



CITY OF CAMPBELL
Community Development Department

April 11, 2014

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **April 22, 2014**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Hamilton Campbell LLC of a Planned Development Permit (PLN2013-237) and Modification (PLN2013-238) to a previously approved Planned Development Permit to allow the construction of a 172,000 square foot office building, a 11,500 square foot office building, and a 7-story parking garage with two levels of parking underneath; on property located at **675 & 705 Creekside Way** in a P-D (Planned Development) Zoning District. Staff is recommending adoption of a new Mitigated Negative Declaration for this project.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

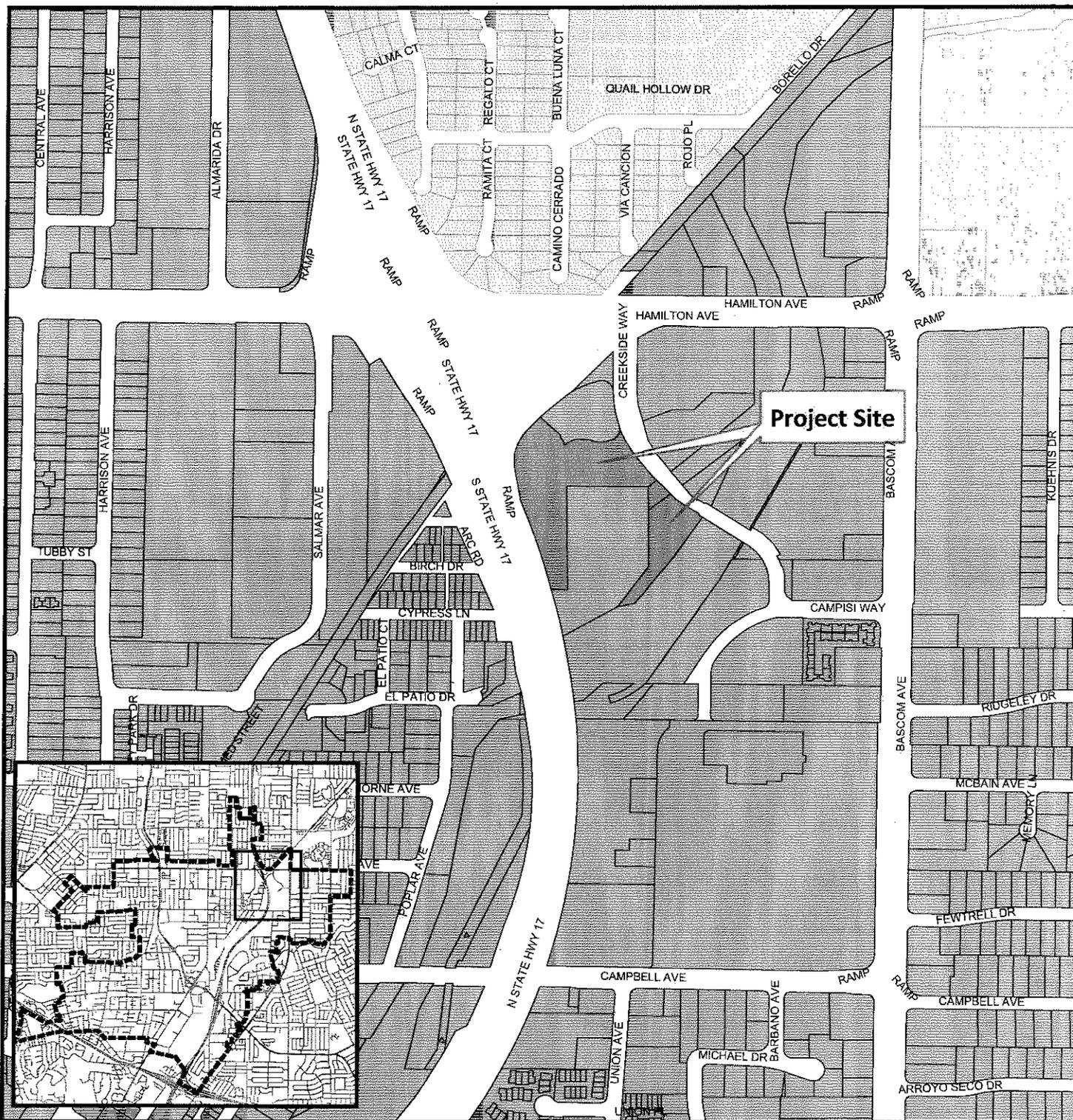
Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

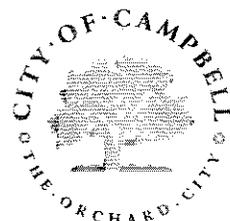
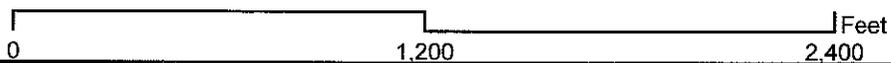
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **675 & 705 Creekside Way**

