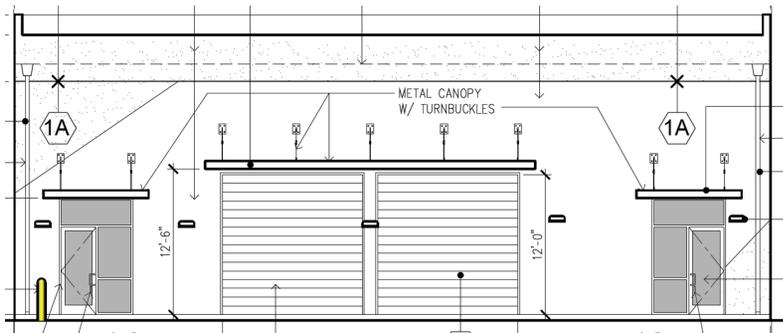




City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Project Image



Notice of Public Hearing

Dear Campbell Resident,

March 16, 2023

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday March 28, 2023, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 911 S. McGlincy Ln.

Zoning | Area Plan: M-1 | N/A

Neighborhood Association(s): N/A

Council District: 2

File No.: PLN2019-00058

APN: 412-33-024

Applicant: Terra Firm Development

Property Owner: Terra Firm Development

Project Planner: Daniel Fama, Senior Planner

Email Contact: daniel@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

Construction of an approximately 5,350 square-foot industrial building with a requested increase to the allowable floor area ratio (FAR), elimination of the side and rear setbacks, and a reduction to the required landscaping area; and retention of overhead frontage utility lines. The applications under consideration include a Site and Architectural Review and a (Utility) Variance. Staff is recommending that this item be deemed Categorically Exempt from CEQA. Planning Commission action is final unless appealed in writing to the City Clerk within 10 calendar days.

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traducción en Español



NEW WAREHOUSE BLDG.

911 S. McGLINCY LANE, CAMPBELL, CA

PLANNING SET: 11-09-2020

VICINITY MAP



SCOPE OF WORK

NEW 1-STORY WAREHOUSE BUILDING (± 5,349 S.F.)

SHEET INDEX

Category	Sheet Title	Sheet Number
ARCHITECTURAL		
COVER SHEET		T
SITE DEVELOPMENT PLAN		A-1
SITE DETAILS		A-1.1
FLOOR PLAN, SOFFIT/ REF. CEILING PLAN & ROOF PLAN		A-2
EXT. ELEVATIONS, BLDG. SECT., WALL SECT. & STREET SCAPE		A-3
CIVIL		
BOUNDARY & TOPOGRAPHIC MAP		1
GRADING & DRAINAGE PLAN		C-1
STORM WATER MANAGEMENT PLAN		C-2
LANDSCAPE		
LANDSCAPE PLANTING PLAN		L1.0
LANDSCAPE HYDROZONE PLAN		L2.0
LANDSCAPE IRRIGATION PLAN		L2.1
LANDSCAPE CONSTRUCTION DETAILS		L3.0
LANDSCAPE CONSTRUCTION DETAILS		L3.1
LANDSCAPE SPECIFICATION PLAN		L4.0
ELECTRICAL		
ELECTRICAL SINGLE LINE & SCHEDULES		E-1
ELECTRICAL SPECIFICATIONS & SCHEDULES		E-2
SITE PHOTOMETRICS PLAN		EP-1
SITE POWER PLAN		ES-1
SITE LIGHTING PLAN		ES-2
PLUMBING		
PLUMBING SCHEDULES & DETAILS		P-1
SITE PLUMBING PLAN		PS-1

Attachment A - Items to be Provided on Plans Page 3

PROJECT SUMMARY
ASSESSORS PARCEL NUMBER: 412-33-024

LOT SIZE:
 ±13,260 Gross sq. ft. (Property to center line of lot)
 ±11,635 Net sq. ft.

DEVELOPMENT DATA	Square Foot		Percent of Site	
	Existing	Proposed	Existing	Proposed
Building coverage	0	±5,349	0	46%
Landscape coverage	0	±859	0	7%
Paving coverage	0	±5,427	0	47%
FLOOR AREA RATIO: Total Bldg s.f. divided by net lot size	0	±5,349	0	46%

ADJACENT LAND USES:
 Use INDUSTRIAL STREET INDUSTRIAL

PARKING:
 # Standard Spaces: 12
 # Compact Spaces: 0
 # Disabled Spaces: 1
 # TOTAL PARKING: 13

RESTAURANT AND ASSEMBLY USES:
 Seating Count: _____

RESIDENTIAL PROJECTS:

	UNIT TYPE A	UNIT TYPE B	UNIT TYPE C	UNIT TYPE D
Living Area (square footage)				
Garage Area (square footage)				
Total Area (square footage)				
Number of Bedrooms				
Total Number of Units per Type				

ABBREVIATIONS

SYMBOLS

PROJECT ANALYSIS

GENERAL NOTES

&	And	CONST.	Construction	F.S.	Full Size	M.O.	Masonry Opening	S	South
∠	Angle	CONT.	Continuous	FT.	Foot or Feet	M.D.	Moulding	S.C.	Solid Core
⊕	Al	CORR.	Corridor	FTC.	Footing	M.TD.	Mounted	S.C.D.	Seat Cover Dispenser
⊖	Centerline	CTR.	Center	FURR.	Furred(ing)	MTL.	Material	SCH.	Schedule
∅	Diameter or Round	FUT	Future	MUL.	Mullion	MUL.	Mullion	SCN.	Screen
⊥	Perpendicular	DEL.	Double	MWK.	Millwork	S.D.	Soap Dispenser	SECT.	Section
#	Found or Number	DEPT.	Department	GA.	Gauge	S.N.R.	Sanitary Napkin Receptacle	SECT.	Section
(E)	Existing	DEMO.	Demolish, Demolition	GALV.	Galvanized	N	North	SECT. REF. SHEET NO.	Section Reference No.
A.B.	Anchor Bolts	D.F.	Drinking Fountain	G.B.	Grab Bar	N.I.C.	Not In Contract	SHR.	Shower
ABV	Above	DA.	Diameter	G.C.	General Contract(or)	NO. or #	Number	SHT.	Sheet
A.C.	Asphaltic concrete	DIAG.	Diagonal	GD.	Grade (ing)	NOM.	Nominal	SHTH.	Sheathing
ACOUS.	Acoustical	DM.	Dimension(s)	GL.	Glass	N.T.S.	Not To Scale	SIM.	Similar
A/C	Air Conditioning	DSP.	Dispenser	GND.	Ground	S.N.D.	Sanitary Napkin Dispenser	S.N.R.	Sanitary Napkin Receptacle
A/D	Area Drain	DMT.	Demountable	GYP.	Gypsum	O/	Over	SNT.	Sealant
AF	Above Finished Floor	DN.	Down	H.B.	Hose Bibb	O.A.	Over All	SPEC.	Specification (s)
ADJ.	Adjustable	D.O.	Door Opening	HBD.	Hardboard	OB.	Obscure	P.I.D.	Paper Towel Dispenser
ADJA.	Adjacent	DR.	Door	O.C.	On Center	OP.	Opening	P.T.R.	Paper Towel Receptacle
AGGR.	Aggregate	DWR.	Drawer	HW	Hardware	O.D.	Outside Diameter	PT.	Point
ALT.	Alternate	DSP.	Downspout	H.M.	Hollow Metal	OFF.	Office	P.T.D.	Paper Towel Dispenser
ALUM.	Aluminum	D.S.P.	Dry Stand Pipe	HR.	Horizontal	OPG.	Opening	PTN.	Partition
ANOD.	Anodized	DTL.	Detail	HOR.	Horizontal	OPH.	Opposite Hand	PWD.	Powder (ing)
APPROX.	Approximate	DWG.	Drawing(s)	HT	Height	OPP.	Opposite	LV.	Lavatory
ARCH.	Architect (ure) (ural)	HW	Hardwood	HT	Height	STL.	Steel	P.V.C.	Polyvinyl Chloride
ASPH.	Asphalt	E	East	HWD	Hardwood	STOR.	Storage	T.O.C.	Top Of Curb
		EA.	Each	HVA.C.	Heating / Ventilating / Air Conditioning	SUSP.	Suspended	T.O.P.	Top Of Pavement
		E.B.	Expansion Bolt			STR.	Structure (s)	T.O.W.	Top Of Wall
BD.	Board	E.J.	Expansion Joint			SUSP.	Suspended	TYP.	Typical
BEL.	Below	EL.	Elevation	I.D.	Inside Diameter	SYM.	Symmetrical	TZ.	Terrazzo
BET.	Between	INSU.	Insulation	INSU.	Insulation	SYN.	Synthetic		
BITUM.	Bituminous	INT.	Interior			STN.	Synthetic		
BLDG.	Building	ELEC.	Electrical	P.LAM.	Plastic Laminate	T.	Tread		
BLK.	Block	ELEV.	Elevator	PLAS.	Plaster	T.B.	Towel Bar		
BLKG.	Blocking	EMER.	Emergency	PNT.	Point (ed)	T.C.	Terra Cotta		
BM.	Beam	ENCL.	Enclosure	PR.	Pair	TEL.	Telephone		
B.M.	Bench Mark	E.P.	Electrical Panelboard	PT.	Point	T&G	Tongue and Groove		
BRS.	Bearing	EQ.	Equal	P.T.	Paper Towel Dispenser	THK.	Thick		
BRZ.	Bronze	EQPT.	Equipment	P.T.R.	Paper Towel Receptacle	THR	Threshold		
BOT.	Bottom	E.W.C.	Electric Water Cooler	PTN.	Partition	T.P.D.	Toilet Paper Dispenser		
B.S.	Both Sides	EXG.	Existing	PWD.	Powder (ing)	TPN	Toilet Partition		
B.W.	Both Ways	EXP.	Expansion	LV.	Lavatory	T.V.	Tile		
BUR.	Built Up Roofing	EXT.	Exterior	P.V.C.	Polyvinyl Chloride	T.O.C.	Top Of Curb		
				LKR.	Locker	T.O.P.	Top Of Pavement		
				LT	Light	T.O.W.	Top Of Wall		
				LTL	Lintel	TYP.	Typical		
				LVR.	Louver	TZ.	Terrazzo		
CAB.	Cabinet	F.A.	Fire Alarm	R	Riser	UNF.	Unfinished		
C.B.	Catch Basin	F.B.	Flat Bar	RAO.	Rubber	U.O.N./U.N.O.	Unless Otherwise Noted		
CEM.	Cement	F.D.	Floor Drain	R.B.	Rubber Base				
CER.	Ceramic	F.E.	Fire Extinguisher	R.D.	Roof Drain				
C.I.	Cast Iron	F.E.C.	Fire Extinguisher Cabinet	REF.	Reference				
C.J.	Control Joint	FFE	Finished Floor Elevation	REG.	Register				
CK.	Caulk(ing)	FTL.	Finished Floor Line	REF.	Reference				
CLC.	Ceiling	F.H.C.	Fire Hose Cabinet	REC.	Register				
CLO.	Closet	FN.	Finished	REINF.	Reinforced (ing)	VERT.	Vertical		
CLR.	Clear (ance)	FL.	Floor	REQ.	Required	VEST.	Vestibule		
CM	Centimeter	FLG.	Flashing	RES.	Resilient	W	West		
CM.U.	Concrete Masonry Unit	FLUR.	Fluorescent	REV.	Revision (s), Revised	W/	With		
CNTR.	Counter	FND.	Foundation	RM.	Room	W/O.	Without		
COL.	Column	F.O.C.	Face Of Concrete	R.O.	Rough Opening	W.	Wood		
COMP.	Composite (tion)	F.O.F.	Face Of Finish	R.W.	Redwood	WP.	Waterproof		
CONC.	Concrete	F.O.S.	Face Of Studs	R.W.C.	Rain Water Conductor	WSCT.	Wainscot		
CONN.	Connection	FP.	Fireproof	MM (mm)	Millimeter	WT.	Weight		

(A)	COLUMN OR GRIDLINE
SECTION REFERENCE NO.	
SECT. REF. SHEET NO.	
ELEV. REF. SHEET NO.	
DETAIL REFERENCE NO.	
DETAIL REF. SHEET NO.	
REVISION	
SEE REVISION PURPOSE & DATE ON COVER SHEET	

(E) LAND AREA: ± .267 ACRES
 ± 11,635 SQ. FT.

(N) BUILDING AREA: 1-STORY BLDG. (WAREHOUSE) ± 5,349 SQ. FT.

(N) BUILDING COVERAGE / FLOOR AREA RATIO (F.A.R.): 46%

(N) PARKING STALLS: TOTAL 13 CARS
 STANDARD 12
 ACCESSIBLE 1 VAN
 RATIO 1/411 PER S.F.

(N) PAVING AREA: TOTAL ± 5,480 SQ. FT.
 COVERAGE 47%

(N) LANDSCAPE AREA: TOTAL ± 806 SQ. FT.
 COVERAGE 7%

CONSTRUCTION TYPE: III-B

ZONING: M-I Light Industrial

BLDG. OCCUPANCY: F-1

FIRE SPRINKLER SYSTEM: YES

MATERIALS

DETAIL SECTIONS	PLAN SECTIONS
CONCRETE	CONCRETE
FINISHED WOOD	CONCRETE BLOCK
PLYWOOD	METAL STUDS
RIGID INSULATION	WOOD STUDS
ACoustICAL TILE	SOUND INSUL. PTN.
GYPSUM BOARD	
METAL	
PLASTER	
MASONRY	
EARTH	

APPLICABLE CODES:
 * 2019 California Building Code
 * 2019 California Residential Code
 * 2019 California Electrical Code
 * 2019 California Mechanical Code
 * 2019 California Plumbing Code
 * 2019 California Energy Code
 * 2019 California Historical Building Code
 * 2019 California Existing Building Code
 * 2019 California Green Building Standards Code

City of CAMPBELL LOCAL CODES AND ORDINANCES:

SITE

- SEE SITE PLAN PREPARED BY MISSION ENGINEERS, INC. FOR EXISTING AND FINISH GRADES, STORM LINES, FINISH FLOOR ELEVATION, AND OFF-SITE STORM LINES.
- PAINT ALL DIRECTIONAL ARROWS AND STRIPES WITH HEAVY DUTY TRAFFIC PAINT (WHITE).
- LICENSED ENGINEER TO LAY OUT ALL BUILDING, PARKING, WALKS, ETC. AT CONTRACTOR'S EXPENSE.
- SEE ARCHITECTURAL DRAWINGS FOR ACCESSIBLE PATHS

PLUMBING

- WATER SERVICE IS EXISTING (VERIFY).
- DOMESTIC WATER METERS ARE EXISTING (VERIFY).
- SANITARY SEWER IS EXISTING AS SHOWN ON PLANS.
- EXTERIOR SANITARY CLEANOUTS TO TOP OF FINISH GRADE.
- CONTRACTOR'S WORK SHALL INCLUDE ALL PIPE, VALVES, FITTINGS, REDUCERS, STOPS, SADDLES, ETC. REQUIRED FOR COMPLETE OPERABLE SANITARY, WATER, AND FIRE SPRINKLER SYSTEMS.

FIRE PROTECTION

- G.C. SHALL PROVIDE STANDARD DETECTOR CHECK VALVE AND VAULT AT OWNER'S EXPENSE. CONTRACTOR SHALL CONNECT WATER MAIN TO CHECK VALVE. CONTRACTOR TO PROVIDE P.I.V. AND FIRE DEPARTMENT CONNECTION. SPRINKLER LINE SHALL BE BLUE BRUTE AND BE INSTALLED IN TRENCH AND BACKFILLED. RISER UNDER BUILDING SHALL BE C.I.P. SPRINKLER CONTRACTOR SHALL DESIGN AND INSTALL NEPA #13 AND PROVIDE 1" PLUGGED TEE AT ALL UPRIGHT HEAD SPRINKLER RISER NIPPLES IN WAREHOUSE. ENTRY SOFFITS SHALL ALSO BE SPRINKLERED. SPRINKLER SYSTEM SHALL COMPLY WITH NFPA #13. THE CITY OF CAMPBELL AND FIRE DEPARTMENT. SHOP DRAWINGS SHALL BE APPROVED BY THE FIRE DEPARTMENT AND THE ARCHITECT PRIOR TO FABRICATION. SPRINKLER SYSTEM SHALL BE CAPABLE OF SUPPLYING 0.60 GPM PER 3,000 S.F. OF BUILDING MINIMUM.

ELECTRICAL

- ELECTRICAL SEE ELECTRICAL ENGINEERS DRAWINGS.
- SITE LIGHTING SHALL BE WIRED IN APPROVED CONDUIT. SEE ELECTRICAL DRAWINGS.
- EXIT SIGNS AND EXIT ILLUMINATION SHALL BE SUPPLIED BY TWO SEPARATE CIRCUITS, ONE OF WHICH SHALL BE SEPARATED FROM ALL OTHER CIRCUITS IN THE BUILDING AND INDEPENDENTLY CONTROLLED OR PROVIDED SELF-ILLUMINATING EXIT SIGN APPROVED BY A RECOGNIZED AGENT.
- EXIT SIGNS AND EMERGENCY LIGHTING SHALL BE AS DIRECTED BY THE FIRE MARSHAL.

PERMITS & FEES

- OWNER SHALL PAY FOR PLAN CHECK FEES, AND ALL OTHER CITY, COUNTY, OR STATE FEES.
- OWNER SHALL PAY FOR BUILDING PERMIT AND SPECIAL INSPECTIONS.
- OWNER SHALL PAY ANY UTILITY COMPANY FEES.

APN: 412-33-024

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by, and the property of, DENNIS KOBZA & ASSOCIATES, INC. and were created, evolved and developed for use on, and in connection with, the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of DENNIS KOBZA & ASSOCIATES, INC. Written dimensions on these drawings shall have precedence over scaled dimensions; contractor shall verify, and be responsible for, all dimensions and conditions on the job and this office will be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for review before proceeding with fabrication.

City of CAMPBELL LOCAL CODES AND ORDINANCES:

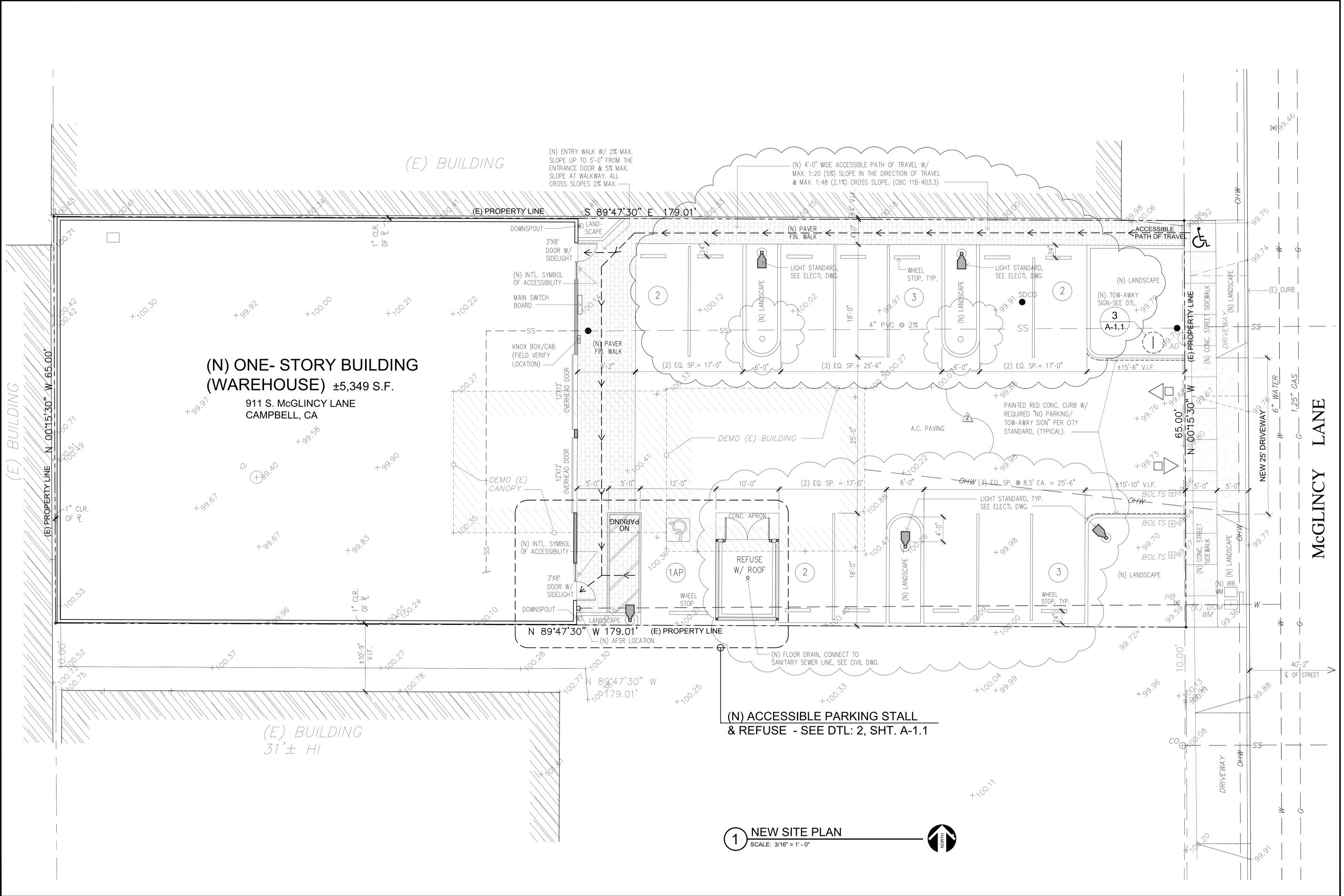
DENNIS KOBZA & ASSOCIATES, INC.
 A.I.A. ARCHITECT
 2083 OLD MIDDLEFIELD WAY MOUNTAIN VIEW, CA 94043
 PHONE - 650-961-6103 FAX - 650-961-4839
 E-MAIL - DKARCH@KOBZA.COM WEB - WWW.KOBZA.COM
 C-4505



REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION 3	REVISION 6

NEW WAREHOUSE BUILDING
 911 S. McGLINCY LANE, CAMPBELL, CA
 FOR BRANDON PASEK
 SHEET TITLE COVER SHEET

JOB NO. 190133
 DATE: 11.09.2020
 DRAWN BY: DJK/JSS
 SHEET NO. T



**(N) ONE-STORY BUILDING
(WAREHOUSE) ±5,349 S.F.**

911 S. McGLINCY LANE
CAMPBELL, CA

1 NEW SITE PLAN
SCALE: 3/16" = 1'-0"

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C-4505

NEW WAREHOUSE BUILDING
911 S. McGLINCY LANE, CAMPBELL, CA
FOR BRANDON PASEK SAN JOSE, CA



REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION 3	REVISION 6

REVISION 1	REVISION 4
REVISION 2	REVISION 5
REVISION 3	REVISION 6

NEW WAREHOUSE BUILDING
911 S. McGLINCY LANE, CAMPBELL, CA
FOR BRANDON PASEK SAN JOSE, CA

JOB NO. 190133
DATE 11.09.2020
DRAWN BY DJK/jrs

SHEET NO. **A-1**

ACCESSIBLE ROUTES:

11B-401 General:

11B-401.1 Scope. The provisions of Division 4 shall apply where required by Division 2 or where referenced by a requirement in this chapter.

11B-402 Accessible routes

11B-402.1 General. Accessible routes shall comply with 11B-402.

11B-402.2 Components. Accessible routes shall consist of one or more of the following components: walking surfaces with a running slope not steeper than 1:20, doorways, ramps, curb ramps excluding the flared sides, elevators, and platform lifts. All components of an accessible route shall comply with the applicable requirements of Division 4.

11B-403 Walking surfaces

11B-403.1 General. Walking surfaces that are a part of an accessible route shall comply with Section 11B-403.

11B-403.2 Floor or ground surface. floor or ground surfaces shall comply with Section 11B-302.

11B-403.3 Slope. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.

Exception: The running slope of sidewalks shall not exceed the general grade established for the adjacent street or highway.

11B-403.4 Changes in level. Changes in level shall comply with Section 11B-303.

11B-403.5 Clearances. Walking surfaces shall provide clearances complying with Section 11B-403.5.

Exception: Within employee work areas, clearances on common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed.

11B-403.5.1 Clear width. Except as provided in Sections 11B-403.5.2 and 11B-403.5.3, the clear width of walking surfaces shall be 36 inches (914 mm) minimum.

Exception:

- The clear width for sidewalks and walks shall be 48 inches (1219 mm) minimum, when, because of right-of-way restrictions, natural barriers other existing conditions, the enforcing agency determines that compliance with the 48-inch (1219 mm) clear sidewalk width would create an unreasonable hardship, the clear width may be reduced to 36 inches (914 mm).

CLEAR WIDTH OF AN ACCESSIBLE ROUTE

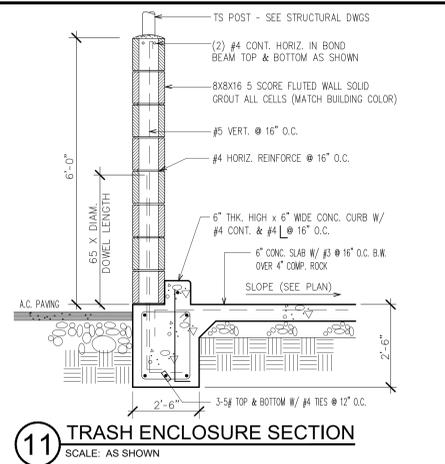
11B-403.5.2 Clear width at turn. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches (1219 mm) wide, clear width shall be 42 inches (1067 mm) minimum approaching the turn, 48 inches (1219 mm) minimum at the turn and 42 inches (1067 mm) minimum leaving the turn.

Exception: Where the clear width at the turn is 60 inches (1524 mm) minimum compliance with Section 11B-403.5.2 shall not be required.

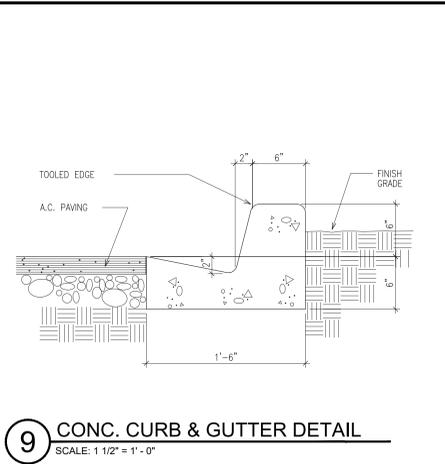
11B-403.5.3 Passing spaces. An accessible route with a clear width less than 60 inches (1524 mm) shall provide passing spaces at intervals of 200 feet (60960 mm) maximum. Passing spaces shall be either: a space 60 inches (1524 mm) minimum by 60 inches (1524 mm) minimum, or, an intersection of two walking surfaces providing a T-shaped space complying with Section 11B-304.3.2 where the base and arms of the T-shaped space extend 48 inches (1219 mm) minimum beyond the intersection.

11B-403.6 Handrails. Where handrails are provided along walking surfaces with running slopes not steeper than 1:20 they shall comply with Section 11B-505.

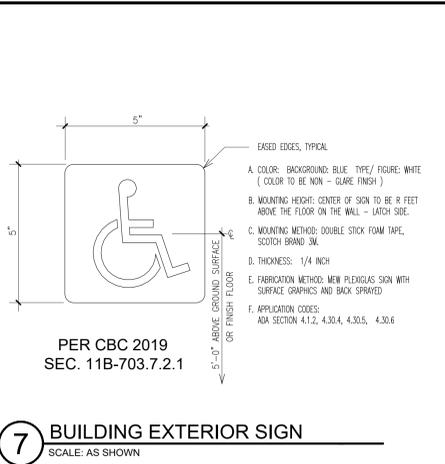
11B-403.7 Continuous gradient. All walks with continuous gradients shall have resting areas, 60 inches (1524 mm) in length, at intervals of 400 feet (121920 mm) maximum. The resting area shall be at least as wide as the walk. The slope of the resting area in all directions shall be 1:48 maximum.



