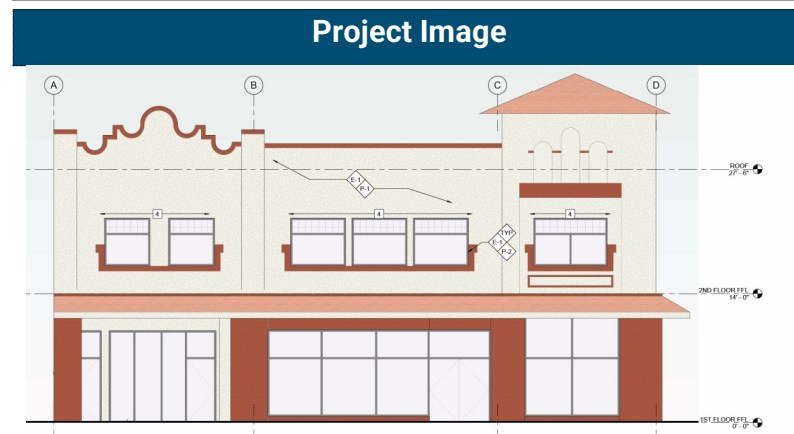






City of Campbell
70 North First Street
Campbell, CA 95008 -1423



Notice of Public Hearing

Dear Campbell Resident,

March 15, 2023

The Planning Commission of the City of Campbell will hold a Public Hearing at 7:30 p.m., or shortly thereafter, on Tuesday March 28, 2023, in the City Hall Council Chambers, 70 North First Street, Campbell, California, to consider the following item:

Project Address: 415 E. Campbell Avenue

Zoning | Area Plan: C-3 | Downtown Campbell Development Plan & Standards

Neighborhood Association(s): Downtown Campbell Neighborhood Association

File No.: PLN-2022-145

APN: 279-41-008

Applicant: TOPA Architecture

Property Owner: 415 East Campbell LLC

Application Type: Historic Resource Alteration and Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow the exterior façade alteration, including repainting and the removal of existing awnings, of an existing commercial building listed on the Campbell Historic Resource Inventory as a designated structure of merit, commonly known as the B.O. Curry Building

You may participate virtually or watch online:

- ◇ Register online to speak via Zoom:
(<https://campbellca.gov/PCSignup>.)
- ◇ Watch YouTube live-stream:
(<https://www.youtube.com/user/CityofCampbell>.)

Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Services (CRS) or by telephoning any other providers' CRS telephone number. We may provide appropriate aids and communication services for qualified persons with disabilities such as: sign language interpreters, assistive hearing devices, and other services for people with speech vision, and hearing impairments

Please be advised that if you challenge this item in court, you may be limited to raising only those items identified at the Public hearing or submitted in writing to the Planning Division at, or prior to, the Public Hearing. Failure to exhaust all administrative appeals may preclude a challenge in court.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

****Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español**



DIRECTORY

CLIENT

NEWMARK | KEVIN CUNNINGHAM
415 E. CAMPBELL AVE., SUITE 100 CAMPBELL
SAN JOSE, CA , 95008
PHONE: 650-688-8521
EMAIL: Kevin.Cunningham@nmrk.com

ARCHITECTURE

TOPA ARCHITECTURE | GENO CATALANO
1150 N. 1ST ST. STE 140
SAN JOSE, CA 95112
PHONE: (408)320-0248
EMAIL: geno@topaarchitecture.com

FIRE DEPT NOTES

- 1. TYPE 'A' FIRE EXTEINGUISHER TO BE WITHIN 75' OF ANY GIVEN AREA

APPLIED CODES

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- ALONG WITH ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGUALTIONS

TENANT IMPROVEMENT | REMODEL

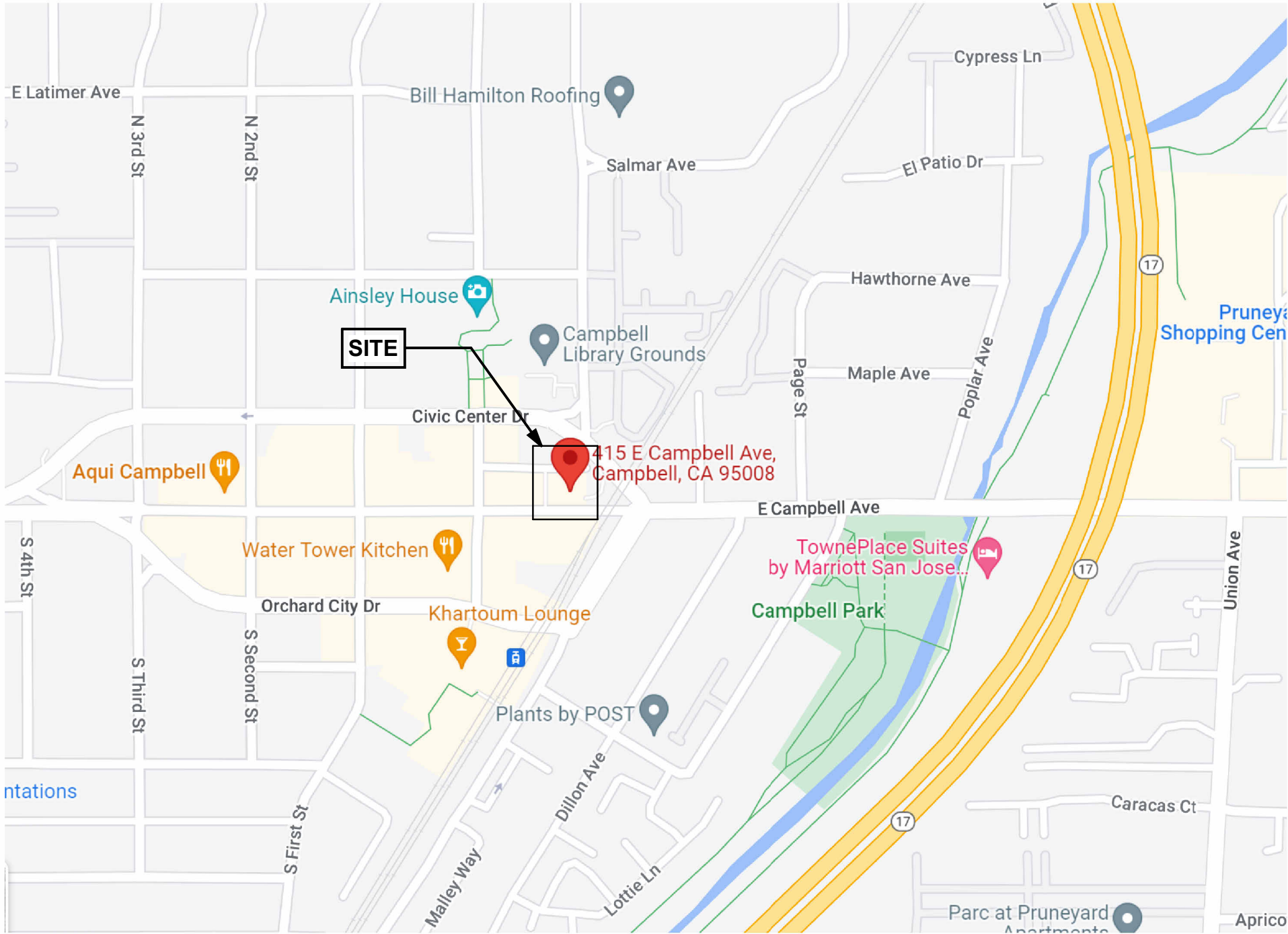
415 E. CAMPBELL LL IMPROVEMENTS

415 E CAMPBELL AVE. STE 100. CAMPBELL, CA 95008



NOTE: THIS IMAGE IS FOR CHARACTER PURPOSES ONLY. USE THIS ENTIRE SET FOR COMPLETE CONSTRUCTION INFORMATION

VICINITY MAP



PROJECT SUMMARY

APN	279-41-008		
CONSTRUCTION TYPE	VB		
OCCUPANCY	B/M/A2		
OCCUPANT LOAD	MATCH NUMBER FROM SCHEDULE		
ZONING	C-3, CENTRAL BUSINESS DISTRICT		
SPRINKLED	NO		
STORIES	2	GROSS LOT AREA	5,850 SQFT
AREA OF WORK	# SQFT	NET LOT AREA	5,850 SQFT
EXISTING FLOOR AREA	9,485 SQFT	FAR	9,575/5,850 = 1.63
NEW FLOOR AREA	90 SQFT	NEW TOTAL AREA	9,575 SQFT
FRONT SETBACK	N/A	REAR SETBACK	N/A
SIDE SETBACK	N/A		

CITY STAMP

SHEET LIST

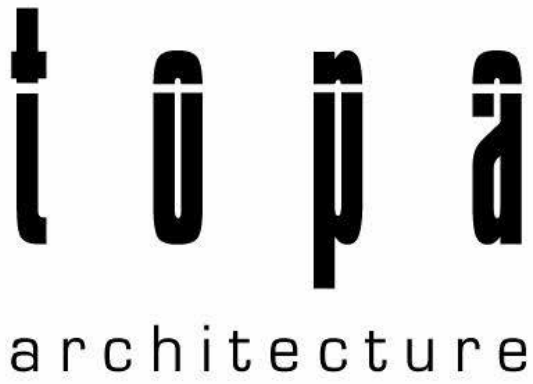
AP0.1	PLANNING COVER SHEET
AP0.3	EXISTING SITE PHOTOS
AP1.0	PLANNING SITE PLAN
AP1.2	SITE PLAN DETAILS
AP1.3	EXISTING/DEMO PLAN
AP1.6	DEMO ELEVATIONS
AP2.1	PROPOSED FLOOR PLANS
AP2.2	DIMENSION PLAN
AP3.1	PLANNING EXTERIOR ELEVATIONS

PROJECT DESCRIPTION

1. REMOVE EXTERIOR CANOPIES AND PATCH THE HOLES LEFT BEHIND.
2. REPAINT THE EXTERIOR AS NOTED ON THE EXTERIOR ELEVATIONS
3. PARTIAL STOREFRONT REPLACEMENT

ALLOWABLE FLOOR AREA

1ST FLOOR	5,317 S.F	2ND FLOOR	4,168 S.F
TYPE OF CONSTRUCTION	V-B	TYPE OF CONSTRUCTION	V-B
OCCUPANCY	A-2	OCCUPANCY	B
STORIES	1	STORIES	1
SPRINKLED	NO	SPRINKLED	NO
BASIC ALLOWABLE AREA	6,000 S.F	BASIC ALLOWABLE AREA	9,000 S.F
CALCULATION		CALCULATION	
5,317/6,000 = 0.88 OK		4,168/9,000 = 0.46 OK	
$I_r=[F/P - 0.25]W/30$ F= 245 P= 310 $245/310-0.25= 0.54$ $W= 4000/245=16.3$ $W=16.3/30=$ $W= 0.54$ $I= 0.54 \times 0.54= 0.29$		$A_n=[A_1 + (NS * I_r)]$ $A= (9000+6000)+ (9000+ 5500 \times 0.29)=$ $15000 + 4205 = 19,205$	
TOTAL S.F= 9,485 S.F			