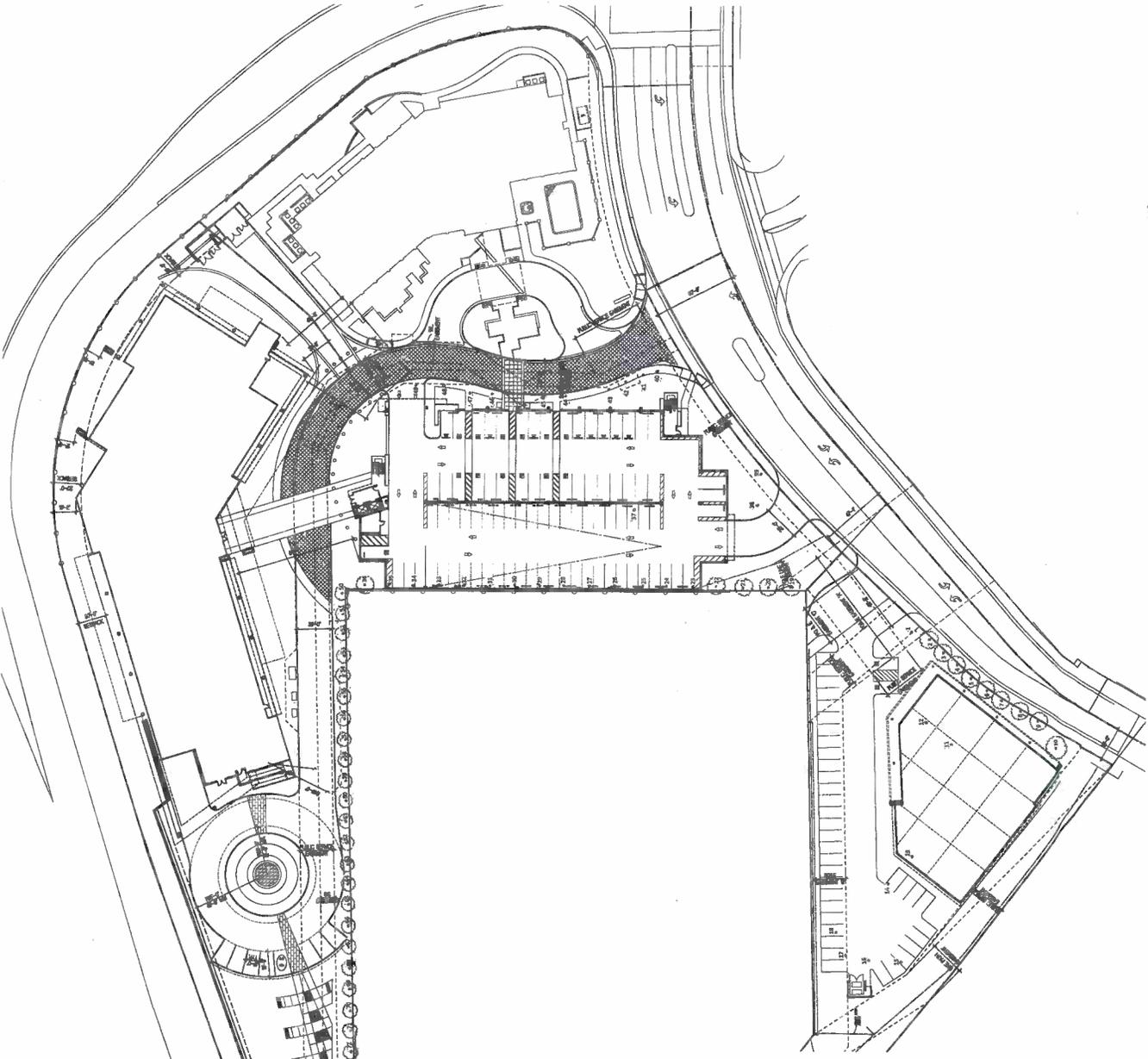
Project Location Map



Project Location: 675 & 705 Creekside Way
Application Type: Modification to a PD Permit & New PD Permit
Planning File No.: PLN2013-237/238
Description: Modification of previously approved Planned Development Permit and a Planned Development Permit to allow for the construction of two (2) office buildings and one (1) parking structure.



