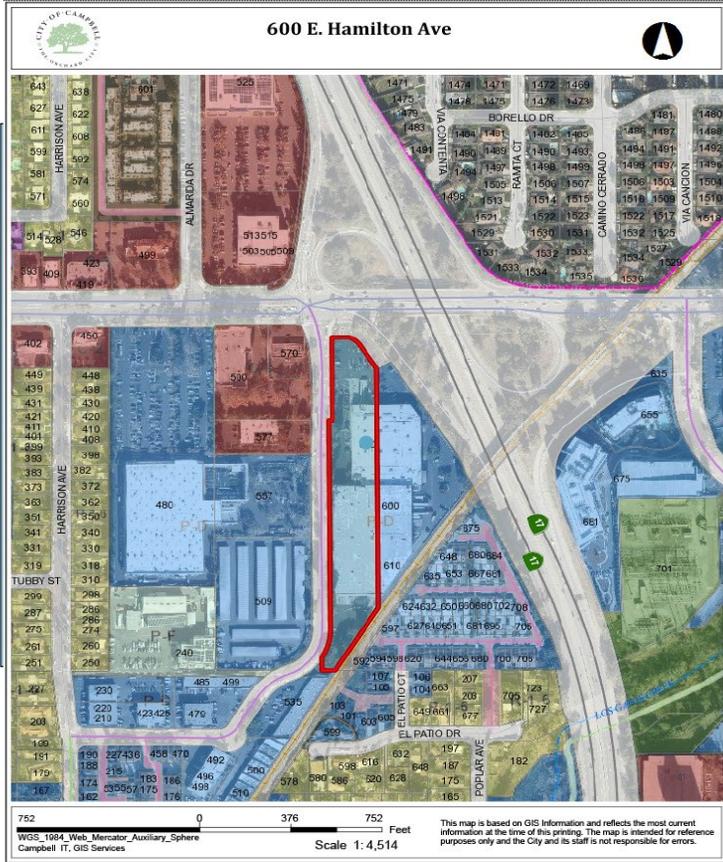


Location of Proposed Project



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

March 16, 2023

The Community Development Director will be rendering a decision on the following project.

Project Address: 600 E. Hamilton Avenue

Zoning | Area Plan: P-D | N/A

Neighborhood Assoc.: Downtown Campbell NBHD Assoc.

Council District: 2

File No: PLN-2023-39

APN: 279-32-012

Applicant: Brett Feuerstein

Property Owner: Brett Feuerstein

Application Type: Administrative Planned Development Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow a change of use from a durable goods wholesaler (Argonaut Windows) to a health and fitness center (pickleball) within an existing warehouse building.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **March 17, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 27, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español





Sheet Title:

COVER SHEET

Administrative Planned Development Permit
Change of Use:
THE HUB PICKLEBALL
600 E. HAMILTON AVE., SUITE 100 AND 150
CAMPBELL, CA 95008

- PRELIMINARY -
NOT FOR
CONSTRUCTION

Revisions:

No.	Description	By	Date

Date: 02/16/23
Scale: AS NOTED

Sheet No.:

A0

DIRECTORY OF CONTACTS

TENANT:
THE HUB PICKLEBALL
Contact: Patrick J Rolles
Phone: (714) 323- 2739
Email: patrolres@gmail.com

PROPERTY OWNER:
F & F CAMPBELL LLC
8294 Mira Mesa Blvd.
San Diego, CA 9212
Contact: Brett Feuerstein
Phone: (858) 271- 4682
Email: brett@mesocenters.com

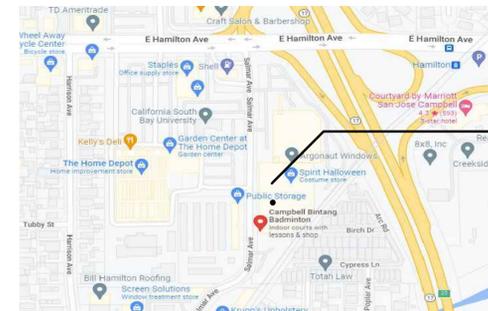
GENERAL NOTES

SCOPE OF WORK:
SCOPE OF WORK INCLUDES CONVERT THE EXISTING VACANT RETAIL/WAREHOUSE SPACE INTO RECREATIONAL USE FOR 20 PICKLEBALL COURTS, OFFICE ROOM, RECEPTION AND STORAGE ROOMS.

THERE ARE SUFFICIENT PLUMBING FIXTURES IN EXISTING ACCESSIBLE RESTROOMS PROVIDED BY PROPERTY OWNER FOR THE NEW OCCUPANCY TO BE USED BY CUSTOMERS AND STAFF.

THERE ARE SUFFICIENT NO. OF STANDARD AND ACCESSIBLE PARKING SPACES PROVIDED BY PROPERTY OWNER FOR THE NEW OCCUPANCY TO BE USED BY CUSTOMERS AND STAFF.