11 TRASH ENCLOSURE SECTION
SCALE: AS SHOWN



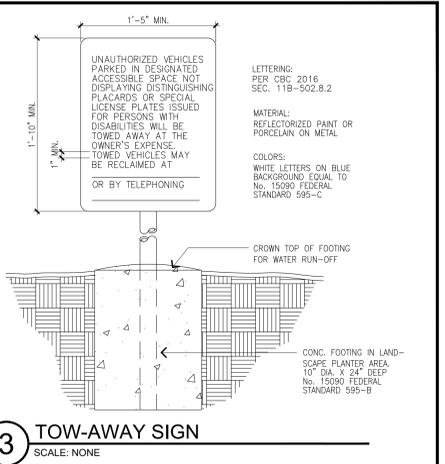
9 CONC. CURB & GUTTER DETAIL
SCALE: 1 1/2" = 1' - 0"



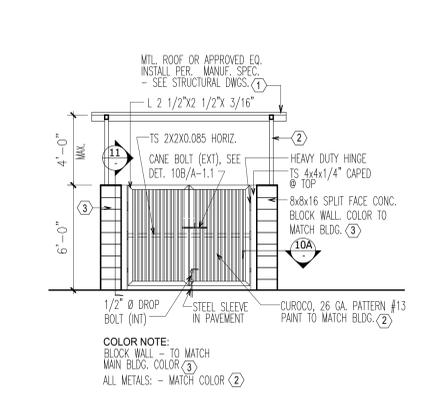
7 BUILDING EXTERIOR SIGN
SCALE: AS SHOWN



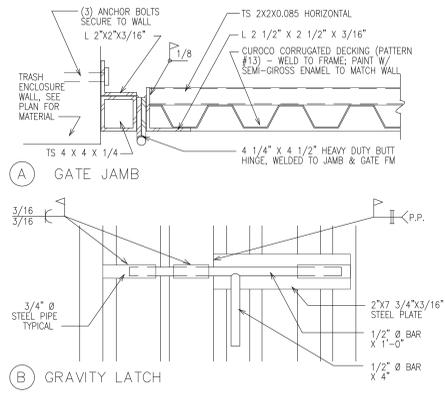
5 ACCESSIBLE PARKING VAN SIGN
SCALE: NTS



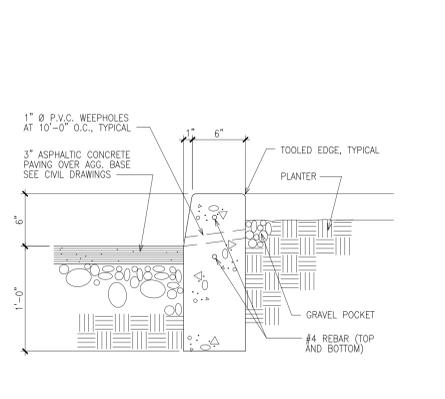
3 TOW-AWAY SIGN
SCALE: NONE



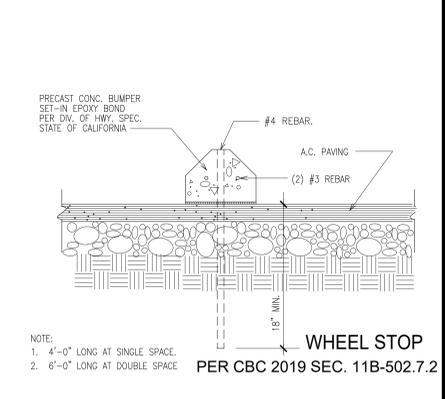
12 (N) TRASH ENCLOSURE ELEVATION
SCALE: 1/4" = 1' - 0"



10 TRASH ENCLOSURE GATE DETAIL
SCALE: NTS



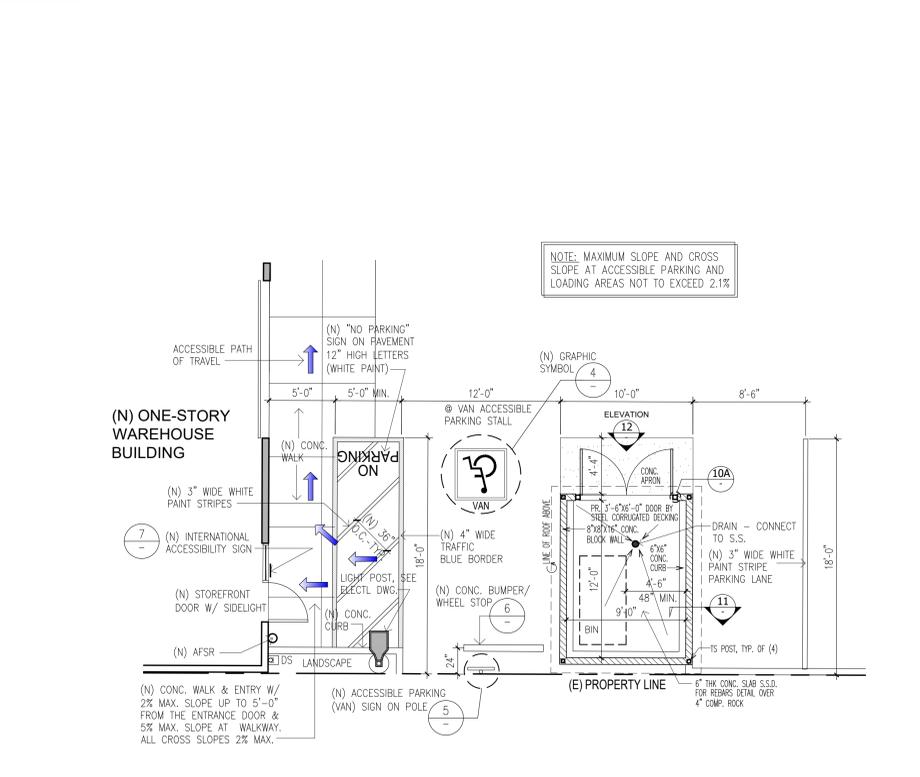
8 CONCRETE CURB DETAIL
SCALE: AS SHOWN



6 PRECAST CONC. PARKING BUMPER
SCALE: 1 1/2" = 1' - 0"



4 ACCESSIBLE PARKING SYMBOL
SCALE: NONE



2 (N) ACCESSIBLE PARKING STALL & REFUSE PLAN
SCALE: 3/16" = 1' - 0"



1 NOT USED

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C-4505

REVISION 1
REVISION 4
REVISION 5
REVISION 6

NEW WAREHOUSE BUILDING
911 S. McGLINCY LANE, CAMPBELL, CA
FOR BRANDON PASEK SAN JOSE, CA

SHEET TITLE
SITE DETAILS

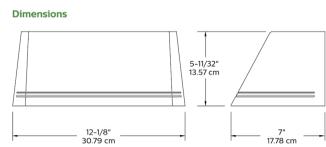
JOB NO. 190133
DATE 11.09.2020
DRAWN BY DJK/JRS
SHEET NO. A-1.1



Philips Gardco 111 LED mini sconce luminaires are compact in size, perfect for low mounting height wall mount applications. 111 LED luminaires are designed to integrate naturally to wall surfaces. 111 LED luminaires are available with three (3) different distribution patterns, providing full cutoff performance (in the normal downlight position) and featuring LED arrays. Luminaires provide performance excellence and advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer potential energy savings of 50% or more compared to HID systems. 111 LED luminaires are also available with 0-10V Dimming.

Ordering guide example: 11L-16L-350-CW-G2-2 UNV-DD-BK

Prefix	No. of LEDs	Drive Current	Color/Generation	Distribution	Voltage	Controls	Electrical/Luminaire	Finish
11L	16	350	CW-G2	2	UNV	DD	F1	Textured
16L	16	550	CW-G2	2	UNV	DD	F1	Textured
16L	16	550	CW-G2	2	UNV	DD	F1	Textured
16L	16	550	CW-G2	2	UNV	DD	F1	Textured



Note: Mounting plate center is located in the center of the luminaire width and 2-3/8" (6.03cm) above the luminaire bottom (lens down position). Spikes must be made in the J-box (by others). Mounting plate must be secured by max. 1/4" (6.4cm) diameter bolts (by others) structurally to the wall.

10-111_LED_Spec_Sheet 12/16 page 1 of 2

111 Mini Sconce LED

110 Line LED, Wall Mount

LED Wattage and Lumen Values

Ordering Code	Total LEDs	Avg System Current (mA)	Avg System Wattage (W)	Lumen Output (lm)	Beam Angle (°)	Beam Diameter (ft)	Beam Diameter (m)	Beam Spread (ft)	Beam Spread (m)	Beam Spread (ft)	Beam Spread (m)	Beam Spread (ft)	Beam Spread (m)
11L-16L-350-WW-G2	16	350	18	1908	106	1.0	0.305	1.0	0.305	1.0	0.305	1.0	0.305
11L-16L-550-WW-G2	16	550	29	2900	106	1.0	0.305	1.0	0.305	1.0	0.305	1.0	0.305
11L-16L-750-WW-G2	16	750	40	3900	106	1.0	0.305	1.0	0.305	1.0	0.305	1.0	0.305

- Wattage and lumen output may vary +/- 8% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 2% due to actual input voltage.
- Tests available for luminaires with the DC output and other color temperatures. Contact us at philips@philips.com for any approximate estimates are required for design purposes.
- Absolute Lumens for Cool White (CW) matches the Neutral White (NW) lumen outputs. Warm White (WW) performance is reduced by 12% compared to Neutral White (NW) values shown.

Specifications

Housing: Housing are die cast aluminum. A memory retentive gasket seals the housing to the door frame to exclude moisture, dust, insects and pollutants from the optical system. The die cast ribbed backplate dissipates heat for longer system life. Main body cast housing and back plate made of a low copper die cast. Hinged door allows access to driver and LED compartment.

Optical systems: The advanced LED optical systems provide ES Types 2, 3, & 4. Composed of high performance UV stabilized optical grade polymer refractor lenses to achieve desired distribution optimized to get maximum spacing, target lumens and a superior lighting uniformity. Performance shall be tested per IESNA LM-79 and TM-18 (IESNA) certifying its photometric performance. Dark sky compliant with 0% uplight and 0% per IESNA TM-15.

Finish: Five standard colors offered in textured black, white, bronze, dark gray and medium gray. Color in accordance with the ANMA 2004 standard. Application of polyester powder coat paint 2.5 mils minimum. The thermosetting resins provides a discoloration resistant finish in accordance with the ASTM D2244 standard, as well as luster retention in keeping with the ASTM D233 standard and humidity proof in accordance with the ASTM D2247 standard. RAL and custom color matching available.

Door Frame: A single piece die cast aluminum door frame integrates to the housing form. The door frame is hinged closed and secured to the housing with captive stainless steel fasteners. The heat and impact resistant 1/8" (32cm) tempered glass lens and one-piece gasket are mechanically secured to the door frame with galvanized steel retainers. A clear tempered glass lens is included. A diffuser lens is available as an option.

Light Engine: Composed of 4 main components: Heat Sink/LED Module/Optical System/Driver. Electrical components are RoHS compliant. Metal core board ensures greater heat transfer and longer lifespan.

IP Rating: Luminaires are rated IP66.

Predicted Lumen Depreciation Data:

Ambient Temperature (°C)	System Current (mA)	LED Current (mA)	Calculated Lp/hours	Lp per TM21	Lumen Maintenance @ 60,000hrs
25 °C	750 mA	750 mA	>100,000	>60,000	97%

Limited Warranty: 5-year limited warranty. See Philips.com/warranties for details and restrictions. Visit our eCatalog or contact your local sales representative for more information.

© 2016 Philips Lighting Holding B.V. All rights reserved. Philips reserves the right to make changes in specifications and/or to discontinue any product at any time without notice or obligation and will not be liable for any consequences resulting from the use of this publication. philips.com/luminaires

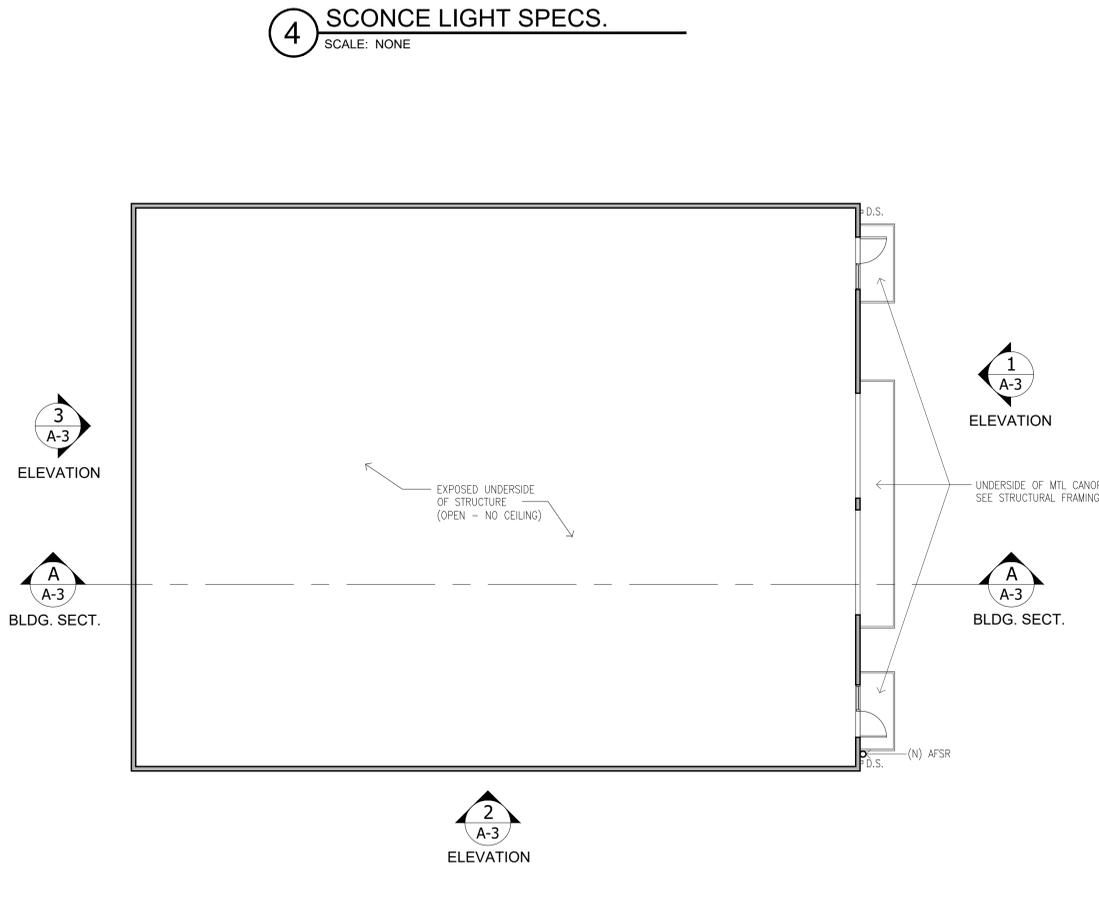
Philips Lighting North America Corporation
200 Franklin Square Drive, Somerset, NJ 08873
Tel: 855-486-2296

Philips Lighting Canada Ltd
280 Hillmount Rd, Markham, ON, Canada L3C 2S3
Tel: 800-668-9008

10-111_LED_Spec_Sheet 12/16 page 2 of 2

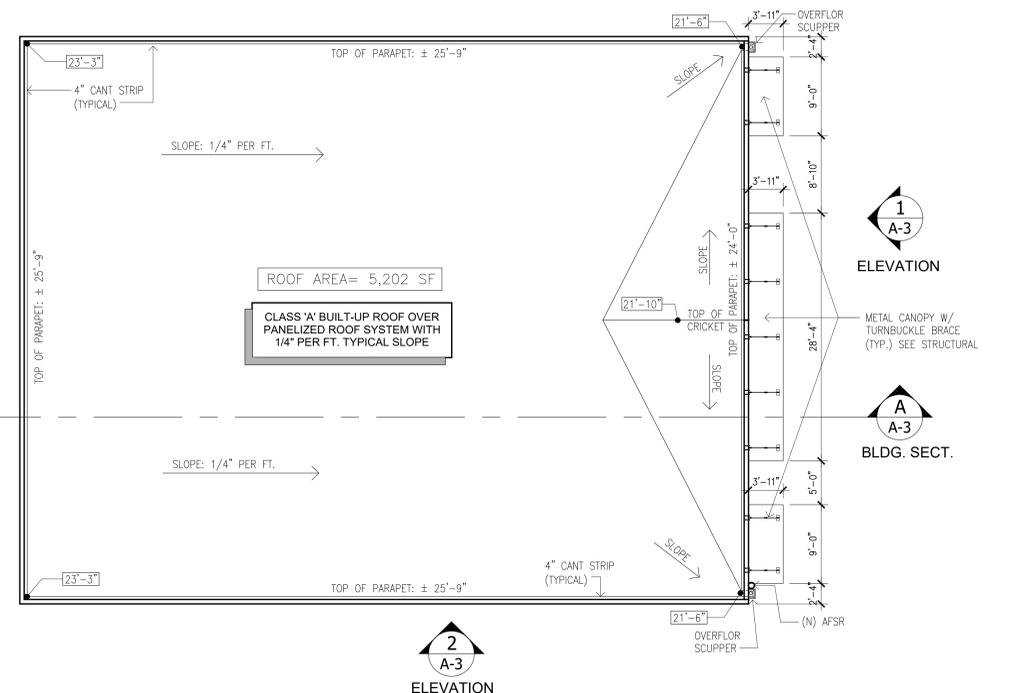
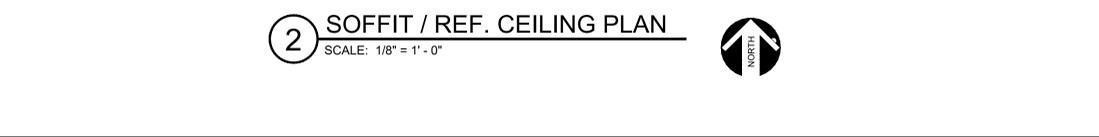
4 SCONCE LIGHT SPECS.

SCALE: NONE



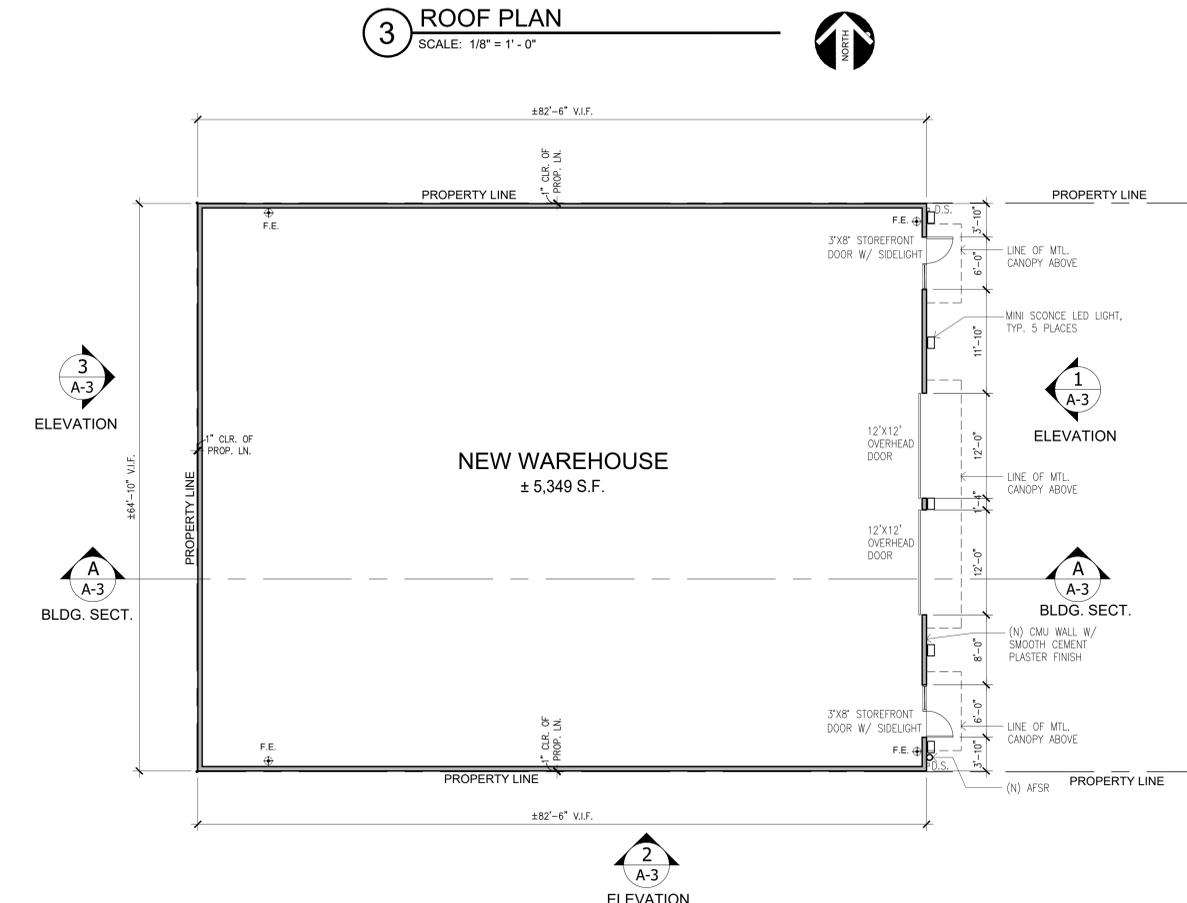
2 SOFFIT / REF. CEILING PLAN

SCALE: 1/8" = 1' - 0"



3 ROOF PLAN

SCALE: 1/8" = 1' - 0"



1 FLOOR PLAN

SCALE: 1/8" = 1' - 0"

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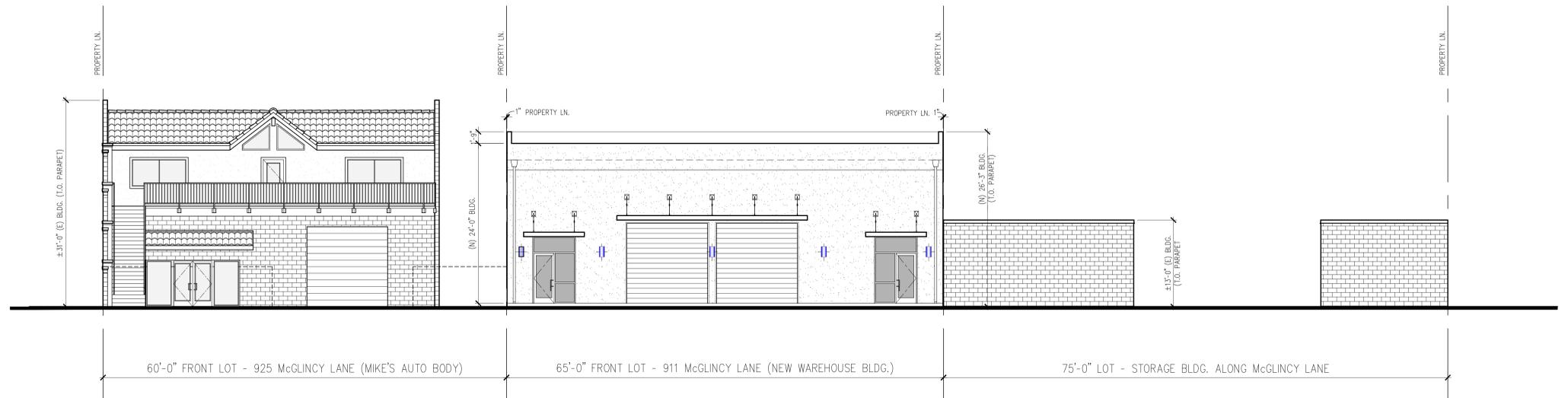
DENNIS KOBZA & ASSOCIATES, INC. ARCHITECT
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REVISION 1
REVISION 2
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NEW WAREHOUSE BUILDING
911 S. McGLINCY LANE, CAMPBELL, CA
FOR BRANDON PASEK SAN JOSE, CA

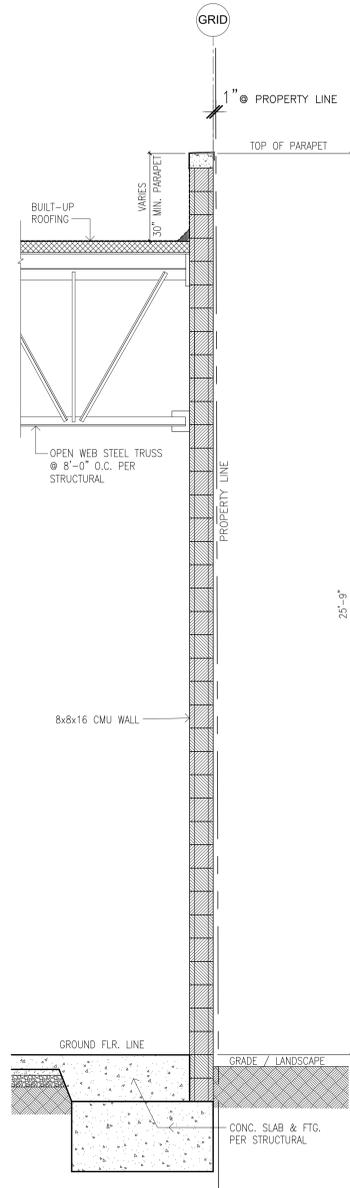
JOB NO. 190133
DATE: 11.09.2020
DRAWN BY: DJK/JRS

SHEET NO. A-2

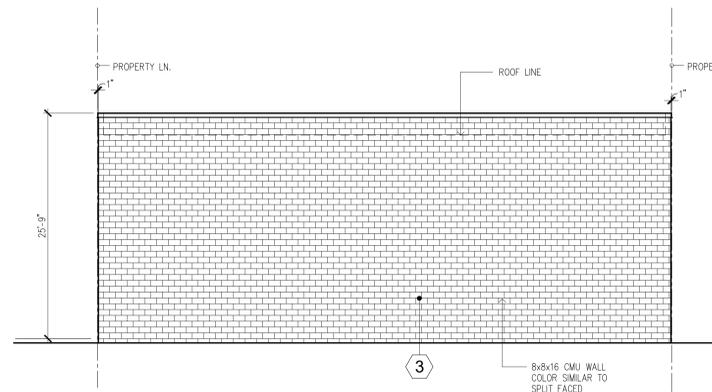


4 (N) EAST ELEVATION with ADJ. (E) BLDG. ALONG McGLINCHY LANE
 SCALE: 1/8" = 1' - 0"

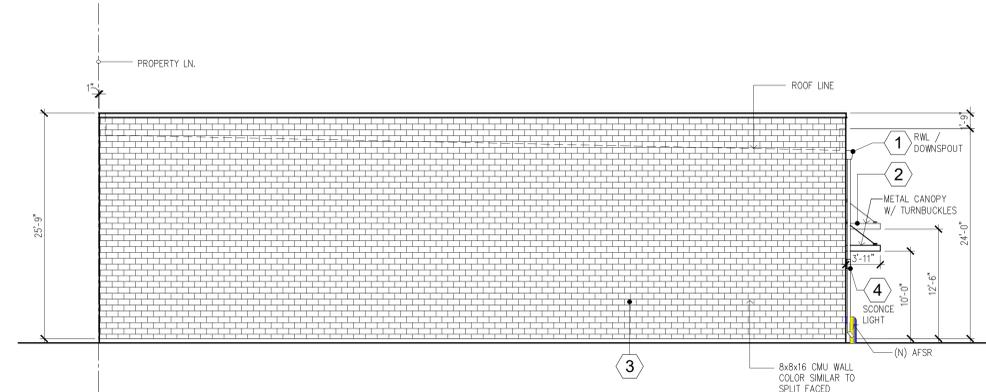
STREET SCAPE



5 TYP. WALL SECTION
 SCALE: 1/2" = 1' - 0" (@ PROPERTY LN.)

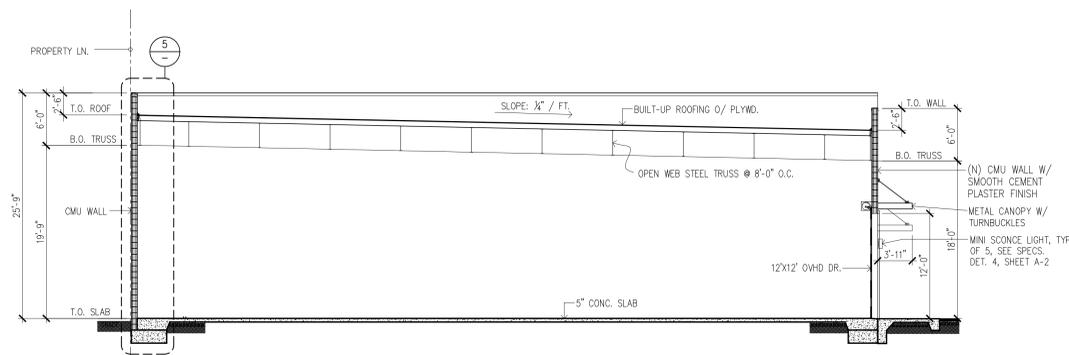


3 WEST ELEVATION
 SCALE: 1/8" = 1' - 0"

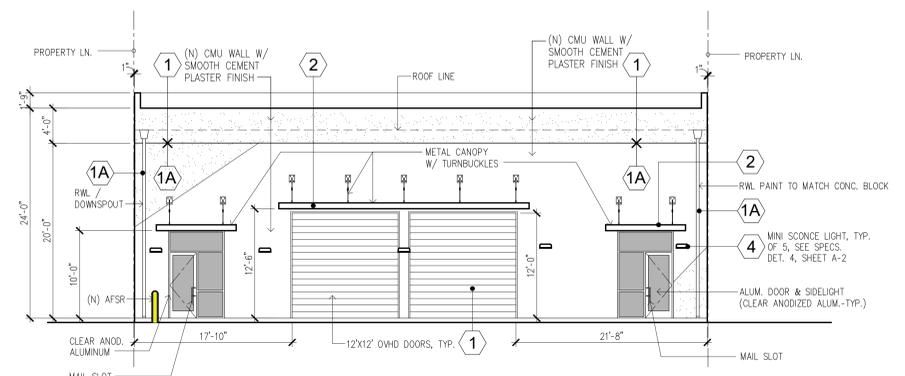


2 SOUTH ELEVATION (NORTH ELEV. SIMILAR)
 SCALE: 1/8" = 1' - 0"

BUILDING COLOR SCHEDULE :	
WAREHOUSE: 911 McGLINCHY, CAMPBELL, CA	
PAINT:	
1	SHERWIN WILLIAMS #SW7053 ADAPTIVE SHADE
1A	SHERWIN WILLIAMS #SW7039 VIRTUAL TAUPE
2	DUNN EDWARDS #DEC779 WOODLAWN GREEN
3	CALSTONE CONCRETE MASONRY UNITS SPLIT FACE TEXTURE COLOR #1344LC
LIGHTING: Exterior Sconces	
4	PHILIP GARDCO LED MINI SCENCE LED 111L WALL MOUNT COLOR: COOL WHITE - 12.6" X 7"



A BUILDING SECTION
 SCALE: 1/8" = 1' - 0"



1 FRONT / EAST ELEVATION (McGLINCHY LANE)
 SCALE: 1/8" = 1' - 0"

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REVISION	DESCRIPTION
REVISION 1	REVISION COMMENT 12.17.2020
REVISION 2	REVISION COMMENT 12.17.2020
REVISION 3	REVISION COMMENT 12.17.2020
REVISION 4	REVISION COMMENT 12.17.2020
REVISION 5	REVISION COMMENT 12.17.2020
REVISION 6	REVISION COMMENT 12.17.2020

NEW WAREHOUSE BUILDING
 911 S. McGLINCHY LANE, CAMPBELL, CA
 FOR BRANDON PASEK, SAN JOSE, CA
 SHEET TITLE: EXT. ELEV., SECT. & STREET SCAPE

JOB NO. 190133
 DATE: 11.09.2020
 DRAWN BY: DJK/jrs

SHEET NO. **A-3**

I. PROJECT SETTING

A. PROJECT DESCRIPTION:

THE PROPOSED REDEVELOPMENT WILL CONSIST OF A NEW WAREHOUSE AND PARKING.

