**  
1,564 SF (PLAN 1)    2,251 SF (PLAN 3) *EACH*    2,322 SF (PLAN 4) *EACH*

GILMAN AND DILLON SITE  
CAMPBELL, CALIFORNIA





LEFT ELEVATION



FRONT ELEVATION

- COMPOSITION ROOF SHINGLES  
PABCO PREMIER PEWTER GRAY
- WOOD BARGE  
PRATT & LAMBERT 32-17 ANUBIS
- CEMENTITIOUS SIDING  
DUNN-EDWARDS DEC 750 BISON BEIGE
- STANDING SEAM METAL ROOF  
STEELSCAPE NATURAL MATTE SHALE
- PRIMARY STUCCO BODY  
DUNN-EDWARDS DEW 340 WHISPER
- METAL RAILING
- VINYL WINDOWS  
MILGARD BRONZE
- WOOD ENTRY DOOR



RIGHT ELEVATION

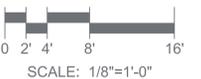


REAR ELEVATION

GARAGE DOOR

BUILDING 1A ELEVATIONS

GILMAN AND DILLON SITE  
CAMPBELL, CALIFORNIA



ROBSON HOMES

22094.02 02/20/2023

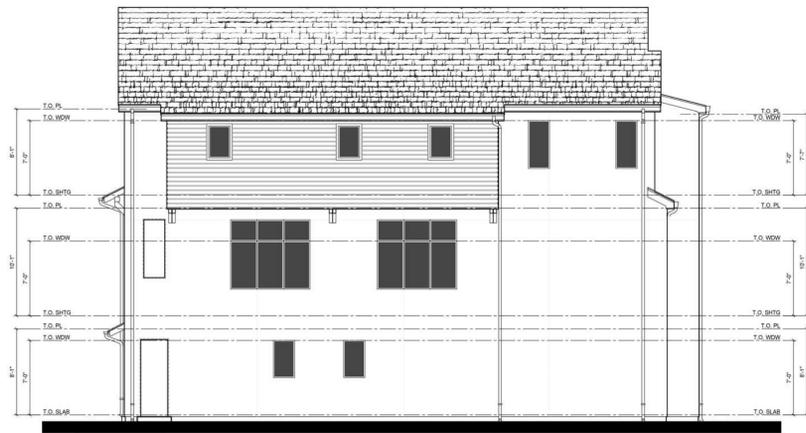


LEFT ELEVATION



FRONT ELEVATION

- COMPOSITION ROOF SHINGLES  
PABCO PREMIER PEWTER GRAY
- WOOD BARGE  
PRATT & LAMBERT 32-17 ANUBIS
- STANDING SEAM METAL ROOF  
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- VINYL WINDOWS  
MILGARD BRONZE
- WOOD ENTRY DOOR