1150 North First St. #140

San Jose CA, 95112

Tel (408) 320 0248

GENERAL NOTES:

1. THIS SHEET IS PART OF A SET & IS NOT TO BE USED ALONE.
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PROJECT:

415 E
CAMPBELL LL
IMPROVMENTS

415 E CAMPBELL AVE. STE 100.
CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

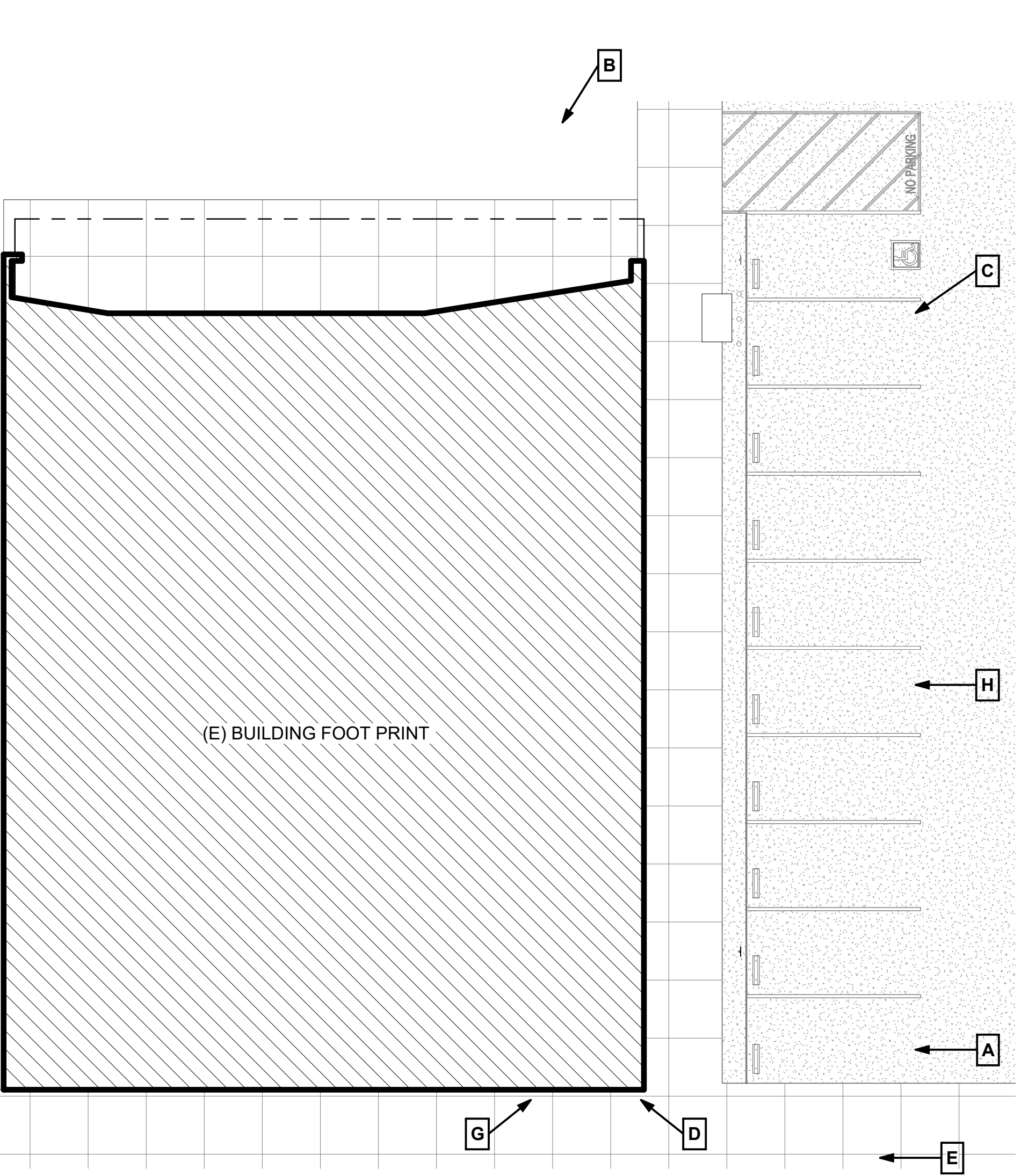
PLANNING COVER SHEET

REVISIONS

No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP0.1



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IMPROVMENTS

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CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

EXISTING SITE PHOTOS

REVISIONS		
No.	Description	Date

DRAWN:	GC
CHECKED:	RT
DATE:	11/03/2022
SCALE:	3/32" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

CITY STAMP

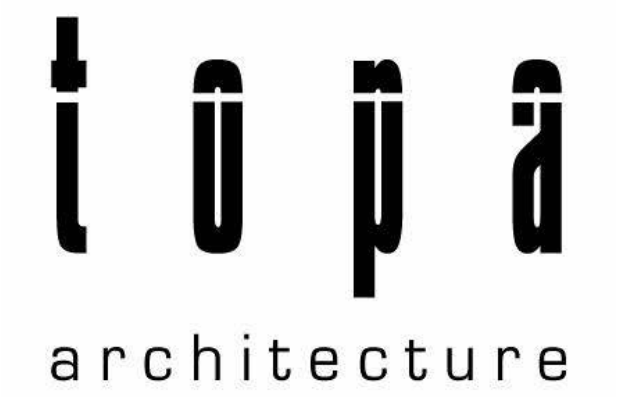
SITE PLAN KEYNOTES

- | | |
|---|---------------------------------------|
| 1 | (E) ACCESSIBLE PARKING TO REMAIN |
| 2 | (E) PARKING STALLS TO REMAIN |
| 3 | (E) ELECTRICAL TRANSFORMER TO REMAIN |
| 4 | (E) ACCESSIBLE PARKING SIGN TO REMAIN |
| 5 | (E) BOLLARDS TO REMAIN |
| 6 | NO SCOPE |

GENERAL NOTES

ACCESSIBLE PATH OF TRAVEL, PER CBC 11B-403 NOTES:

- MUST BE CONTINUOUSLY ACCESSIBLE W/ WALKING DIRECTIONAL SLOPE MAX 1:20 AND GROSS SLOPE MAX OF 2%
- MUST HAVE MAX SLOPE OF 2% IN ANY DIRECTION IN LOADING AREAS AND AT EACH TURN OF INTERSECTION OF PATHS OF TRAVEL
- HOLD A MAX OF 1/4" CHANGE IN ELEVATION W/O BEVELED EDGE. 1/2" CHANGE IN ELEVATION W/ BEVELED EDGE NOT STEEPER THAN 1:2
- IS MIN 48" IN WIDTH
- WHEN NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5%, SHALL HAVE PEDESTRIAN RAMPS



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CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