B. SITE CONDITIONS:

THE SITE IS A NEW WAREHOUSE LOCATED AT 911 SOUTH MCGLINCY LANE IN CAMPBELL, CALIFORNIA.
 SITE TOPOGRAPHY IS GENERALLY FLAT WITH SLOPES UP TO 1%.

RECEIVING WATER BODY: LOS GATOS CREEK
 POLLUTANTS OF CONCERN: SEDIMENTS, OIL, GREASE, LITTER.
 POLLUTANT SOURCE: PARKING AREA AND ROOF.

C. DRAINAGE AREAS

ALL STORM WATER RUNOFF IS DIRECTED TO THE LANDSCAPE PLANTER LOCATED IN THE NORTHEASTERLY CORNER OF THE SITE.

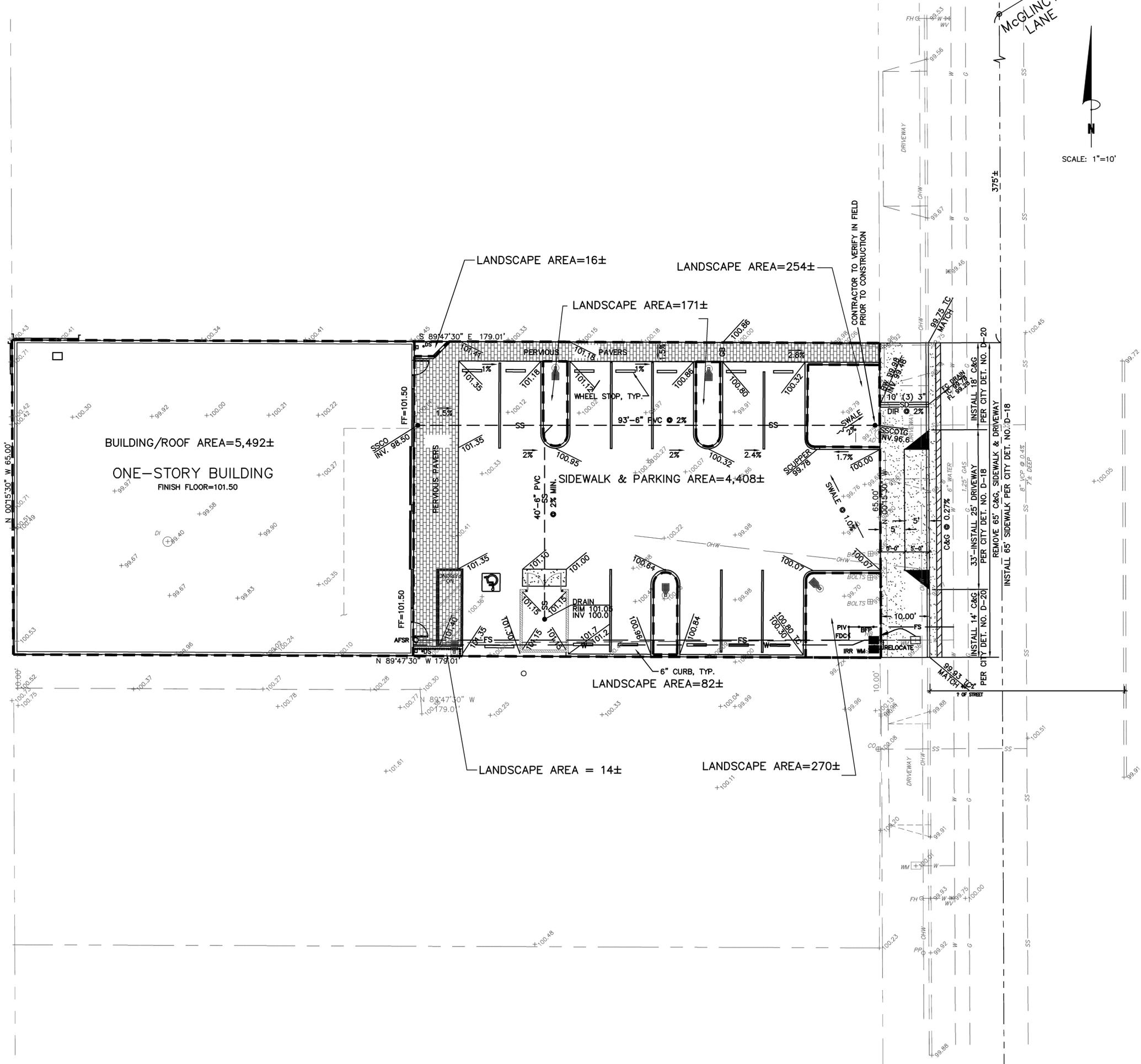
II. SELECTION AND DESIGN OF STORMWATER TREATMENT BMPs

ALL STORM WATER RUNOFF IS DIRECTED TO THE LANDSCAPE PLANTER LOCATED IN THE NORTHEASTERLY CORNER OF THE SITE.

III. PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE

a. Total Site Area: 0.27 acres		b. Total Site Area Disturbed: 0.27 acres (including clearing, grading, or excavating)			
Site Totals	Total Existing (Pre-project) Area (ft ²)	Existing Area Retained (ft ²)	Existing Area Replaced (ft ²)	New Area Created (ft ²)	Total Post-Project Area (ft ²)
c. Total Impervious Area (IA)	11,635	0	9,900	0	9900
d. Total new and replaced impervious area				9,900	
e. Total Pervious Area (PA)	0				1,735
f. Total Area (IA+PA)	11,635				11,635
g. Percent Replacement of IA in Redevelopment Projects: (Existing IA Replaced + Existing Total IA) x 100% = 85.02 %					

SITE IMPERVIOUS < 10,000 S.F. NO STORMWATER TREATMENT PROPOSED.



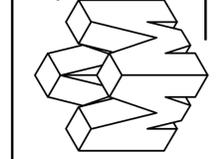
SCALE: 1"=10'

PHILIPPE AUGER, R.C.E. 21500-EXPIRES 9-30-21
 DANIEL NUNES, R.C.E. 76449-EXPIRES 12-31-22, L.S. 9212-EXPIRES 09-30-21

PLANNING • LAND SURVEYING • CIVIL ENGINEERING • CONSTRUCTION STAKING

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 2355 De La Cruz Blvd. Santa Clara, California 95050
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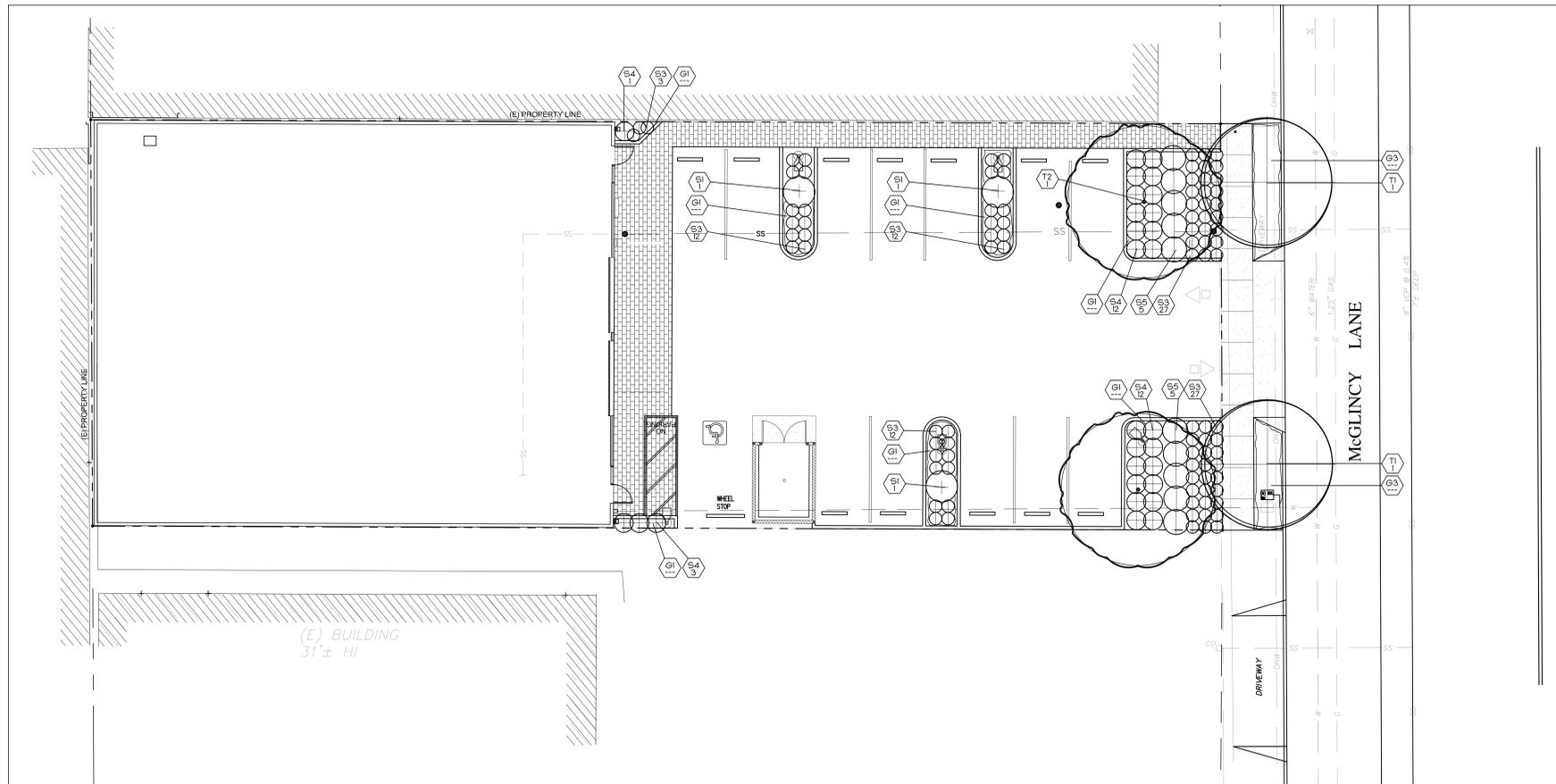
PRELIMINARY

STORM WATER MANAGEMENT PLAN
 APN 412-33-012
 911 S. MCGLINCY LANE
 IN THE CITY OF CAMPBELL, CALIFORNIA

REVISIONS	
DATE	BY CH'KD DESCRIPTION

SCALE 1"=10'
 DATE 2-23-20
 DWN SS ME30
 CH'KD
 JOB NO. 14014
 DWG. NO. L14541-2

SHEET
C2
 OF 2 SHEETS



PLANT LIST:						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCCOLS
TREES						
T1	LAGERSTROEMIA L. 'TUSCARORA'	LAGERSTROEMIA L. 'TUSCARORA'	---	24' BOX	MULTI-TRUNK	LOW
T2	TRISTANOPSIS L. 'ELEGANT'	---	---	24' BOX	STANDARD	MEDIUM
SHRUBS						
S1	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	---	5 GAL		LOW
S2	JUNCUS C. 'ELK BLUE'	ELK BLUE JUNCUS	---	5 GAL		LOW
S3	DIANELLA C. 'CASSA BLUE'	CASSA BLUE FLAX LILY	---	5 GAL		LOW
S4	NANDINA D. 'COMPACTA'	HEAVENLY BAMBOO	---	5 GAL		LOW
S5	RHAPHIOLEPIS U. 'MINOR'	YEDDO HAWTHORN	---	5 GAL		LOW
GROUND COVERS						
G1	GAZANIA 'MOONGLOW'	HYBRID GAZANIA	-	1 GAL	24" O.C.	LOW
G2	NATIVE BIOFILTRATION SOD	BY DELTA BLUEGRASS CO	---	SOD		LOW
	VASELLEA PULCHRA	PURPLE NEEDLEGRASS				
	FESTUCA RUBRA	HO-LATE FESCUE				
	HORDEUM BRACHYANTHERUM CALIFORNICUM	CALIFORNIA BARLEY				
	HORDEUM BRACHYANTHERUM BRACHYANTHERUM	CALIFORNIA BARLEY				
G3	YERBENA HOMESTEAD PURPLE	HOMESTEAD PURPLE	-	4" POTS	24" O.C.	LOW

- PLANT NOTES:**
- THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
 - NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
 - PLANT GROUND COVER IN SHRUB AREAS AS NOTED. USE TRIANGULAR SPACING.
 - SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
 - THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
 - ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
 - PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2:1 MIN)
 - IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
 - ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
 - ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
 - THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
 - PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT - 1800.227.2600
 - PROTECT EXISTING STORM DRAIN INLETS DRAIN INLETS, WITH FLUTER FABRIC, FOR THE DURATION OF THE PROJECT.

PLANT SYMBOLS

INDICATES PLANT KEY
 INDICATES PLANT QUANTITY
 EXISTING TREE TO REMAIN

STREET TREE NOTES

- REMOVAL OR PLANTING OF NEW STREET TREES WILL REQUIRE REVIEW AND APPROVAL BY THE PUBLIC WORKS DEPARTMENT

BEFORE EXCAVATING CALL: 811
48-HOURS BEFORE ALL
PLANNED WORK OPERATIONS

811
Know what's below.
Call before you dig.

Scale 1" = 10 ft
Sheet Size = 42"x36"

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REED ASSOCIATES
LANDSCAPE ARCHITECTURE
477 SOUTH TAAFFE STREET
SUNNYVALE, CALIFORNIA 94086
408.481.9020 PH: 408.481.9022 FX: RALAN.NET

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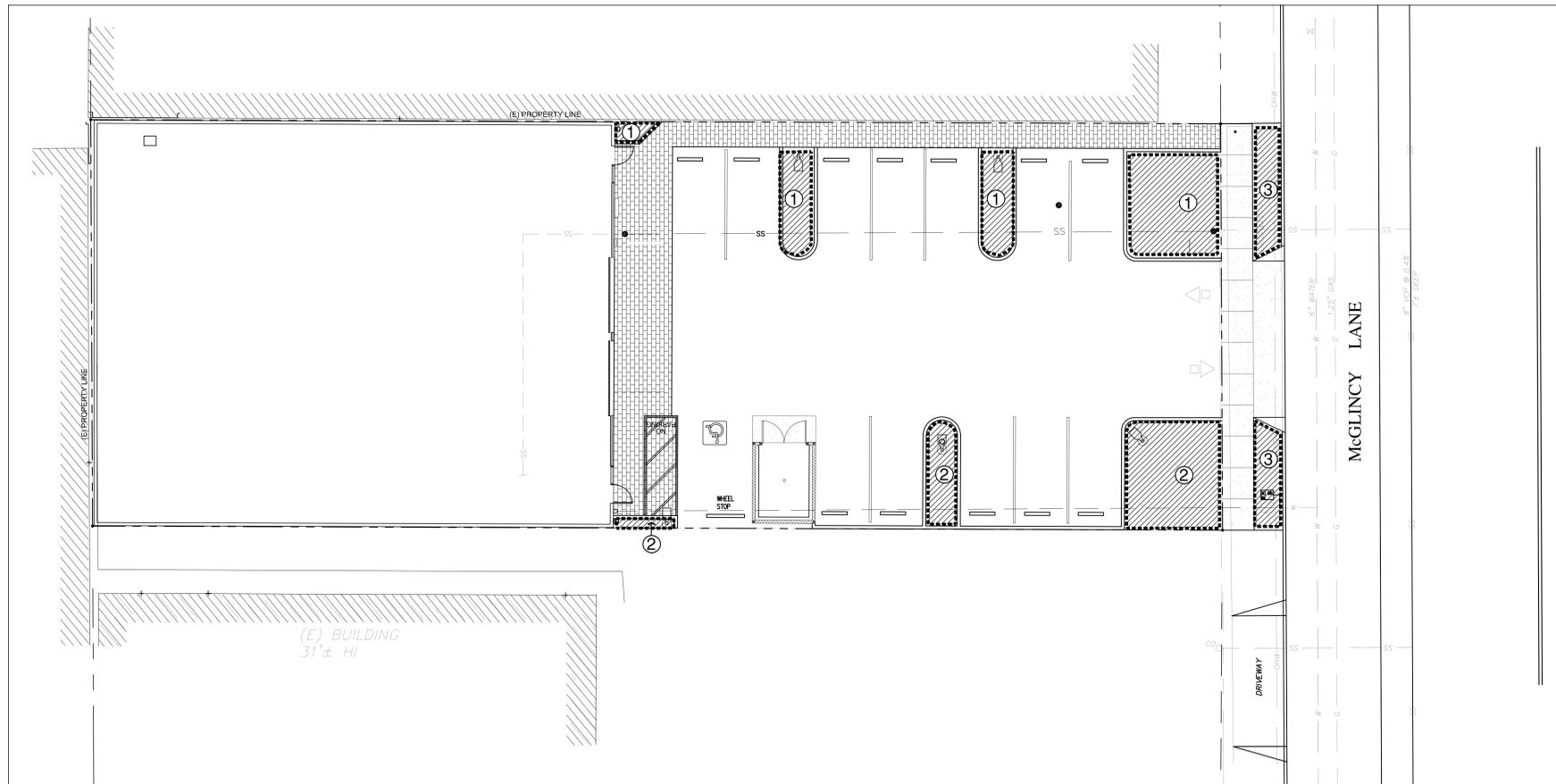
REGISTERED LANDSCAPE ARCHITECT
PAUL JAY REED
No. 2002
EXP. 9/30/2021
STATE OF CALIFORNIA

REVISION 1 11/7/19	REVISION 4
REVISION 2	REVISION 5
REVISION 3	REVISION 6

WAREHOUSE BUILDING
911 S. McGLINCY LANE, CAMPBELL, CA
FOR BRANDON PASEK SAN JOSE, CA
SHEET TITLE **PLANTING PLAN**

JOB NO.
DATE: 07/16/19
DRAWN BY: ds

SHEET NO.
L1.0



IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUP TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.

-  **HIGH WATER REQUIREMENT**
-  **MEDIUM WATER REQUIREMENT**
-  **LOW WATER REQUIREMENT (DROUGHT TOLERANT PLANTING)**

Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET₀) 43.0

MAWA - Regular Landscape Areas

MAWA = (ET₀) x (0.62) x ((ETAF x LA)+(1-ETAF x SLA))

landscape area 1,046 s.f.
 SLA 0 s.f.
 ETAF 0.45 average ETAF for regular landscape areas must be 0.55 residential areas, and 0.45 for non-residential areas.
 total area with SLA 1,046
 mawa total 12,549 gallons per year

ETWU - Regular Landscape Areas

ETWU = (ET₀) x (0.62) x ((ETAF x LA)+SLA)

hydro-zone number	plant water use	plant factor (PF)	irrigation method	irrigation efficiency	ETAF (PF/IE)	hydro-zone area	ETAF x Area	ETWU
1	high	0.2	drip	0.81	0.247	560	138.3	3,886
2	low	0.2	drip	0.81	0.247	307	75.8	2,021
3	low	0.2	drip	0.81	0.247	179	44	1,178
SLA	---	1.0	---	1.00	1.000	0	0	0

ETWU total (with SLA) 1,046 258.27 6,886

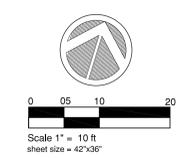
ETAF calculations

total ETAF x area 258.27
 total area 1,046 s.f.
 average ETAF 0.247 Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

TOTALS

MAWA total 12,549 gallons per year
 ETWU total 6,886 gallons per year

45.1 Percentage reduction of Potable Irrigation Water



BEFORE EXCAVATING CALL: 811
 48-HOURS BEFORE ALL
 PLANNED WORK OPERATIONS



Know what's below.
 Call before you dig.

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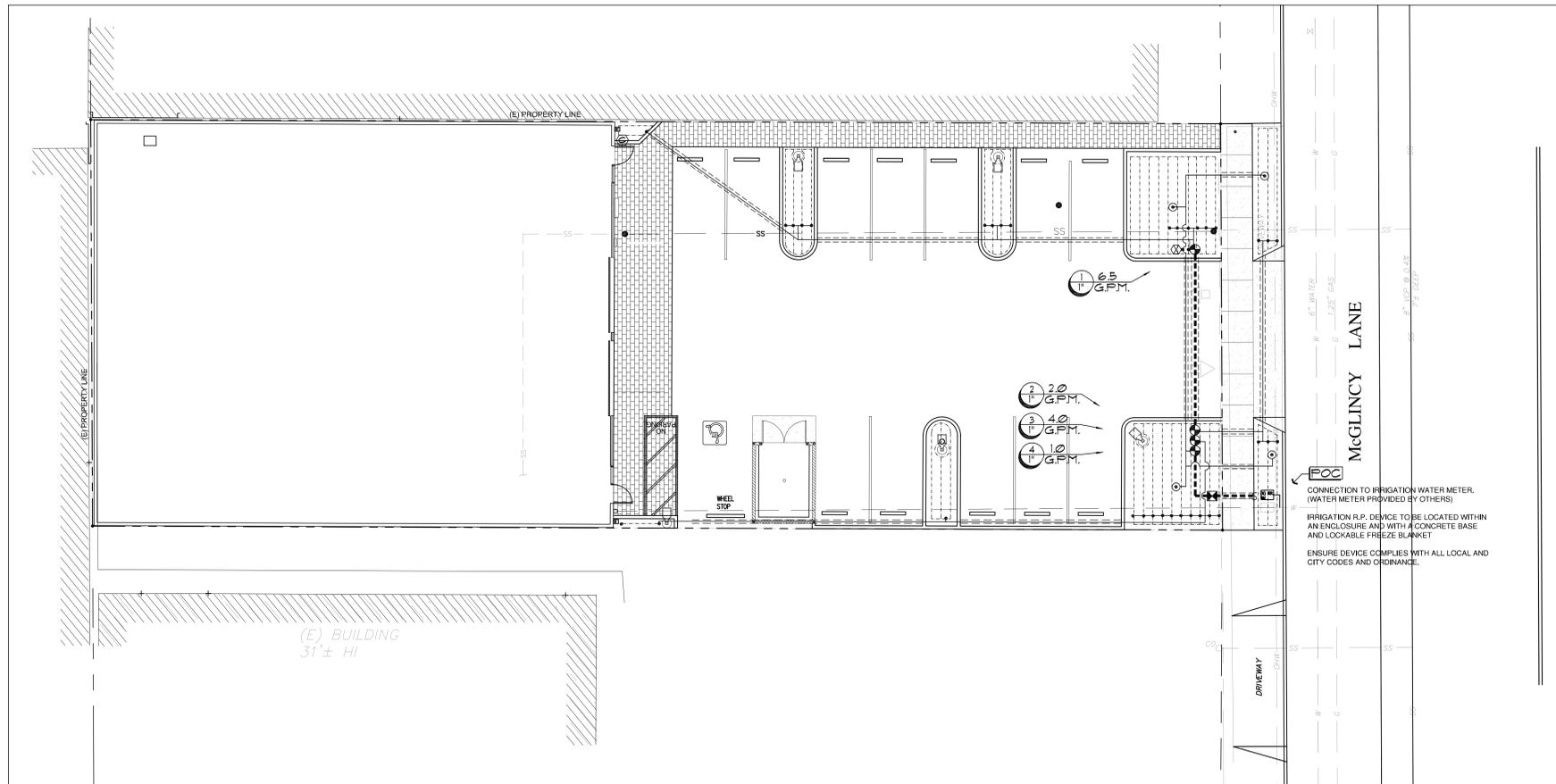


REVISION 1 11/7/19	REVISION 4
REVISION 2	REVISION 5
REVISION 3	REVISION 6

WAREHOUSE BUILDING
 911 S. McGLINCY LANE, CAMPBELL, CA
 FOR BRANDON PASEK SAN JOSE, CA

SHEET TITLE **Landscape Hydrozone Plan**

JOB NO.	SHEET NO.
DATE 07/16/19	L2.0
DRAWN BY ds	



DRIP IRRIGATION NOTES

- REFER TO DRIP IRRIGATION DETAILS FOR THE LAYOUT AND EXACT DIMENSIONS FOR THE DRIP LINE. THE DRIP LINE SHALL BE A MAXIMUM OF 18" APART AND SHALL BE A MAXIMUM OF 4" FROM ALL WALKS, CURBS AND WALLS. THE NUMBER OF DRIP LINES SHOWN ON PLANS MAY NOT REFLECT THE ACTUAL NUMBER REQUIRED, THE SPACING GUIDE SHALL TAKE PRECEDENCE. DRIP EMITTER LINES SHALL BE ALIGNED TO HAVE A STAGGERED TRIANGULAR EMITTER LAYOUT PATTERN.
- THE SUPPLY HEADER AND EXHAUST HEADER, WHEN PVC, SHALL BE BURIED AT A MINIMUM OF 12" BELOW GRADE.
- INSTALL THE AUTOMATIC AIR RELIEF VALVE AT THE HIGHEST POINT ON EACH CIRCUIT OR AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
- OPERATING PRESSURE FOR DRIP EMITTER LINE - 20 PSI (MIN) TO 60 PSI (MAX). 20 PSI TO BE PROVIDED AT THE FARTHEST EMITTER FROM THE P.O.C. VERIFY PRIOR TO CONSTRUCTION.
- ON SLOPES GREATER THAN 8'-0" ELEVATION CHANGE, IT MAY BE NECESSARY TO ADJUST THE SPACING BETWEEN THE DRIP LINES. THE DISTANCE BETWEEN THE DRIP LINES SHALL BE INCREASED TOWARDS THE BOTTOM OF THE SLOPE AND DECREASED TOWARDS THE TOP OF THE SLOPE. ADJUST IN FIELD TO PROVIDE PROPER COVERAGE WITHOUT WATER RUNOFF OR DRY SPOTS. IRRIGATION EMITTER LINE TO RUN HORIZONTAL TO SLOPE DIRECTION. IF 8'-0" OF ELEVATION CHANGE OCCURS IN DRIP LINE CIRCUIT, THEN INSTALL CHECK VALVE IN LATERAL LINE TO PREVENT LOW HEAD DRAINAGE.