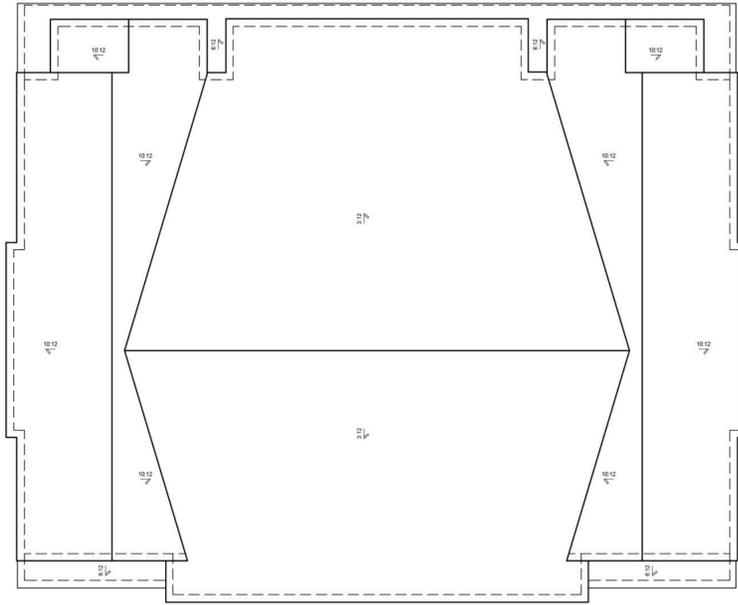
RIGHT ELEVATION



REAR ELEVATION

GARAGE DOOR

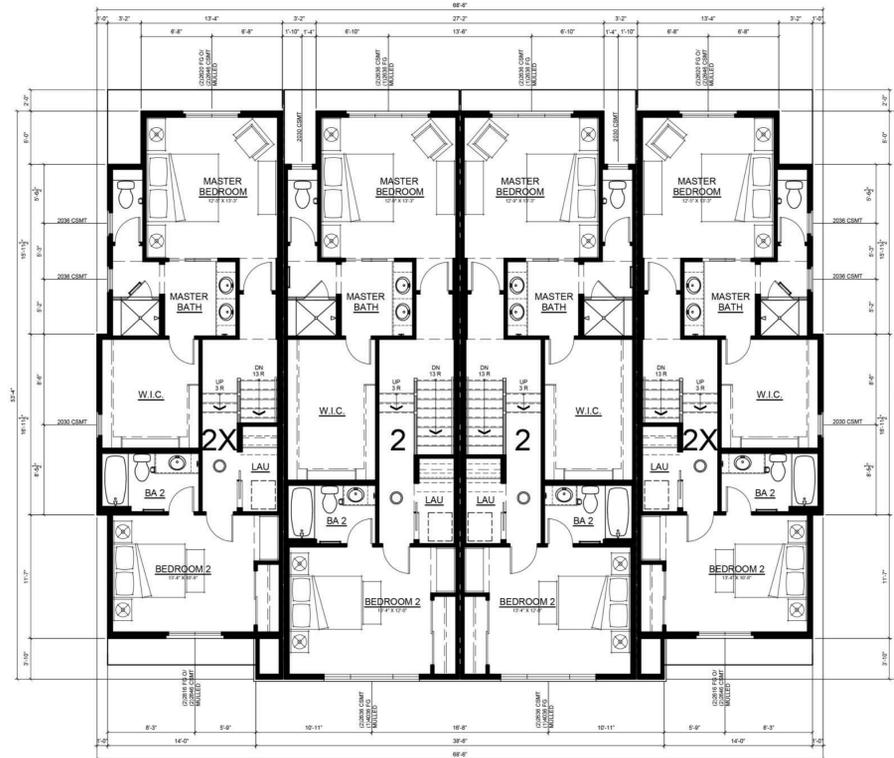
BUILDING 1B ELEVATIONS



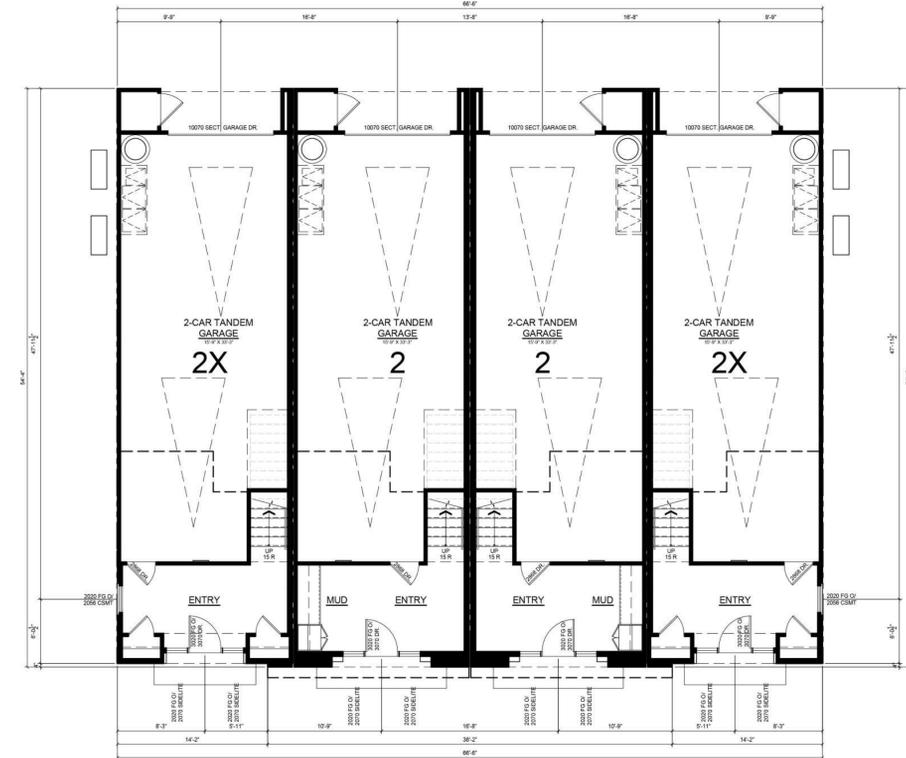
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