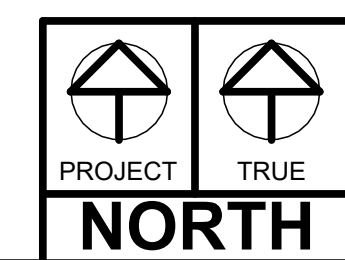
PLANNING SITE PLAN

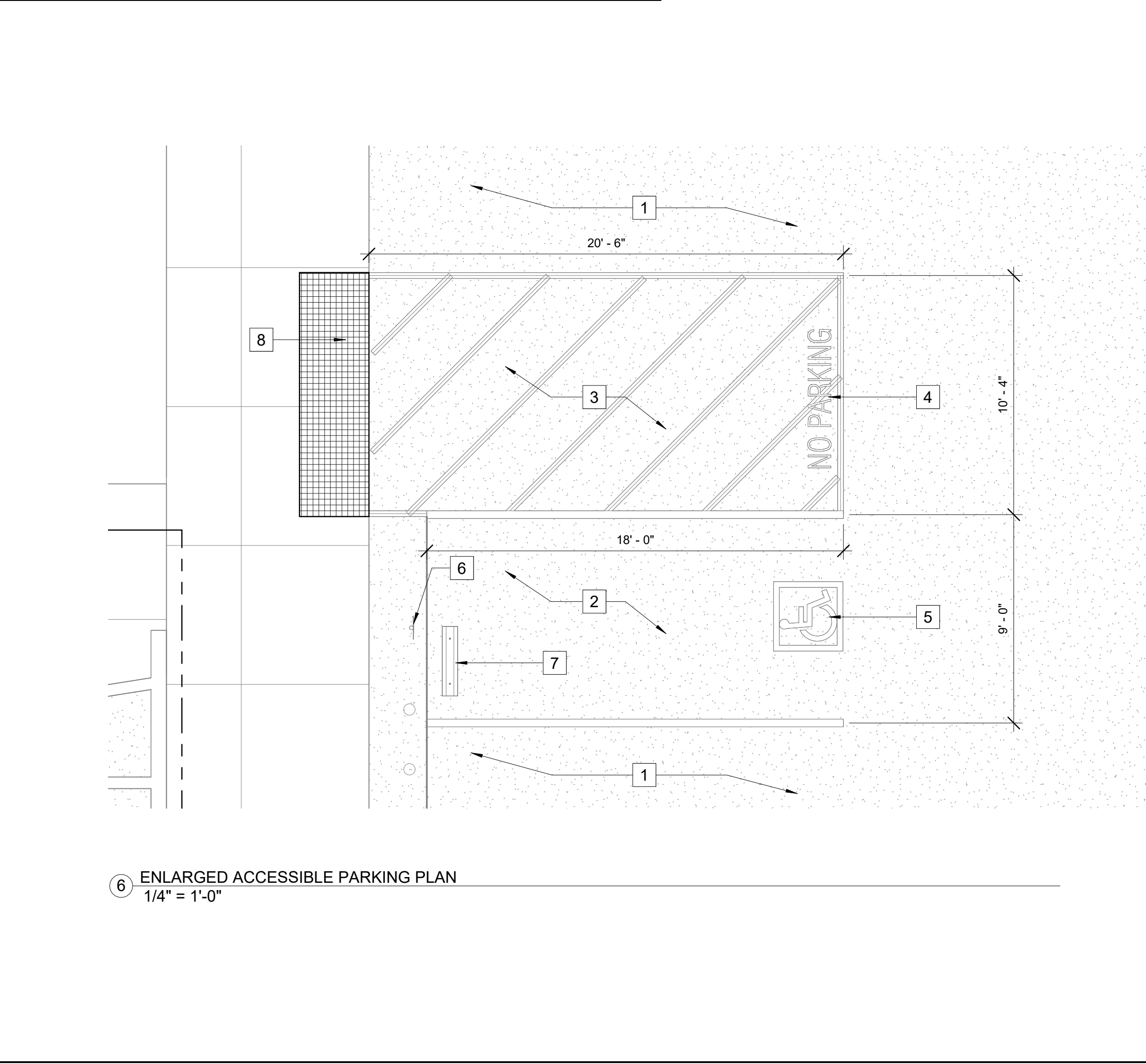
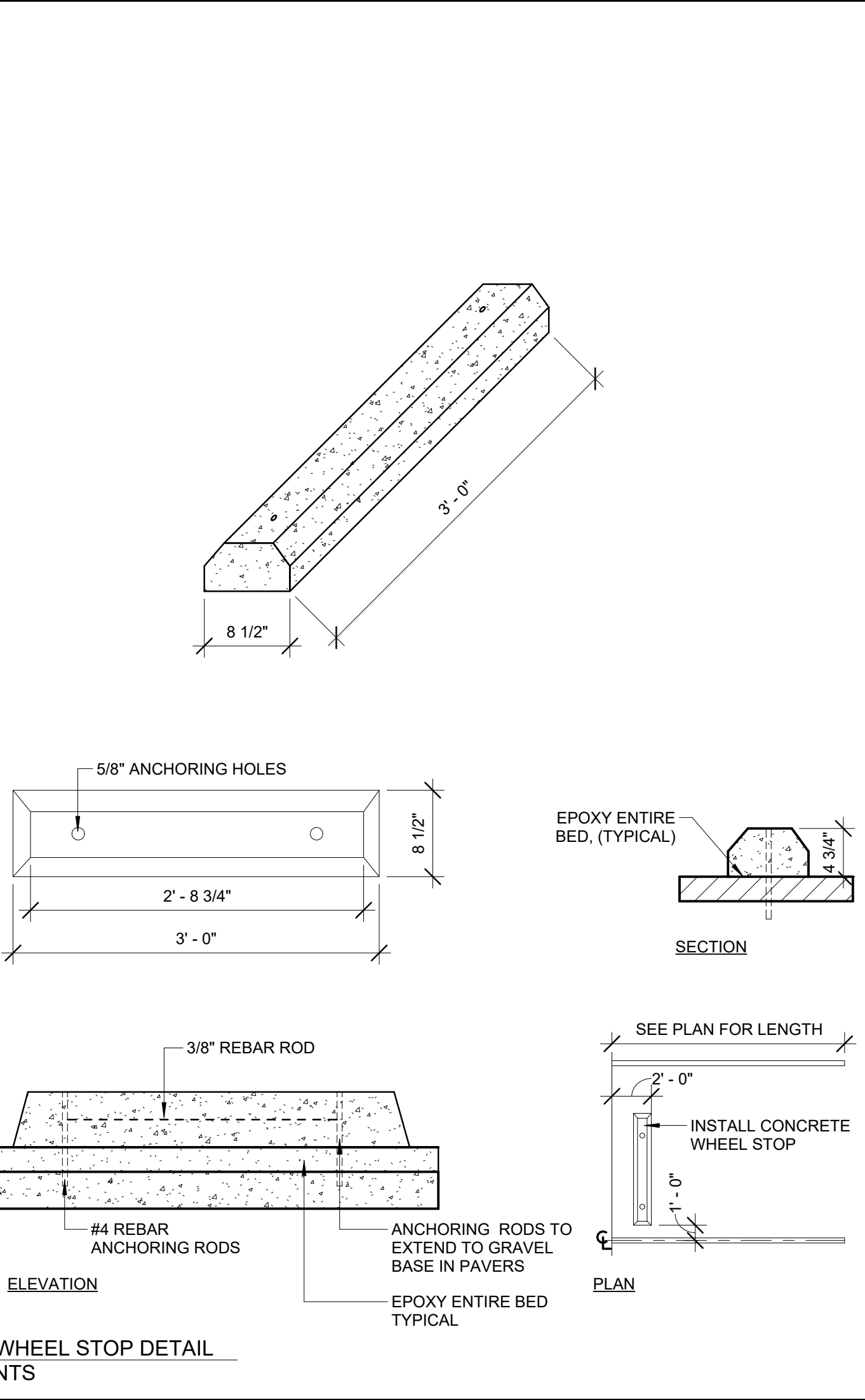
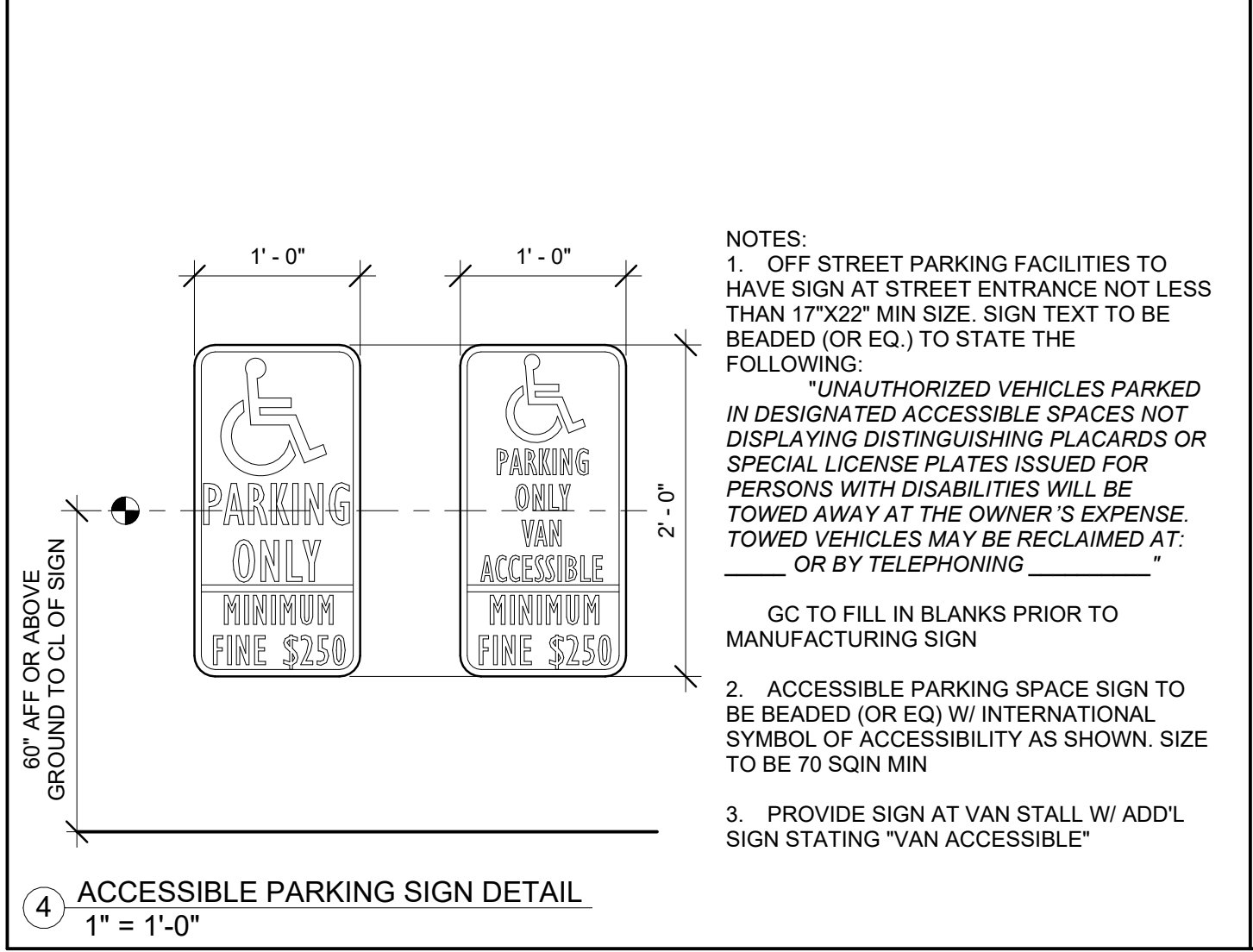
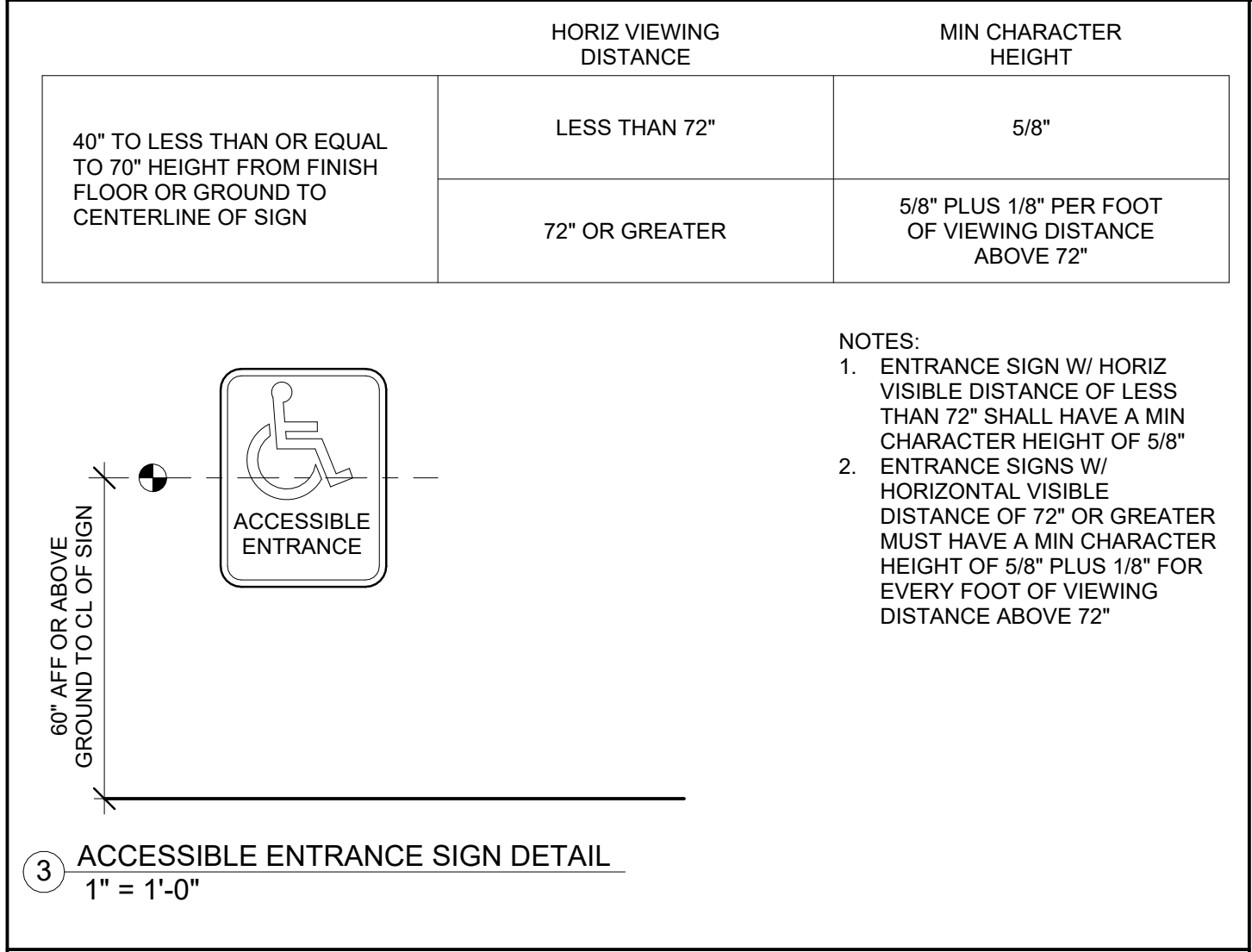
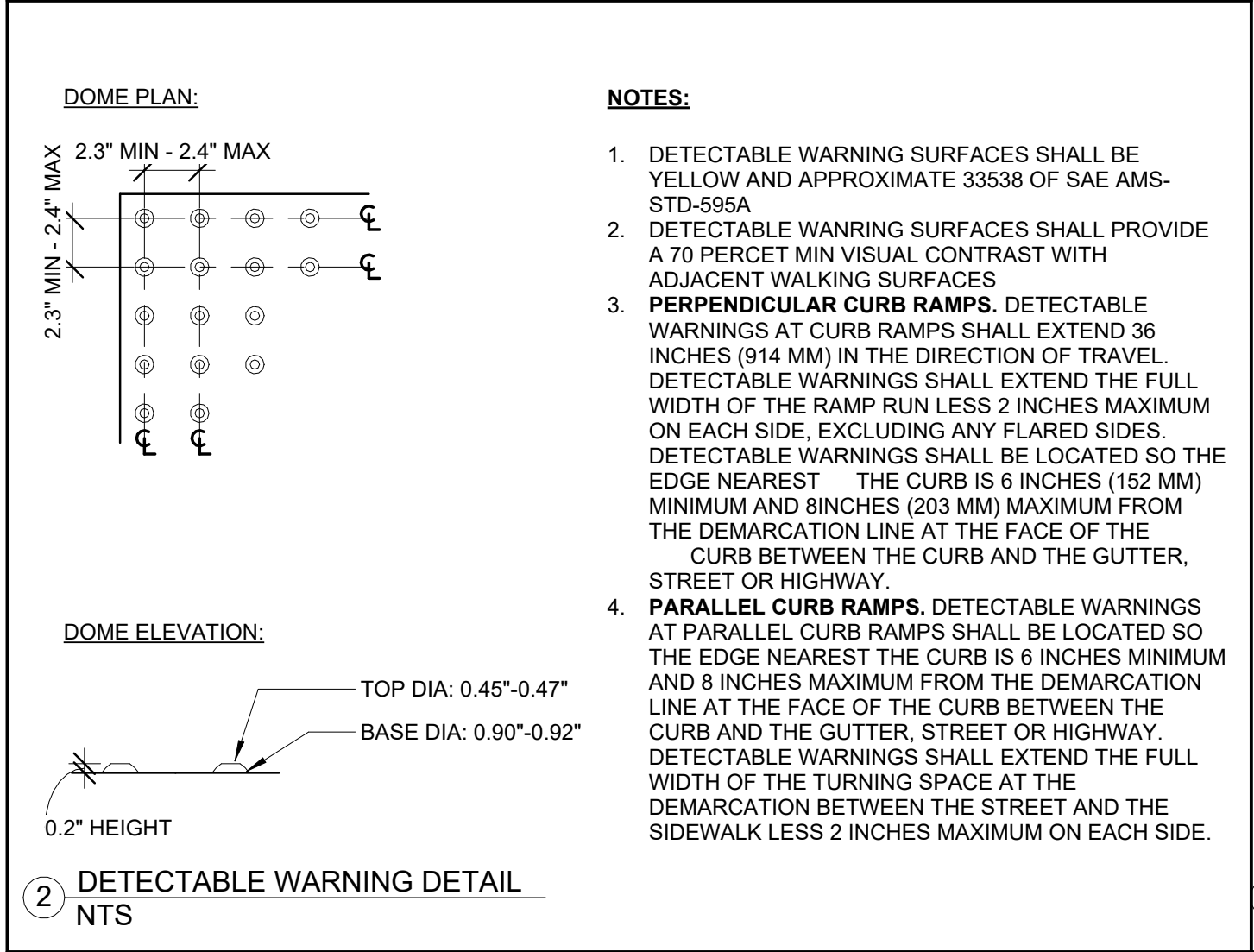
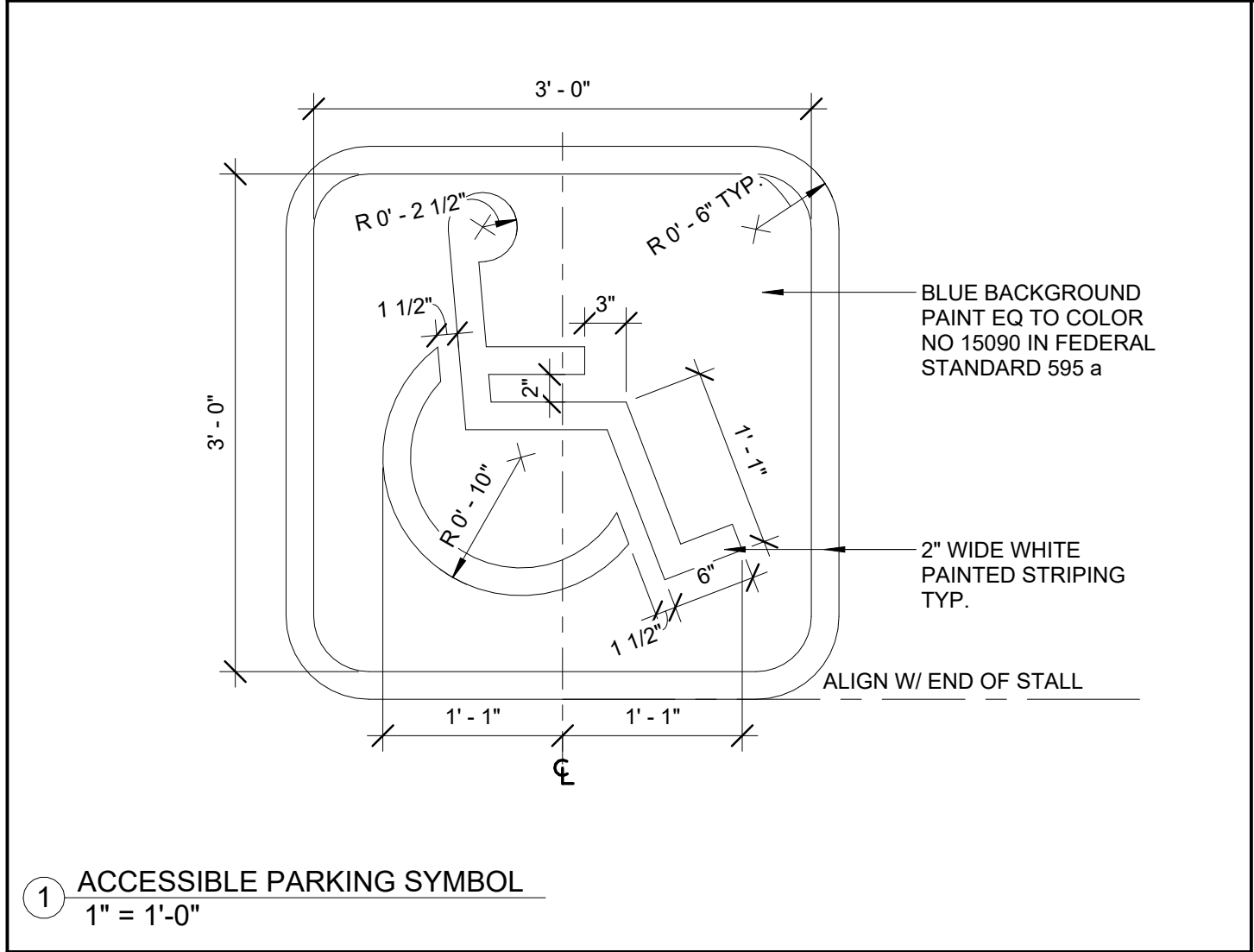
REVISIONS