Community Development Department
 Planning Division



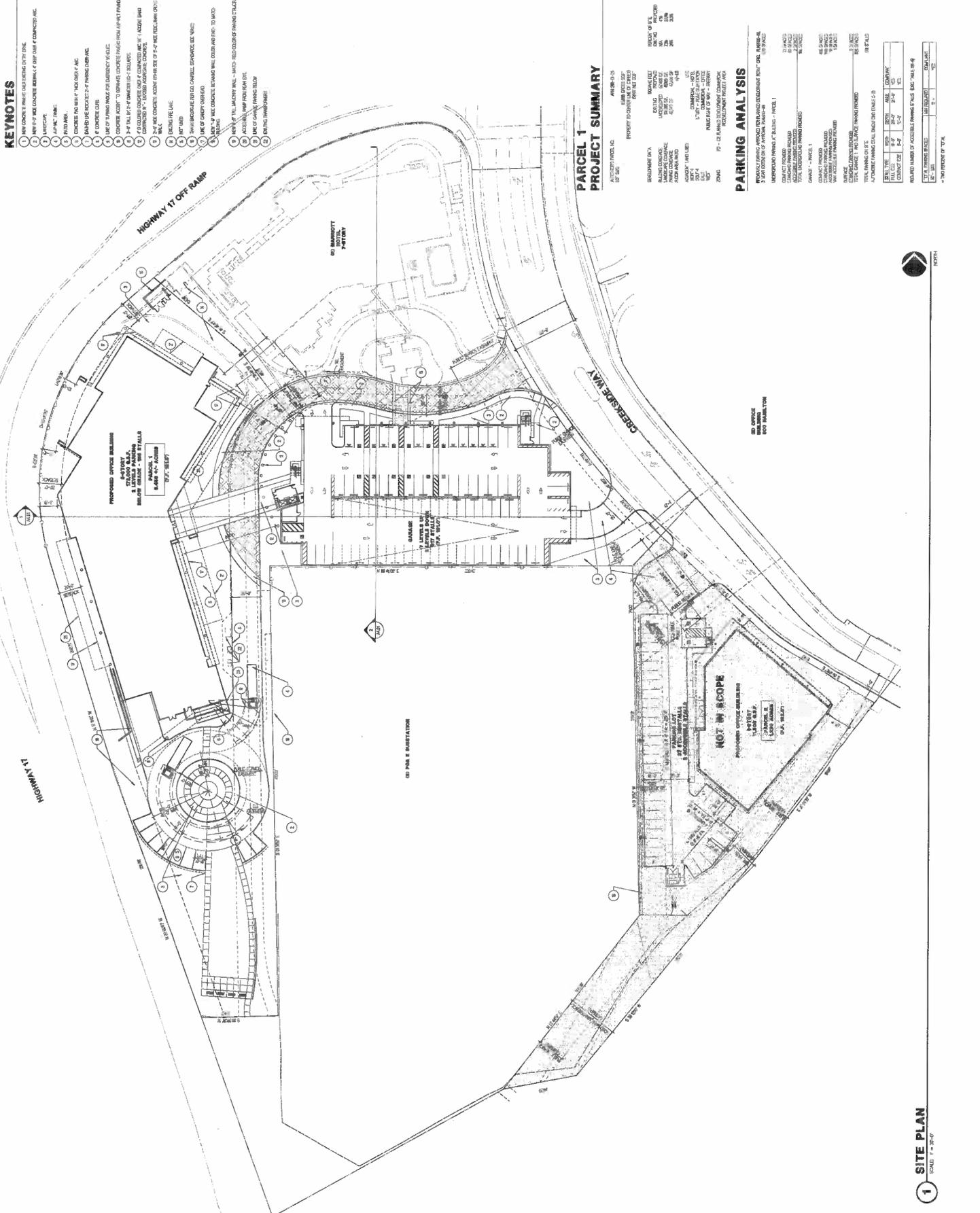
Existing Tree Inventory

Key	Description	Condition	Remarks
1	1" - 4" DBH	Good	10' to 15'
2	5" - 9" DBH	Good	15' to 20'
3	10" - 14" DBH	Good	20' to 25'
4	15" - 19" DBH	Good	25' to 30'
5	20" - 24" DBH	Good	30' to 35'
6	25" - 29" DBH	Good	35' to 40'
7	30" - 34" DBH	Good	40' to 45'
8	35" - 39" DBH	Good	45' to 50'
9	40" - 44" DBH	Good	50' to 55'
10	45" - 49" DBH	Good	55' to 60'
11	50" - 54" DBH	Good	60' to 65'
12	55" - 59" DBH	Good	65' to 70'
13	60" - 64" DBH	Good	70' to 75'
14	65" - 69" DBH	Good	75' to 80'
15	70" - 74" DBH	Good	80' to 85'
16	75" - 79" DBH	Good	85' to 90'
17	80" - 84" DBH	Good	90' to 95'
18	85" - 89" DBH	Good	95' to 100'
19	90" - 94" DBH	Good	100' to 105'
20	95" - 99" DBH	Good	105' to 110'
21	100" - 104" DBH	Good	110' to 115'
22	105" - 109" DBH	Good	115' to 120'
23	110" - 114" DBH	Good	120' to 125'
24	115" - 119" DBH	Good	125' to 130'
25	120" - 124" DBH	Good	130' to 135'
26	125" - 129" DBH	Good	135' to 140'
27	130" - 134" DBH	Good	140' to 145'
28	135" - 139" DBH	Good	145' to 150'
29	140" - 144" DBH	Good	150' to 155'
30	145" - 149" DBH	Good	155' to 160'
31	150" - 154" DBH	Good	160' to 165'
32	155" - 159" DBH	Good	165' to 170'
33	160" - 164" DBH	Good	170' to 175'
34	165" - 169" DBH	Good	175' to 180'
35	170" - 174" DBH	Good	180' to 185'
36	175" - 179" DBH	Good	185' to 190'
37	180" - 184" DBH	Good	190' to 195'
38	185" - 189" DBH	Good	195' to 200'
39	190" - 194" DBH	Good	200' to 205'
40	195" - 199" DBH	Good	205' to 210'
41	200" - 204" DBH	Good	210' to 215'
42	205" - 209" DBH	Good	215' to 220'
43	210" - 214" DBH	Good	220' to 225'
44	215" - 219" DBH	Good	225' to 230'
45	220" - 224" DBH	Good	230' to 235'
46	225" - 229" DBH	Good	235' to 240'
47	230" - 234" DBH	Good	240' to 245'
48	235" - 239" DBH	Good	245' to 250'
49	240" - 244" DBH	Good	250' to 255'
50	245" - 249" DBH	Good	255' to 260'
51	250" - 254" DBH	Good	260' to 265'
52	255" - 259" DBH	Good	265' to 270'
53	260" - 264" DBH	Good	270' to 275'
54	265" - 269" DBH	Good	275' to 280'
55	270" - 274" DBH	Good	280' to 285'
56	275" - 279" DBH	Good	285' to 290'
57	280" - 284" DBH	Good	290' to 295'
58	285" - 289" DBH	Good	295' to 300'
59	290" - 294" DBH	Good	300' to 305'
60	295" - 299" DBH	Good	305' to 310'
61	300" - 304" DBH	Good	310' to 315'
62	305" - 309" DBH	Good	315' to 320'
63	310" - 314" DBH	Good	320' to 325'
64	315" - 319" DBH	Good	325' to 330'
65	320" - 324" DBH	Good	330' to 335'
66	325" - 329" DBH	Good	335' to 340'
67	330" - 334" DBH	Good	340' to 345'
68	335" - 339" DBH	Good	345' to 350'
69	340" - 344" DBH	Good	350' to 355'
70	345" - 349" DBH	Good	355' to 360'
71	350" - 354" DBH	Good	360' to 365'
72	355" - 359" DBH	Good	365' to 370'
73	360" - 364" DBH	Good	370' to 375'
74	365" - 369" DBH	Good	375' to 380'
75	370" - 374" DBH	Good	380' to 385'
76	375" - 379" DBH	Good	385' to 390'
77	380" - 384" DBH	Good	390' to 395'
78	385" - 389" DBH	Good	395' to 400'
79	390" - 394" DBH	Good	400' to 405'
80	395" - 399" DBH	Good	405' to 410'

- KEYNOTES**
1. 4" MIN CONCRETE FINISH SLAB FINISH BY SITE
 2. 4" MIN 4" MIN CONCRETE FINISH SLAB FINISH BY CONCRETE, INC.
 3. 4" MIN 4" MIN CONCRETE FINISH SLAB FINISH BY CONCRETE, INC.
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PARCEL 1 PROJECT SUMMARY

PROJECT TO CONVEY (SCALE OF SHEET) 1" = 20'-0"

PROJECT NO. 118-117

DATE 08/15/11

PROJECT NAME CREEKSIDE CAMPBELL, CA

CLIENT PLANNING APPLICATION

DATE 08/15/11

PROJECT NO. 118-117

PARKING ANALYSIS

EXISTING PARKING SPACES 100

EXISTING DRIVE AISLES 100

EXISTING TOTAL 200

PROPOSED PARKING SPACES 100

PROPOSED DRIVE AISLES 100

PROPOSED TOTAL 200

TOTAL PARKING SPACES 400

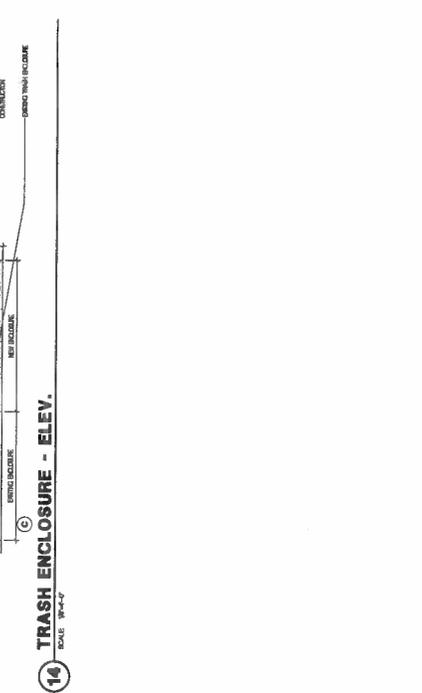
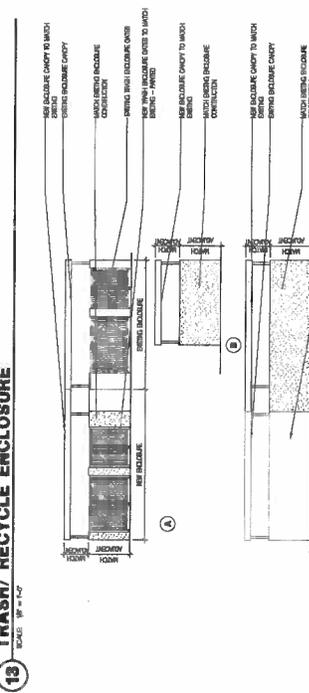
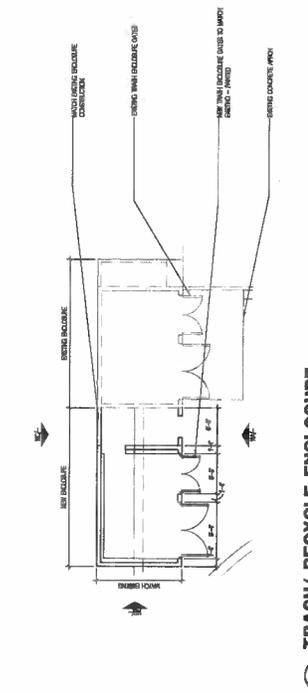
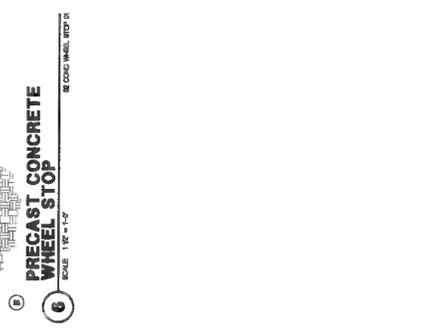
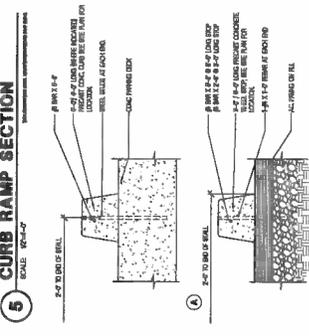
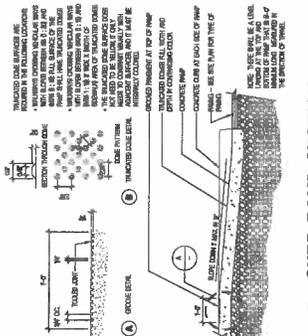
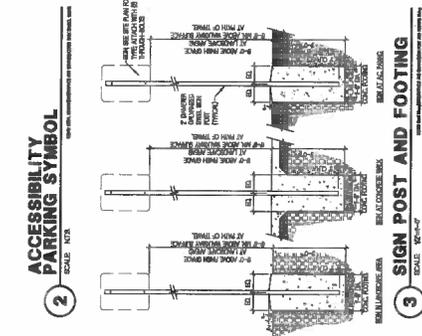
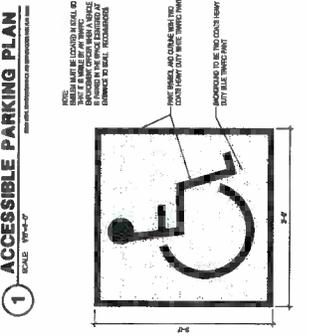
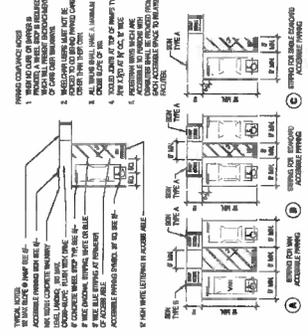
TOTAL DRIVE AISLES 200