**BUILDING 2 FLOOR PLAN & ROOF PLAN**  
1,797 SF (PLAN 2) EACH    1,769 SF (PLAN 2X) EACH

GILMAN AND DILLON SITE  
CAMPBELL, CALIFORNIA





LEFT ELEVATION



- COMPOSITION ROOF SHINGLES  
PABCO PREMIER PEWTER GRAY
- WOOD BARGE  
PRATT & LAMBERT 32-17 ANUBIS
- STANDING SEAM METAL ROOF  
STEELSCAPE NATURAL MATTE SHALE
- VINYL WINDOWS  
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- CEMENTITIOUS SIDING  
DUNN-EDWARDS DEC 750 BISON BEIGE
- PRIMARY STUCCO BODY  
DUNN-EDWARDS DEW 340 WHISPER
- WOOD ENTRY DOOR

FRONT ELEVATION



RIGHT ELEVATION

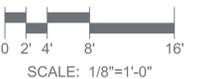


- METAL RAILING
- GARAGE DOOR

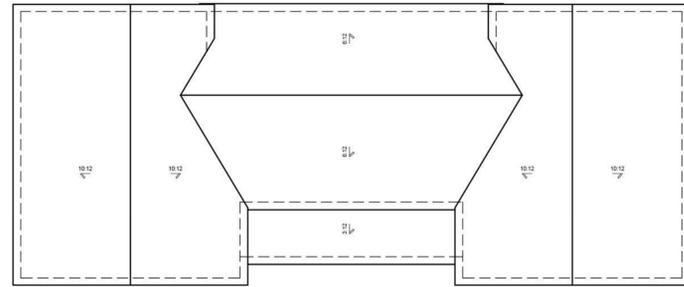
REAR ELEVATION

BUILDING 2A ELEVATIONS

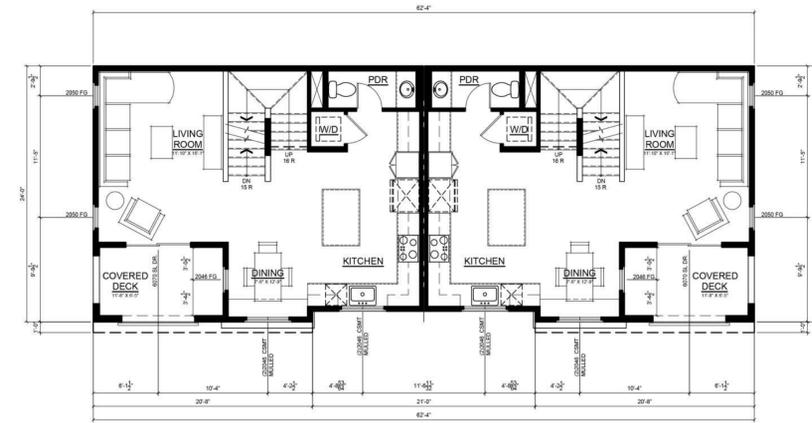
GILMAN AND DILLON SITE  
CAMPBELL, CALIFORNIA