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DATE:	11/03/2022
SCALE:	As indicated
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP 1.0





CITY STAMP

ACCESSIBLE PARKING PLAN KEYNOTES

1 (E) PARKING STALL TO REMAIN

2 (E) ACCESSIBLE PARKING STALL TO REMAIN

3 (E) ACCESS AISLE STRIPING TO REMAIN

4 (N) 12" HIGH WHITE LETTERS "NO PARKING"

5 (E) ACCESSIBLE PARKING SYMBOL TO REMAIN

6 (E) ACCESSIBLE PARKING SIGN TO REMAIN

7 (E) WHEEL STOP TO REMAIN

8 (N) DETECTABLE WARNING

MATCH SCALE TO PLAN

GENERAL NOTES

ACCESSIBLE PATH OF TRAVEL, PER CBC 11B-403

NOTES:

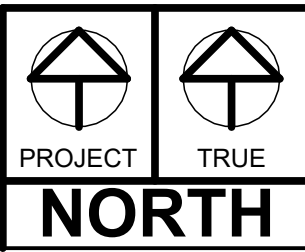
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MUST HAVE MAX SLOPE OF 2% IN ANY DIRECTION IN LOADING AREAS AND AT EACH TURN OF INTERSECTION OF PATHS OF TRAVEL

HAVE A MAX OF 1/4" CHANGE IN ELEVATION W/O BEVELED EDGE. 1/2" CHANGE IN ELEVATION W/ BEVELED EDGE NOT STEEPER THAN 1:2

IS MIN 48" IN WIDTH

WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5%, SHALL HAVE PEDESTRIAN RAMPS



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PROJECT:

415 E CAMPBELL LL IMPROVMENTS

415 E CAMPBELL AVE. STE 100. CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

SITE PLAN DETAILS

REVISIONS

No.	Description	Date

DRAWN: GC

CHECKED: GC

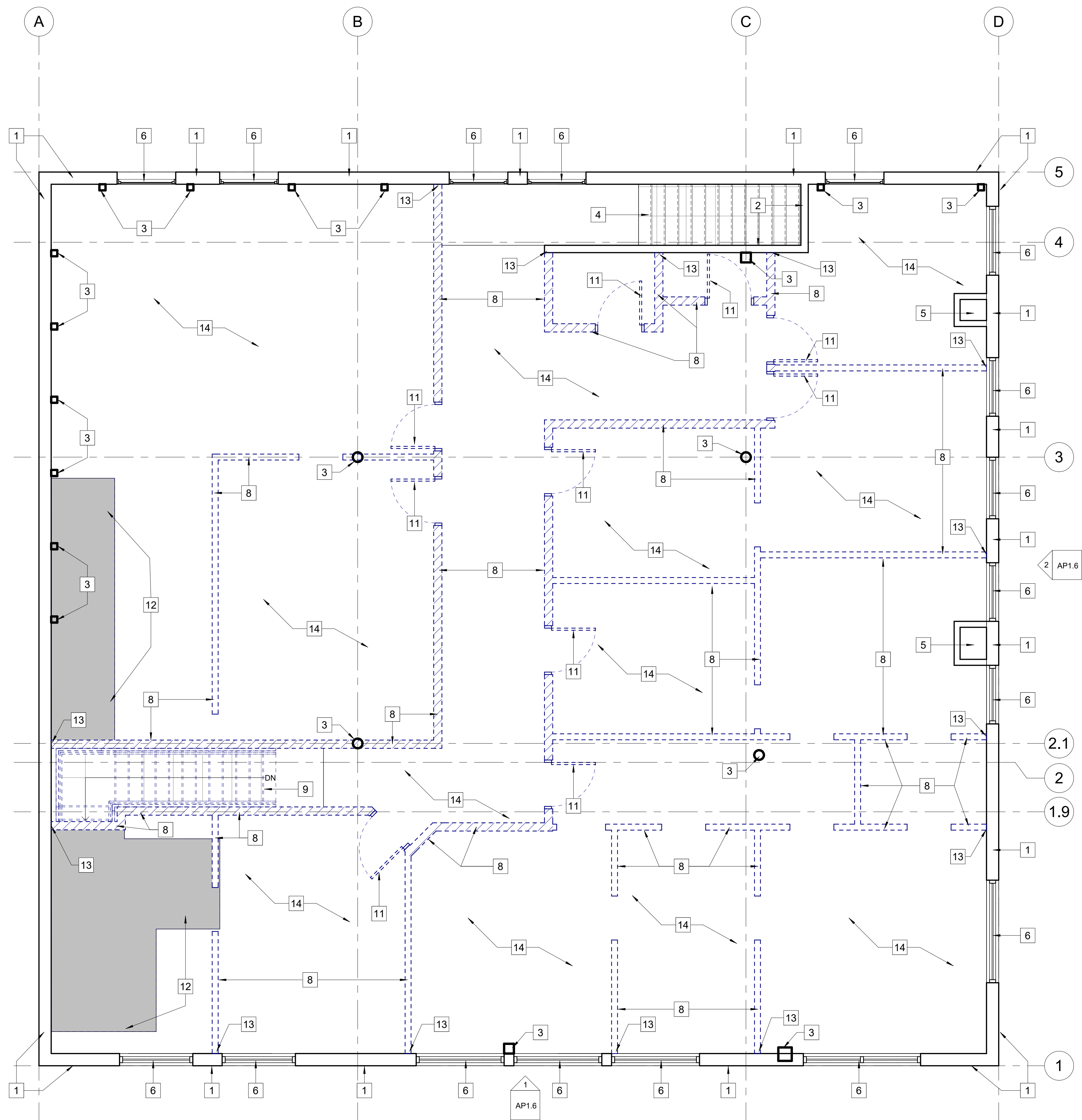
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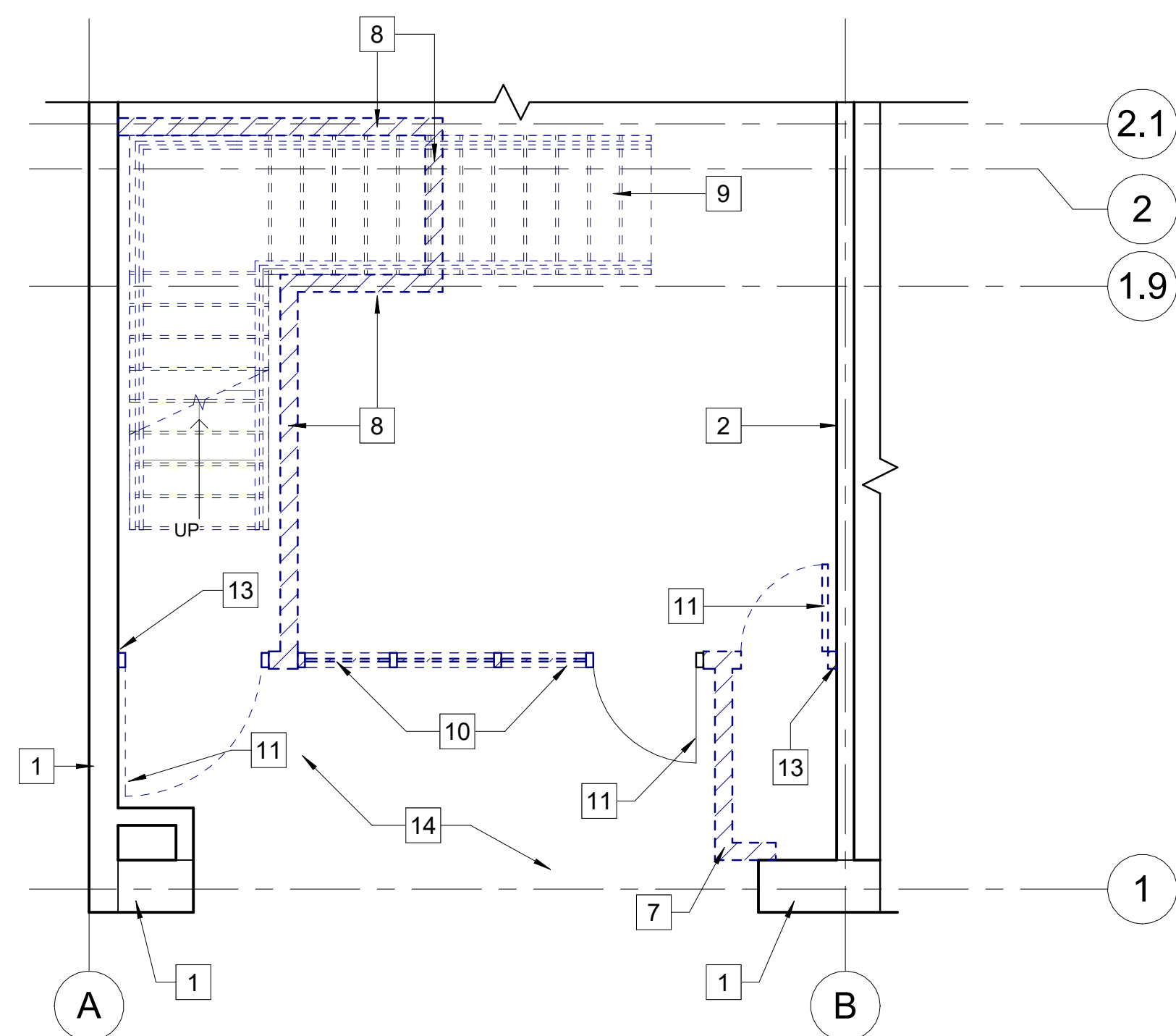
JOB No.: 22-5-08-CAMPBELL

SHEET No.:

AP1.2



③ 2ND FLOOR DEMO PLAN
1/4" = 1'-0"



① DEMO FIRST FLOOR PLAN
1/4" = 1'-0"

CITY STAMP

DEMO PLAN KEYNOTES

- 1 (E) EXTERIOR WALL TO REMAIN
- 2 (E) INTERIOR WALL TO REMAIN
- 3 (E) COLUMN TO REMAIN. PREP FOR (N) PAINT
- 4 (E) STAIRS TO REMAIN
- 5 (E) SHAFT TO REMAIN
- 6 (E) WINDOW TO REMAIN. PROTECT FROM DAMAGE AND DEBRIS DURING CONSTRUCTION
- 7 (E) EXTERIOR WALL TO BE REMOVED
- 8 (E) INTERIOR WALL TO BE REMOVED. SEE DEMO WALL LEGEND
- 9 (E) STAIRS AND RAILINGS TO BE REMOVED
- 10 (E) STOREFRONT TO BE REMOVED
- 11 (E) DOOR TO BE REMOVED
- 12 SHADED PORTION OF (E) FLOOR TO BE REMOVED
- 13 PATCH AND REPAIR (E) WALL WHERE DEMO OCCURED
- 14 FLOOR TO REMAIN. FLOOR FINISHES TO BE REMOVED

GENERAL NOTES

1. SEE DOOR SCHEDULE FOR TREATMENT OF DOORS TO REMAIN

DEMO WALL LEGEND

	(E) WALL TO REMAIN
	(E) INTERIOR MTL STUD WALL TO BE REMOVED

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PROJECT:

415 E
CAMPBELL LL
IMPROVMENTS

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CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