TOTAL TOTAL 600

PERCENTAGE OF TOTAL PARKING SPACES 66.7%

PERCENTAGE OF TOTAL DRIVE AISLES 33.3%

PERCENTAGE OF TOTAL TOTAL 33.3%

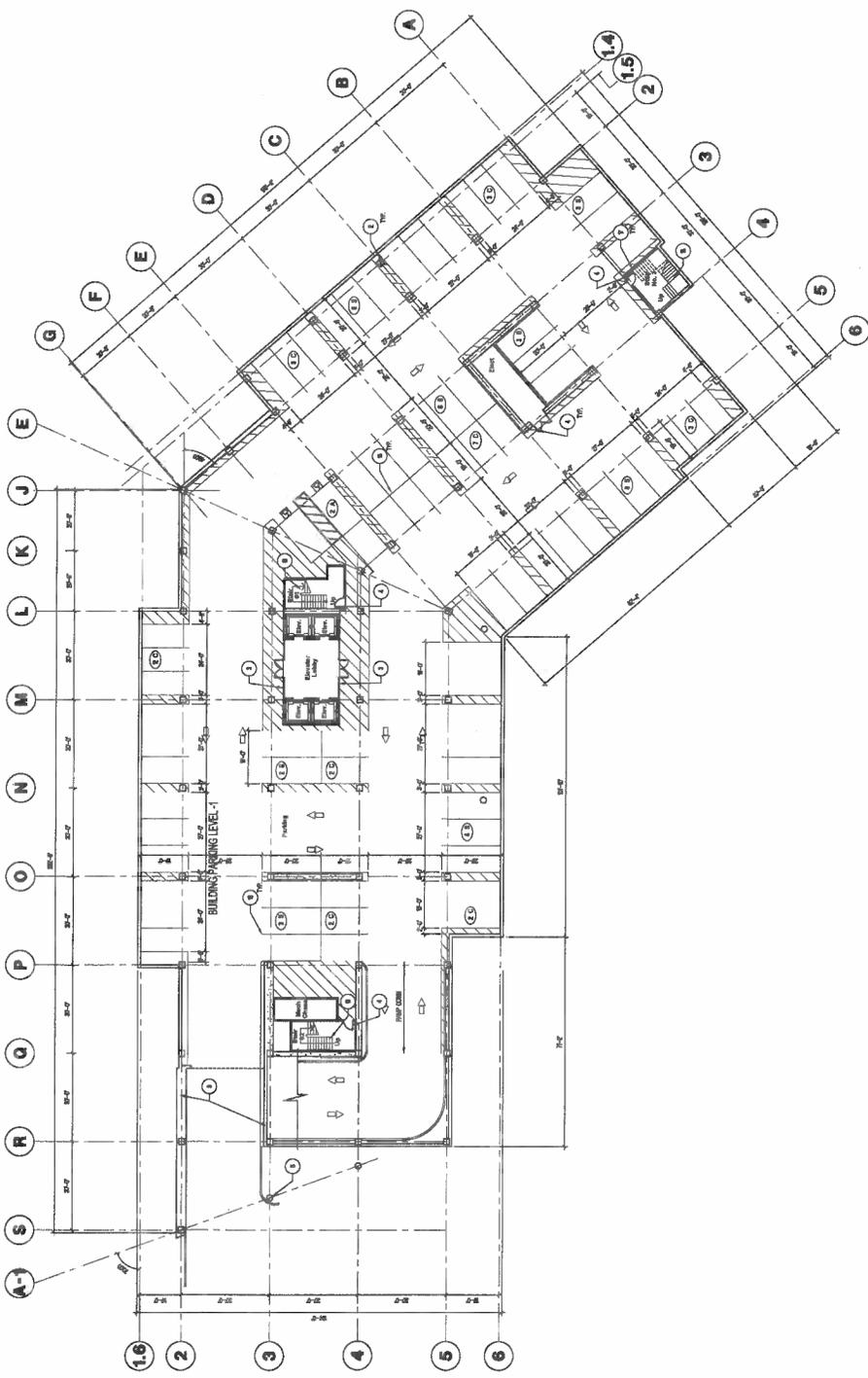




- KEYNOTES**
SEE ALL REVISIONS AND APPROVALS ON SHEET P-001
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 ALUMINUM GLAZED STEEL BRACE SYSTEM WITH CEILING CLADDING
 - 4 GALVALUM METAL DECKING AND FINISHES - PER FINISH
 - 5 CONCRETE ALUMINUM FINISHES OVER METAL FINISHES - SEE EXISTING
 - 6 CONCRETE ALUMINUM COLUMN COVER
 - 7 CONCRETE ALUMINUM FINISHES OVER METAL FINISHES - SEE EXISTING
 - 8 CONCRETE ALUMINUM FINISHES OVER METAL FINISHES - SEE EXISTING
 - 9 CONCRETE ALUMINUM FINISHES OVER METAL FINISHES - SEE EXISTING
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 - 14 CONCRETE ALUMINUM FINISHES OVER METAL FINISHES - SEE EXISTING
 - 15 CONCRETE ALUMINUM FINISHES OVER METAL FINISHES - SEE EXISTING
 - 16 CONCRETE ALUMINUM FINISHES OVER METAL FINISHES - SEE EXISTING

PARKING PROVIDED

REVISIONS	10 SPACES
COMING	10 SPACES
ACCIDENT	10 SPACES
TOTAL	30 SPACES



1 UNDERGROUND GARAGE LEVEL ONE PLAN
SCALE: 1/8" = 1'-0"

A Planning Application Package For:
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 10/15/2014
PROJECT: CREEKSIDE
SHEET: PLANNING APPLICATION PACKAGE
TABLE: PLANNING APPLICATION PACKAGE