1 VICINITY MAP
NO SCALE

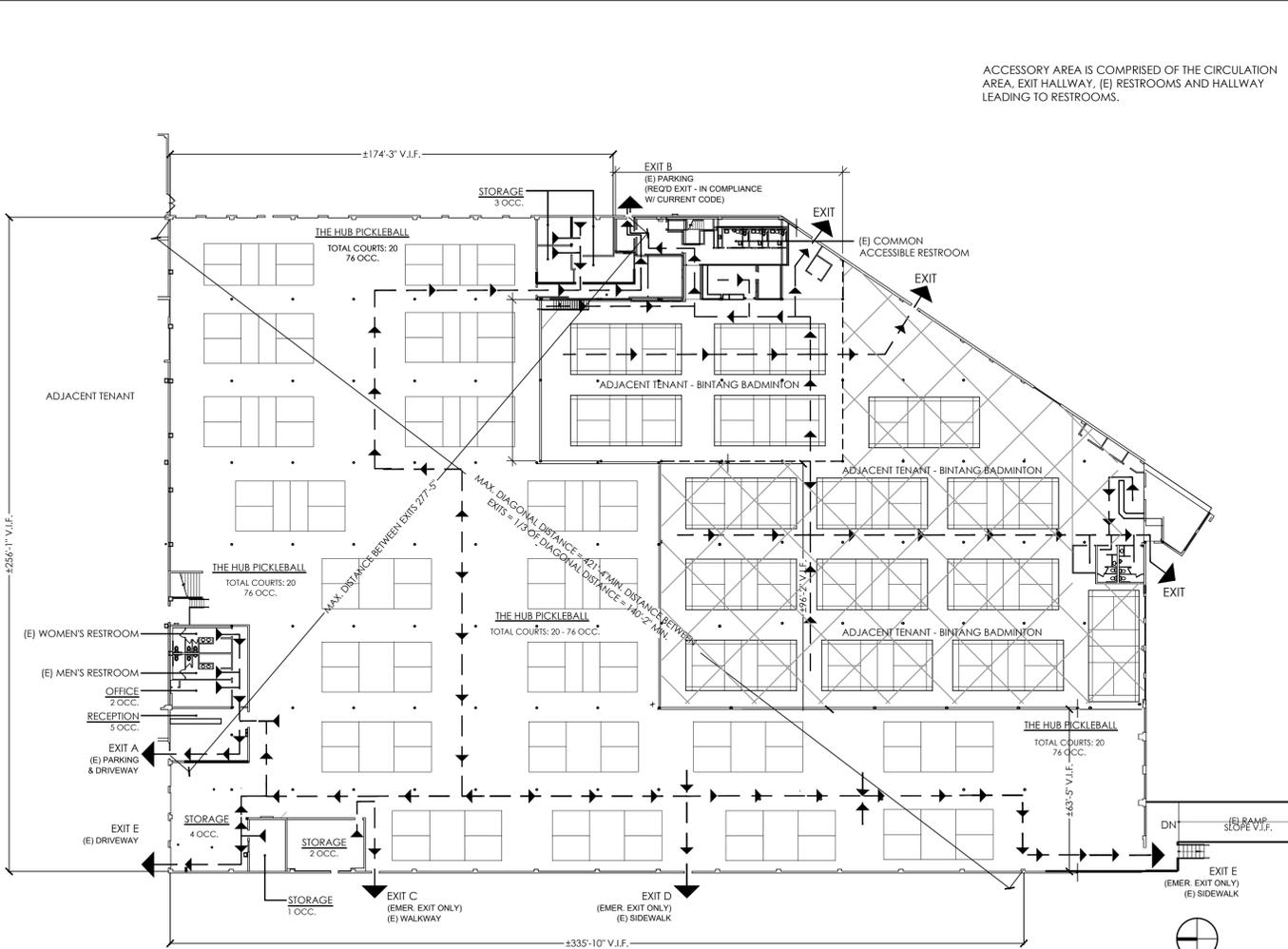


SITE LOCATION:
600 E. HAMILTON AVE.,
CAMPBELL, CA 95008

INDEX OF DRAWINGS

- THE HUB PICKLEBALL ARCHITECTURAL**
- A0 COVER SHEET - OCCUPANT LOAD AND PLUMBING FACILITY CALCULATION, PROJECT DATA, AND SCOPE OF WORK
 - A1 SITE PHOTOS
 - A2 EXISTING AND PROPOSED DEMO PLAN
 - A3 PROPOSED FLOOR PLAN
 - A4 EXISTING SITE PLAN
- BINTANG BADMINTON ARCHITECTURAL**
- B0 COVER SHEET - OCCUPANCY CALCULATIONS, PROJECT DATA, AND SCOPE OF WORK
 - B1 EXISTING SITE PLAN
 - B2 EXISTING FLOOR PLAN
 - B3 PROPOSED FLOOR PLAN

2 EXIT PLAN
SCALE: 1/32" = 1'-0"



ACCESSORY AREA IS COMPRISED OF THE CIRCULATION AREA, EXIT HALLWAY, (E) RESTROOMS AND HALLWAY LEADING TO RESTROOMS.

THE HUB PICKLEBALL

OCCUPANT LOAD CALCULATION (CPC 2022, TABLE 1004.5)

USE	AREA	COURTS	S.F./OCC.	OCC.
PICKLEBALL COURT	49,110	20	3.8/COURT	76
OFFICE	235	-	SF/150	2
RECEPTION	627	-	SF/150	5
STORAGE/ UTILITY AREA	1,850	-	-	7
STORAGE/ UTILITY AREA	1,479	-	SF/300	5
ACCESSORY	1,282	-	SF/0	0
TOTAL	54,583			95

THE HUB PICKLEBALL

PLUMBING FACILITY CALCULATION (CPC 2022, TABLE 422.1)

	REQUIRED		EXISTING		
	MALE	FEMALE	MALE	FEMALE	COMMON
WATER CLOSETS	1	3	2	3	3
URINAL	1	-	1	-	1
LAVATORY	1	1	2	2	3
DRINKING FOUNTAIN	-	-	-	2	-
SERVICE/ MOP SINK	1	-	-	-	0

THE HUB PICKLEBALL

PARKING CALCULATION (CAMPBELL, CA - MUNICODE 21.28.040 - NUMBER OF PARKING SPACES REQUIRED.)