IRRIGATION NOTES LEGEND



IRRIGATION NOTES

- SEE SPECIFICATION AND DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE ACTUAL SITE CONDITIONS AND THIS PLAN.
- THIS SYSTEM IS DESIGNED TO OPERATE WITH A STATIC WATER PRESSURE OF 70 PSI. VERIFY WATER PRESSURE PRIOR TO THE START OF CONSTRUCTION.
- THIS PLAN IS DIAGRAMMATIC AND DOES NOT NECESSARILY INDICATE ALL OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
- LOCATE ALL PIPING IN PLANTING AREAS WHERE EVER POSSIBLE.
- ADJUST ALL IRRIGATION HEADS TO INSURE PROPER COVERAGE AND AVOID EXCESSIVE OVERSPRAY.
- COORDINATE AUTOMATIC CONTROLLER ELECTRICAL HOOK-UP WITH PROJECT ELECTRICIAN.
- VERIFY TYPE AND LOCATION OF BACKFLOW PREVENTION ASSEMBLY WITH ALL LOCAL JURISDICTIONS, PRIOR TO INSTALLATION.
- INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW-HEAD DRAINAGE.
- DETECTOR TAPE SHOULD BE INSTALLED WITH ANY PRESSURE LINES NOT BURIED IN THE SAME TRENCH WITH CONTROL WIRES AND WITH ANY LINES OF ANY KIND UNDER PAVING NOT IN A TRENCH WITH CONTROL WIRES.
- INSTALL TWO SPARE CONTROL WIRES ALONG THE ENTIRE MAIN LINE. SPARE WIRES SHALL BE THE SAME COLOR (ONE WITH A WHITE STRIPE) AND OF A DIFFERENT COLOR THAN OTHER CONTROL WIRES. LOOP 36 INCH EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- SUPPLEMENTAL 'HAND' WATERING OF SWALE AREAS PLANTED WITH SOD MAY BE NECESSARY IN WARM WEATHER TO ESTABLISH BIO-SWALE SOD. THE LANDSCAPE CONTRACTOR MUST INCLUDE THIS IN THEIR BID AND IN THE SCOPE OF WORK. DRY SOD WILL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

IRRIGATION LEGEND

KEY	DESCRIPTION
[P.O.C.]	POINT OF CONNECTION (CONNECT TO IRRIGATION WATER METER) IRRIGATION WATER METER - TO BE PROVIDED BY OTHERS IF STATIC PRESSURE AT WATER METER EXCEEDS 100 PSI - USE SCH 40 STEEL PIPE FROM IRRIGATION METER TO IRRIGATION R.P. ASSEMBLY (SIZE AS NOTED ON PLANS)
-----	SCHEDULE 40 - or - CLASS 315 PVC PRESSURE MAINLINE (SIZE AS NOTED)
=====	SCHEDULE 40 PVC NON-PRESSURE SLEEVE UNDER PAVEMENT (2X SIZE SIDE PIPE)
-----	CLASS 315 PVC NON-PRESSURE LATERAL LINE (SIZE AS NOTED)
(I)	INDICATES CONTROLLER STATION NO.
(V)	INDICATES VALVE SIZE
(C)	'HYDROPOINT' (WATER TRAK OPTIFLOW XR) INCLUDES 1" TEAR WEATHERTRAK CENTRAL AND OPTIFLOW SERVICE (OPTIFLOW-C-12 - 6.0 GPM)
[X]	'IRRITROL' RAIN SENSOR WIRELESS R81020
[X]	RAINBIRD - QUICK COUPLER VALVE - 3/4" (33-DLRC)
[X]	'IRRITROL' 100 SERIES 'ULTRA-FLOW' - ELECTRIC VALVE - (SIZE AS NOTED) (SEE DRIP IRRIGATION DETAILS FOR CONTROL VALVES ON DRIP LINE CIRCUITS)
[X]	FEBCO LRSBYTA REDUCED PRESSURE ZONE ASSEMBLY DEVICE 1" SIZE (LEAD FREE) WATTS - SERIES LRSB - LEAD FREE WATER PRESSURE REDUCING VALVE-SIZE AS MAINLINE
KEY	DESCRIPTION
[X]	RAINBIRD 1401 (0.25gph)
[X]	FLOOD BUBBLER ON FLEX TUBE - 30(FS)
[X]	RAINBIRD XPCV-05-B-500 (SURFACE DRIP CHECK VALVE) 0.5 GPH DRIFLINE AT 36" SPACING
[X]	XZ-100-FRS-COPI CONTROL ZONE FILTER KIT - 1" (MAX FLOW OF 20 GPM)
[X]	XZ-10-B-100 OF DRIFLINE HEADERS 1" DIA. AT 36" SPACING
[X]	OPERIND INSTALL ONE OPERATION INDICATOR FOR EACH CIRCUIT (SEE IRRIGATION DETAILS FOR ADDITIONAL INFORMATION)
[X]	INSTALL PER MANUFACTURER'S SPECIFICATIONS

IRRIGATION PIPE SIZING CHART

SCHEDULE 40

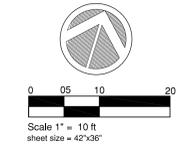
- CONSTANT PRESSURE PIPING 1/2 INCHES AND SMALLER.
- INTERMITTENT-PRESSURE LATERAL PIPING

1"	9-16 GPM
1-1/4"	16-22 GPM
1-1/2"	23-30 GPM

CLASS 315

- CONSTANT PRESSURE PIPING 2 INCHES AND LARGER.

2"	31-48 GPM
2-1/2"	49-65 GPM
3"	66-100 GPM



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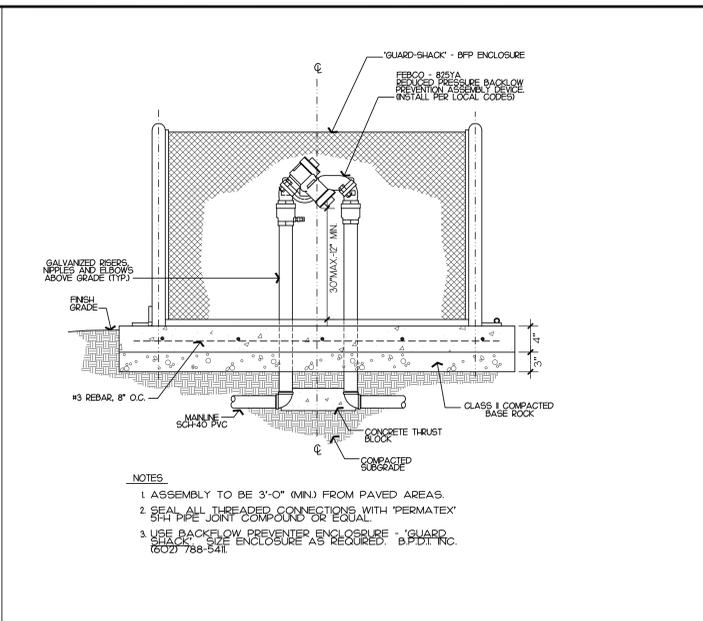
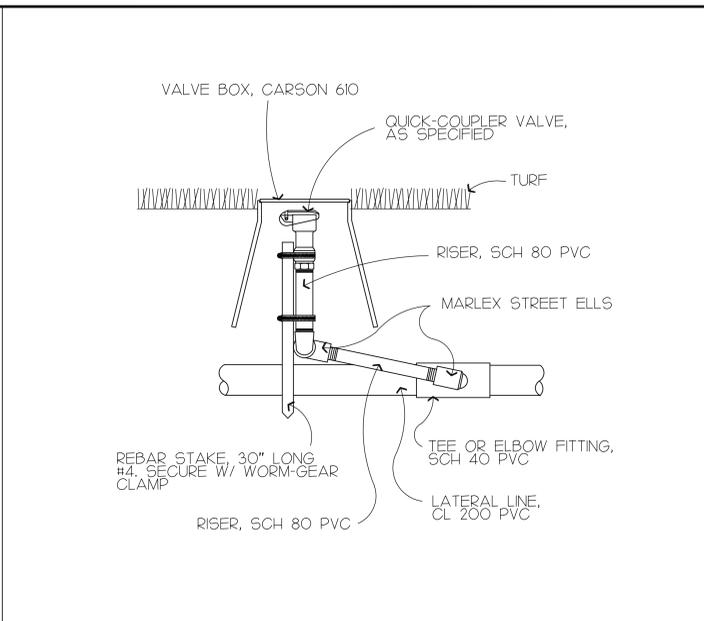
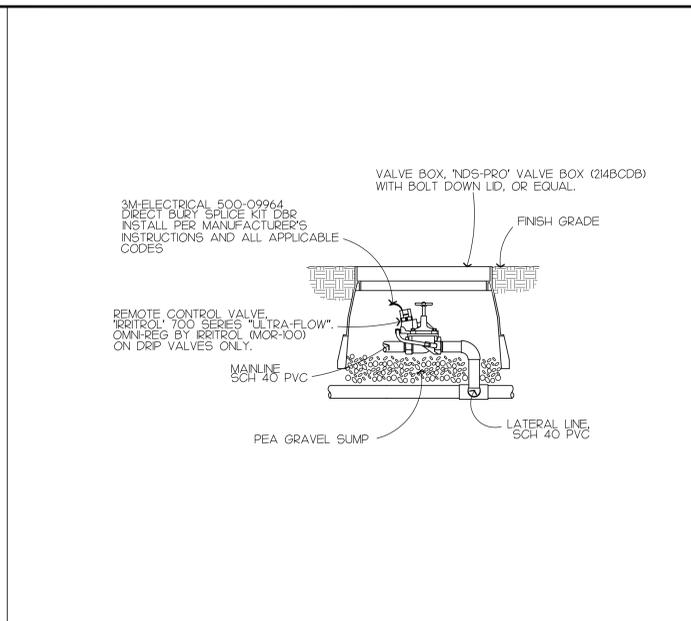
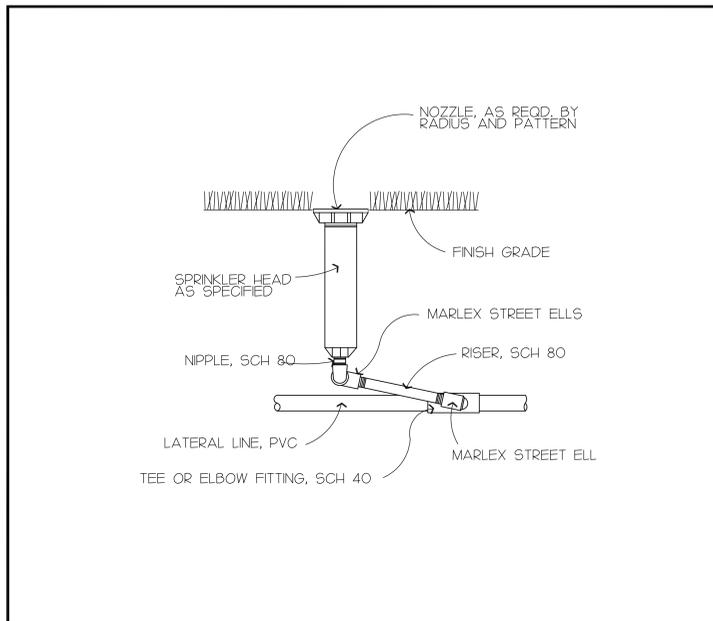
REGISTERED LANDSCAPE ARCHITECT
PAUL JAY REED
No. 2002
Exp. 9/30/2021
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WAREHOUSE BUILDING
911 S. McGLINCY LANE, CAMPBELL, CA
FOR BRANDON PASEK SAN JOSE, CA

SHEET TITLE Landscape Irrigation Plan

JOB NO.	SHEET NO.
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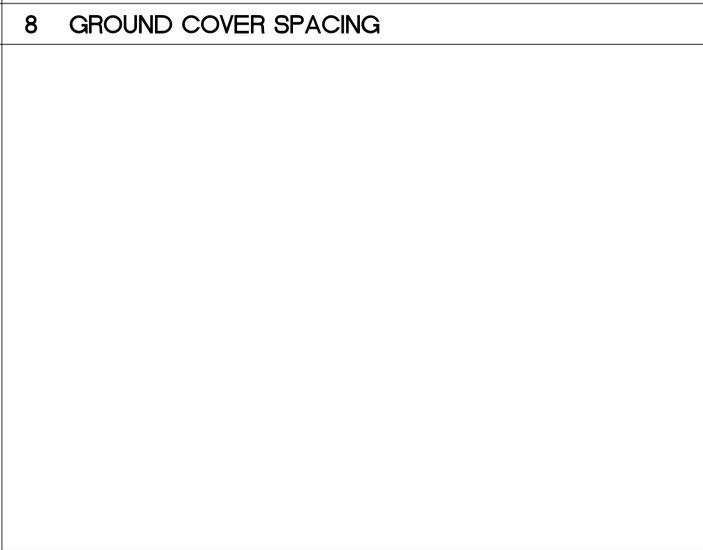
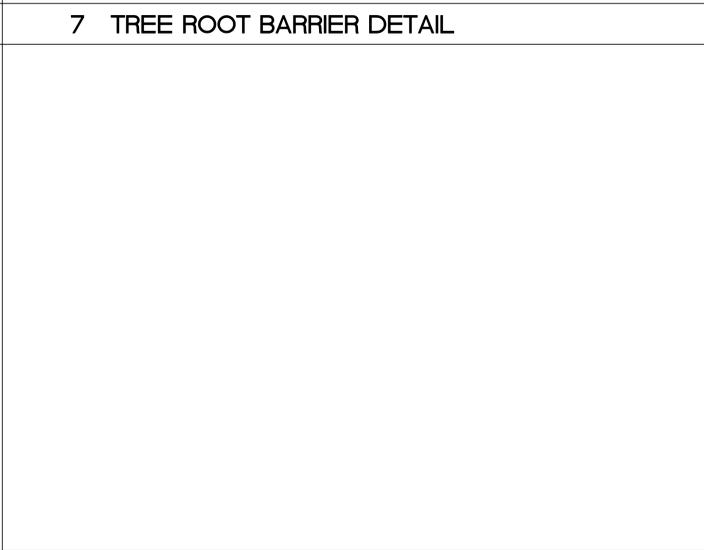
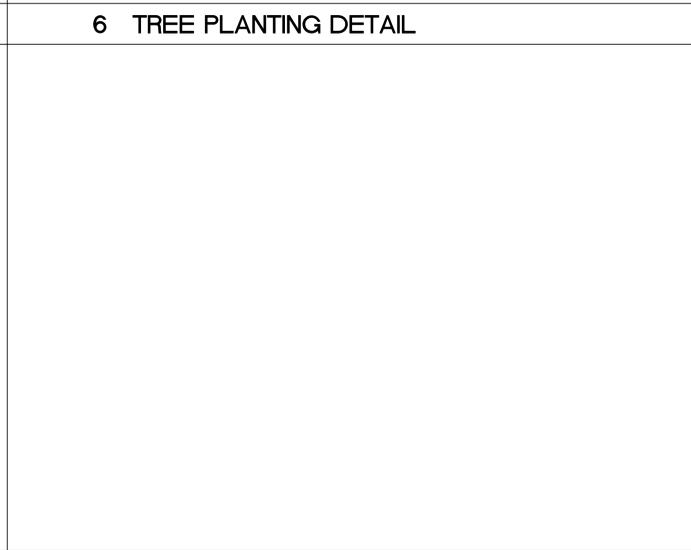
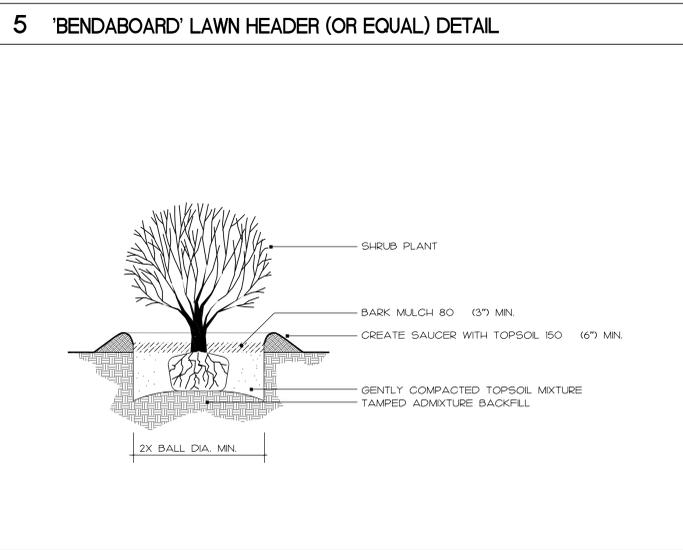
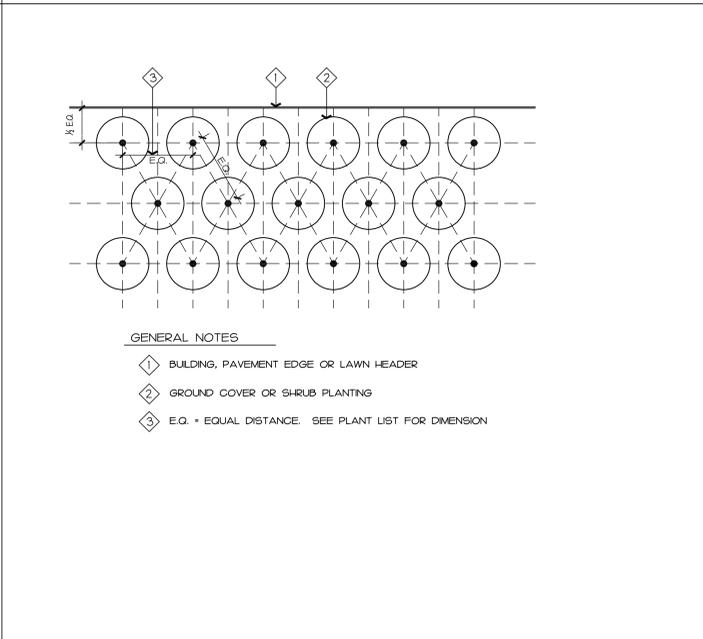
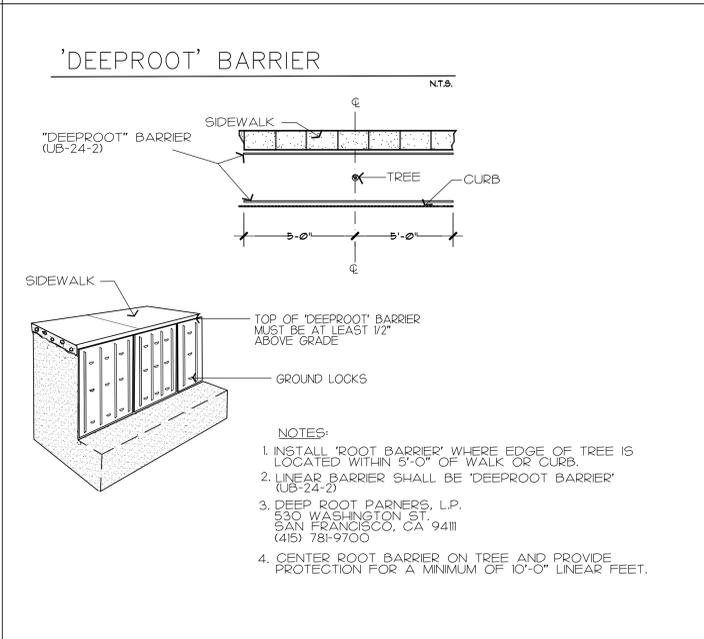
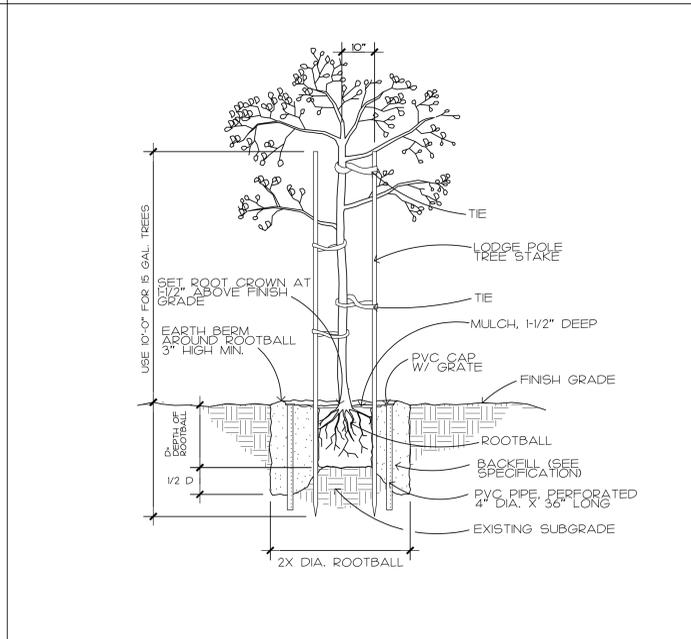
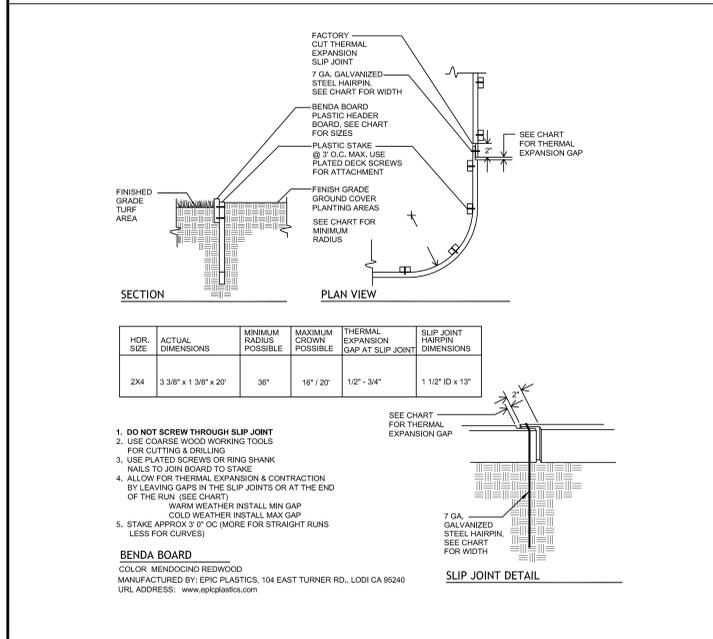


1 IRRIGATION HEAD DETAIL

2 CONTROL VALVE DETAIL

3 QUICK-COUPLER DETAIL

4 BACKFLOW PREVENTER



9 SHRUB PLANTING DETAIL

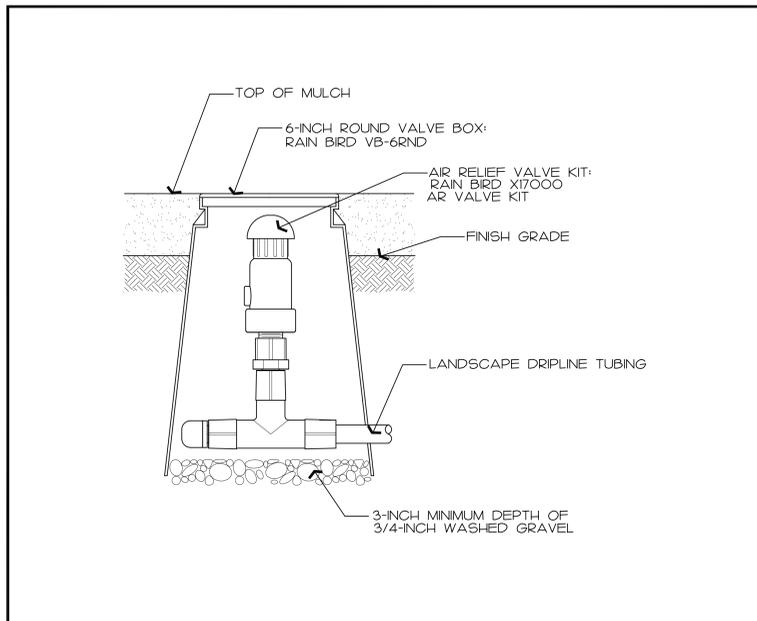
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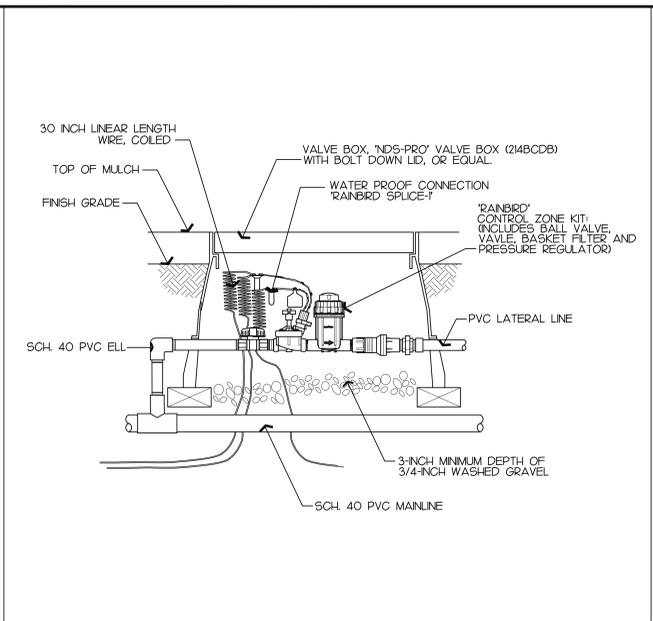
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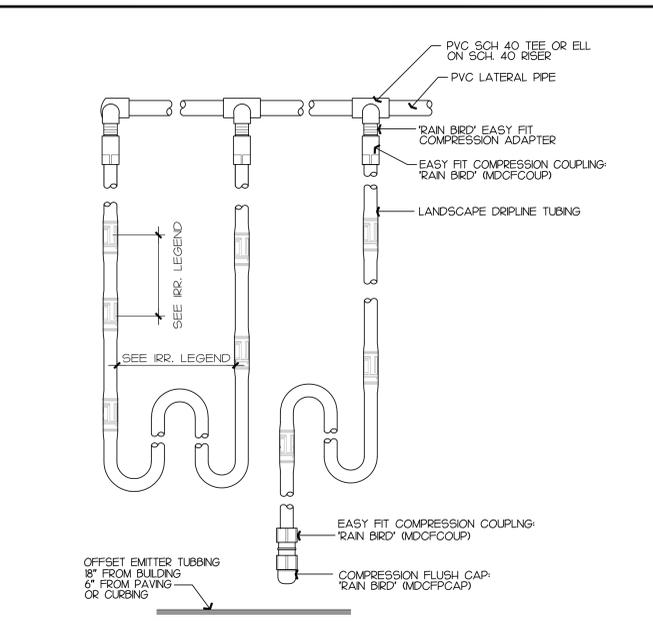
WAREHOUSE BUILDING
 911 S. McGLINCY LANE, CAMPBELL, CA
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 SHEET NO. L3.0