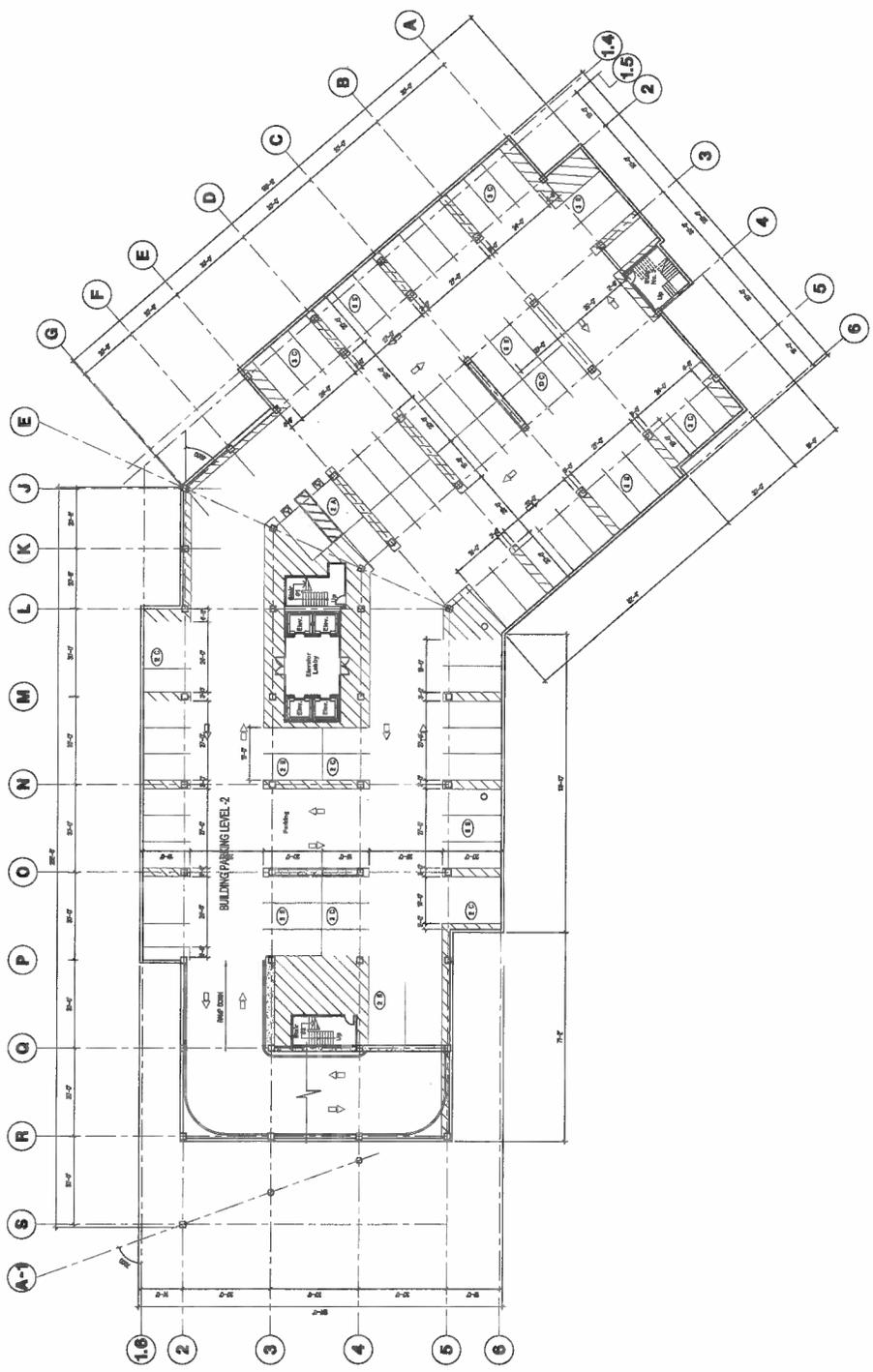
BUILDING - UNDERGROUND
GARAGE LEVEL ONE PLAN
A2.10A
PROJECT NO. 133335



- KEYNOTES**
SEE ALL KEYNOTES AND REFER TO MAP SHEET
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 ALUMINUM CLAD IN ALUMINUM FRAME SYSTEM WITH CLEAR GLAZING
 - 4 HALF INCH SQUARE AND FINISHES - FINISH FLOOR
 - 5 CONCRETE ALUMINUM PANELS/DOOR METAL FINISHES - SEE EXTERIOR ELEVATIONS
 - 6 CLEAR FINISHED ALUMINUM COLUMN/DOOR
 - 7 CONCRETE BEAMS/SLABS WITH FINISH TO MATCH EXISTING FINISHES TO BE EXTERIOR ELEVATIONS
 - 8 STEEL COLUMN
 - 9 ALUMINUM CLAD STEEL BEAM/CANOPY
 - 10 ALUMINUM CLAD STEEL BEAM/CANOPY AND METAL DECK
 - 11 FINISH FLOOR METAL FINISHES TO MATCH EXISTING FINISHES TO BE EXTERIOR ELEVATIONS
 - 12 CONCRETE BEAMS/SLABS WITH FINISH TO MATCH EXISTING FINISHES TO BE EXTERIOR ELEVATIONS
 - 13 FINISH FLOOR METAL FINISHES TO MATCH EXISTING FINISHES TO BE EXTERIOR ELEVATIONS
 - 14 FINISH FLOOR METAL FINISHES TO MATCH EXISTING FINISHES TO BE EXTERIOR ELEVATIONS
 - 15 FINISH FLOOR METAL FINISHES TO MATCH EXISTING FINISHES TO BE EXTERIOR ELEVATIONS
 - 16 FINISH FLOOR METAL FINISHES TO MATCH EXISTING FINISHES TO BE EXTERIOR ELEVATIONS

PARKING PROVIDED

STANDARD 4 SPACES
COMPACT 31 SPACES
ACCESSIBLE 2 SPACES
TOTAL 37 SPACES



1 UNDERGROUND GARAGE LEVEL TWO PLAN
SCALE: 1/8" = 1'-0"

A Planning Application Package For:
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 11/15/11
PROJECT: PLANNING APPLICATION
11.15.11 PLANNING/COMMUNITY