AREA	# OR SF.	REQUIREMENT	# SPACES
PICKLEBALL COURT	20 COURTS	3 PER COURT	60
ANCILLARY	3,994 SF	1 PER 300 SF	14
TOTAL			74

ANCILLARY AREA IS COMPRISED OF THE OFFICE, RECEPTION, STORAGE/ UTILITY AREAS AND ACCESSORY AREAS.

BINTANG BADMINTON

OCCUPANT LOAD CALCULATION (CPC 2022, TABLE 1004.5)

USE	COURTS	OCC/CRT	OCC.
INDOOR BADMINTON COURTS	15	4/COURT	60
USE	SF	SF/OCC	OCC.
OFFICE/ RECEPTION AREA	3290	SF/100	34
ACCESSORY	896	SF/0	0
TOTAL EXISTING AND PROPOSED			99

BINTANG BADMINTON PARKING CALCULATION:

AREA	# OR SF.	REQUIREMENT	PARKING SPACES
COURTS	15 COURTS	2 PER COURT	30
ANCILLARY	6385 SF	1 PER 300 SF.	22
		TOTAL:	52 REQUIRED
			56 PROVIDED

BUILDING INFORMATION

LOCATION: 600 E. HAMILTON AVE., SUITE 100,150 & 189 CAMPBELL, CA 95008

COUNTY: SANTA CLARA COUNTY

APN: 279-32-010 AND 279-32-012

YEAR BUILT: 1972

GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL

ZONING DESIGNATION: PD - PLANNED DEVELOPMENT ZONING TYPE

CONSTRUCTION TYPE: III (ASSUMED)

EXISTING OCCUPANCY GROUP: RETAIL/WAREHOUSE SPACE (VACANT): M

PROPOSED OCCUPANCY GROUP: INDOOR PICKLEBALL COURT: A-3
EXISTING BINTANG BADMINTON: INDOOR BADMINTON COURTS

THE HUB PICKLEBALL AREA: ± 60,000 S.F.
BINTANG BADMINTON AREA: ± 36,000 S.F.

FIRE SUPPRESSION SYSTEM: EXISTING

FIRE ALARM: EXISTING

EXISTING BUILDING DATA

LOT AREA: ± 322,780 S.F. OR 7.41 AC.

BUILDING GROSS AREA: ± 156,573 S.F.

FLOOR AREA RATIO: 48.5%

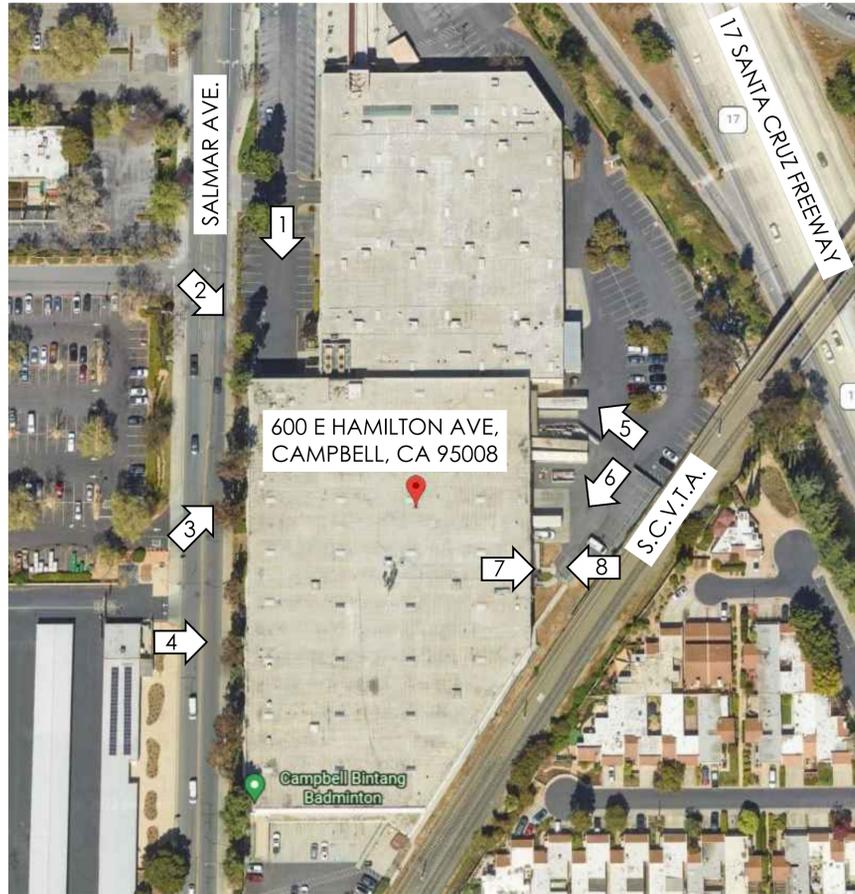
NUMBER OF STORIES: 2 STORY

BUILDING HEIGHT: ± 32'-0"