EXISTING/DEMO PLAN

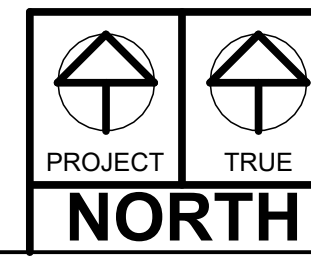
REVISIONS

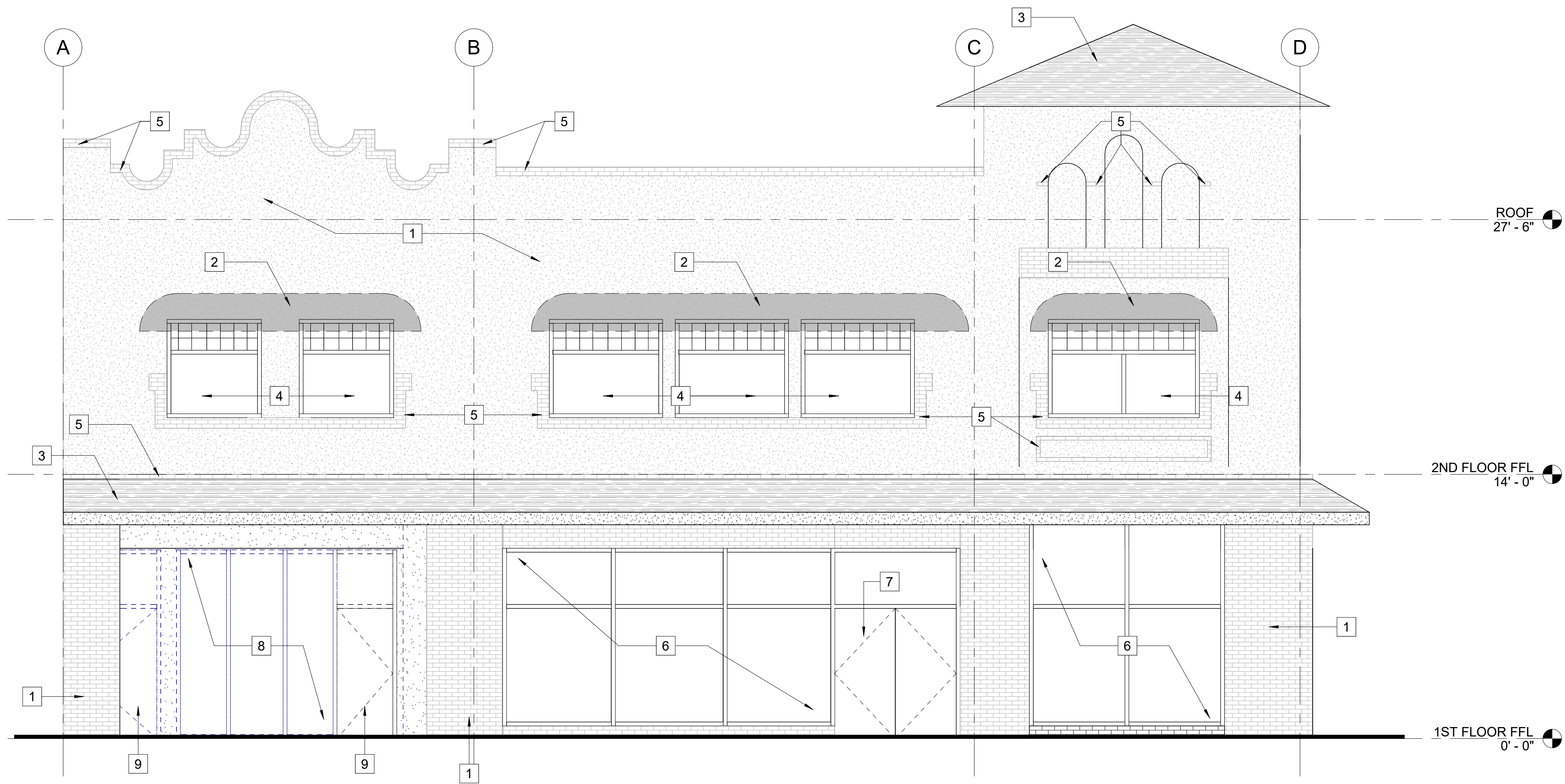
No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL

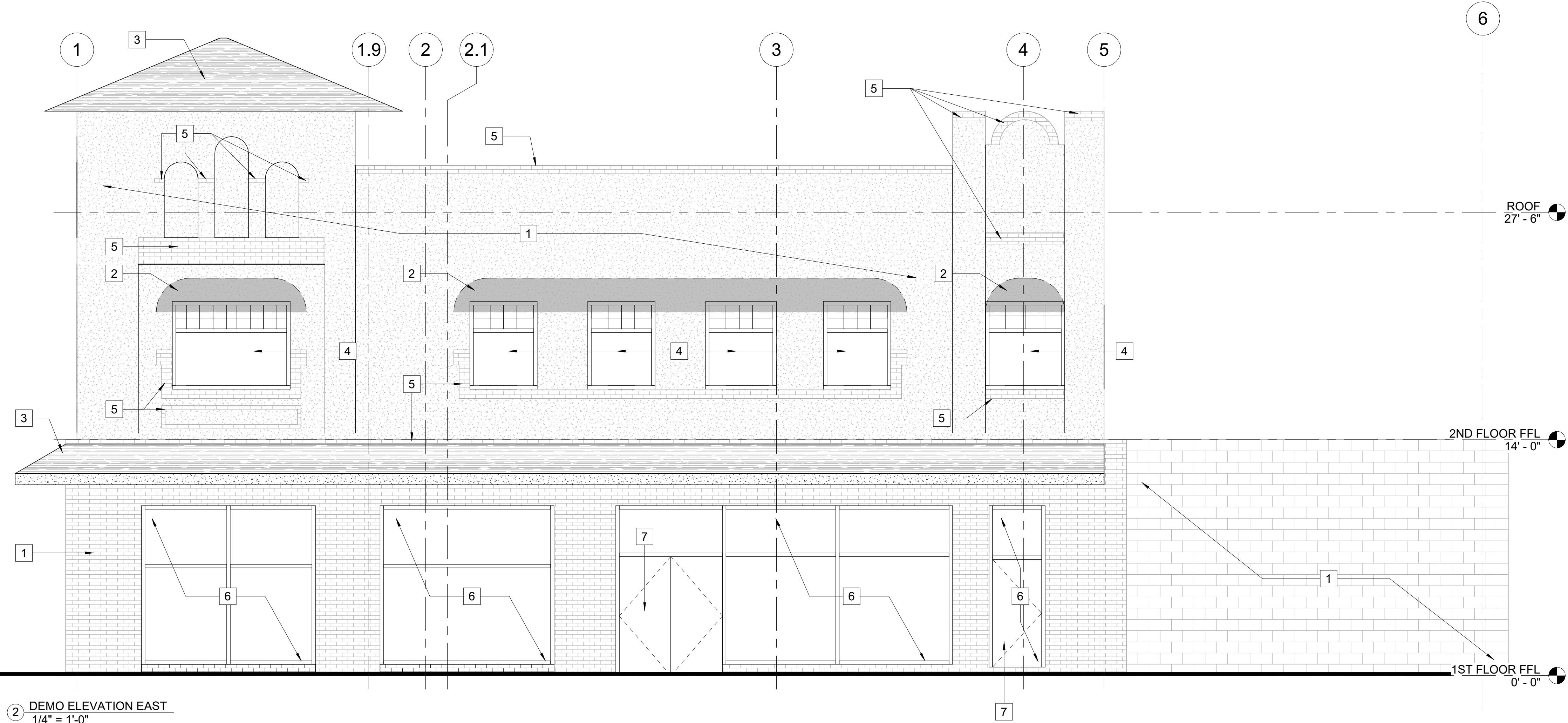
SHEET No.:

AP1.3





1 DEMO ELEVATION SOUTH
1/4" = 1'-0"



2 DEMO ELEVATION EAST
1/4" = 1'-0"

CITY STAMP

DEMO ELEVATION KEYNOTES

- 1 (E) WALL TO REMAIN
- 2 (E) CANOPY TO BE REMOVED. FILL HOLES AND PATCH AND REPAIR STUCCO. TEXTURE TO MATCH (E) AND PREP FOR (N) PAINT
- 3 (E) ROOF TO REMAIN
- 4 (E) WINDOW TO REMAIN. PREP FRAMES FOR (E) PAINT
- 5 (E) BRICK ACCENT TO REMAIN AND BE CLEANED
- 6 (E) STOREFRONT TO REMAIN. PROTECT FROM DAMAGE AND DEBRIS DURING CONSTRUCTION
- 7 (E) DOOR TO REMAIN
- 8 (E) STOREFRONT TO BE REMOVED
- 9 (E) DOOR TO BE REMOVED

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PROJECT:

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IMPROVMENTS

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CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