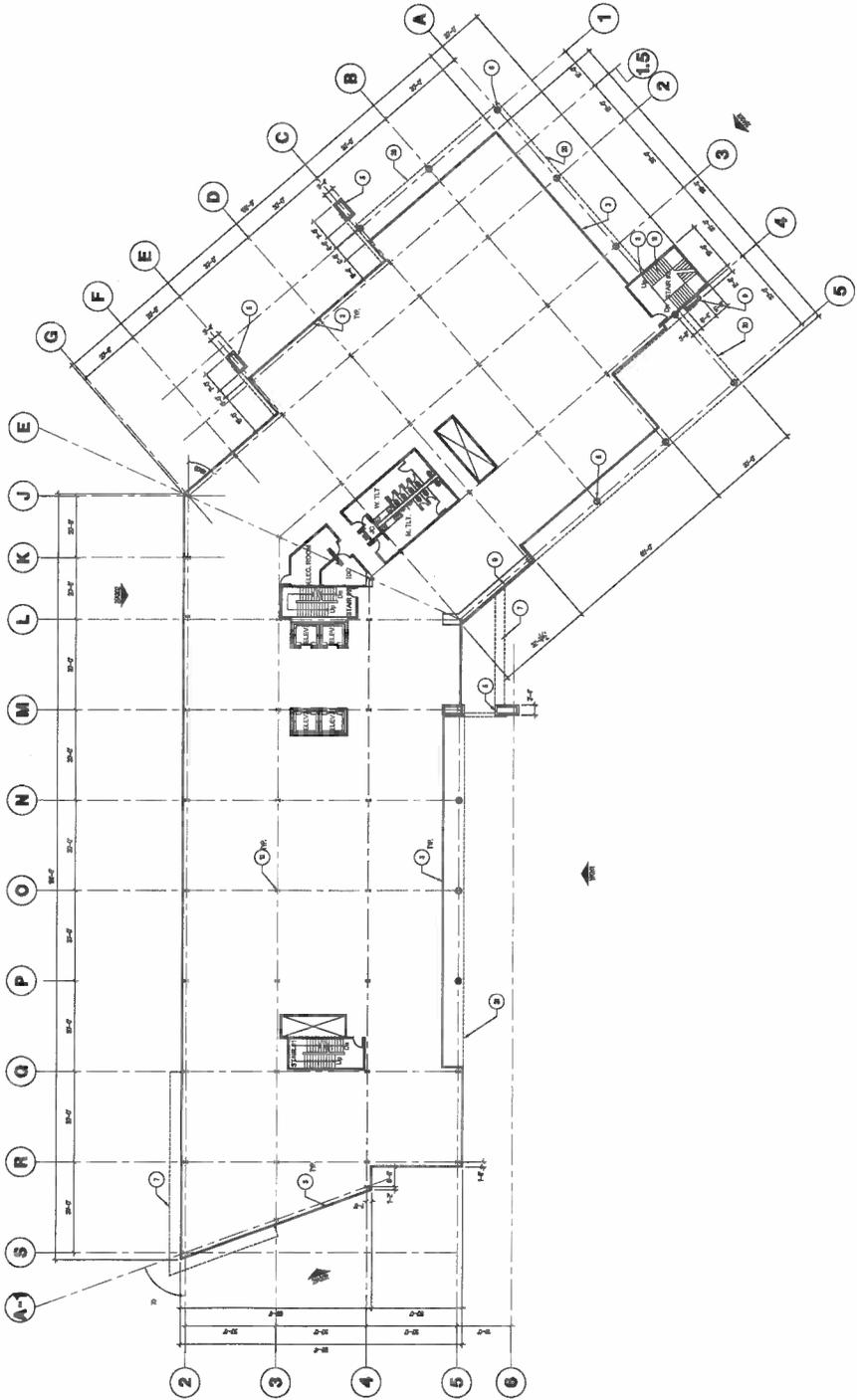
BUILDING - UNDERGROUND
GARAGE LEVEL TWO PLAN
A2.10B
PROJECT NO. 112228



A Planning Application Package For
CREEKSIDE
Creekside Way
Campbell, CA

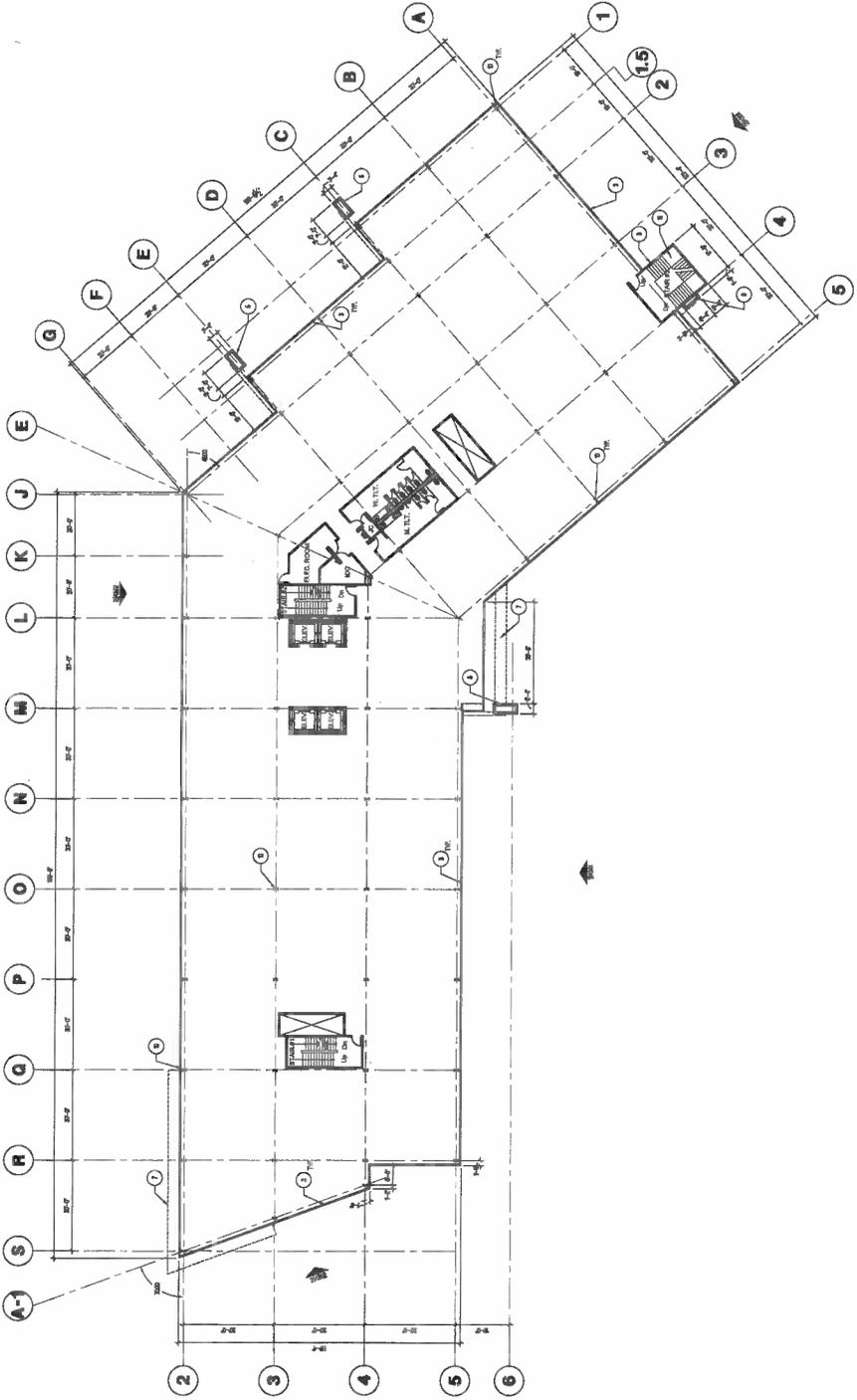
DATE: 11/11/13
PROJECT NO.: 123335
BUILDING - SECOND FLOOR PLAN
A2.12

- KEYNOTES**
NOT ALL REVISIONS SHOWN FOR BREVITY'S SAKE
- 1) CONCRETE SLAB
 - 2) CONCRETE COLUMN
 - 3) ALUMINUM BLINDS & ALUMINUM FRAME SYSTEM WITH CLEAR GLAZING
 - 4) ALUMINUM BLINDS, COILING AND FRAMES - 100% FINISH
 - 5) ALUMINUM BLINDS, COILING AND FRAMES - 100% FINISH - SEE EXISTING
 - 6) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
 - 7) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
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 - 86) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
 - 87) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
 - 88) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
 - 89) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
 - 90) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
 - 91) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
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 - 99) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING
 - 100) CONCRETE ALUMINUM PANELS OVER METAL FRAMES - SEE EXISTING