PARKING SPACES: STANDARD PARKING: ± 389 SPACES
ACCESSIBLE PARKING: ± 19 SPACES
TOTAL: ± 408 SPACES

REQUIRED PARKING FOR THE HUB PICKLEBALL: 74 SPACES
BINTANG BADMINTON: 52 SPACES
STANFORD PARKING: 100 SPACES

TOTAL REQUIRED PARKING: 226 SPACES



1



2



3



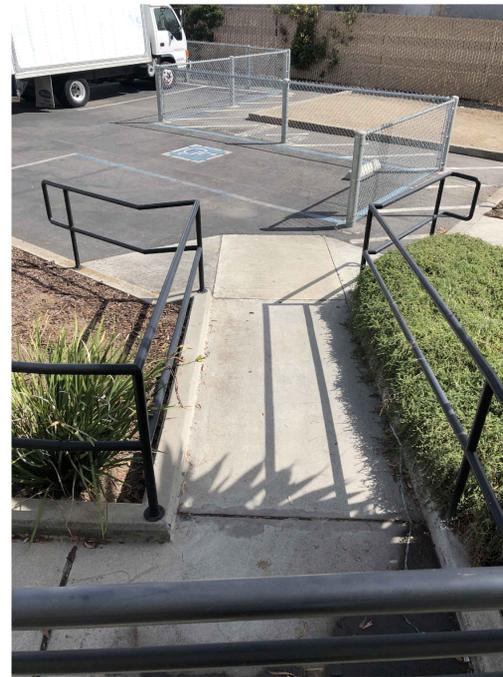
4



5



6



7



8

Sheet Title:

SITE PHOTOS

Administrative Planned Development Permit
 Change of Use:
THE HUB PICKLEBALL
 600 E. HAMILTON AVE., SUITE 100 AND 150
 CAMPBELL, CA 95008

- PRELIMINARY -
 NOT FOR
 CONSTRUCTION

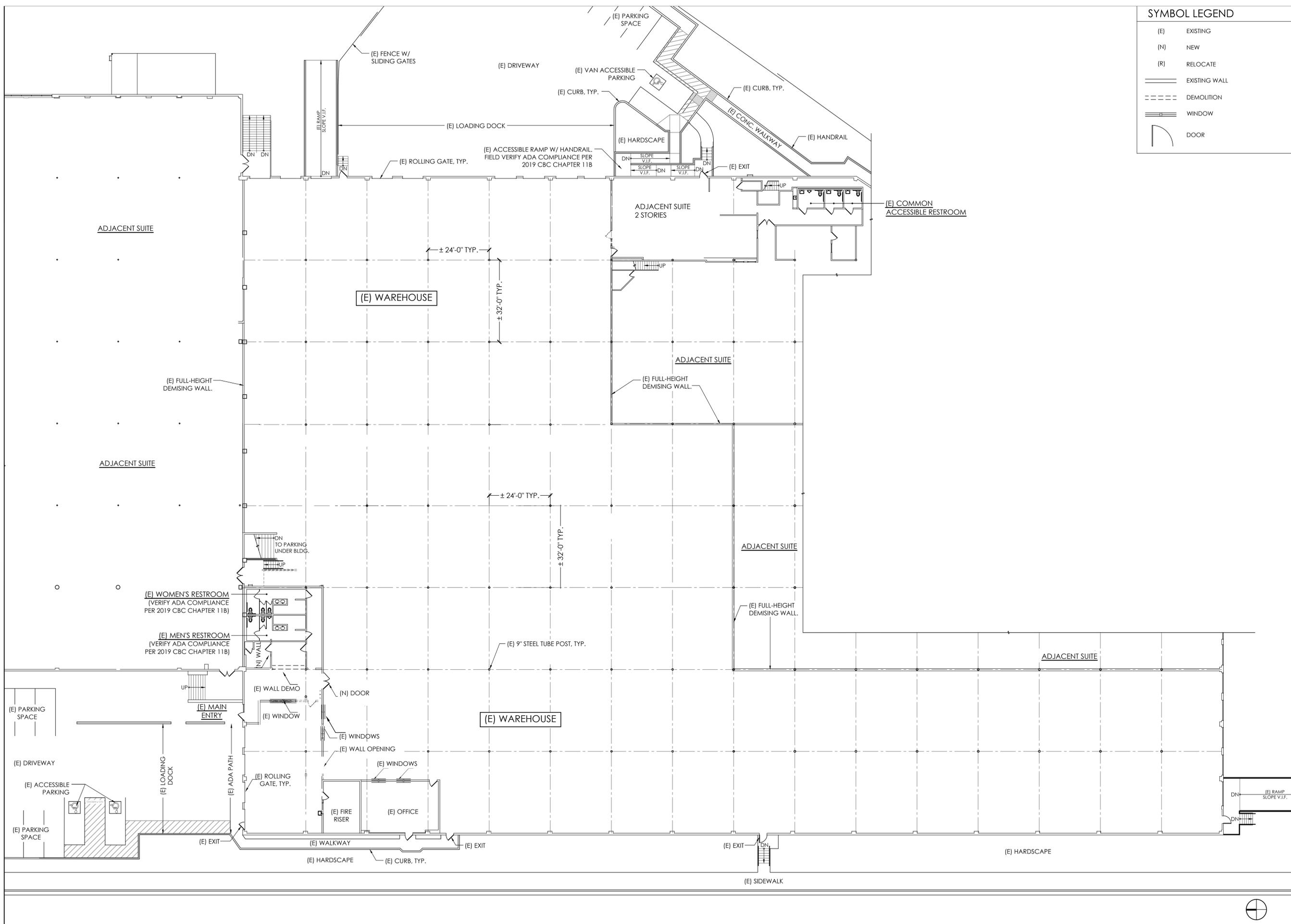
Revisions:

No.	Description	By	Date

Date: 02-16-23
 Scale: AS NOTED

Sheet No.:

A1



SYMBOL LEGEND

(E)	EXISTING
(N)	NEW
(R)	RELOCATE
—	EXISTING WALL
- - - -	DEMOLITION
▬▬▬▬	WINDOW
⌢	DOOR

Sheet Title:
EXISTING AND PROPOSED DEMO PLAN

Administrative Planned Development Permit
 Change of Use:
THE HUB PICKLEBALL
 600 E. HAMILTON AVE., SUITE 100 AND 150
 CAMPBELL, CA 95008

**- PRELIMINARY -
 NOT FOR CONSTRUCTION**

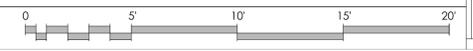
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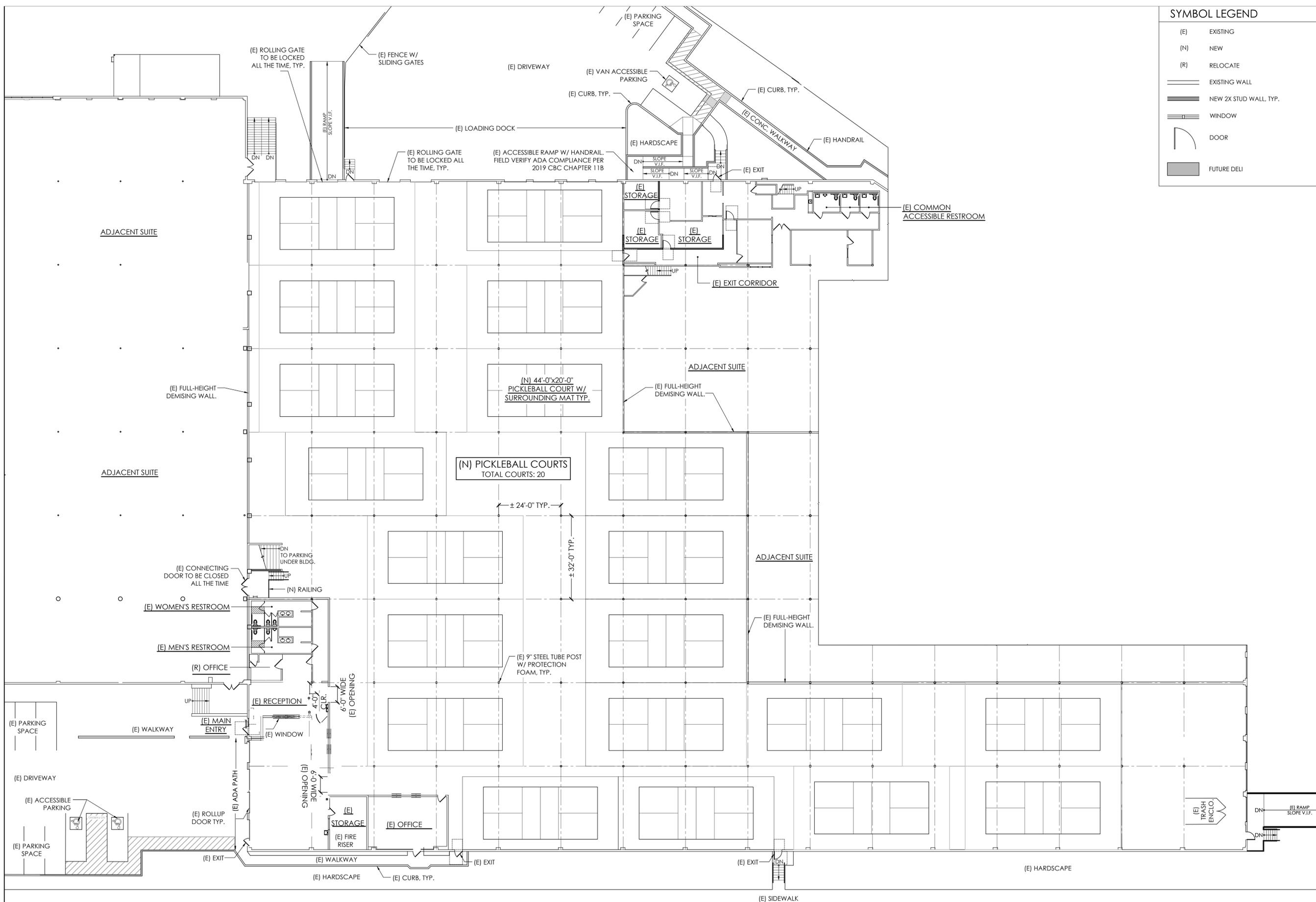
No.	Description	By	Date

Date: 12-22-22
 Scale: AS NOTED

Sheet No.:

A2





SYMBOL LEGEND

(E)	EXISTING
(N)	NEW
(R)	RELOCATE
	EXISTING WALL
	NEW 2X STUD WALL, TYP.
	WINDOW
	DOOR
	FUTURE DELI

Sheet Title:
PROPOSED FLOOR PLAN

Administrative Planned Development Permit
Change of Use:
THE HUB PICKLEBALL
600 E. HAMILTON AVE., SUITE 100 AND 150
CAMPBELL, CA 95008

**- PRELIMINARY -
NOT FOR
CONSTRUCTION**

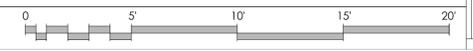
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No.	Description	By	Date