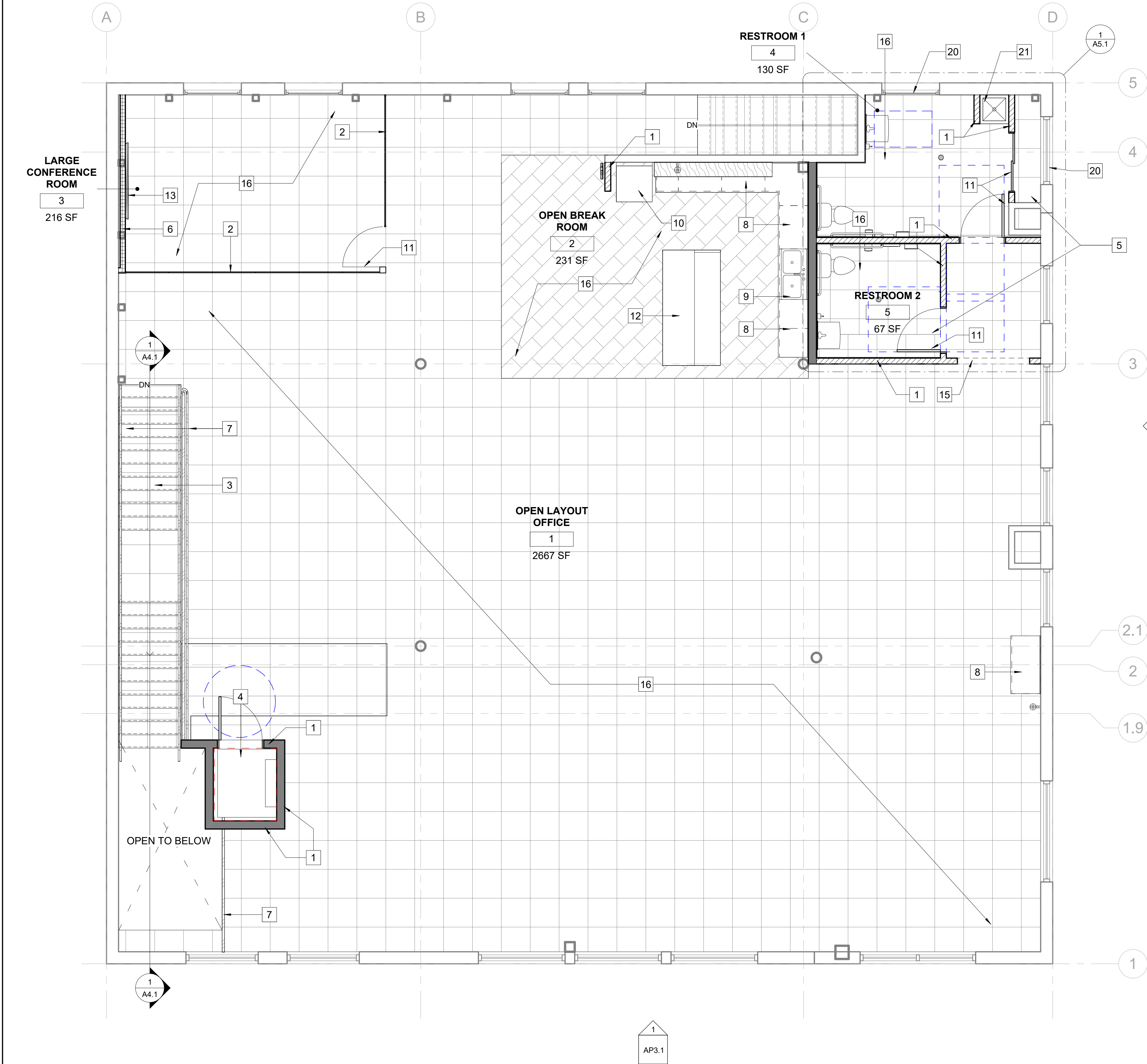
DEMO ELEVATIONS

REVISIONS

No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

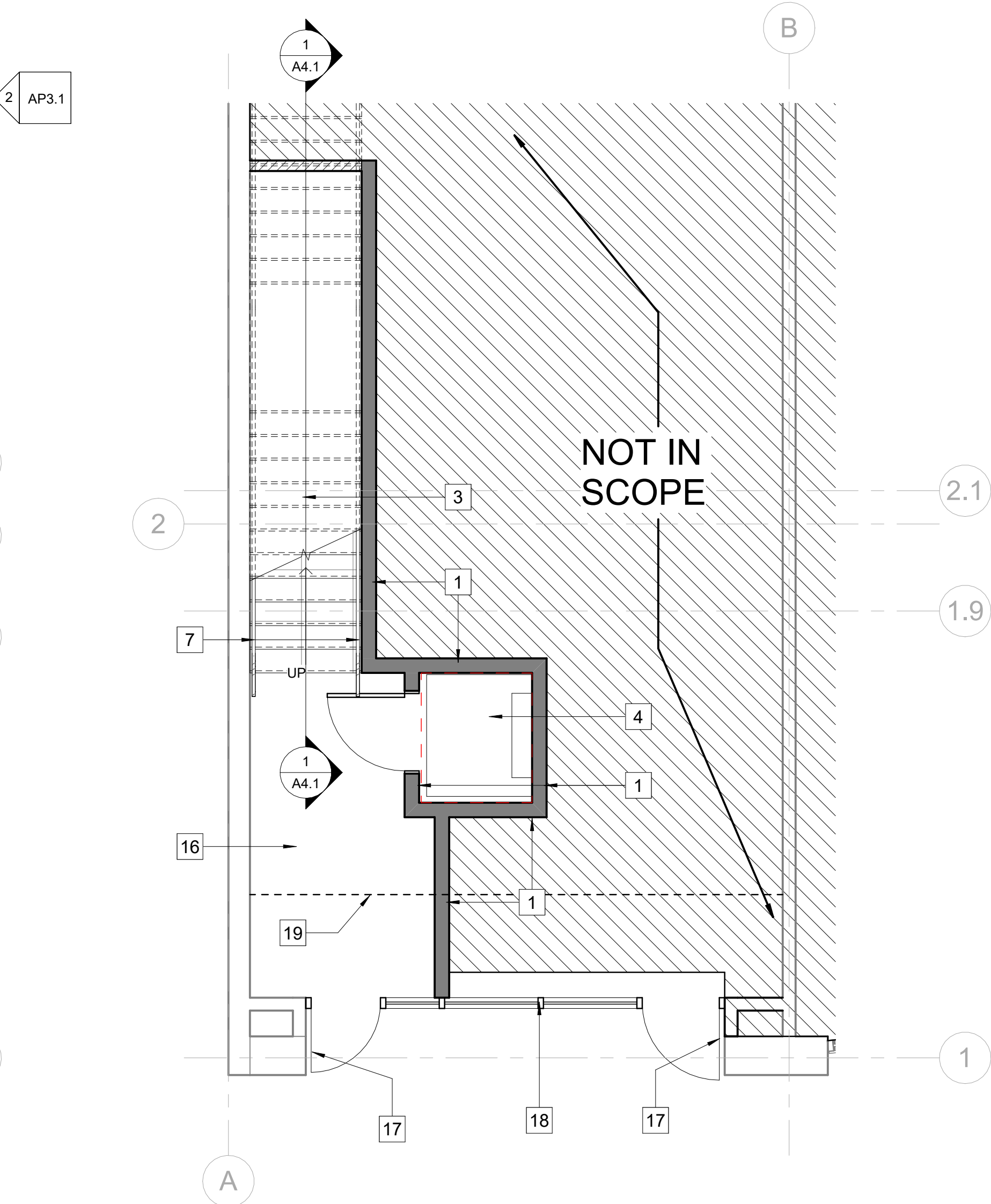
AP1.6



1 2ND FLOOR FFL
1/4" = 1'-0"

- ### PROPOSED PLAN KEYNOTES
- 1 (N) INTERIOR WALL. SEE WALL LEGEND
 - 2 (N) INTERIOR STOREFRONT. SEE WALL LEGEND
 - 3 (N) STAIRS
 - 4 (N) VERTICAL PLATFORM LIFT
 - 5 (N) RESTROOMS SEE SHEET A5.1 FOR ENLARGED PLANS
 - 6 (N) FURRING WALL. SEE WALL LEGEND
 - 7 (N) AIRCRAFT CABLE RAILING
 - 8 (N) CABINETS AND COUNTER TOPS
 - 9 (N) SINK
 - 10 (N) REFRIGERATOR
 - 11 (N) DOOR. SEE DOOR SCHEDULE
 - 12 (N) BREAK AREA TABLE
 - 13 (N) WALL MOUNTED TV. SEE INTERIOR ELEVATIONS FOR MOUNTING HEIGHT
 - 14 - NOT USED -
 - 15 OPENING IN (N) WALL. SEE INTERIOR ELEVATIONS
 - 16 (N) FLOORING. SEE FINISH SCHEDULE
 - 17 (N) EXTERIOR DOOR
 - 18 (N) EXTERIOR STOREFRONT SYSTEM
 - 19 DASHED LINE INDICATES EXTENTS OF (E) STOREFRONT
 - 20 (N) FROSTED VINYL APPLIED TO INTERIOR SURFACE OF WINDOW
 - 21 (N) MOP SINK

CITY STAMP	
GENERAL NOTES	
1. SEE DOOR SCHEDULE FOR TREATMENT OF DOORS TO REMAIN AND FOR ALL (N) DOORS 2. SEE WINDOW SCHEDULE FOR TREATMENT OF WINDOWS TO REMAIN AND FOR ALL (N) WINDOWS 3. SEE FINISH PLAN FOR ALL (N) FINISHES 4. SEE FOR POWER AND DATA OUTLET LOCATIONS 5. SPD FOR PLUMBING DETAILS FOR NEW FIXTURES 6. (E) BRICK TO REMAIN. STRIP (E) PAINT AND CLEAN BRICK AS NEEDED	
WALL LEGEND	
	(E) EXTERIOR WALL TO REMAIN
	NEW 5 1/2" METAL STUD WALLS 20 GAGE @ 16" O.C. SEE INTERIOR ELEVATIONS FOR HEIGHT. 5/8" GYP BD. LEVEL 4 FINISH ON BOTH SIDES. USE GREEN BOARD IN WET AREAS AND WHERE TILE IS FINISH MATERIAL
	NEW 3 5/8" METAL STUD WALLS 20 GAGE @ 16" O.C. SEE INTERIOR ELEVATIONS FOR HEIGHT. 5/8" GYP BD. LEVEL 4 FINISH ON BOTH SIDES. USE GREEN BOARD IN WET AREAS AND WHERE TILE IS FINISH MATERIAL
	NEW CURTAIN WALL SYSTEM W/ 1"x1" MULLIONS AND BUTT-JOINT GLASS



2 1ST FLOOR PROPOSED PLAN
1/4" = 1'-0"

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PROJECT:
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415 E CAMPBELL AVE. STE 100.
CAMPBELL, CA 95008

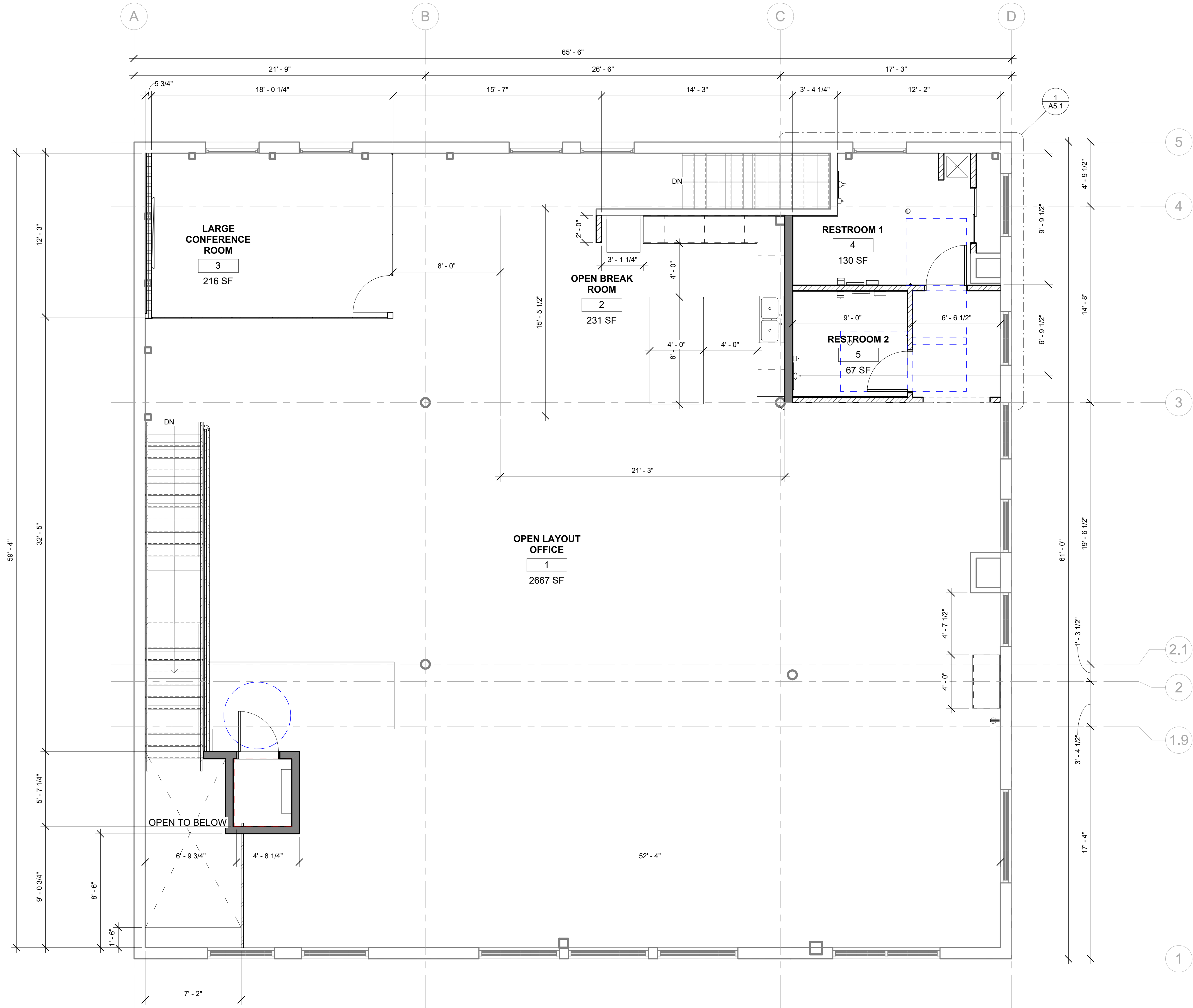
CONTRACTOR

SHEET TITLE:
PROPOSED FLOOR PLANS

REVISIONS		
No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP2.1



① 2ND FLOOR FFL DIM PLAN
1/4" = 1'-0"