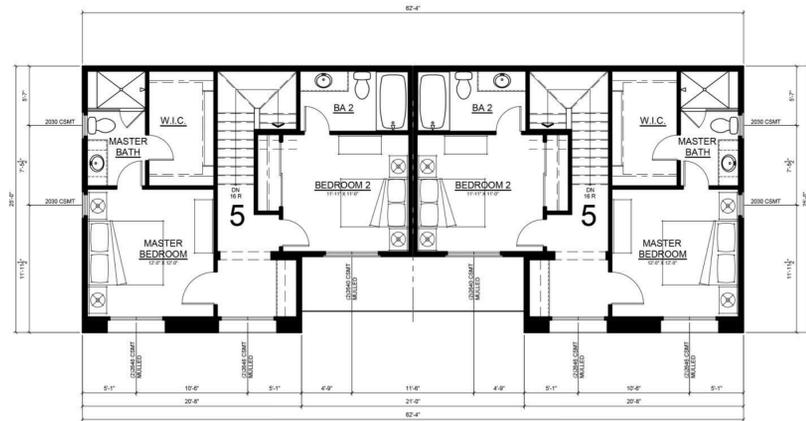
ROOF



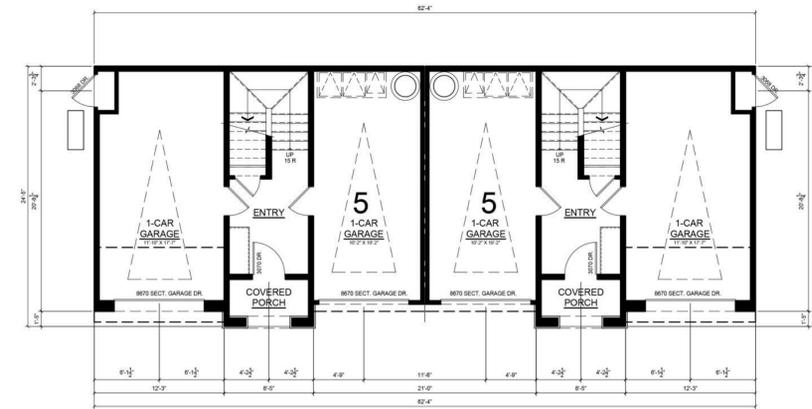
SECOND FLOOR



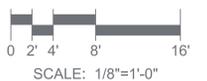
THIRD FLOOR



FIRST FLOOR



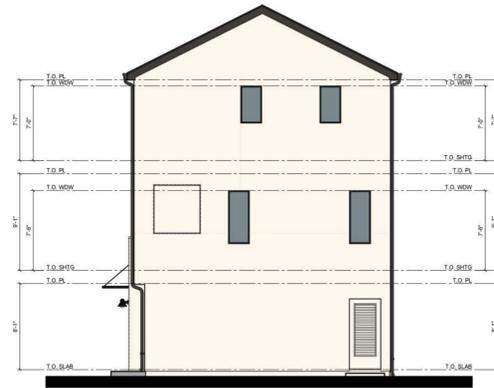
**BUILDING 3 FLOOR PLAN & 3A ROOF PLAN**  
1,437 SF (PLAN 5) *EACH*



**GILMAN AND DILLON SITE**  
CAMPBELL, CALIFORNIA

ROBSON  HOMES

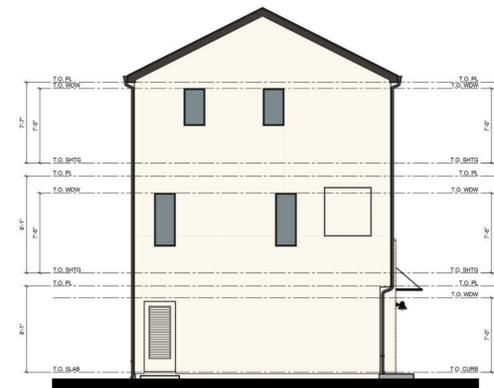




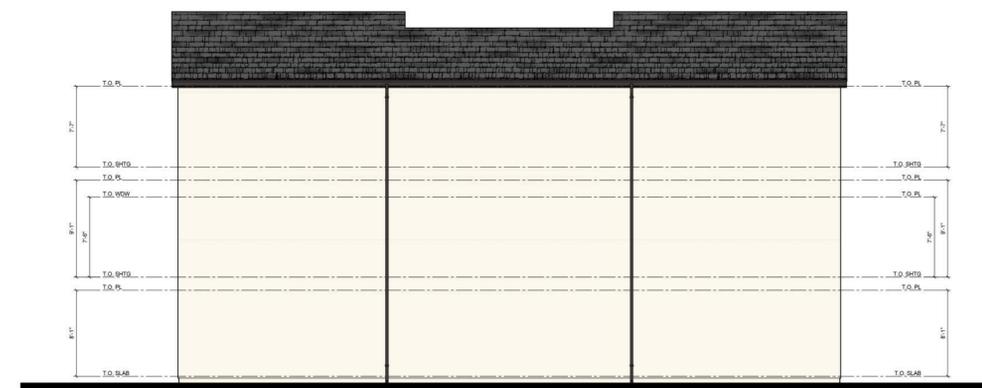
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

BUILDING 3B ELEVATIONS

GILMAN AND DILLON SITE  
CAMPBELL, CALIFORNIA