Date: 02-16-23
Scale: AS NOTED

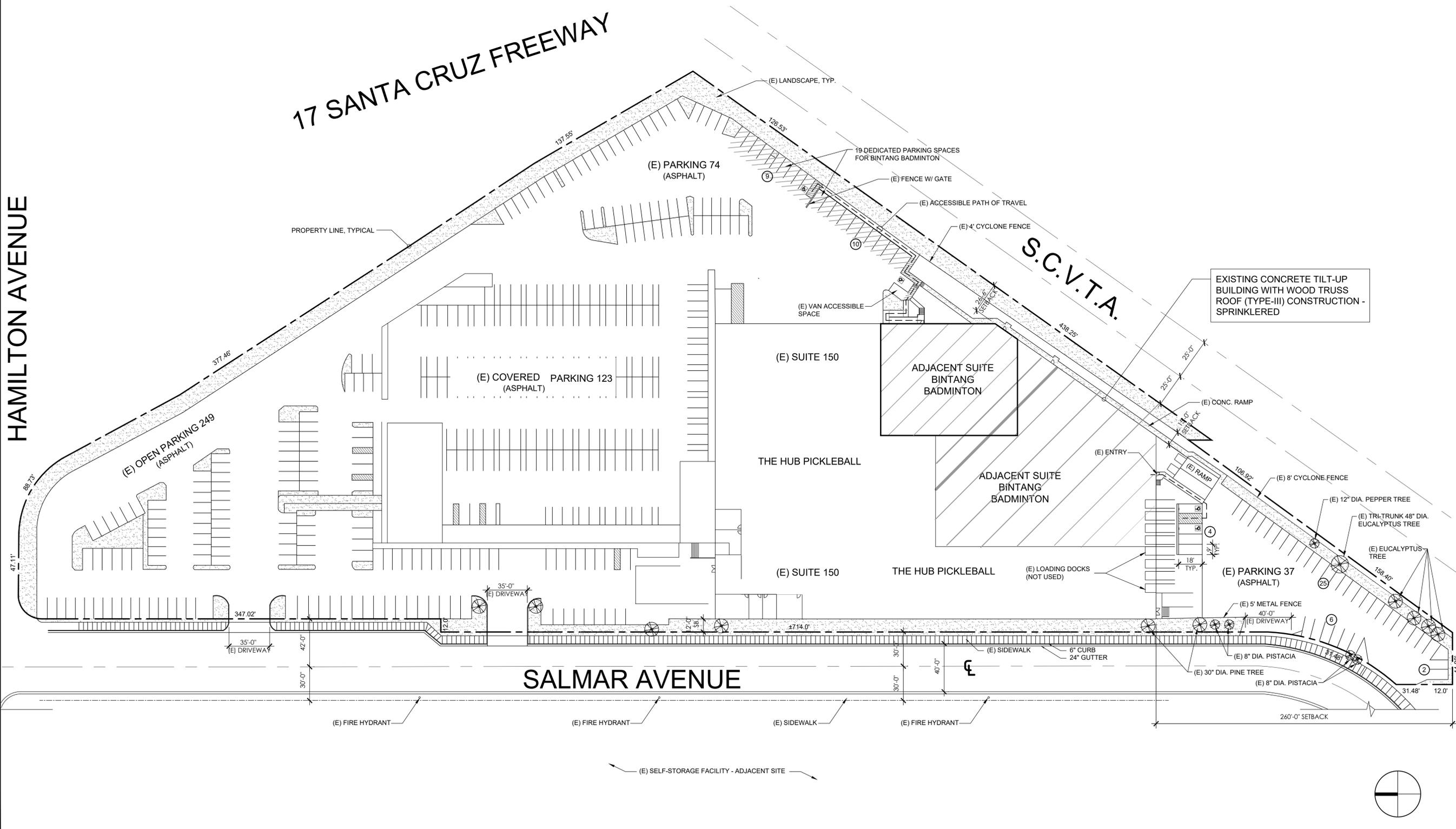
Sheet No.:

A3



HAMILTON AVENUE

17 SANTA CRUZ FREEWAY



Sheet Title:

EXISTING
SITE PLAN

Administrative Planned Development
 Permit Change of Use:
THE HUB PICKLEBALL
 600 E. HAMILTON AVE., SUITE 150
 CAMPBELL, CA 95008

- PRELIMINARY -
NOT FOR
CONSTRUCTION

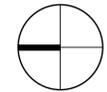
Revisions:

No.	Description	By	Date

Date: 02-16-23
 Scale: AS NOTED

Sheet No.:

A4





ERIC SHEPHARD
ARCHITECTS, INC.
320 Sycamore Valley Road West
Danville, CA 94526
www.shephardarch.com
(925) 803-1000

Sheet Title:
COVER SHEET

1 VICINITY MAP
NO SCALE



SITE LOCATION:
600 E. HAMILTON AVE., SUITE 189,
CAMPBELL, CA 95008

SCOPE OF WORK

1. MAINTAIN THE EXISTING 23,613 SQ.FT. BUILDING OF EXISTING BADMINTON COURTS. CONVERT THE EXISTING ADJACENT 10,144 SQ.FT. BUILDING OF EXISTING BATTING CAGE AREA INTO BADMINTON COURT AREA. THE TWO SPACES SHALL BE MERGED INTO ONE. EXISTING SHARED COMMON SPACE SHALL REMAIN.