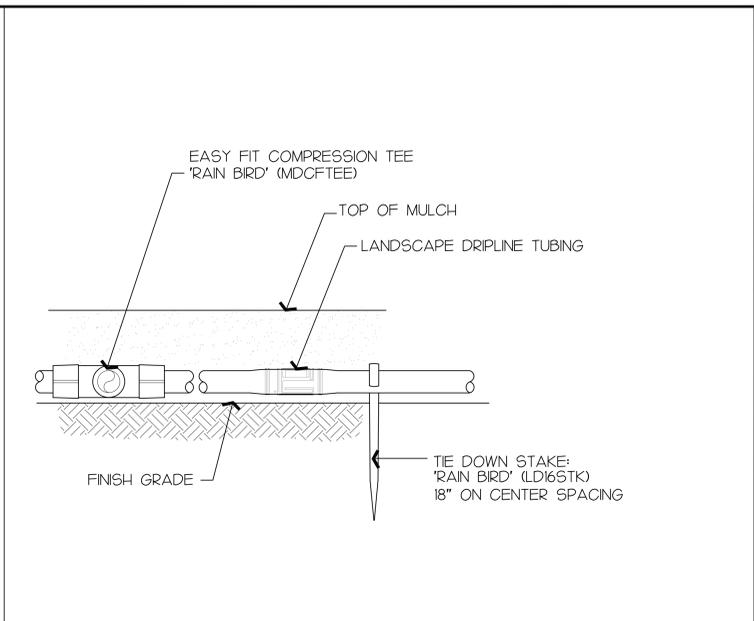
1 DRIP LINE AIR RELIEF VALE



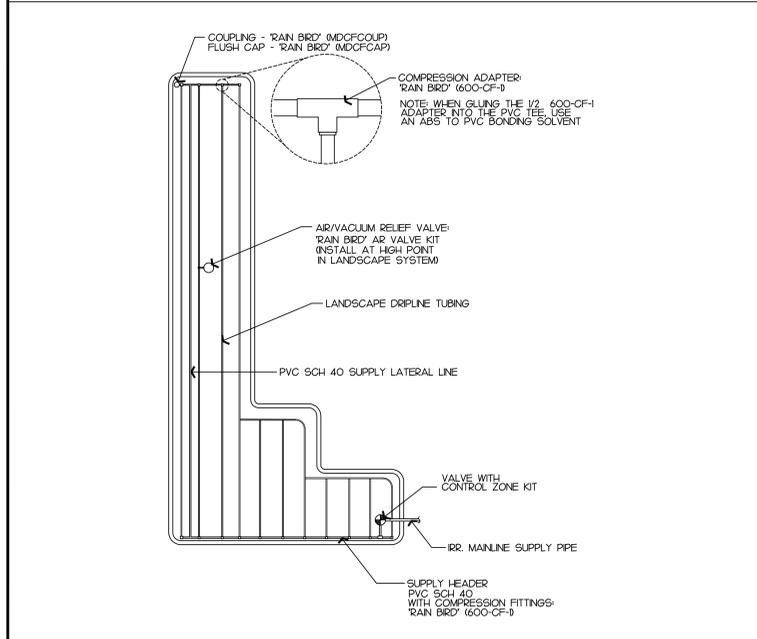
2 DRIP LINE CONTROL ZONE KIT DETAIL



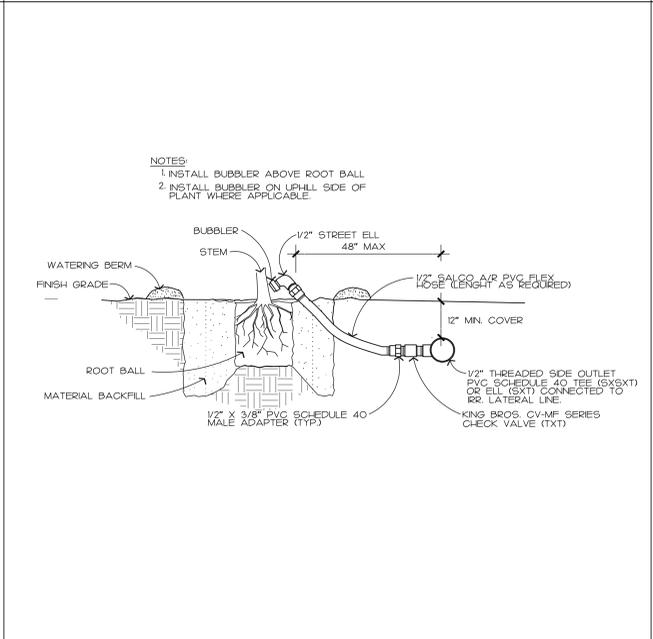
3 DRIP LINE IRRIGATION DETAIL



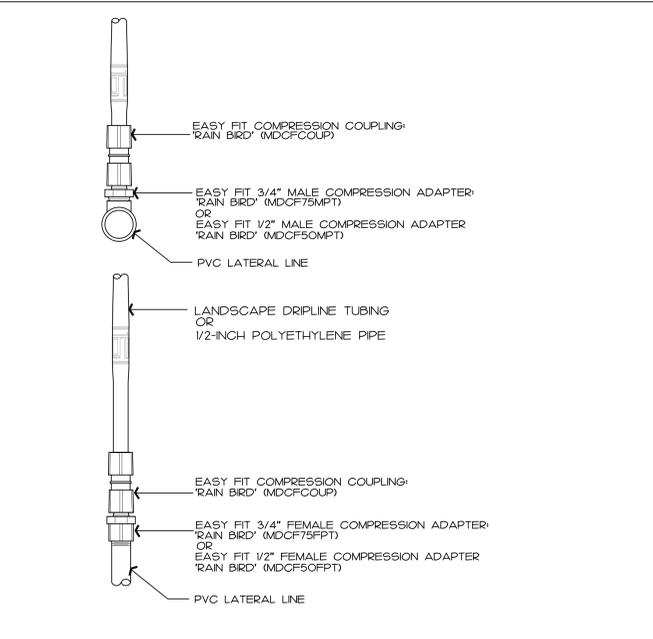
4 DRIP LINE IRRIGATION DETAIL - SECTION



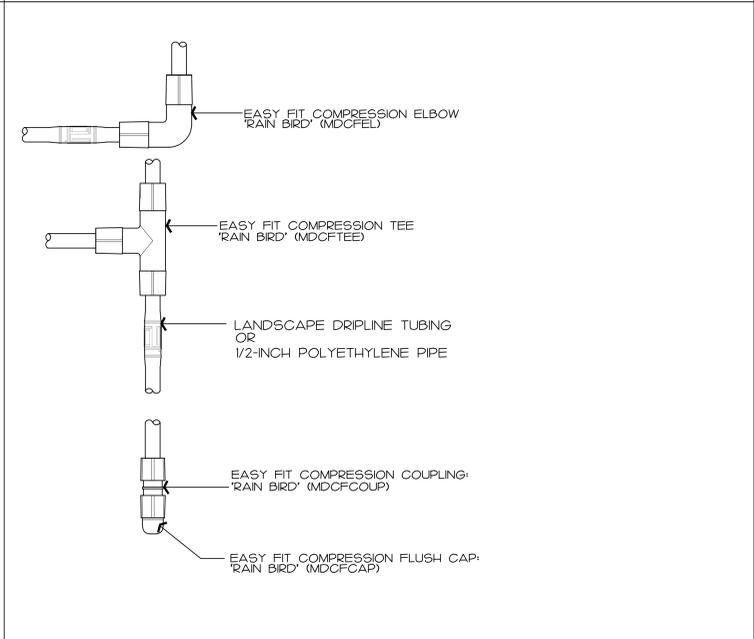
5 DRIP LINE IRRIGATION DETAIL



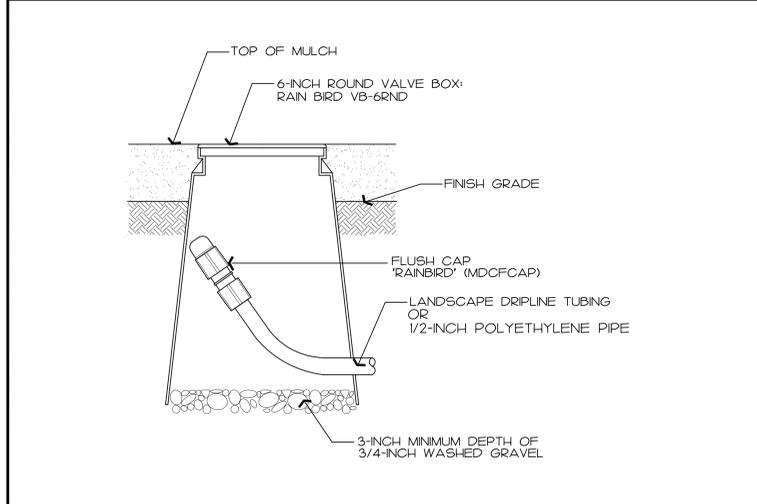
6 TREE BUBBLER DETAIL



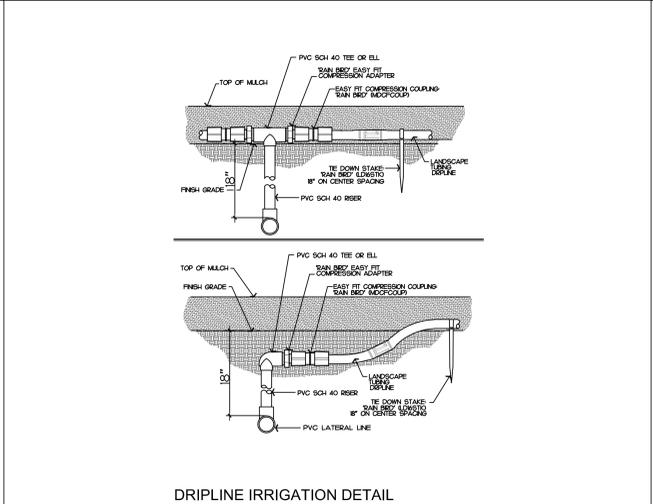
7 DRIP COMPRESSION ADAPTERS DETAIL



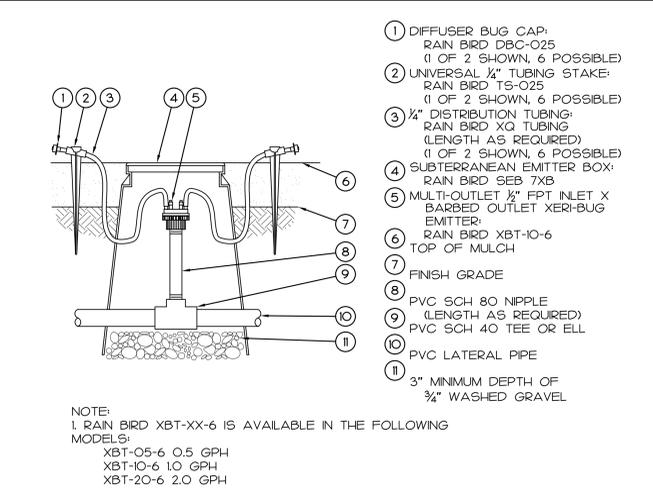
8 DRIP COMPRESSION ADAPTERS DETAIL



9 DRIP LINE FLUSH POINT DETAIL



10 DRIP LINE IRRIGATION DETAIL



11 MULTI-EMITTER OUTLET DETAIL

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PAUL JAY REED
No. 2002
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STATE OF CALIFORNIA