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"
GENERAL PLACING DIMENSIONS: 1/8" = 1'-0"

- KEYNOTES**
 NOT ALL KEYNOTES MAY APPLY TO EVERY SHEET
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 HANGAR CLADDING - ALUMINUM PANELS WITH VINYL CLADDING
 - 4 ALUMINUM CLADDING - ALUMINUM PANELS WITH VINYL CLADDING
 - 5 ALUMINUM CLADDING - ALUMINUM PANELS WITH VINYL CLADDING - PAINT FINISH
 - 6 CONCRETE FINISHES - SEE FINISH SCHEDULE
 - 7 CONCRETE FINISHES - SEE FINISH SCHEDULE
 - 8 CONCRETE FINISHES - SEE FINISH SCHEDULE
 - 9 CONCRETE FINISHES - SEE FINISH SCHEDULE
 - 10 CONCRETE FINISHES - SEE FINISH SCHEDULE
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 - 100 CONCRETE FINISHES - SEE FINISH SCHEDULE



1 FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 FORMER PLANS: 11555 WILSON AVENUE, SUITE 100



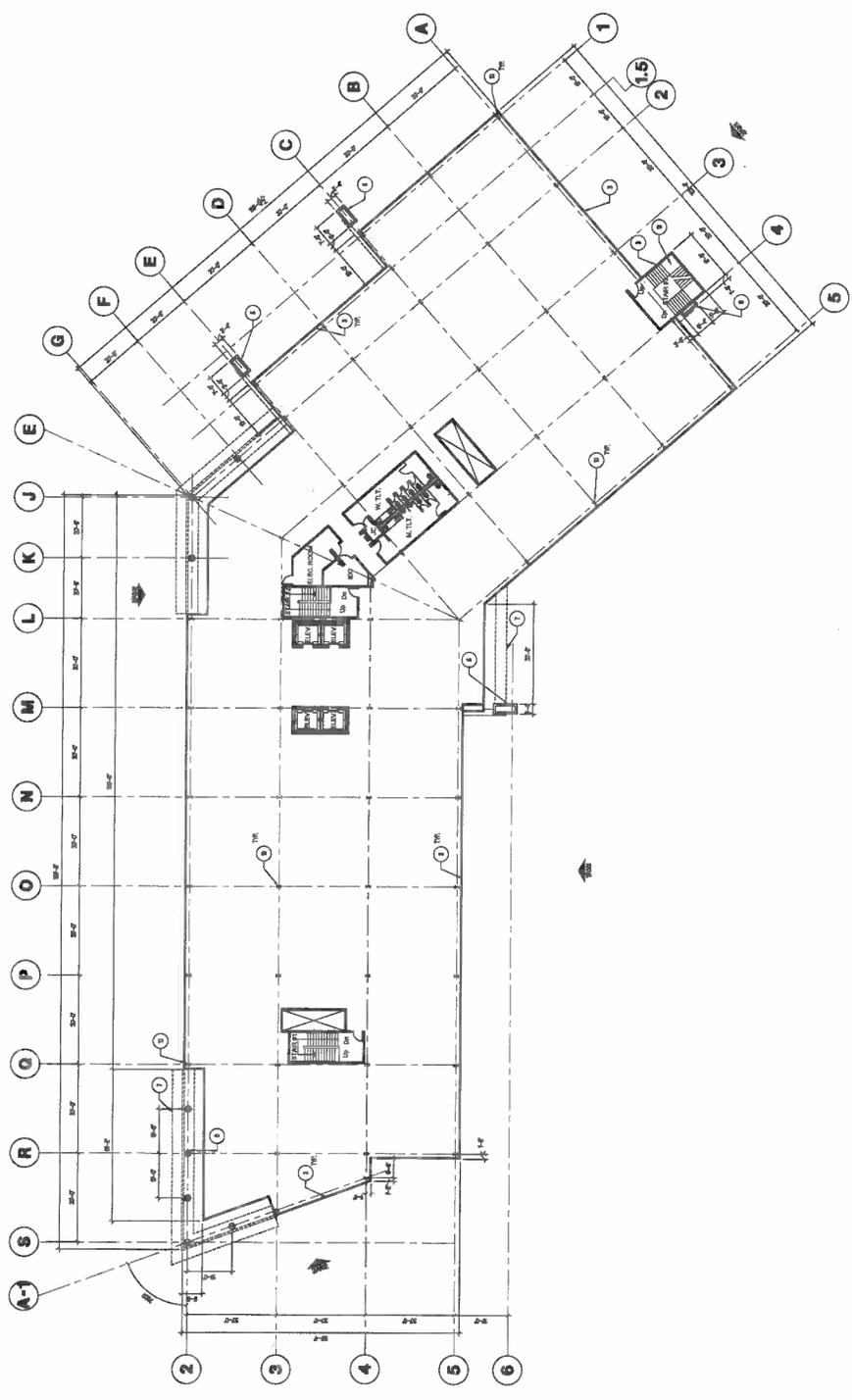
ARCTEC
ARCHITECTURAL TECHNOLOGIES
10000 ARCTIC AVENUE
SUITE 100
DUBLIN, CALIFORNIA 94568
TEL: (925) 835-1000
WWW.ARCTEC.COM