DIRECTORY OF CONTACTS

OWNER/ OCCUPIER: BINTANG BADMINTON
1365 GENEVA DRIVE,
SUNNYVALE, CA 94089
Contact: BRIAN LAM
Phone: (510) 857-3650
Email: brian@bintangbadminton.org

ARCHITECT: ERIC SHEPHARD ARCHITECTS, INC.
320 Sycamore Valley Road West
Danville, CA 94526
Contact: Eric Shephard
Phone: (925) 803-1000 x 101
Email: eric@shephardarch.com

PROPERTY OWNER: FAINBARG ALLAN TRUSTEE ET. AL.
P.O. BOX 111
SAN JOSE, CA 95103
Phone: (408) 288-2400 ex. 18

INDEX OF DRAWINGS

ARCHITECTURAL

B0 COVER SHEET - OCCUPANCY CALCULATIONS, PROJECT DATA, AND SCOPE OF WORK

B1 EXISTING SITE PLAN

B2 EXISTING FLOOR PLAN

B3 PROPOSED FLOOR PLAN

BUILDING INFORMATION

LOCATION: 600 E. HAMILTON AVE., SUITE 189
CAMPBELL, CA 95008

COUNTY: SANTA CLARA

APN: 279-32-010
279-32-012

YEAR BUILT: 1972

ZONING DESIGNATION: P-D - PLANNED DEVELOPMENT

CONSTRUCTION TYPE: TYPE III (ASSUMED)

PROPOSED OCCUPANCY GROUP: A3 (ASSEMBLY)

FIRE SUPPRESSION SYSTEM: EXISTING TO REMAIN

FIRE ALARM: EXISTING TO REMAIN

(E) BUILDING NUMBER OF STORIES: STORAGE: 2 STORY
BADMINTON COURTS: 1 STORY

EXISTING BUILDING DATA

LOT ACRES: 7.41

NET SQ.FT. (LOT): 322,780

GROSS SQ. FT. (BUILDING): 157,000

FAR: 0.486

LANDSCAPE COVERAGE (PERVIOUS): 32,880 SQ.FT.

PAVING COVERAGE (IMPERVIOUS): 132,900 SQ.FT.

PARKING SPACES FOR TENANT:
STANDARD: 101 SPOTS
ACCESSIBLE: 4 SPOTS

BUILDING HEIGHT: ± 32'-0"

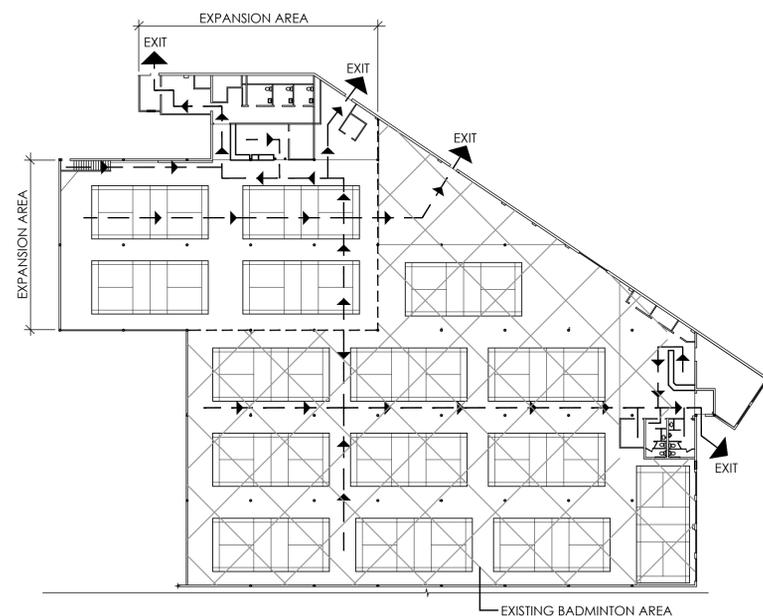
CODES

CODES IN EFFECT: ALL WORK SHALL FULLY COMPLY BUT NOT BE LIMITED TO:

2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA FIRE CODE W/ LOCAL AMENDMENTS
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 CALIFORNIA EXISTING BUILDING CODE
1997 UNIFORM ADMINISTRATIVE CODE
1997 UNIFORM HOUSING CODE
1997 UNIFORM CODE FOR THE ABATEMENT OF DANGEROUS BUILDINGS

2 EXIT PLAN
SCALE: NO SCALE

OCCUPANT LOAD & PLUMBING FACILITY CALCULATIONS



EXISTING				PLUMBING FIXTURES REQUIRED		PLUMBING FIXTURES PROVIDED	
USE	COURTS	OCC/CRT	OCC.	REQUIRED	PROVIDED	REQUIRED	PROVIDED
INDOOR BADMINTON COURTS	11	4/COURT	44	WATER CLOSETS: 1 MALE / 2 FEMALE	WATER CLOSETS: 2 MALE / 2 FEMALE	URINAL: 1	URINAL: 1
OFFICE/ RECEPTION AREA	2881	SF/100	29	LAVATORY :	LAVATORY :	1 MALE / 1 FEMALE	1 MALE / 1 FEMALE
ACCESSORY	896	SF/0	0				

PROPOSED				PLUMBING FIXTURES REQUIRED		PLUMBING FIXTURES PROVIDED	
USE	COURTS	OCC/CRT	OCC.	REQUIRED	PROVIDED	REQUIRED	PROVIDED
INDOOR BADMINTON COURTS	4	4/COURT	16	WATER CLOSETS: 1 MALE / 2 FEMALE	WATER CLOSETS: 2 MALE / 2 FEMALE	URINAL: 1	URINAL: 1
OFFICE/ RECEPTION AREA	429	SF/100	5	LAVATORY :	LAVATORY :	1 MALE / 1 FEMALE	1 MALE / 1 FEMALE
STORAGE	1456	SF/300	5				
ACCESSORY	674	SF/0	0				

TOTAL EXISTING AND PROPOSED				PLUMBING FIXTURES REQUIRED		PLUMBING FIXTURES PROVIDED	
USE	COURTS	OCC/CRT	OCC.	REQUIRED	PROVIDED	REQUIRED	PROVIDED
			99	WATER CLOSETS: 1 MALE / 2 FEMALE	WATER CLOSETS: 2 MALE / 2 FEMALE	URINAL: 1	URINAL: 1
				LAVATORY :	LAVATORY :	1 MALE / 1 FEMALE	1 MALE / 1 FEMALE

NOTES:
ACCESSORY AREA IS COMPRISED OF THE RESTROOMS, VESTIBULE LEADING TO THE RESTROOMS, AND UTILITY ROOM.