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SHEET NO. L3.1

<p>LANDSCAPE SPECIFICATIONS</p> <p>IRRIGATION SPRINKLER SYSTEM AND LANDSCAPE PLANTING</p> <p>1.0 GENERAL</p> <p>A. THE WORK INCLUDES LABOR, MATERIALS, AND EQUIPMENT REQUIRED TO COMPLETE WORK INDICATED IN DRAWINGS AND DESCRIBED IN SPECIFICATIONS.</p> <p>1. PERFORM WORK IN ACCORDANCE WITH BEST STANDARDS OF PRACTICE RELATING TO VARIOUS TRADES, AND UNDER CONTINUOUS SUPERVISION OF A COMPONENT FOREMAN CAPABLE OF INTERPRETING DRAWINGS AND SPECIFICATIONS.</p> <p>B. PRIOR TO CONSTRUCTION, VERIFY THAT CONTRACT DOCUMENTS REFLECT LATEST REVISIONS, INCLUDING PLAN CHECK REQUIREMENTS.</p> <p>C. CONSTRUCT IRRIGATION SYSTEM USING MATERIAL AND METHODS CONFORMING TO APPLICABLE PROVISIONS OF UNIFORM PLUMBING CODE, PUBLISHED BY WESTERN PLUMBING OFFICIALS ASSOCIATION, NATIONAL ELECTRICAL CODE, AND OTHER CODES PROPERLY GOVERNING THESE ACTIVITIES AT THE LOCATION OF THE WORK.</p> <p>1. VERIFY LOCATIONS OF EXISTING UTILITIES WHETHER OR NOT SHOWN IN DRAWINGS. ASSUME RESPONSIBILITY FOR THEIR PROTECTION.</p> <p>D. THE CONTRACT DOCUMENTS ARE NOT INTENDED TO CONFLICT WITH REQUIREMENTS OF GOVERNING ORDINANCES. WHEN DRAWINGS AND SPECIFICATIONS DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF BETTER QUALITY, HIGHER STANDARD, PROVISIONS OF DRAWINGS AND SPECIFICATIONS TAKE PRECEDENCE.</p> <p>E. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED FOR THE WORK.</p> <p>F. BEFORE PROCEEDING WITH THE WORK, VERIFY DIMENSIONS AND QUANTITIES. IMMEDIATELY INFORM LANDSCAPE ARCHITECT OF DISCREPANCY BETWEEN DRAWINGS, SPECIFICATIONS, AND ACTUAL CONDITIONS. COMMENCE WORK IN AREAS OF DISCREPANCY ONLY AFTER RECEIVING INSTRUCTIONS FROM LANDSCAPE ARCHITECT.</p> <p>G. DIMENSIONS INDICATED IN DRAWINGS ARE APPROXIMATE. PROVIDE OFFSETS, FITTINGS, SLEEVES, ETC., REQUIRED TO COMPLETE THE PROJECT. PERFORM SIMILAR OPERATIONS FOR LIKE CONDITIONS WITHOUT ADDITIONAL COST TO OWNER.</p> <p>1.1 SUBSTITUTIONS</p> <p>A. FURNISH MATERIALS IN QUANTITIES, SIZE, AND MANUFACTURE INDICATED IN DRAWINGS AND SPECIFICATIONS.</p> <p>B. FOR A PERIOD OF 30 DAYS AFTER EXECUTION OF CONTRACT, LANDSCAPE ARCHITECT WILL CONSIDER FORMAL REQUESTS FROM CONTRACTOR FOR SUBSTITUTION OF PRODUCTS IN PLACE OF THOSE SPECIFIED ONLY UNDER THESE CONDITIONS.</p> <p>1. WHEN SPECIFIED PRODUCTS ARE NOT AVAILABLE THROUGH NO FAULT OF SUB-CONTRACTOR.</p> <p>2. WHEN IT IS CLEARLY SEEN, IN THE JUDGMENT OF OWNER, THAT A SUBSTITUTION WILL BE TO OWNER'S BEST INTERESTS IN TERMS OF TIME, COST, OR OTHER CONSIDERATIONS.</p> <p>C. SUBMIT A SEPARATE REQUEST FOR EACH SUBSTITUTION. PROVIDE COMPLETE DATA SUBSTANTIATING COMPLIANCE OF PROPOSED SUBSTITUTION, INCLUDING PRODUCT IDENTIFICATION, MANUFACTURER'S NAME AND ADDRESS, MANUFACTURER'S LITERATURE, AND SAMPLES AS APPLICABLE.</p> <p>D. MANUFACTURER'S WARRANTIES WILL NOT RELIEVE SUB-CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE, ONLY SUPPLEMENT THE GUARANTEE.</p> <p>1.2 RECORD DRAWINGS</p> <p>A. FURNISH OWNER WITH A SET OF RECORD DRAWINGS (REPRODUCIBLE VELLUMS) OF IRRIGATION SPRINKLER SYSTEM AT CONCLUSION OF THE INSTALLATION.</p> <p>1. OBTAIN VELLUMS FROM LANDSCAPE ARCHITECT AT COST OF REPRODUCTION PLUS 25 PERCENT.</p> <p>B. INDICATE IN RECORD DRAWINGS ALL CHANGES MADE TO IRRIGATION SYSTEM DESIGN.</p> <p>1.3 EXTRA MATERIALS</p> <p>A. FURNISH OWNER WITH 2 EACH OF THE FOLLOWING MATERIALS FOR EACH TYPE OF VALVE AND SPRINKLER HEAD INSTALLED IN THE SYSTEM:</p> <ol style="list-style-type: none"> VALVE KEYS. SERVICE WRENCHES. QUICK COUPLER VALVE KEYS. HOSE SWIVELS COMPATIBLE WITH QUICK COUPLER VALVES. KEYS TO OPEN AUTOMATIC CONTROL CABINET. 	<p>1.4 WARRANTY</p> <p>A. FURNISH OWNER WITH GUARANTEE THAT IRRIGATION SPRINKLER SYSTEM IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP, AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS, ORDINARY WEAR AND TEAR, UNUSUAL ABUSE, OR NEGLECT ACCEPTED.</p> <p>B. PROVIDE GUARANTEE FOR REPAIR OR REPLACEMENT OF DEFECTS IN MATERIAL OR WORKMANSHIP, SETTLEMENT OF BACKFILLED TRENCHES, AND TO REPAIR OR REPLACE DAMAGE RESULTING FROM THE REPAIRS OR REPLACEMENTS OF DEFECTS WITHOUT ADDITIONAL COST TO OWNER.</p> <p>C. MAKE REPAIRS OR REPLACEMENTS, INCLUDING COMPLETE RESTORATION OF DAMAGED PLANTING, PAVING, OR OTHER IMPROVEMENTS OF ANY KIND, WITHIN A REASONABLE TIME AS DETERMINED BY OWNER, AFTER RECEIPT OF WRITTEN NOTICE.</p> <p>D. IN THE EVENT OF FAILURE BY CONTRACTOR TO MAKE REPAIRS OR REPLACEMENTS WITHIN A TEN DAYS AFTER RECEIPT OF WRITTEN NOTICE, REPAIRS OR REPLACEMENTS WILL BE MADE BY OTHERS AT THE EXPENSE OF SUB-CONTRACTOR.</p> <p>E. WARRANTY PERIOD FOR IRRIGATION SPRINKLER SYSTEM, 1 YEAR FROM DATE OF ACCEPTANCE BY OWNER.</p> <p>1.5 LANDSCAPE MAINTENANCE AND GUARANTEE</p> <p>A. PROVIDE MAINTENANCE FOR PLANTING AND IRRIGATION FOR 60 CALENDAR DAYS AFTER STAGE ACCEPTANCE.</p> <ol style="list-style-type: none"> WORK INCLUDES, BUT IS NOT LIMITED TO, WATERING, WEEDING, MOWING, FERTILIZING, CULTIVATING, SPRAYING, CUTTING, AND PRUNING NECESSARY TO KEEP PLANTS IN A HEALTHY GROWING CONDITION, AND TO KEEP PLANTED AREAS NEAT AND ATTRACTIVE IN APPEARANCE THROUGHOUT MAINTENANCE PERIOD. IMMEDIATELY REPLACE DAMAGED, UNHEALTHY, OR DEAD TREES, SHRUBS, AND GROUND COVERS WITH SIZE AND KIND INDICATED IN DRAWINGS. PRIOR TO END OF MAINTENANCE PERIOD, APPLY FERTILIZED 'D' (15-2-6) AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET UNIFORMLY OVER ALL PLANTING AREAS. UPON COMPLETION OF INITIAL 60 DAY MAINTENANCE PERIOD, NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO DATE OF INITIAL INSPECTION. <p>B. GUARANTEE THAT PLANTS AND PLANTING AREAS ARE IN HEALTHY, THRIVING CONDITION FOR AN ADDITIONAL 60 DAYS AFTER INITIAL ACCEPTANCE OF PROJECT BY LANDSCAPE ARCHITECT.</p> <ol style="list-style-type: none"> FINAL ACCEPTANCE MAY BE GRANTED AT THIS TIME AS DETERMINED BY LANDSCAPE ARCHITECT. <p>2.0 PRODUCTS</p> <p>2.1 IRRIGATION SPRINKLER MATERIALS</p> <p>A. PVC PLASTIC PIPE AND FITTINGS</p> <ol style="list-style-type: none"> MAIN LINE (PRESSURE) PIPING, TYPE 1120-1220 SCHEDULE 40, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL. <ol style="list-style-type: none"> MAIN LINE PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED. LATERAL (NON-PRESSURE) LINE PIPING, TYPE 1120-1220 SCHEDULE 40, CLASS 200, NSF APPROVED, LASCO, JOHNS MANVILLE, OR APPROVED EQUAL. <ol style="list-style-type: none"> LATERAL PVC PIPE FITTINGS, TYPE 1-11 SCHEDULE 40, NSF APPROVED, LASCO, SLOANS, OR APPROVED EQUAL. SOLVENT, TYPE APPROVED BY MANUFACTURER OF PIPE AND FITTINGS. USE SCHEDULE 80 PVC THREADED NIPPLES IN RISER ASSEMBLIES. USE ONLY PVC PLASTIC PIPE FREE FROM BLISTERS, INTERNAL STRIATIONS, DENTS, WRINKLES, CRACKS, HOLES, FOREIGN MATERIALS, SMOOTH INTERIOR WALL WITH A GLASS-LIKE APPEARANCE. <ol style="list-style-type: none"> CONTINUOUSLY AND PERMANENTLY MARK EACH PIPE WITH MANUFACTURER'S NAME, KIND OF PIPE, MATERIAL, SIZE SCHEDULE OR TYPE, AND MANUFACTURER'S QUALITY CONTROL IDENTIFICATION. <p>B. GALVANIZED PIPE AND FITTINGS</p> <ol style="list-style-type: none"> WHERE INDICATED IN DRAWINGS, USE ASA SCHEDULE 40 MILD STEEL SCREWED PIPE, GALVANIZED, WITH MEDIUM GALVANIZED SCREWED BEADED MALLEABLE IRON FITTINGS. <ol style="list-style-type: none"> GALVANIZED COUPLINGS MAY BE MERCHANT COUPLING. 	<p>C. CONTROL WIRE</p> <ol style="list-style-type: none"> DIRECT BURIAL REMOTE CONTROL WIRES, U.L. APPROVED TYPE U.F. MINIMUM OF 4/64 INCH VINYL INSULATION. CONSULT VALVE MANUFACTURER'S CURRENT WIRE SIZING CHART FOR REQUIRED WIRE SIZES. COMMON RETURN WIRE = WHITE, PILOT WIRE = RED, ORANGE, OR BLACK. MAKE SPLICES WITH "SCOTCH LOK" NO. 3577 CONNECTOR SEALING PACKS, OR APPROVED EQUAL. <p>D. SPRINKLER HEADS, REMOTE CONTROL VALVES, AUTOMATIC CONTROLLER, QUICK COUPLER</p> <ol style="list-style-type: none"> TYPE, SIZE, AND LOCATION INDICATED IN DRAWINGS. LOCATE REMOTE CONTROL VALVES AND QUICK COUPLERS A MAXIMUM OF 12 INCHES FROM CURB, WALK, OR HEADERBOARD. <p>E. BACKFLOW PREVENTION</p> <ol style="list-style-type: none"> BACKFLOW PREVENTERS AS INDICATED IN DRAWINGS OR AS APPROVED BY LOCAL GOVERNING BODY. DO NOT LOCATE IN LAWN AREAS. SCREEN UNIT WITH PLANT MATERIAL SHOWN ON PLANTING PLAN IN LOCATION OF BACKFLOW PREVENTER OR ELSEWHERE ON SITE WHEN DIRECTED BY LANDSCAPE ARCHITECT. AVOID USING PVC PIPING IN BACKFLOW PREVENTER ASSEMBLIES. <p>F. VALVE BOXES</p> <ol style="list-style-type: none"> CONTROL VALVE BOXES, AMETEK NO. 10-70-00 WITH GREEN COVER LID NO. 10-173-004, OR EQUAL. PROVIDE EXTENSIONS IF REQUIRED. <p>2.2 LANDSCAPE PLANTING MATERIALS</p> <p>A. SOIL</p> <ol style="list-style-type: none"> EXISTING SURFACE SOIL, UNLESS OTHERWISE INDICATED IN DRAWINGS, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, ROCKS, STICKS, BRUSH OR OTHER DELETERIOUS MATERIALS. NATIVE SOIL, MATERIAL EXCAVATED FROM PLANTING HOLES, FREE FROM ROCK OVER 1/2 INCH IN DIAMETER. IMPORTED SOIL, IF REQUIRED, SANDY LOAM TEXTURE. <ol style="list-style-type: none"> SUBMIT SOIL SAMPLES AND ANALYSIS OF IMPORTED SOIL TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO DELIVERY TO PROJECT SITE. SHOULD LANDSCAPE ARCHITECT REJECT ANY PORTION OF DELIVERED SOIL, FOR ANY REASON, SELECT SOIL MATERIAL FROM A DIFFERENT SOURCE AND RESUBMIT TO LANDSCAPE ARCHITECT FOR APPROVAL WITHOUT ADDITIONAL COST TO OWNER. <p>B. FERTILIZERS AND SOIL AMENDMENTS</p> <ol style="list-style-type: none"> COMMERCIAL GRADE FERTILIZERS AND SOIL AMENDMENTS, UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING, DELIVERED TO SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. MATERIAL WHICH BECOMES CAKED OR OTHERWISE DAMAGED, MAKING IT UNSUITABLE FOR USE, WILL BE REJECTED. <ol style="list-style-type: none"> FERTILIZER 'A': FERTILIZER FOR GENERAL SOIL FERTILITY IMPROVEMENT IN ALL TURF AND PLANTING AREAS SHALL BE PELLETED TYPE HAVING A N6-P20-K20 FORMULA. FERTILIZER 'B': FERTILIZER TO BE APPLIED TO LAWN AREAS PRIOR TO SEEDING OR SODDING SHALL BE PELLETED TYPE HAVING N6-P2-K0 (WITH 1% IRON). FERTILIZER 'C': FERTILIZER TO BE INCORPORATED IN EACH PLANT PIT SHALL BE A PLANT TAB WITH FORMULA N20-P10-K5, SUCH AS AGRIFORM. FERTILIZER 'D': FERTILIZER TO BE APPLIED TO LAWN AREAS AFTER TURF IS ESTABLISHED AND AROUND INSTALLED CONTAINER PLANTS DURING THE MAINTENANCE PERIOD SHALL BE PELLETED TYPE COMBINATION CHEMICAL ORGANIC FORMULA N15-P2-K6. SOIL AMENDMENT: RECYCLED COMPOST MATERIAL. 	<p>F. IRON SULFATE: STANDARD COMMERCIAL BRAND.</p> <p>C. WOOD CHIP MULCH</p> <ol style="list-style-type: none"> ALL PLANTED AREAS, EXCEPT TURF, SHALL RECEIVE A TOP DRESSING OF MULCH CONSISTING OF RECYCLED, DYED WOOD CHIPS OR FIR CHIPS, MEDIAN GRIND 3/8 TO 3/4" DIAMETER. SHREDDED BARK IS UNACCEPTABLE. <p>D. PLANT MATERIAL</p> <ol style="list-style-type: none"> CONFORM PLANT MATERIAL, INDICATED IN DRAWINGS BY THE LISTED NAMES, TO "STANDARD PLANT NAMES", SECOND EDITION. EXCEPT FOR NAMES NOT INCLUDED, FOLLOW THE ESTABLISHED CUSTOMS OF THE NURSERY TRADE. ALL PLANTS SHALL BE TRUE TO NAME. TAG ONE OF EACH BUNDLE OR LOT WITH THE NAME AND SIZE OF THE PLANT, IN ACCORDANCE WITH STANDARDS OF PRACTICE RECOMMENDED BY AMERICAN ASSOCIATION OF NURSERYMEN. ALL PLANT MATERIALS SHALL MEET THE SPECIFICATIONS OF FEDERAL, STATE, AND COUNTY LAWS, REQUIRING INSPECTION FOR PLANT DISEASES AND INSECT INFESTATIONS. PLANTS SHALL BE SYMMETRICAL, TYPICAL FOR VARIETY AND SPECIES, SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASES, INSECT PESTS, OR OTHER EGGS, WITH HEALTHY, NORMAL ROOT SYSTEMS, WELL FILLING THEIR CONTAINERS, BUT NOT TO THE POINT OF BEING ROOT BOUND. USE ONLY PLANT MATERIALS THAT ARE FIRST CLASS REPRESENTATIVE OF THE SPECIES AND CULTIVARS SPECIFIED AND THAT CONFORM TO ALL STATE AND LOCAL LAWS GOVERNING THE SALE, TRANSPORTATION, AND INSPECTION OF PLANT MATERIALS. PROVIDE ONLY PLANTS WITH STRAIGHT, SINGLE TRUNKS, UNLESS OTHERWISE INDICATED IN DRAWINGS. THOSE SPECIFIED TO BE MULTI-TRUNK SHALL HAVE AT LEAST THREE MAIN LEADERS FROM THE BASE. PLANTS THAT HAVE ENCIRCLING ROOTS, NOT ROOT BOUND, SHALL HAVE ROOTBALLS LIGHTLY SLASHED ON A MINIMUM OF 3 SIDES TO STOP ENCIRCLING ROOT GROWTH. THE HEIGHT AND SPREAD OF PLANT MATERIALS SHALL BE MEASURED WITH BRANCHES IN THEIR NORMAL POSITION. MEASURE SIZES OF PLANTS ON THE PLANT LIST. <ol style="list-style-type: none"> 5 AND 15 GALLON CAN CONTAINER STOCK SHALL HAVE BEEN GROWN IN THAT CONTAINER NOT LESS THAN SIX (6) MONTHS, BUT SHALL NOT HAVE BEEN OVERGROWN IN THE CONTAINERS SO AS TO HAVE BECOME ROOT BOUND. 15 GALLON CAN CONTAINER STOCK SHALL HAVE A PLANTED HEIGHT OF 6 FEET WITH 1 INCH CALIPER TRUNK. <p>2.3 SOURCE QUALITY CONTROL</p> <p>A. PERFORM INSPECTIONS OF CONSTRUCTION FOR THE FOLLOWING PARTS OF THE WORK:</p> <ol style="list-style-type: none"> INSPECTION UPON COMPLETION OF PRELIMINARY FINISH GRADING AND IRRIGATION SPRINKLER SYSTEM. INSPECTION OF PLANTS PRIOR TO LAYOUT. LAYOUT INSPECTION OF SPOTTED PLANTS. INITIAL INSPECTION UPON COMPLETION OF PLANTING AND TREE STAKING, PRIOR TO COMMENCEMENT OF MAINTENANCE PERIOD. FINAL INSPECTION AT CONCLUSION OF ADDITIONAL 60 DAY LANDSCAPE MAINTENANCE PERIOD. <p>B. LISTED INSPECTIONS WILL BE MADE BY LANDSCAPE ARCHITECT OR AN AUTHORIZED REPRESENTATIVE.</p> <ol style="list-style-type: none"> REQUEST INSPECTION BY LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE OF TIME INSPECTION IS REQUIRED. <p>3.0 EXECUTION</p> <p>3.1 IRRIGATION SPRINKLER SYSTEM</p> <p>A. PREPARATION</p> <ol style="list-style-type: none"> COORDINATE INSTALLATION OF SPRINKLER MATERIALS, INCLUDING PIPE, TO ELIMINATE INTERFERENCE WITH, OR DIFFICULTY IN PLANTING SHRUBS, TREES, GROUND COVER, EXISTING OR PROPOSED CONSTRUCTION. RESTORE TO ORIGINAL CONDITION, RESTORE TO ORIGINAL CONTOURS AND ESTABLISHED GRADES CHANGED DURING COURSE OF THE WORK. <ol style="list-style-type: none"> IN THE EVENT OF SUCH COMPACTON, CONTRACTOR WILL BE REQUIRED TO RECULTIVATE COMPACTED AREAS. SODDING: RAKE AREAS TO FINISH GRADE ELEVATION TO 1 INCH LOWER THAN ADJACENT PAVING TO ACCOMMODATE SOIL THICKNESS. <ol style="list-style-type: none"> SPREAD 20 POUNDS PER 1,000 SQUARE FEET OF FERTILIZER 'B' ON SOIL SURFACES PRIOR TO SODDING. THEN NEATLY INSTALL SOD SLABS. STAGGER END JOINTS, TIGHTLY JOINTED WITH NO VISIBLE SPACES. LIGHTLY WATER AND ROLL ENTIRE AREAS. THEN HEAVILY WATER TO ASSURE WATER PENETRATION OF AT LEAST A DEPTH OF 8 INCHES. SEEDING: APPLY FERTILIZER 'B' TO FINISH GRADED SURFACES AT THE RATE OF 4 POUNDS PER 1,000 SQUARE FEET. <ol style="list-style-type: none"> USE ONLY SEED THAT IS WEED FREE, FRESH, RECLEANED, GRADE A, NEW CROP CONSISTING OF THE PERCENTAGE OF MIX AS DESCRIBED IN DRAWINGS. LABEL SEED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT PRESENTLY IN EFFECT AND SHALL BE DELIVERED TO PROJECT SITE IN BAGS BEARING DEALER'S LABEL AND GUARANTEED ANALYSIS. SOW SEED IN 2 DIRECTIONS AT A TOTAL COMBINED RATE OF 10 POUNDS PER 1,000 SQUARE FEET. SOW SEED BY EXPERIENCED PERSONNEL AT A TIME WHEN LITTLE OR NO WIND IS BLOWING. LIGHTLY RAKE INTO TOP 1/8 INCH OF SOIL. DO NOT MOW UNTIL TURF IS 2-1/2 INCHES HIGH, AND FOR INITIAL MOWING DO NOT MOW LOWER THAN 1-1/2 INCHES. REMOVE ALL CLIPPINGS. FERTILIZING DURING MAINTENANCE. APPLY FERTILIZER 'D', 30 CALENDAR DAYS AFTER PLANTING, AT THE RATE OF 5 POUNDS PER 1,000 SQUARE FEET. <ol style="list-style-type: none"> REPEAT EVERY 30 DAYS THROUGH MAINTENANCE. <p>F. WEED CONTROL, PEST CONTROL, & MULCHING</p> <ol style="list-style-type: none"> WEED CONTROL MATERIAL SHALL BE A PRE-EMERGENT HERBICIDE, TRIFLURLOLIN (TREFLAN) OR DIPHENAMID (DYMID OR ENIDE) OR APPROVED EQUAL, APPLIED ON PLANTED AREAS. DON'T APPLY TO TURF DEVELOPED AREAS. CONSIDER IF PART OF CONTRACTOR'S WORK TO CONTROL ON-SITE OR NEARBY PESTS THAT ARE DISTURBING THE CONDITION OF LANDSCAPE IMPROVEMENTS. CONTROL OF PESTS INCLUDES, BUT IS NOT LIMITED TO RODENTS, RABBITS, INSECTS, DEER, ETC. REPAIR DAMAGE THAT OCCURS TO THE ORIGINAL CONDITION OF IMPROVEMENTS, INCLUDING REPLACEMENT OF PLANT MATERIAL WHEN REQUIRED, WITHOUT ADDITIONAL COST TO OWNER. SPREAD BARK CHIP MULCH EVENLY OVER ENTIRE PLANTED AREA, EXCEPT TURF DEVELOPED AREAS, TO A MINIMUM DEPTH OF 2". <p>G. PRELIMINARY INSPECTION AND STAGE ACCEPTANCE</p> <ol style="list-style-type: none"> UPON COMPLETION OF PLANTING WORK, NOTIFY LANDSCAPE ARCHITECT THAT PROJECT IS READY FOR INSPECTION. UPON INSPECTION, IF LANDSCAPE ARCHITECT FINDS ENTIRE PROJECT COMPLETE AND IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, STAGE ACCEPTANCE WILL BE GRANTED. IF ASPECTS OF PROJECT ARE INCOMPLETE OR IMPROPERLY INSTALLED, CONTRACTOR WILL BE NOTIFIED AND HAVE 5 WORKING DAYS IN WHICH TO CORRECT OR COMPLETE THE WORK. STAGE ACCEPTANCE WILL BE GIVEN ONLY WHEN ALL WORK IS CORRECT AND COMPLETE. THE STAGE ACCEPTANCE BY LANDSCAPE ARCHITECT OF LANDSCAPE PROJECT WILL ESTABLISH THE BEGINNING OF PLANT MAINTENANCE PERIOD. <p>3.3 CLEANING</p> <p>A. UPON COMPLETION OF WORK, REMOVE EXCESS MATERIALS, RUBBISH, DEBRIS, AND SUB-CONTRACTOR'S CONSTRUCTION AND INSTALLATION EQUIPMENT FROM THE PREMISES.</p> <p>B. FINAL INSPECTION OF THE WORK WILL BE MADE BY LANDSCAPE ARCHITECT IN THE PRESENCE OF THE CONTRACTOR WHEN WORK IS COMPLETED. NOTIFICATION SHALL BE MADE BY THE CONTRACTOR 48 HOURS IN ADVANCE OF SUCH INSPECTION.</p>
<p>B. INSTALLATION</p> <p>1. PRIOR TO INSTALLATION, LAYOUT AND STAKE PRESSURE SUPPLY LINES, LATERAL LINES, AND LOCATION OF SPRINKLER HEADS. OBTAIN APPROVAL LAYOUT FROM LANDSCAPE ARCHITECT.</p> <p>A. IF EQUIPMENT IS INCORRECTLY LOCATED WITHOUT APPROVAL, RELOCATE PER DIRECTIONS OF LANDSCAPE ARCHITECT WITHOUT ADDITIONAL COST TO OWNER.</p> <p>2. CONNECT SPRINKLER IRRIGATION SYSTEM TO POINT OF CONNECTION (P.O.C.) INDICATED IN DRAWINGS.</p> <p>A. MAKE CONNECTIONS AT APPROXIMATE LOCATIONS SHOWN IN DRAWINGS.</p> <p>B. ASSUME RESPONSIBILITY FOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.</p> <p>C. TRENCHING & BACKFILLING</p> <ol style="list-style-type: none"> EXCAVATION INCLUDES REMOVAL OF WATER AND MATERIALS, OR OBSTRUCTIONS OF ANY NATURE THAT WOULD INTERFERE WITH THE WORK. REMOVE FROM THE SITE EXCESS AND WASTE MATERIAL RESULTING FROM TRENCHING OPERATIONS. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF DITCH. <ol style="list-style-type: none"> LAY PIPE TO AN EVEN GRADE. FOLLOW LAYOUT FOR TRENCHING EXCAVATION INDICATED IN DRAWINGS AND AS NOTED. COVERAGES <ol style="list-style-type: none"> PROVIDE MINIMUM COVER OF 18 INCHES FOR PRESSURE SUPPLY LINES. PROVIDE MINIMUM COVER OF 15 INCHES FOR ALL NON-PRESSURE LINES INDICATED IN DRAWINGS. PROVIDE MINIMUM COVER OF 24 INCHES OVER PIPE UNDER VEHICULAR WAYS. PROVIDE MINIMUM COVER OF 18 INCHES FOR CONTROL WIRING. PROVIDE 3 INCH SAND BACKFILL, ALL SIDES OF PVC PIPE, WHERE SOILS CONTAIN GREATER THAN 50% ROCKS OR OTHER MATERIAL 1/2 INCH OR LARGER IN DIAMETER WITHIN NATIVE BACKFILL MATERIAL. <p>D. COMPACTION</p> <ol style="list-style-type: none"> COMPACT BACKFILL FOR TRENCHING TO A DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL IN PLANTING AREAS AND TO 90% IN PAVED AREAS. CONFORM TO ADJACENT GRADES WITHOUT DIPS, SUNKEN AREAS, HUMPS, OR OTHER IRREGULARITIES. PLACE INITIAL BACKFILL ON ALL LINES OF A FINE GRANULAR MATERIAL. FOREIGN MATTER LARGER THAN 1/2 INCH IN SIZE WILL NOT BE PERMITTED. IF SETTLEMENT OCCURS AND ADJUSTMENTS IN PIPE, VALVES, SPRINKLER HEADS, LAWN OR PLANTING, OR OTHER CONSTRUCTION ARE NECESSARY, MAKE REQUIRED ADJUSTMENTS WITHOUT ADDITIONAL COST TO OWNER. <p>E. HANDLING OF PIPE</p> <ol style="list-style-type: none"> INSTALL PVC PIPE ALLOWING A SMALL AMOUNT OF EXCESS LENGTH IN THE LINE TO COMPENSATE FOR CONTRACTION OR EXPANSION OF THE PIPE. <ol style="list-style-type: none"> ACCOMPLISH EXCESS LENGTH BY "SNAKING" THE LINE IN THE TRENCH DURING TIME OF INSTALLATION. HANDLE AND ASSEMBLE PIPE, FITTINGS, AND ACCESSORIES BY SKILLED TRADESMEN USING APPROVED METHODS AND TOOLS. EXERCISE CARE TO PREVENT DAMAGE TO MATERIALS OR EQUIPMENT. <ol style="list-style-type: none"> KEEP INTERIOR OF PIPES, FITTINGS, AND ACCESSORIES CLEAN AT ALL TIMES. CLOSE OPENINGS IN PIPING RUNS AT THE END OF WORK EACH DAY TO PREVENT ENTRY OF FOREIGN MATERIALS. BENDING OF GALVANIZED STEEL PIPE WILL NOT BE PERMITTED. PERFORM JOINTING BY COMPETENT TRADESMEN SPECIALLY TRAINED IN THE TYPE OF WORK REQUIRED, USING TOOLS AND EQUIPMENT RECOMMENDED BY THE MANUFACTURERS OF THE PIPE, FITTINGS, OR EQUIPMENT. <ol style="list-style-type: none"> TAKE EVERY PRECAUTION TO SECURE A PERMANENT, WATER-TIGHT JOINT BETWEEN EACH LENGTH OF PIPE. JOINTING PROCEDURES AND METHODS ADOPTED BY CONTRACTOR SHALL BE IN STRICT ACCORDANCE WITH RECOMMENDATIONS OF MANUFACTURER OF JOINTING MATERIAL USED. 	<p>C. CUT PIPE CUT STRAIGHT AND TRUE.</p> <p>D. AFTER CUTTING, REAM OUT ENDS TO THE FULL INSIDE DIAMETER OF THE PIPE.</p> <p>E. IN CHANGING PIPE DEPTHS, USE 45° ELBOWS.</p> <p>F. SPRINKLER HEADS</p> <ol style="list-style-type: none"> INSTALL TURF HEADS, WHERE ADJACENT TO FIXED OBJECTS SUCH AS HEADERBOARDS, CURBS, OR MOWING STRIPS, SO POWERED EDGING TOOLS CAN PASS BETWEEN TURF HEAD AND FIXED OBJECT WITHOUT DIFFICULTY. LOCATE SHRUB HEADS MINIMUM 12 INCHES FROM BACK OF CURBS AND EDGE OF WALKWAYS WHEN SHRUB HEAD IS MOUNTED ABOVE GRADE ON A RISER. <p>G. CONTROL VALVES</p> <ol style="list-style-type: none"> INSTALL ELECTRIC, NORMALLY CLOSED ANGLE CONTROL VALVES AS INDICATED IN DRAWINGS AND AS SPECIFIED BY MANUFACTURER. SET VALVES IN VERTICAL POSITION, HOUSED IN AMETEK OR EQUAL VALVE BOX WITH REMOVABLE COVER, FLUSH WITH FINISHED GRADE, WHEREVER POSSIBLE, INSTALL IN A SHRUB AREA. <p>H. ELECTRICAL WORK</p> <ol style="list-style-type: none"> PERFORM ELECTRICAL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, THE STATE OF CALIFORNIA ELECTRICAL SAFETY ORDERS, OTHER APPLICABLE STATE AND LOCAL CODES AND REGULATIONS. ASSUME RESPONSIBILITY FOR THE COORDINATION OF ALL ELECTRICAL SERVICE CONNECTIONS TO THE CONTROLLER. <p>I. FIELD QUALITY CONTROL</p> <ol style="list-style-type: none"> FLUSH PIPES BY REMOVING HEADS AND OPERATING THE SYSTEM AT FULL PRESSURE UNTIL ALL RUST, SCALE, SAND, ETC., IS REMOVED. <ol style="list-style-type: none"> DIVERT FLUSHING WATER TO PREVENT PONDING OR SOIL EROSION. TEST PIPING UNDER FULL PRESSURE, WITH RISERS CAPPED FOR A PERIOD OF TWO HOURS. INSPECT PIPE FOR LEAKS. <ol style="list-style-type: none"> CORRECT ANY LEAKAGE DISCOVERED DURING TESTS. REPEAT TESTS UNTIL SATISFACTORY. TEST SPRINKLER HEADS: <ol style="list-style-type: none"> TO DETERMINE THAT THEY FUNCTION ACCORDING TO MANUFACTURER'S DATA, AND TO DETERMINE THAT THE INSTALLATION WILL PROVIDE DESIGN COVERAGE. ALLOW OR CAUSE WORK TO BE COVERED UP OR ENCLOSED ONLY AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED BY LANDSCAPE ARCHITECT. <ol style="list-style-type: none"> SHOULD ANY WORK BE CLOSED OR COVERED UP BEFORE INSPECTION AND TESTS ARE SATISFACTORILY COMPLETED, UNCOVER THE WORK, AND AFTER IT HAS BEEN INSPECTED, TESTED, AND APPROVED, MAKE ALL REPAIRS WITH MATERIALS AS MAY BE NECESSARY TO RESTORE DISTURBED WORK TO ITS ORIGINAL AND PROPER CONDITION WITHOUT ADDITIONAL COST TO OWNER. <p>3.2 LANDSCAPE PLANTING PROCEDURES</p> <p>A. CLEARING & GRUBBING</p> <ol style="list-style-type: none"> PRESERVE EXISTING TREES IN AN UNDISTURBED CONDITION. ROUGH GRADE EARTHEN MOUNDS TO CONTOURS INDICATED IN DRAWINGS. CONSTRUCT MOUNDS WITH ENOUGH EXCESS MATERIAL TO ALLOW FOR FUTURE SETTLEMENT. <ol style="list-style-type: none"> FINAL LOCATION OF MOUNDS SHALL NOT CONFLICT WITH EXISTING UTILITIES, UTILITY BOXES, VALVE BOXES, ETC. NO COMPACTION WILL BE ALLOWED, EXCEPT FOR NORMAL GRADING AND SHAPING OPERATIONS. UPON COMPLETION OF GRADING OPERATIONS, SPREAD EXCESS MATERIAL IN AREAS DIRECTED BY LANDSCAPE ARCHITECT. <p>B. SOIL CONDITIONS</p> <ol style="list-style-type: none"> CULTIVATE PLANTED AREAS TO A LIGHT AND FRIBLE CONSISTENCY. UNIFORMLY TILL THE 	<p>FOLLOWING MATERIAL, PER 1,000 SQUARE FEET, INTO THE TOP 6 INCHES OF SOIL, USING A ROTOTILLER OR SIMILAR MACHINE, THEN THOROUGHLY WATER.</p> <p>6 CU. YDS. - RECYCLED COMPOST MATERIAL (SOIL AMENDMENT) 25 LBS. - FERTILIZER 'A' 15 LBS. - SOIL SULPHUR</p> <ol style="list-style-type: none"> CULTIVATE EXISTING PLANTING AREAS WITH HAND TOOLS. PREPARED SOIL MIX FOR BACKFILL IN PITS FOR TREES, VINES, AND SHRUBS, CONSISTING OF THE FOLLOWING: <ul style="list-style-type: none"> 1/3 YD. - RECYCLED COMPOST MATERIAL (SOIL AMENDMENT) 2/3 YD. - NATIVE SOIL 1 LB. - IRON SULPHATE AND FERTILIZER 'C' AS FOLLOWS <ul style="list-style-type: none"> 1 GALL: 1-TAB 5 GALL: 2-TABS 15 GALL: 4-TABS 6-8 TABS FOR BOXED MATERIAL CONDUCT SOIL PREPARATION AND PLANTING OPERATIONS ONLY UNDER FAVORABLE WEATHER CONDITIONS. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET. <ol style="list-style-type: none"> LANDSCAPE ARCHITECT RESERVES THE RIGHT TO STOP WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH. <p>C. PLANTING TREES, SHRUBS, & VINES</p> <ol style="list-style-type: none"> DIG PITS FOR PLANTS SQUARE PER DETAIL IN DRAWINGS. <ol style="list-style-type: none"> LEVEL SIZE OF PITS SHALL BE 2 TIMES DIAMETER OF ROOT BALL, AND ONE-HALF AGAIN AS DEEP AS THE DEPTH OF ROOT BALL. SOIL AT SIDES AND BOTTOMS SHALL BE LOOSENEED BY SCARIFYING TO ENSURE ROOT PENETRATION. AVOID SMOOTH CIRCULAR SIDES. BACKFILL PITS WITH "PREPARED SOIL" TO THE BOTTOM OF THE ROOT BALL. THEN SET THE PLANT IN AN UPRIGHT POSITION IN CENTER OF HOLE. BACKFILL SPACE AROUND IT WITH PLANTING MIX. <ol style="list-style-type: none"> WHEN THE BACKFILL AROUND THE PLANT IS APPROXIMATELY TWO-THIRDS COMPLETED, THOROUGHLY WATER. BACKFILL COMPLETE TO THE GRADE OF THE SURROUNDING AREA. THE CROWN OF THE PLANT SHALL BE 1-1/2 INCHES ABOVE (MINIMUM) FINISHED GRADE. PREPARE A SOIL RING AT LEAST 3 INCHES HIGH AND AS WIDE AS ROOT BALL AROUND EACH PLANT (NOT IN A TURF AREA) TO RETAIN WATER. <ol style="list-style-type: none"> WATER THOROUGHLY TO ELIMINATE AIR POCKETS. REMOVE TURF IN A 24 INCH DIAMETER RING AROUND EACH TREE BASE IN TURF AREAS. <p>D. PLANTING GROUND COVERS</p> <ol style="list-style-type: none"> PLANTING SHALL TAKE PLACE IN THE EXISTING PREPARED MOIST AND FRIBLE SOIL, NEVER DRY OR WET AND SOGGY. <ol style="list-style-type: none"> THE MOIST CONDITION SHALL EXTEND TO THE FULL DEPTH OF CULTIVATION. SPACE GROUND COVER PLANTS AS INDICATED IN DRAWINGS AND IN THE PLANT LIST. PLANT IN EVENLY SPACED ROWS WITH STAGGERED TRIANGULAR SPACING AND AROUND SHRUBS AND TREES TO WITHIN ONE FOOT. NO GROUND COVER SHALL BE PLANTED LESS THAN ONE-HALF OF THE SPECIFIED SPACING FROM ANY CURB OR WALKWAY. <p>E. PLANTING TURF GRASS</p> <ol style="list-style-type: none"> AFTER ALL SOIL AMENDMENT AND FERTILIZERS HAVE BEEN APPLIED AND CULTIVATED INTO SOIL, FINE GRADE ALL AREAS. REMOVE RIDGES AND DEPRESSIONS. AREAS SHALL BE SMOOTH, CONTINUOUS, FIRM PLANES THAT ENSURE PROPER SURFACE DRAINAGE. REMOVE ROCKS, SOIL LUMPS, AND DELETERIOUS MATERIALS LARGER THAN 1 INCH, RAKE AND COMPACT AREAS WITH A 200 POUND ROLLER. AVOID ADDITIONAL COMPACTION OF THE SOILS AFTER TREATMENT. DO NOT PERMIT VEHICULAR OR EQUIPMENT TRAFFIC OVER AREAS. 	<p>7</p> <p>8</p>

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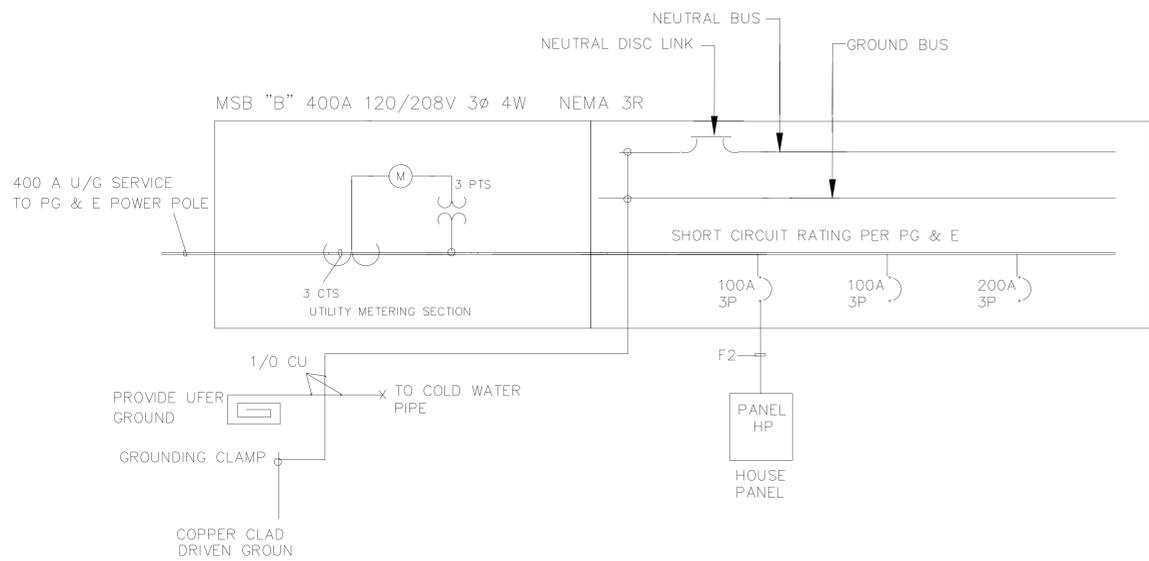


REVISION 1 11/7/19	REVISION 4
REVISION 2	REVISION 5
REVISION 3	REVISION 6

WAREHOUSE BUILDING
911 S. McGLINDY LANE, CAMPBELL, CA
FOR BRANCON PASEK SAN JOSE, CA

SHEET TITLE: **LANDSCAPE SPECIFICATION PLAN**

JOB NO.	SHEET NO.
DATE: 07/16/19	L4.0
DRAWN BY ds	

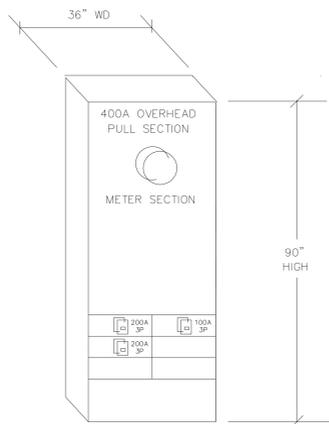


FEEDER SCHEDULE

F1 2 1/2"C-4 # 3/0 & 1 # 6 GND
 F2 1 1/4"C-4 # 2 & 1 # 8 GND

SINGLE LINE DRAWING

ELECTRICAL LOAD TABULATION						
ITEM	LOAD TYPE	CONNECTED WATTS	% DEMAND	DEMAND WATTS	FUTURE WATTS	REMARKS
1	EXTERIOR LIGHTING	2000	125%	2500		
2	RECEPTACLES	4800	100%	4800		
3						
4						
5	FUTUR TI LOAD	80000	125%	100000		
6						
7						
8						
9						
10						
GRAND TOTAL		86800		107300		
SERVICE REQUIRED:		107300 / 208 X 1.73 = 298.05 AMPS				
USE 400 A 100% RATED 120/208V, 3φ, 4W SERVICE.						