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PROJECT:

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CAMPBELL LL
IMPROVMENTS

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CAMPBELL, CA 95008

CONTRACTOR

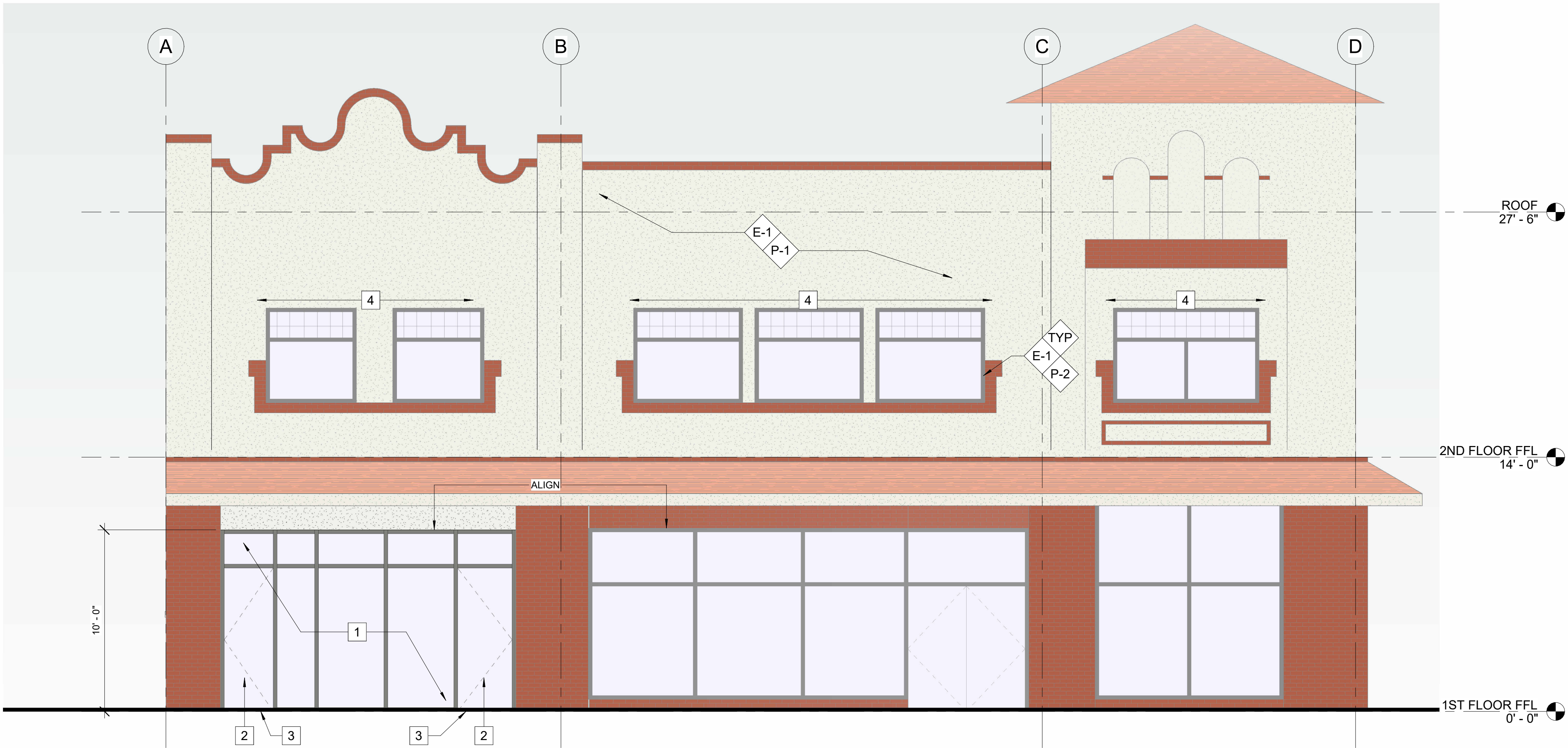
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DIMENSION PLAN

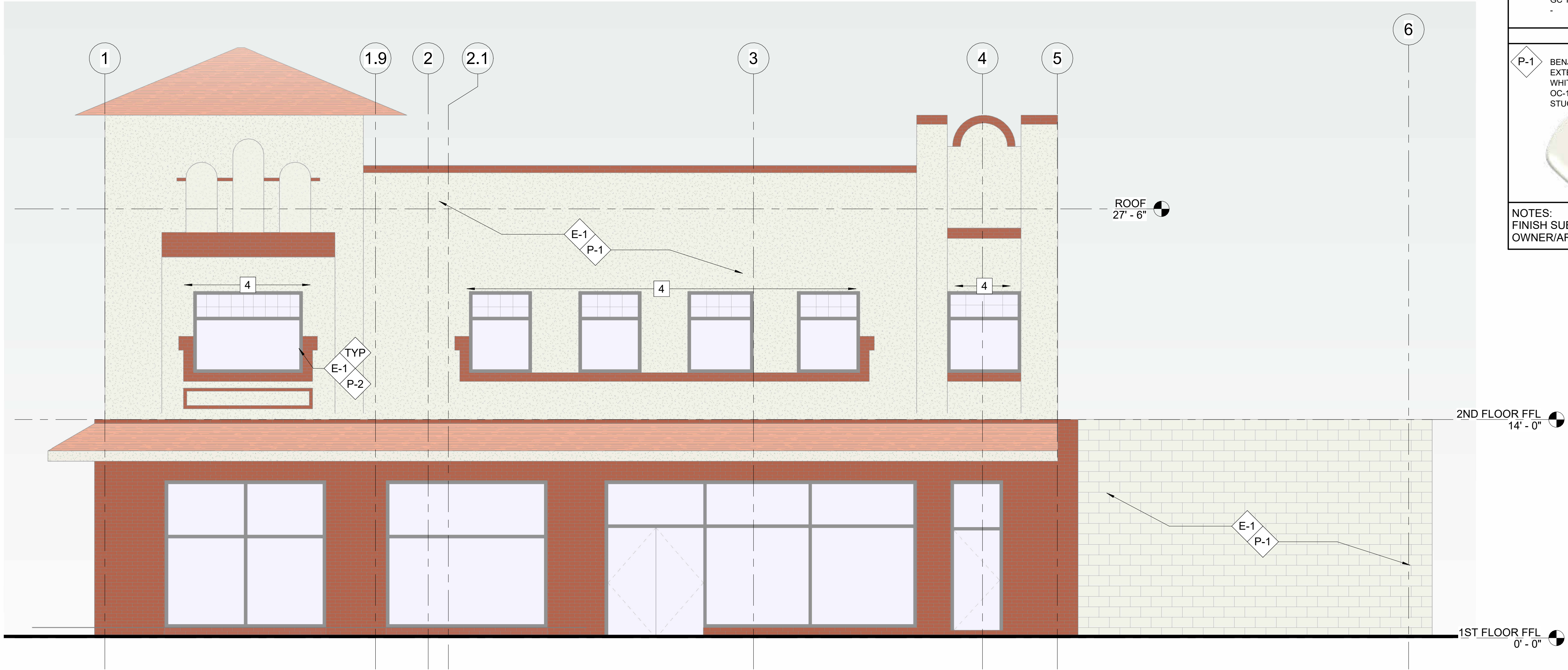
REVISIONS

No.	Description	Date

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CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	



1 PLANNING SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



2 PLANNING EAST EXTERIOR ELEVATION
1/4" = 1'-0"

CITY STAMP

EXTERIOR ELEVATION KEYNOTES

- 1 (N) EXTERIOR STOREFRONT
2 (N) EXTERIOR DOOR. SEE DOOR SCHEDULE
3 (N) THRESHOLD
4 FILL HOLES FROM REMOVED CANOPIES. PATCH AND REPAIR STUCCO. TEXTURE TO MATCH (E) AND PAINT PER FINISH SCHEDULE

GENERAL NOTES

1. ALL EXTERIOR BRICK TO REMAIN. CLEAN AND REPAIR AS NEEDED
2. (E) ROOF NOT IN SCOPE

EXTERIOR FINISH SCHEDULE

MATERIALS

E-1 BENJAMIN MOORE
NEW EXTERIOR PAINT
COLOR AS INDICATED
GC TO PREP STUCCO FOR NEW PAINT

COLORS AND FINISHES

P-1 BENJAMIN MOORE
EXTERIOR PAINT
WHITE DOVE
OC-17
STUCCO



P-2 BENJAMIN MOORE
EXTERIOR PAINT
KENDALL CHARCOAL
HC-166
TRIM AND ACCENTS



NOTES:
FINISH SUBSTITUTIONS TO BE APPROVED BY
OWNER/ARCHITECT PRIOR TO ORDER/INSTALLATION

t o p a
architecture

1150 North First St. #140
San Jose CA, 95112
Tel (408) 320 0248

GENERAL NOTES:
1. THIS SHEET IS PART OF A SET & IS NOT TO BE USED ALONE.
2. THIS SHEET IS NOT FOR CONSTRUCTION UNTIL THE ARCHITECT'S STAMP & SIGNATURE ARE ON THIS SHEET.
3. THESE PLAN & PRINTS ARE OWNED BY THE ARCHITECT & ARE FOR USE ON THIS PROJECT ONLY. REPRODUCTION AND/OR DISTRIBUTION WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS FORBIDDEN.

PROJECT:

415 E
CAMPBELL LL
IMPROVMENTS

415 E CAMPBELL AVE. STE 100.
CAMPBELL, CA 95008

CONTRACTOR

SHEET TITLE:

PLANNING EXTERIOR
ELEVATIONS

REVISIONS

No.	Description	Date

DRAWN:	GC
CHECKED:	GC
DATE:	11/03/2022
SCALE:	1/4" = 1'-0"
JOB No.:	22-5-08-CAMPBELL
SHEET No.:	

AP3.1