FOR SITE INFORMATION:
REFER TO SHEET A1.0.

Interior Expansion for:
BINTANG BADMINTON
600 E. HAMILTON AVE., SUITE 189
CAMPBELL, CA 95008

**- PRELIMINARY -
NOT FOR
CONSTRUCTION**

Revisions:

No.	Description	By	Date

Date:	10-16-19
Designer:	ETS
Drafter:	AB
Proj. Mgr.:	ETS
Scale:	AS NOTED
Proj. No.:	1915.01

Sheet No.:

B0

Sheet Title:

EXISTING/DEMO FLOOR PLAN

Interior Expansion for:
BINTANG BADMINTON
600 E. HAMILTON AVE., SUITE 189
CAMPBELL, CA 95008

- PRELIMINARY -
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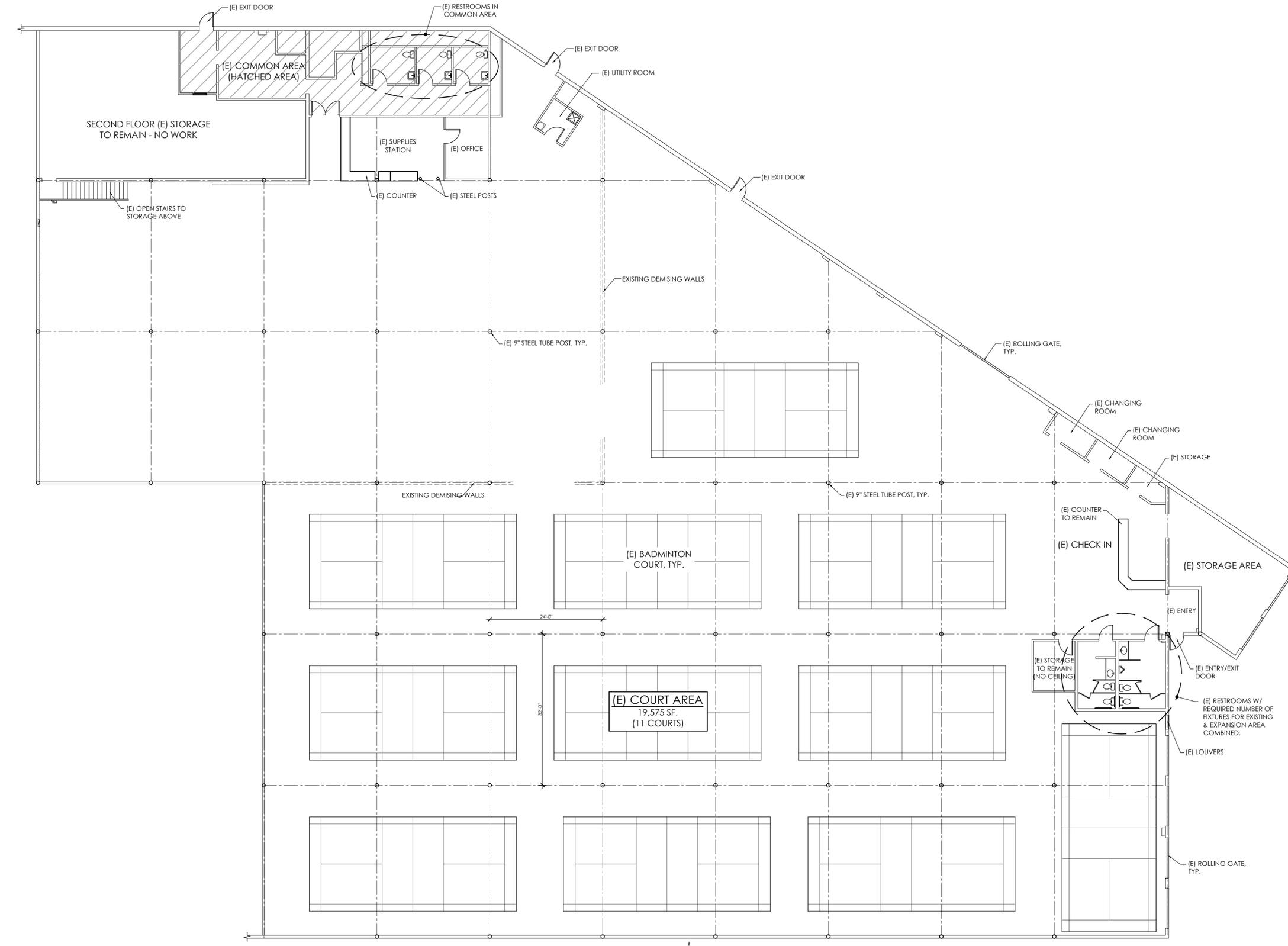
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Date:	10-16-19
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Drafter:	AB
Proj. Mgr.:	ETS
Scale:	AS NOTED
Proj. No.:	1915.01

Sheet No.:

B2



Sheet Title:

PROPOSED FLOOR PLAN

Interior Expansion for:
BINTANG BADMINTON
600 E. HAMILTON AVE., SUITE 189
CAMPBELL, CA 95008

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Sheet No.:

B3