NEMA 3R MAIN SWITCHBOARD A

NOTE:

- ALL CIRCUIT BREAKER RATED 1000 AMP OR MORE WILL BE GFI PROTECTED PER 2016 NEC ARTICLE 215.10 AND 230.95 AND TESTING AGENT RESULTS PRESENTED TO FIELD INSPECTION STAFF.
- TRANSFORMERS EQUAL TO OR GREATER THAN 15 KVA SHALL BE NEMA TP-1-2000 TO COMPLY WITH CEC SECTION 161(d)(4)A.
- TRANSFORMER SEPARATELY DERIVED SYSTEM SHALL TERMINATE TO BUILDING STEEL AND WATER LINE PER NEC 2016 ARTICLE 250.30(A) AND 250.130(A)(4). CLEARLY INDICATE ELECTRODE CONDUCTOR SIZE PER NEC ART 250.6.
- DOCUMENTATION REGARDING SERIES RATED CIRCUIT BREAKERS TO BE USED ON THIS PROJECT WILL BE AVAILABLE FOR THE FIELD INSPECTOR UPON REQUEST. SERIES RATED COMBINATIONS SHALL BE HIGHLIGHTED AND TABBED FOR INSPECTORS USE. OR PROVIDE SHORT CIRCUIT AMPERE RATING FOR EACH PANEL AND AVAILABLE CURRENTS AT EACH PANEL OR EQUIPMENT TERMINATIONS.

PANEL "HP" SCHEDULE (NEW)											
MAIN BUS				MAIN BREAKER				TYPE			
125 AMPS				100 AMPS							
120/208 Phase 3 WIRE 4											
TYPE OF LOAD AND LOCATION	VOLT	AMPS	BRKR	CKT	CKT	BRKR	VOLT	AMPS	TYPE OF LOAD	TYPE OF LOAD	TYPE OF LOAD
Aφ	Bφ	Cφ	A/F			Aφ	Bφ	Cφ	SPACE	SPACE	SPACE
EXT LIGHTING	1.4		20	1	2						
FUTUR SIGN	1.4		20	3	4						
SPACE				5	6						
				7	8						
				9	10						
				11	12						
				13	14						
				15	16						
				17	18						
				19	20						
				21	22						
				23	24						
SPACE								SPACE			
TOTAL LOAD PER PHASE		1.4	1.4					TOTAL LOAD PER PHASE			
TOTAL CONNECTED LOAD		2.8		KVA		HIGH PHASE LOAD		11.6		AMPS	

NOTE: ALL LIGHTING CIRCUITS VIA 7 DAY PROGRAMMABLE TIMECLOCK PROVIDE OVERRIDE SWITCH NEAR ENTRY WAY.
 CONFIRM EQUIPMENT CIRCUIT BREAKER SIZE WITH FINAL SHOP DRAWINGS.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SINGLE POLE DISCONNECT SWITCH		DIMMER SWITCH
	2 POLE OR 3W SWITCH - AS INDICATED		DIGITAL WALL SWITCH - AS INDICATED
	DISCONNECT SWITCH		MOTION SENSOR SWITCH - AS INDICATED
	FUSED DISCONNECT SWITCH		WEATHERPROOF
	COMBINATION MAGNETIC STARTER		ABOVE FINISH FLOOR
	JUNCTION BOX - F = FLOOR		TELEPHONE TERMINAL CABINET
	DUPLEX CONVENIENCE RECEPTACLE		GROUND FAULT INTERRUPTER
	4-PLEX CONVENIENCE RECEPTACLE		HORSEPOWER
	FLOOR MOUNTED DUPLEX RECEPTACLE		FLOOR OR WALL
	SPECIAL DUPLEX RECEPTACLE		ELECTRIC WATER COOLER
	SPECIAL RECEPTACLE 208V, 1PH		CEILING
	CLOCK RECEPTACLE - 7"-6" A.F.F.		DRAWING
	TELE. BOX & 3/4" C. UP TO CEILING		CIRCUIT
	T-STAT BOX & 1/2" C. UP TO CEILING		FULL LOAD AMPERES
	MOTOR - HP AS INDICATED INSIDE		BUILDING
	BREAKER - SIZE AS INDICATED		MOUNTING
	MOTOR OPERATING SWITCH		NOT TO SCALE
	PANEL - PNL		LIGHTING
	MAIN DISTRIBUTION PANEL		DOWN
	EXIT SIGNS		FIXTURE
	NIGHT LIGHT		EXHAUST FAN
	SOUND VOLUME CONTROL		ROOF-TOP UNIT
	BELL OR ALARM ASSEMBLY		AIR HANDLING UNIT
	WIREMOLD - OUTLETS AS SPECIFIED		CONDENSING UNIT
	ELECTRIC BASEBOARD		INDICATES CONDUIT UP OR DOWN
	EMERGENCY BATTERY LIGHTS		TELEPHONE CONDUIT
	FLEXIBLE CONDUIT- APPROVED TYPE		EMERGENCY CONDUIT
	SPEAKER		UNDERFL. COND., RIGID STL HEAVY WALL
	CONDUIT		INDICATES NUMBER OF HOME RUNS
	EMERGENCY PANEL, CIRCUIT OR SYSTEM		2#10 COPPER WIRES IN 3/4" CONDUIT
	NATIONAL ELECTRIC CODE		3#10 COPPER WIRES IN 3/4" CONDUIT
	LIGHTING PANEL		4#10 COPPER WIRES IN 3/4" CONDUIT
	POWER PANEL		SEP. ISOL'D INSUL'D COPPER GRND COND.
	NIGHT LIGHT		SOUND SYSTEM RACEWAY
	GROUNDING		DOOR CONTRACTOR
	AMPERES		MOTION SENSOR
			PHOTO SENSOR

ELECTRICAL SINGLE LINE & SCHEDULES



CODES RULES AND REGULATIONS
 ALL MATERIAL AND WORK SHALL BE IN FULL ACCORDANCE WITH THE LATEST RULES AND REGULATIONS OF THE STATE FIRE MARSHAL, TITLE 24, UTILITY COMPANY, OSHA AND STATE AND LOCAL GOVERNING AGENCIES. NOTHING IN THESE PLANS OR SPECIFICATIONS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE STANDARDS.

TITLE 24 COMPLIANCE DOCUMENTATION
 CALIFORNIA ENERGY CONSERVATION STANDARDS TITLE 24 FOR NON-RESIDENTIAL BUILDING HAVE BEEN REVIEWED AND THE BUILDING DESIGN DESCRIBED ON THIS DRAWING IS IN SUBSTANTIAL COMPLIANCE.

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REVISION 1
 CITY COMM 08.23.19
 REVISION 2
 CITY COMM 11.02.20
 REVISION 3

REVISION 4
 REVISION 5
 REVISION 6

NEW WAREHOUSE BUILDING
 911 S. McGLINCY LANE, CAMPBELL, CA
 FOR BRANDON PASEK SAN JOSE, CA
 SHEET TITLE: **ELECTRICAL SINGLE LINE & SCHS.**

JOB NO. 8089-19
 DATE 03.12.19
 DRAWN BY OL/AP

SHEET NO. **E-1**

LIGHTING FIXTURE SCHEDULE						
1. LED FIXTURES HEREINAFTER INDICATED WITH "SEE NOTED 1" SHALL BE FACTORY PREWIRED STEP SWITCHING IN ACCORDANCE WITH SPECIFICATIONS.						
2. ALL RECESSED LED FIXTURE IN INSULATED CEILINGS SHALL CONTAIN INTEGRAL THERMAL PROTECTION AND SHALL BE U.L. LISTED FOR SUCH INSTALLATIONS.						
3. ALL FIXTURE FINISHES SHALL BE THE MANUFACTURER'S STANDARD U.N.O.						
4. LED FIXTURES, LAMPS AND BALLAST SHALL BE CERTIFIED BY THE STATE OF CALIFORNIA IN ACCORDANCE WITH TITLE 24.						
TYPE	DESCRIPTION	CATALOG NO.	MANUFACTURER	VOLT.	LAMP WATT	LAMPS
(1)	WALL MOUNTED EMERGENCY/EXIT LIGHT	COMBINATION W/ BATTERY BACK UP	SURE-LITES	120	-	-
(2)	WALL MOUNTED EMERGENCY LIGHT	W/ BATTERY BACK UP	SURE-LITES	120	-	-
(3)	WALL MOUNTED EXTERIOR EM LIGHT	W/ BATTERY BACK UP	LITHONIA AFNW EXT	120	-	-

NOTE: ALL FIXTURES TO BE APPROVED BY TENANT

MANDATORY MEASURES

- 3. **BUILDING LIGHTING SHUT-OFF**
THE BUILDING LIGHTING SHUT-OFF SYSTEM CONSIST OF AN AUTOMATIC TIME SWITCH
- 4. **OVERIDE FOR BUILDING LIGHTING SHUT-OFF**
THE AUTOMATIC BUILDING SHUT-OFF SYSTEM IS PROVIDED WITH A MANUAL, ACCESSIBLE OVERIDE SWITCH IN SIGHT OF THE LIGHTS.
- 5. **MULTILEVEL LIGHTING CONTROL**
LIGHTING SHALL HAVE THE REQUIRED NUMBER OF CONTROL STEPS AND SHALL MEET THE UNIFORMITY REQUIREMENTS IN ACCORDANCE WITH TABLE 5-2. MULTILEVEL LIGHTING CONTROLS SHALL NOT OVERRIDE THE FUNCTIONALITY OF OTHER LIGHTING CONTROLS REQUIRED FOR COMPLIANCE.
- 6. **AREA LIGHTING CONTROLS**
ALL LUMINAIRES IN EACH AREA ENCLOSED BY CEILING HEIGHT PARTITIONS SHALL BE INDEPENDENTLY ON/OFF CONTROLLED FROM LUMINAIRES IN OTHER AREAS.
- 7. **UNIFORM REDUCTION FOR INDIVIDUAL ROOMS**
ALL ROOMS AND AREAS GREATER THAN 100 SQUARE FEET AND MORE THAN 0.5 WATTS PER SQUARE FOOT OF LIGHTING LOAD SHALL BE CONTROLLED WITH MULTILEVEL LIGHTING CONTROL WITHIN THE ROOM.
- 8. **CONTROLS FOR OUTDOOR LIGHTING**
LUMINAIRES PROVIDING GENERAL LIGHTING THAT ARE IN, OR AT LEAST 50% IN THE SKYLIT DAYLIT ZONES OR THE PRIMARY SDELT DAYLIT ZONES SHALL BE CONTROLLED INDEPENDENTLY BY FULLY FUNCTIONAL AUTOMATIC DAYLIGHTING CONTROLS.

CONTROL OF EXTERIOR LIGHTS

ALL INSTALLED OUTDOOR LIGHTING MUST BE CONTROLLED BY A PHOTOCELL OR ASTRONOMICAL TIME SWITCH THAT AUTOMATICALLY TURNS OFF THE OUTDOOR LIGHTING WHEN DAY LIGHT IS AVAILABLE. ADDITIONALLY OUTDOOR LIGHTING MUST BE CONTROLLED BY AN AUTOMATIC SCHEDULED CONTROL.

OUTLET HEIGHT SCHEDULE

1. WALL RECEPTACLES- GENERAL (BOTTOM OF RECEPTACLE)	1'-3"
2. RECEPTACLES OVER COUNTER, TABLES, WORKBENCHES EXCEPT AS INDICATED ON DRAWINGS.	4'-2"
3. TELEPHONE OUTLETS (BOTTOM OF RECEPTACLE)	1'-3"
4. TELEPHONE OUTLETS OVER COUNTER, TABLES, WORKBENCHES- EXCEPT AS INDICATED ON DRAWINGS.	4'-2"
5. WALL SWITCHES- GENERAL (TOP OF SWITCH)	4'-0"
6. WALL PUSHBUTTONS	4'-0"
7. MOTOR CONTROLLERS	4'-2"
8. BELLS, BUZZERS	8'-0"
9. CLOCK OUTLETS	8'-0"
10. WALL LAMP RECEPTACLES AND WALL FIXTURE OUTLETS	6'-10"

NOTE: ALL HEIGHTS SHALL BE VERIFIED IN FIELD WITH OWNER AND SATISFY "ADA" REQUIREMENTS PRIOR TO FINAL INSTALLATION.

EXIT LIGHTS NOTES

1. EXIT LIGHTS AND MEANS OF EGRESS LIGHTING ARE NOT CONTROLLED OR SHUT/OFF DIMMED BY OCCUPANCY SENSORS OR OTHER DEVICES. THESE LIGHTS SHALL REMAIN ON AT ALL TIMES.

B. MATERIAL AND INSTALLATION

ALL WORK AND MATERIAL SHALL CONFORM TO THE LATEST RULES OF THE GOVERNING ELECTRICAL CODE AND INSTALLATION SHALL BE OF THE LATEST INDUSTRY STANDARDS OF WORKMANSHIP.

ALL MATERIALS SHALL BE NEW AND LISTED BY UNDERWRITERS LABORATORY (U.L.), OR ANOTHER ACCEPTABLE INDEPENDENT TESTING LABORATORY.

1. CONDUITS

CONDUITS SHALL BE EMT, RIGID OR REDUCED WALL FLEXIBLE TYPE. FLEXIBLE CONDUIT SHALL BE MANUFACTURED IN ACCORDANCE WITH UL-1, USED ONLY FOR LIGHTING FIXTURE CONNECTION, SHORT MOTOR FEEDERS, CONNECTION OR FOR THE EQUIPMENT REQUIRING VIBRATION ISOLATION OR WHERE THE USE OF EMT IS IMPRACTICAL DUE TO STRUCTURAL CONDITIONS. A GROUND WIRE IS REQUIRED IN ALL FLEXIBLE CONDUIT. CONCEAL ALL CONDUITS, UNLESS OTHERWISE NOTED.

2. SWITCHES AND RECEPTACLES

PROVIDE 20 AMP NEMA RATED SWITCHES OF SPECIFICATION GRADE. ALL SWITCHES SHALL BE RATED FOR 120 VOLT, UNLESS OTHERWISE NOTED. THE EXACT LOCATION OF ALL CONDUIT DROPS SHALL BE ADJUSTED TO CLEAR LIGHTS, DIFFUSERS, DUCTS, ETC. COORDINATE LOCATION WITH USER.

3. WIRE AND CABLE IDENTIFICATION

IDENTIFY FEEDERS WITH THE CORRESPONDING CIRCUIT DESIGNATION AT THE OVERCURRENT DEVICE, LOAD END, AND IN PULLBOXES.

IDENTIFY BRANCH CIRCUITS WITH CORRESPONDING CIRCUIT DESIGNATION AT THE OVERCURRENT DEVICE, AT ALL SPLICES, AND IN JUNCTION BOXES.

MARK CIRCUIT DESIGNATION ON ALL JUNCTION BOX COVERS. CIRCUIT DESIGNATION MEANS PANEL DESIGNATION AND CIRCUIT NUMBER, I.E., D-1. IDENTIFY DATA & COMMUNICATION PULL ROPE OR CABLE AT BOTH ENDS DESIGNATING OPPOSITE TERMINUS.

USE PLASTIC COATED SELF-STICKING MARKERS SUCH AS THOMAS & BETTS E-Z CODE FOR IDENTIFICATION OF CONDUCTORS AND METAL EDGE BANDED PAPER TAGS ON PULL ROPES.

4. CONDUCTORS

DELIVER ALL CONDUCTORS TO THE JOB SITE IN ORIGINAL UNBROKEN CARTON OR REEL, PROPERLY TAGGED WITH U.L. LABEL SIZE, TYPE, MANUFACTURER'S TRADE NAME AND THE DATE MANUFACTURED (MUST BE MANUFACTURED WITHIN 6 MONTHS).

PROVIDE COPPER CONDUCTORS. #12 AWG MINIMUM, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. PROVIDE SOLID CONDUCTORS, #10 AWG AND SMALLER UNLESS OTHERWISE NOTED. PROVIDE STRANDED CONDUCTORS, #8 AWG AND LARGER UNLESS OTHERWISE NOTED. AT EQUIPMENT SUBJECT TO VIBRATION, USE STRANDED CONDUCTORS. #12 AND #10 STRANDED CONDUCTORS SHALL BE TERMINATED WITH CRIMP TYPE TERMINALS, T&B STA-KON, OR EQUAL.

USE CONDUCTORS WITH THHN/THWN 600 VOLTS INSULATION.

INSTALLATION OF 600 VOLT CONDUCTORS: CONDUCTORS SHALL BE CONTINUOUS BETWEEN OUTLETS OR JUNCTION BOXES. MAKE SPLICES IN OUTLET BOXES, PULLBOXES OR PANELBOARD CUTTERS. DO NOT SPLICE PANELBOARD FEEDERS.

5. LIGHTING FIXTURES

FURNISH AND INSTALL LIGHTING FIXTURES OF THE TYPE SPECIFIED ON THE DRAWINGS. PROVIDE APPROPRIATE MOUNTING HARDWARE FOR THE CEILING TYPE INDICATED ON THE ARCHITECT'S DRAWINGS. FIELD VERIFY EXISTING CEILING, ENERGY SAVING LAMPS AND BALLASTS OF THE TYPE INDICATED BY THE FIXTURE SCHEDULE SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. BALLASTS AND FLUORESCENT LUMINAIRES SHALL BE CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION.

PROVIDE FIXTURES FOR TANDEM WIRING WHERE REQUIRED BY THE CALIFORNIA ADMINISTRATIVE CODE, TITLE 24. ALL PRE-MANUFACTURED WIRING COLOR SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. CONDUCTOR INSULATION SHALL BE GREATER THAN THE BALLAST OPEN CIRCUIT VOLTAGE.

PROVIDE AN INVERTER BALLAST FOR THE BATTERY POWERED FIXTURE. THE INVERTER SHALL TRANSFER THE POWER SOURCE TO BATTERY UPON THE LOSS OF BUILDING POWER. THE BATTERY SHALL LAST A MINIMUM OF 90 MINUTES FOR TWO 4 FOOT T-8 LAMPS.

C. EXECUTION

CAREFULLY PROTECT ALL WALLS, TRIM, FLOORS, EQUIPMENT, UTILITY LINES AND MATERIALS. WHEN WORKING ON FINISHED SURFACES, LIMIT DAMAGE TO THE CONFINED SPACE AND RESTORE TO THE ORIGINAL CONDITION ALL SURFACES WHICH ARE DAMAGED BECAUSE OF THE INSTALLATION OF THIS WORK.

EQUIPMENT, MATERIALS AND SUPPLIES REMOVED FOR PROTECTION SHALL BE REPLACED IN ORIGINAL LOCATIONS. ANY MATERIALS DAMAGED SHALL BE REPLACED WITH NEW MATERIALS OF LIKE KIND AND QUALITY AT NO COST TO OWNER.

DO ALL CUTTING AND PATCHING OF FLOORS, WALLS, CEILINGS, ETC., TO MATCH EXISTING. SCHEDULE CUTTING AND PATCHING OF FLOORS WITH THE OWNER. CORE DRILLING FOR CONCRETE WILL BE THE ONLY METHOD PERMITTED.

ANY EXISTING CONDUITS, PIPING, ETC. DAMAGED DURING THE PROCESS OF CONSTRUCTION SHALL BE INSTALLED AND/OR RECONNECTED AS REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM. NO ADDITIONAL CHARGES WILL BE ALLOWED FOR ANY EQUIPMENT WHICH IS DAMAGED BY THIS CONTRACTOR DUE TO THE INSTALLATION OF THE WORK OR FOR PUTTING EXISTING SYSTEMS BACK INTO A COMPLETE OPERATING CONDITION.

PAINT ALL NEW EXPOSED ELECTRICAL RACEWAYS, CABINETS, ENCLOSURES AND FITTINGS TO MATCH ADJACENT SURFACES IN FINISHED AREAS.

SEAL ALL PENETRATIONS THROUGH FIRE RATED WALLS, CEILINGS, FLOORS, ETC., TO MAINTAIN THE FIRE RATING. FURNISH AND INSTALL FIRE RATED ENCLOSURES FOR ALL EQUIPMENT PENETRATING INTO FIRE RATED ENVELOPES, SPACES, ETC.

SPECIFICATIONS AND GENERAL NOTES

A. GENERAL

1. SCOPE

THE DRAWINGS AND THESE SPECIFICATIONS DESCRIBE THE SYSTEMS. FURNISH ALL MATERIALS AND DO ALL WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS, UNLESS SPECIFICALLY NOTED TO THE CONTRARY. FURNISH AND INSTALL ALL NEW MATERIAL AND EQUIPMENT AS REQUIRED TO PRODUCE A COMPLETE OPERATING SYSTEM.

2. PERMITS AND CHARGES

OBTAIN AND PAY FOR ALL NECESSARY CONSTRUCTION PERMITS, INSPECTION FEES, AND OTHER CHARGES BY AGENCIES HAVING JURISDICTION.

3. REGULATIONS AND CODES

PROVIDE AND INSTALL ALL MATERIALS IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE, CALIFORNIA ADMINISTRATIVE CODE TITLE 8 AND TITLE 24, AND OTHER CODES AND REGULATIONS HAVING JURISDICTION. INSTALL ALL EQUIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE INSPECTING AUTHORITY AND THE MANUFACTURER'S RECOMMENDATIONS.

4. VERIFYING EXISTING CONDITIONS

BEFORE SUBMITTING BID, BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL, FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED AS VALID DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.

5. COORDINATION

COORDINATE ALL WORK WITH OTHER TRADES. OBTAIN ALL DRAWINGS THAT WILL REQUIRE COORDINATION AND PROVIDE ALL ELECTRICAL CONNECTIONS REQUIRED WHETHER SHOWN ON ELECTRICAL DRAWINGS OR NOT.

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF ALL LIGHTING FIXTURES, CEILING DIFFUSERS, ETC.

LOCATIONS OF ELECTRICAL EQUIPMENT, J-BOXES, AND CONDUIT RUNS SHOWN ON THE DRAWINGS ARE APPROXIMATE. FIELD VERIFY FOR EXACT LOCATION AND ROUTING OF EXISTING EQUIPMENT AND COORDINATE ALL NEW WORK WITH THE OTHER DISCIPLINES TO AVOID CONFLICTS.

THIS CONTRACTOR IS TO OBTAIN AND REFER TO H.V.A.C., PLUMBING AND OTHER DRAWINGS AND PROVIDE ALL CONTROL WIRING, RELAYS, STARTERS, TIME SWITCHES, CONDUITS, ETC. INDICATED THEREON AS BEING PROVIDED UNDER THE ELECTRICAL WORK.

6. SERVICE CONTINUITY

UNINTERRUPTED SERVICES, INCLUDING LIFE SAFETY SYSTEMS WHERE APPLICABLE, SHALL BE MAINTAINED TO ALL PARTS OF THE BUILDING OTHER THAN WORK AREAS. SCHEDULE SHUTDOWNS WITH THE OWNER, TO MAKE ALTERATIONS AND/OR ADDITIONS TO MAIN SWITCHGEAR, ASSEMBLIES, FEEDERS. PROVIDE ANY TEMPORARY SERVICES AS MAY BE REQUIRED. REQUESTS FOR SHUTDOWN SHALL BE MADE AT LEAST 72 HOURS IN ADVANCE TO THE OWNER AT WHICH TIME THE OWNER SHALL SCHEDULE THE EXACT TIME AND DATE. IDENTIFY AT BID TIME. ALL WORK TO BE DONE ON PREMIUM TIME AND TOTAL OVERTIME MAN-HOURS REQUIRED FOR COMPLETION.

7. AS BUILT

PROVIDE RECORD DRAWINGS TO THE OWNER WITH ALL CHANGES NOTED THEREON AT THE COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL BE SIGNED AND DATED BY CONTRACTOR.

8. GUARANTEE

CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL LABOR AND MATERIALS ON ALL WORK AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR, EXCEPT FOR LIGHTING FIXTURE LAMPS.

9. SHOP DRAWINGS

SUBMIT REQUIRED SHOP DRAWINGS FOR REVIEW WITHIN ONE WEEK OF BID AWARD. ALL EQUIPMENT TO BEAR U.L. LABEL OR THAT OF ANOTHER ACCEPTABLE TESTING LABORATORY. SHOP DRAWINGS MUST BE STAMPED BY THE CONTRACTOR FOR CONFORMANCE PRIOR TO SUBMITTING. SUBMITTALS SHALL INCLUDE THE PROJECT NAME AND CONTRACTORS NAME. SUBMIT SIX SETS OF SHOP DRAWINGS AND AWAIT ENGINEERING REVIEW COMMENTS PRIOR TO PURCHASING ALL PANELBOARDS, LIGHTING FIXTURES AND LENSES, CONTACTORS, AND DISCONNECT SWITCHES.

SUBMITTALS ARE REQUIRED FOR THE FOLLOWING LIGHT FIXTURES AND LAMPS, LIGHTING CONTROL SYSTEMS AND COMPONENTS OCCUPANT SENSING DEVICES, PANELBOARDS AND CIRCUIT BREAKERS, UNDERFLOOR DUCT SYSTEMS.

10. CONTRACTOR BID

CONTRACTOR'S BID SHALL BE BASED ON ALL WORK SHOWN ON THE PLANS AND AS SPECIFIED. ALL PREMIUM TIME COSTS REQUIRED SHALL BE INCLUDED IN THE BID. IF CONTRACTOR PROPOSES TO SUBSTITUTE FOR EQUIPMENT SPECIFIED, HE SHALL SUBMIT HIS REQUEST FOR CONSIDERATION TO THE OWNER AND ENGINEER PRIOR TO THE BID IN WRITING. ALL SUBSTITUTIONS MUST BE REVIEWED BY THE ENGINEER. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE REQUIREMENTS OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ANY CHANGES RESULTING FROM HIS PROPOSED SUBSTITUTIONS WHICH AFFECT OTHER PARTS OF HIS OWN WORK OR THE WORK OF OTHER CONTRACTORS.

CODES RULES AND REGULATIONS

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TITLE 24 COMPLIANCE DOCUMENTATION

CALIFORNIA ENERGY CONSERVATION STANDARDS TITLE 24 FOR NON-RESIDENTIAL BUILDING HAVE BEEN REVIEWED AND THE BUILDING DESIGN DESCRIBED ON THIS DRAWING IS IN SUBSTANTIAL COMPLIANCE.



L. R. Pando



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NEW WAREHOUSE BUILDING

911 S. MCGILNCTY LANE, CAMPBELL, CA

FOR BRANDON PASEK SAN JOSE, CA

SHEET TITLE: ELECTRICAL SPECIFICATIONS & SCHS.

JOB NO. 8089-19

DATE 03.12.19

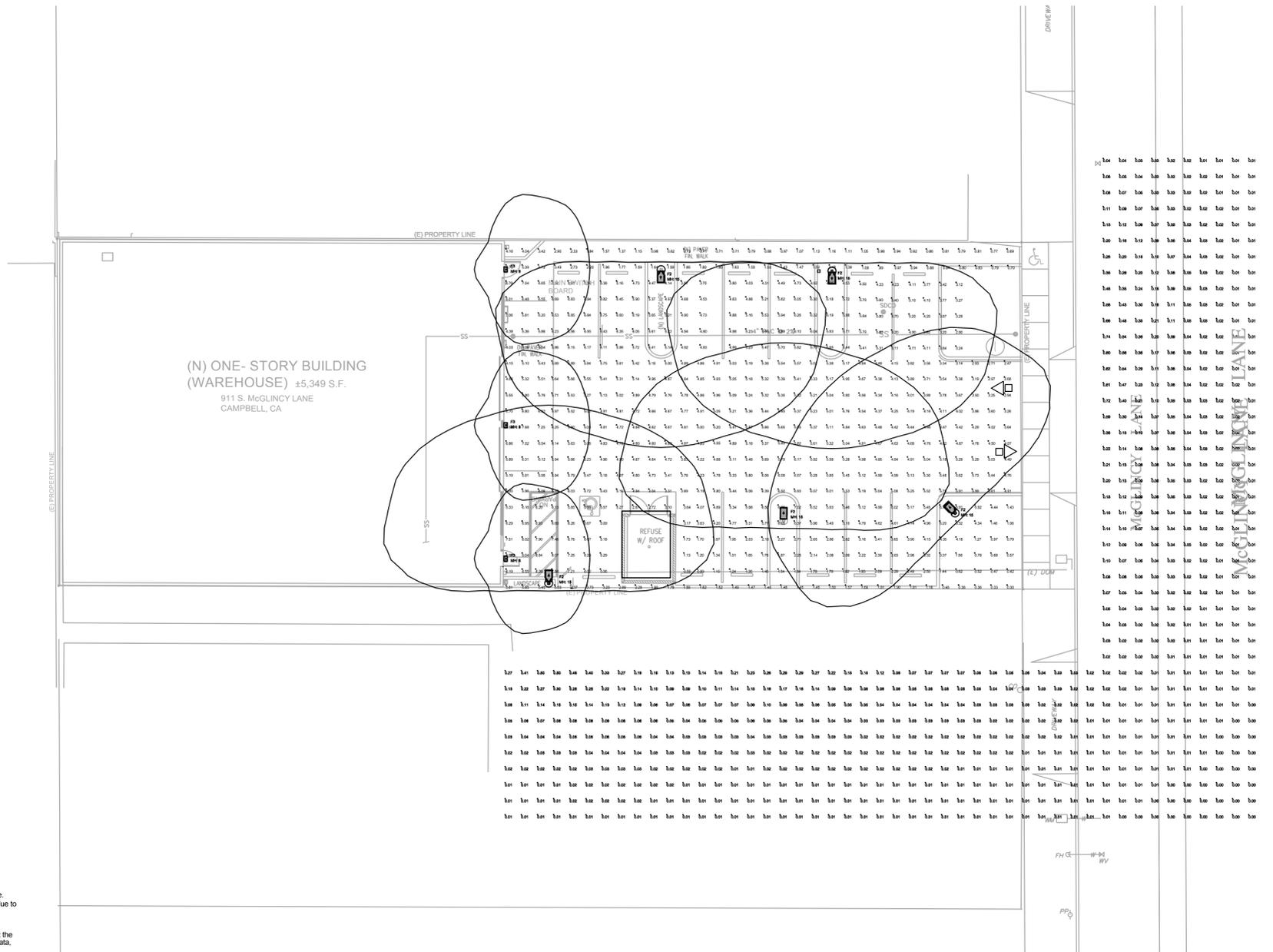
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SHEET NO.

E-2

Luminaire Schedule										
Symbol	Qty	Label	Description	Lum. Watts	Lum. Lumens	LLD	LDD	UDF	LLF	Filename
+	5	F2	GARDCO - P26-48L-400-NW-G2-4-HIS	60.07694	7200	0.944	0.900	1.000	0.850	P26-48L-400-NW-G2-4-HIS.ies
□	3	F3	GARDCO - 111L-16L-350-NW-G2-4	18	1768	0.944	0.900	1.000	0.850	111L-16L-350-NW-G2-4.IES

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	
Landscape	Illuminance	Fc	3.37	9.04	0.35	9.63	25.83		
Parking Area	Illuminance	Fc	4.82	8.84	1.09	4.42	8.11	Target: 0.75fc Min, 3fc Avg	
Spill Light	Illuminance	Fc	0.06	0.82	0.00	N.A.	N.A.	Target: Light Escape 15FT Beyond Site < 0.01FC Avg	



Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

1 SITE PHOTOMETRIC PLAN
SCALE: 1" = 10' - 0"



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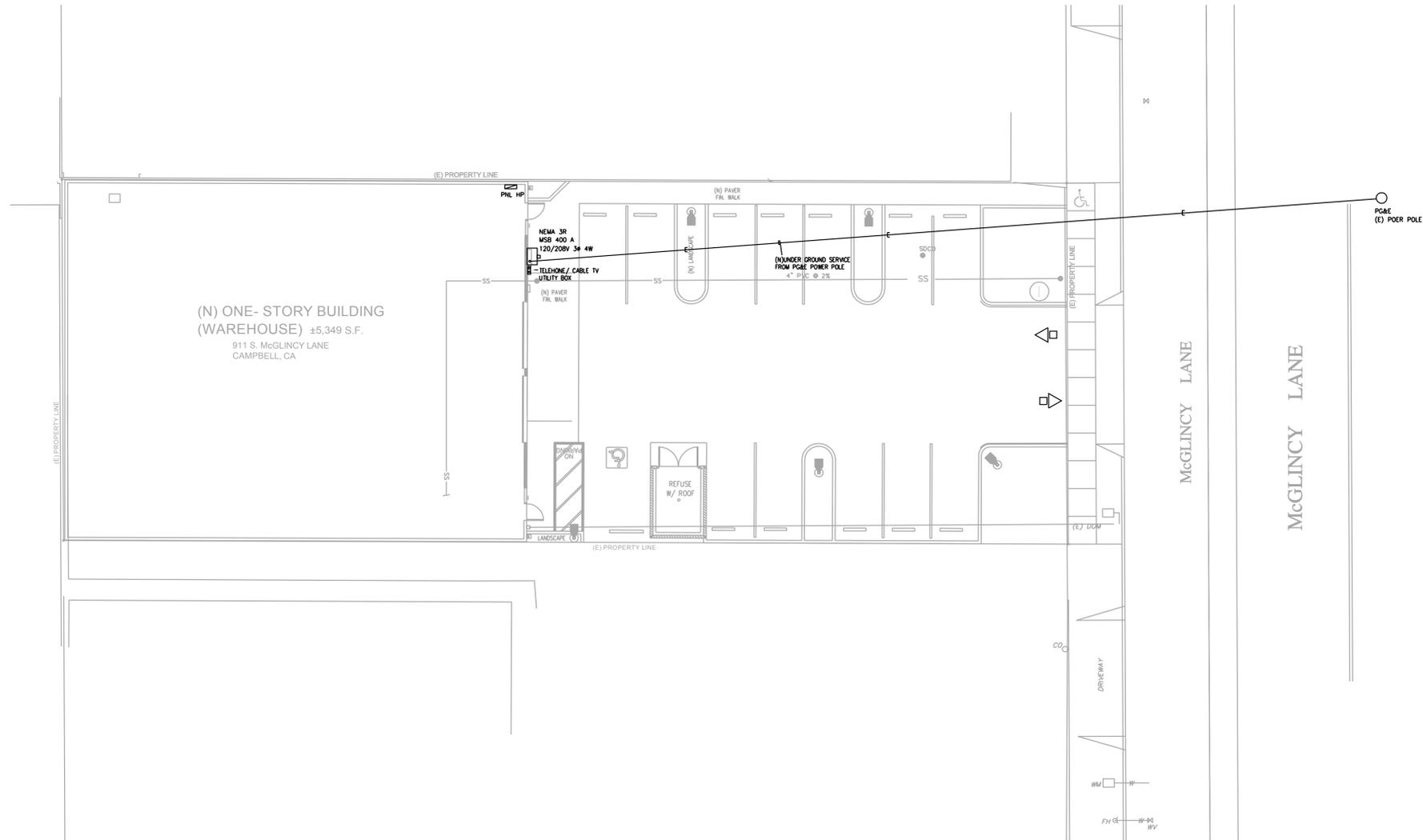


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WAREHOUSE BUILDING
911 S. MCGILINCY LANE, CAMPBELL, CA
FOR BRANDON PASEK SAN JOSE, CA
SHEET TITLE: SITE PHOTOMETRICS PLAN

JOB NO. 8089-19
DATE 03.12.19
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SHEET NO. EP-1



1 SITE POWER PLAN
 SCALE: 1" = 10' - 0"
 NORTH

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NEW WAREHOUSE BUILDING 911 S. McGLINCY LANE, CAMPBELL, CA	
FOR BRANDON PASEK	SAN JOSE, CA
SHEET TITLE SITE POWER PLAN	

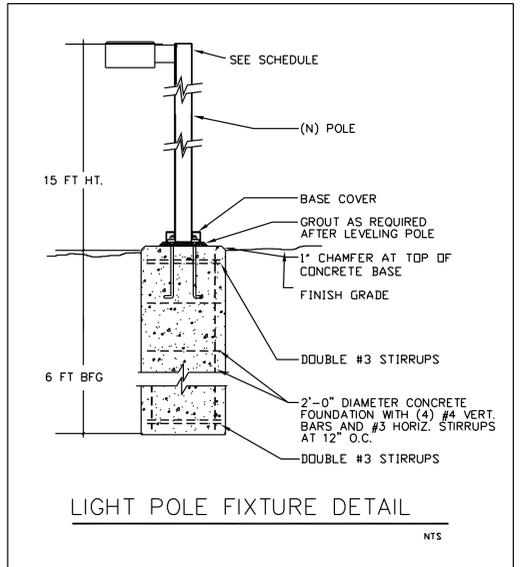
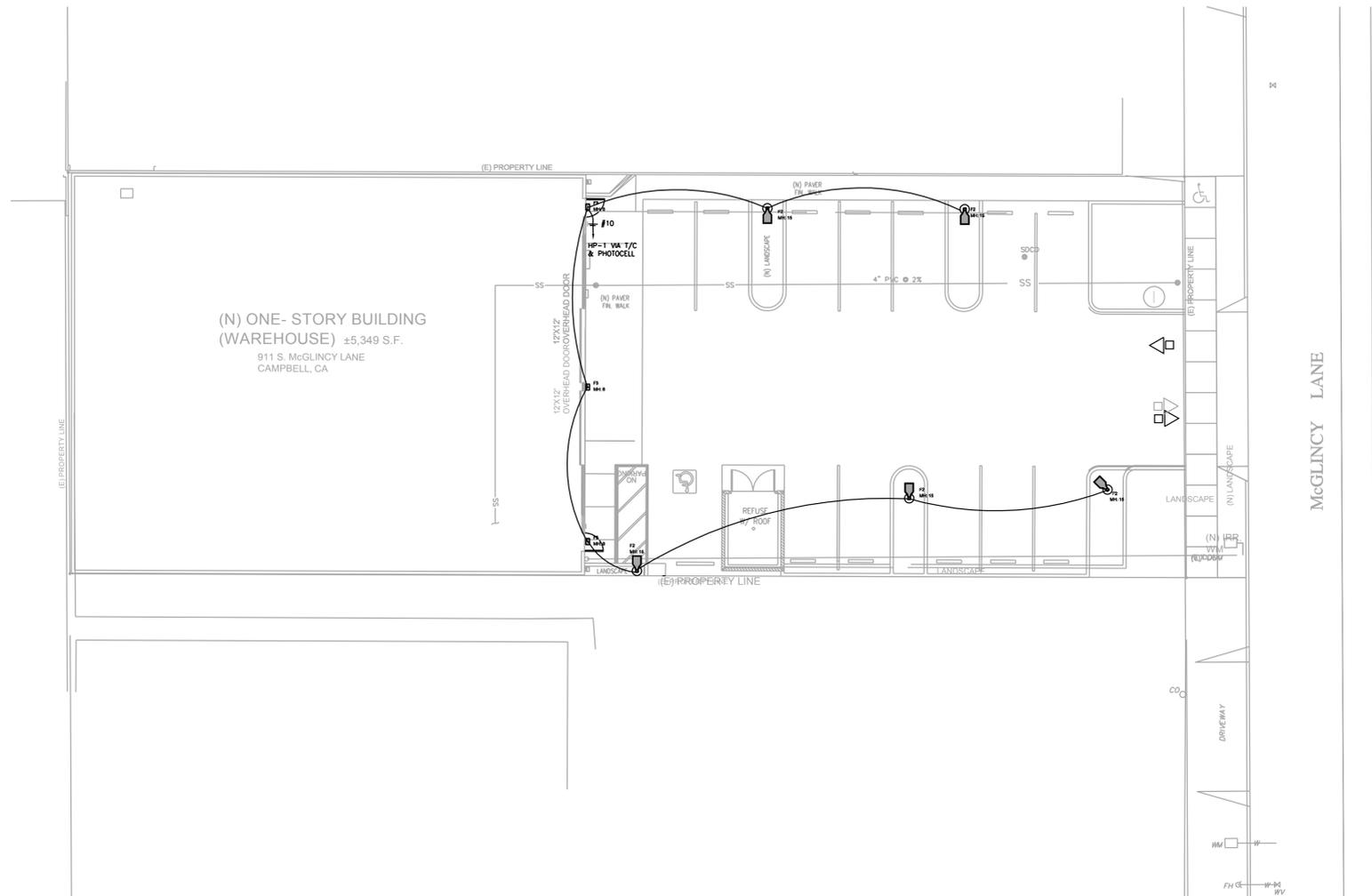
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DATE 03.12.19	DRAWN BY OLJAP



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1 SITE LIGHTING PLAN
 SCALE: 1" = 10' - 0"
 NORTH



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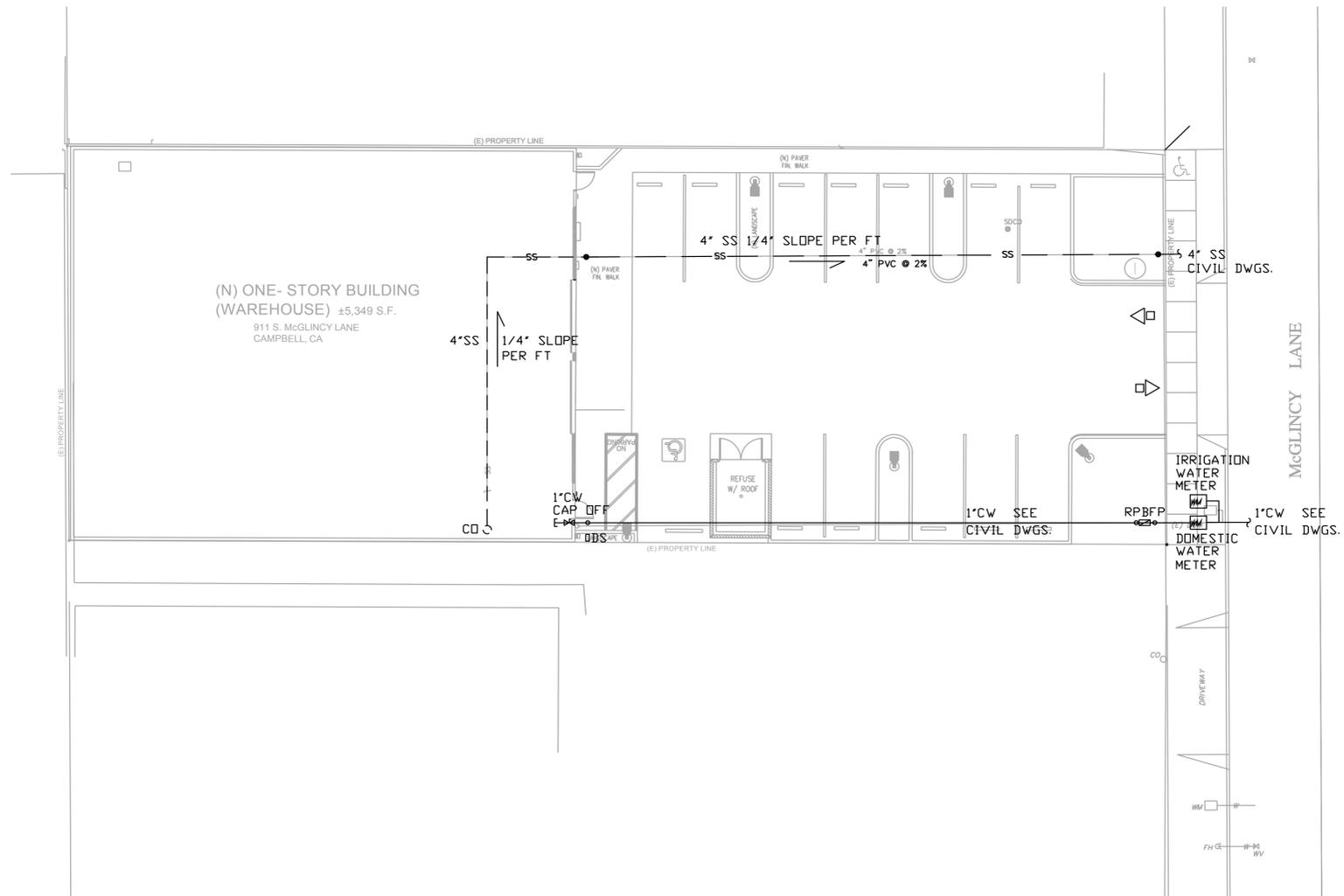
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NEW WAREHOUSE BUILDING 911 S. McGLINCY LANE, CAMPBELL, CA	
FOR BRANDON PASEK	SAN JOSE, CA
SHEET TITLE SITE LIGHTING PLAN	

JOB NO. 8089-19	SHEET NO. ES-2
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1 SITE PLUMBING PLAN
 SCALE: 1" = 10' - 0"



Anthony R. Pardo

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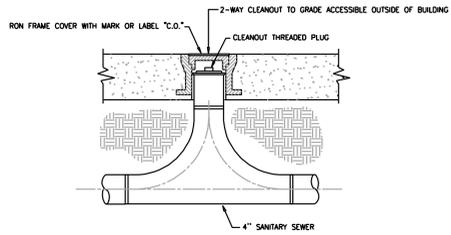
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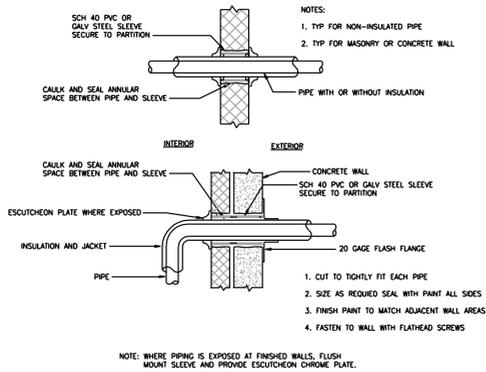
NEW WAREHOUSE BUILDING
 911 S. McGLINCY LANE, CAMPBELL, CA
 FOR BRANDON PASEK SAN JOSE, CA
 SHEET TITLE
SITE PLUMBING PLAN

JOB NO. 8089-19
 DATE 03.12.19
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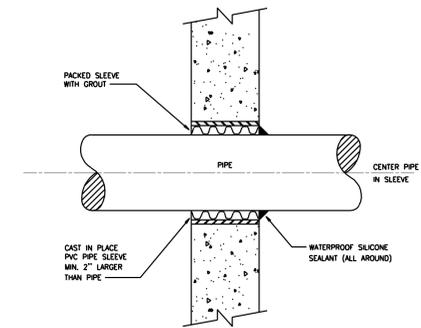
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PS-1



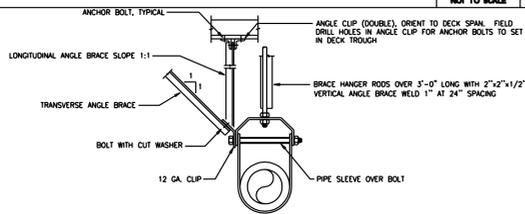
2-WAY CLEANOUT TO GRADE NOT TO SCALE 6



PIPE PENETRATION THROUGH WALLS NOT TO SCALE 3



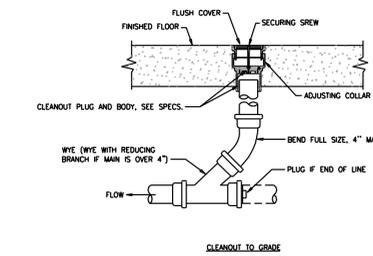
PIPE PENETRATION THROUGH FOOTING NOT TO SCALE 5



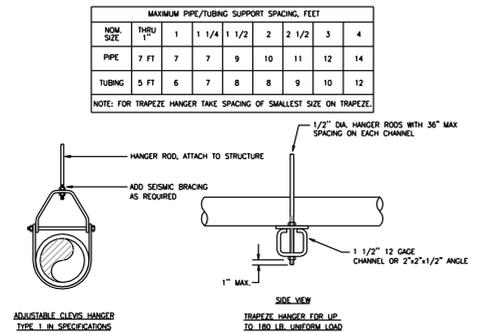
PIPE SIZE	ANGLE BRACE*	BOLT TO ANGLE	ANGLE CLIP**	ANCHOR BOLTS, OR RODS
2"	2"x2" 16 GA.	1/2"	3"x3/4"x1/2"x1'-4"	1/2"
3, 4"	2"x2" 16 GA.	1/2"	3"x3/4"x1/2"x1'-4"	1/2"
5, 6"	2.5"x2.5" 16 GA.	1/2"	5"x3/4"x1/2"x1'-4"	1/2"
8"	3"x3" 12 GA.	1/2"	2-5/8"x1/2"x1'-4"	2"
10"	3"x3" 12 GA.	1"	2-5/8"x1/2"x1'-4"	2"

* 2" x 2" x 1/2" GALV CHANNEL MAY BE USED
 ** BENT PLATE OF EQUAL THICKNESS MAY BE SUBSTITUTED FOR LONGITUDINAL ANGLE CLIP TO FACILITATE ANCHORAGE TO SLAB TROUGHS. PROVIDE EQUAL NUMBER OF ANCHOR BOLTS TO THAT SHOWN.
 *** PROVIDE MINIMUM EMBEDMENT OF 1 1/2" ABOVE TOP OF METAL DECK FOR ALL ANCHOR BOLTS. ALL ANCHOR BOLTS SHALL BE OF NON-EPOXY TYPE

SEISMIC SUPPORT FOR PIPES NOT TO SCALE 2



FLOOR CLEANOUT NOT TO SCALE 4



PIPING SUPPORT NOT TO SCALE 1

FIXTURE AND EQUIPMENT SCHEDULE

MARK	FIXTURE / EQUIPMENT	MODEL NO.	SIZE / CAPACITY	TRM / ACCESSORIES	REMARKS
FD	FLOOR DRAIN	"J.R. SMITH" 2010 AD	PIPE SIZE PER DWG 4" MAXIMUM	TOP SET FLUSH WITH FLOOR TRAP PRIMER CONNECTION	
FCO	FLOOR CLEANOUT	"J.R. SMITH" 4032	PIPE SIZE 4" MAXIMUM	TOP SET FLUSH WITH FLOOR	
WCO	WALL CLEANOUT	"J.R. SMITH" 4472	PIPE SIZE 4" MAXIMUM	LOCATE ON FIXTURE SIDE	
COTG	CLEANOUT TO GRADE	"J.R. SMITH" 4591	PIPE SIZE 4" MAXIMUM	CHRISTY G-5 CONCRETE BOX W/ C.I. LID MARKED "SEWER"	
HB-2	HOSE BOX	"ACORN" 6166	3/4" PIPE SIZE	STAINLESS STEEL RECESSED HOSE BOX W/ WALL FLANGE	
RD-1	ROOF DRAIN	"J.R. SMITH" 1010-CRU	PIPE SIZE 4" MAXIMUM	UNDER DECK CLAMP, SUMP RECEIVER, CAST IRON DOME	
MV	MIXING VALVE	SEE ARCH DWG	TYPE TM	RECESSED MOUNTED WALL BOX	
SA	SHOCK ARRESTOR	"J.R. SMITH" 5000 SERIES		FACTORY PRE-CHARGED	
TP	TRAP PRIMER	"J.R. SMITH" 2899		1/2" COPPER FITTINGS	

PLUMBING SYMBOLS

	GATE VALVE		PRESSURE GAUGE
	BALL VALVE		VACUUM GAUGE
	BUTTERFLY VALVE		THERMOMETER
	GLOBE VALVE		FLEX CONNECTOR (METALLIC)
	DIAPHRAGM VALVE		FLEX CONNECTOR (NON-METALLIC)
	BALANCE VALVE		HOSE BIBB OR SERVICE OUTLET
	PLUG VALVE		QUICK COUPLER
	NEEDLE VALVE		CAP ON END OF PIPE
	ANGLE VALVE		PLUG ON END OF PIPE
	CHECK VALVE		CLEANOUT (TO SUIT SURFACE)
	PRESSURE REGULATOR VALVE		FLOW DIRECTION IN PIPE
	RELIEF VALVE		PIPE DROP (ELBOW)
	3-WAY VALVE		PIPE RISER (ELBOW)
	2-WAY SOLENOID VALVE		RISE OR DROP (DIRECTION OF FLOW)
	3-WAY SOLENOID VALVE		PIPE DRIP (TEE)
	BACKPRESSURE REGULATING VALVE		INSERTION FITTING (PETE'S PLUG)
	AIR ACTUATED VALVE MOTOR		SHOWER
	ELECTRIC ACTUATED VALVE MOTOR		EMERGENCY
	BACKFLOW PREVENTER ASSEMBLY		FLOW SWITCH
	OS & Y VALVE		PRESSURE SWITCH
	STOP COCK		FLOW METER
	STRAINER		VACUUM SWITCH
	UNION		SHUT OFF VALVE IN BOX
	FLANGE CONNECTION		

FIXTURE UNIT LOADING SCHEDULE

SERVICE	MAXIMUM FIXTURE UNIT LOADING OF WATER, DRAIN AND VENT PIPING								
	NOMINAL PIPE SIZE - INCHES								
	1/2	3/4	1	1-1/4	1-1/2	2	2-1/2	3	4
WATER (SERVING FLUSH VALVES)	-	-	5	10	16	45	140	250	-
WATER (NO FLUSH VALVES)	4	10	20	50	50	120	220	-	-
DRAINAGE (VERTICAL)	-	-	-	-	2 (2)	16 (4)	32 (4)	48	256
DRAINAGE (HORIZONTAL)	-	-	-	-	1 (4)	8	14 (4)	35	180
VENT	-	-	-	1 (3)	8 (4)	24 (4)	48	84	256
X	X	X	X	X	X	X	X	X	X

- THIS SCHEDULE SHALL BE USED TO SIZE PIPING NOT SHOWN ON DRAWINGS. REFER ALSO TO LATEST EDITION OF UNIFORM PLUMBING CODE FOR REQUIREMENTS NOT COVERED IN THIS SCHEDULE, ON PLANS OR IN SPECIFICATIONS. WHERE UNIFORM PLUMBING CODE DIFFERS FROM THE CONTRACT DOCUMENTS, THE MOST STRINGENT REQUIREMENT WILL GOVERN.
- EXCEPT SINKS AND URINALS.
- VERTICAL ONLY.
- EXCEPT SIX-UNIT TRAPS OR WATER CLOSETS.

DOMESTIC WATER PIPE SIZING CALCS

MAXIMUM UNIT SUPPLY DEMAND: = 19
 MINIMUM PRESSURE @ HIGHEST FIXTURE: 15 PSI
 SERVICE PRESSURE @ METER: 49 PSI
 DEVELOPED LENGTH FROM FIXTURE: 120 FT TO HIGHEST FIXTURE
 ELEVATION @ HIGHEST FIXTURE: 15 FT
 DEMAND GPM FROM CHART A-2: 26 GPM
 PRESSURE AVAILABLE FOR FRICTION LOSS: 49-15-(0.43x15) = 27.55 PSI
 PRESSURE LOSS PER 100 FT: 27.55/1.2 = 22.95 PSI
 SUPPLY SIZE FROM CHART A-4: 1" CW. USE 1" CW



and R. Andia

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NEW WAREHOUSE BUILDING
 911 S. McGINCY LANE, CAMPBELL, CA
 FOR BRANDON PASEK SAN JOSE, CA
 SHEET TITLE: **PLUMBING SCHEDULES & DETAILS**

JOB NO.
 8089-19
 DATE
 03.12.19
 DRAWN BY
 OL/AP

SHEET NO.
P-1