A Planting Application Package For:
CREEKSIDE
Campbell, CA

DATE: 11/18/11
DESCRIPTION: PLANTING APPLICATION PACKAGE
DRAWN BY: J. BROWN

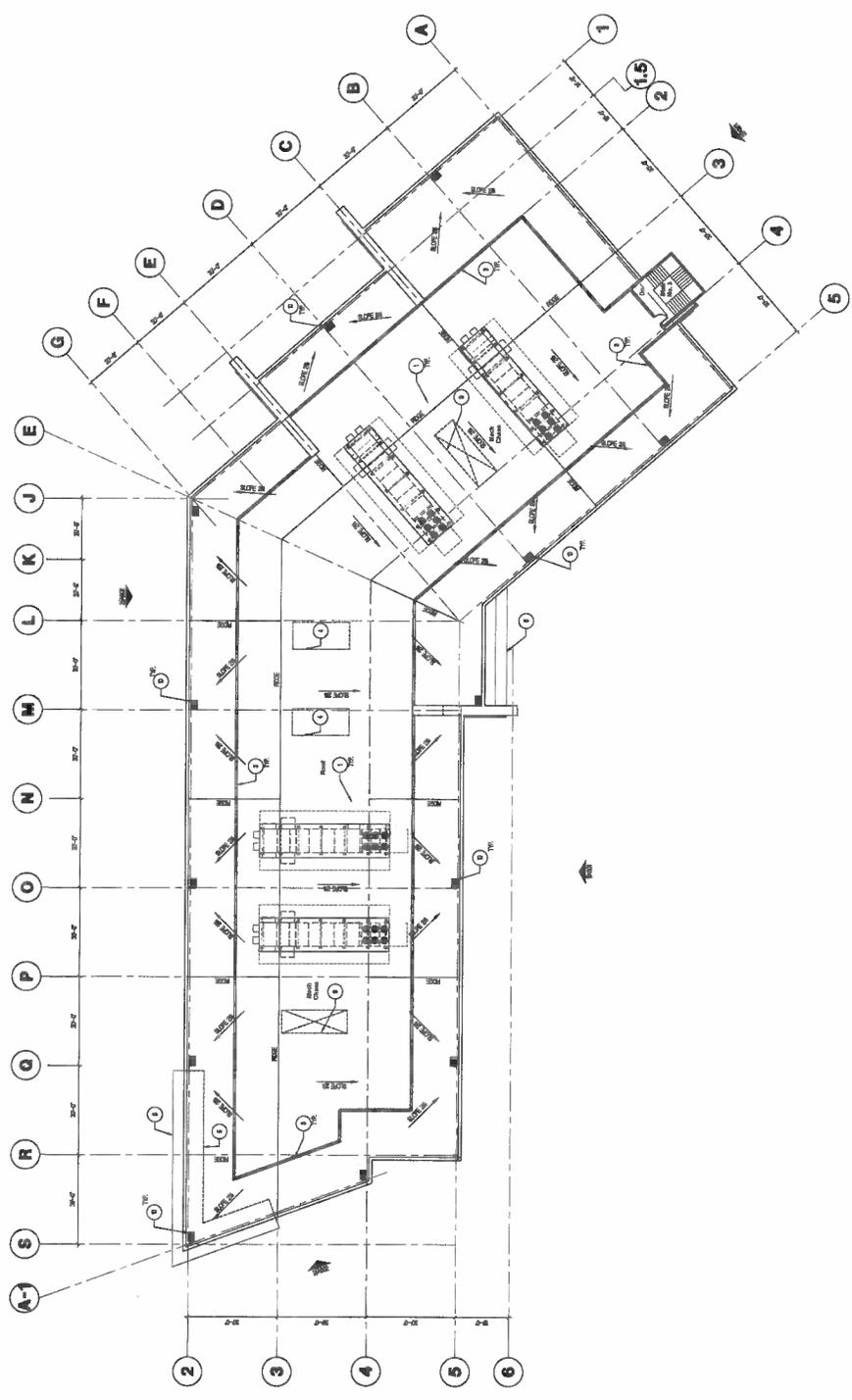
BUILDING - FIFTH FLOOR PLAN
A2.15
PROJECT NO. 12333

- KEYNOTES**
NOT ALL MATERIALS SHOWN ON EVERY SHEET
- 1 CONCRETE SLAB
 - 2 CONCRETE COLUMN
 - 3 ALUMINUM CLAD STEEL STUDY CHAIR
 - 4 ALUMINUM CLAD STEEL STUDY CHAIR CONCRETE AND METAL DECK
 - 5 ALUMINUM CLAD STEEL STUDY CHAIR CONCRETE AND METAL DECK
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 - 15 ALUMINUM CLAD STEEL STUDY CHAIR CONCRETE AND METAL DECK
 - 16 ALUMINUM CLAD STEEL STUDY CHAIR CONCRETE AND METAL DECK



1 FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"
FLOOR PLAN ILLUSTRATION 000.07

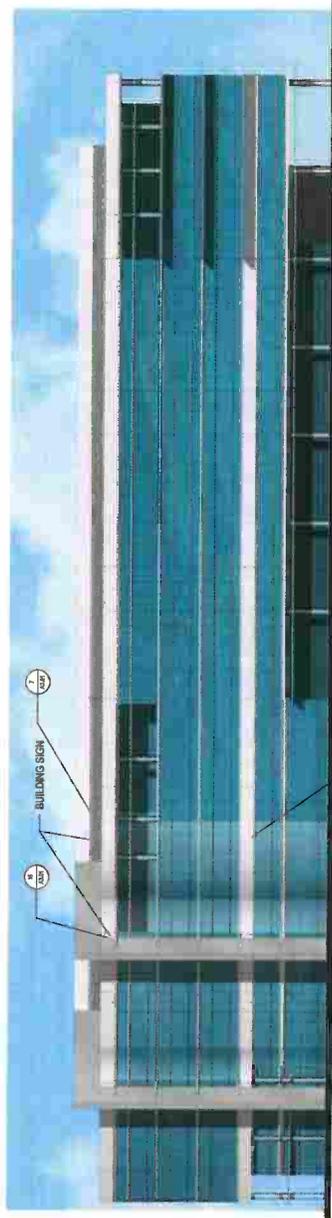
- KEY NOTES**
1. MADE BY FORMING BEARING SYSTEM OVER EXISTING STRUCTURAL ROOF FINISH.
 2. CONC.
 3. ROOF FORMER TIE, 1/2" DIA. GALV.
 4. BEARING CONCRETE (IF PRELIM)
 5. TYP. BEARING BLOCK (SHOWN)
 6. BRACKETING BOLT
 7. ROOF JOIST LAYOUT, VERIFY LOCATION WITH INTERIOR FINISH CONTRACTOR AND ARCHITECT.
 8. ROOF JOIST HANGERS, VERIFY LOCATION WITH INTERIOR FINISH CONTRACTOR AND ARCHITECT.
 9. ROOF JOIST HANGERS, VERIFY LOCATION WITH INTERIOR FINISH CONTRACTOR AND ARCHITECT.
 10. ROOF JOIST HANGERS, VERIFY LOCATION WITH INTERIOR FINISH CONTRACTOR AND ARCHITECT.
 11. ROOF JOIST HANGERS, VERIFY LOCATION WITH INTERIOR FINISH CONTRACTOR AND ARCHITECT.
 12. ROOF JOIST HANGERS, VERIFY LOCATION WITH INTERIOR FINISH CONTRACTOR AND ARCHITECT.



1 ROOF PLAN
 SCALE: 1/8" = 1'-0"
 ROOF FINISH ELEVATION: 10'-0" (FINISH FLOOR ELEVATION: 10'-0")



13 EAST ELEVATION
SCALE: 1/8"=1'-0"



14 WEST ELEVATION
SCALE: 1/8"=1'-0"



20 NORTH ELEVATION
SCALE: 1/8"=1'-0"



12 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

A Planning Application Package For:
CREEKSIDE
 Creekside Way
 Campbell, CA

DATE: 11/11/11
 DESIGNER: ARCTEC
 22411 PLUMINGWOOD LANE
 FARMERS BRANCH, TX 75448

BUILDING - COLLEGE DISTRICT
 ELEVATION

A3.00

PROJECT NO. 12335

ARCTEC
 ARCHITECTURAL TECHNOLOGIES
 WWW.ARCTEC.COM

ARCTEC ARCHITECTURAL TECHNOLOGIES
 22411 PLUMINGWOOD LANE
 FARMERS BRANCH, TX 75448
 TEL: 972.241.1111
 FAX: 972.241.1112
 WWW.ARCTEC.COM
 11/11/11
 PROJECT NO. 12335
 SHEET NO. A3.00
 ARCHITECTURAL ELEVATION
 COLLEGE DISTRICT BUILDING
 CREEKSIDE WAY
 CAMPBELL, CA
 DATE: 11/11/11
 SCALE: 1/8"=1'-0"



ARCTEC
ARCHITECTURAL TECHNOLOGIES
10000 Wilshire Blvd, Suite 1000
Los Angeles, CA 90024
Tel: 310.206.1000
Fax: 310.206.1001
www.arctec.com

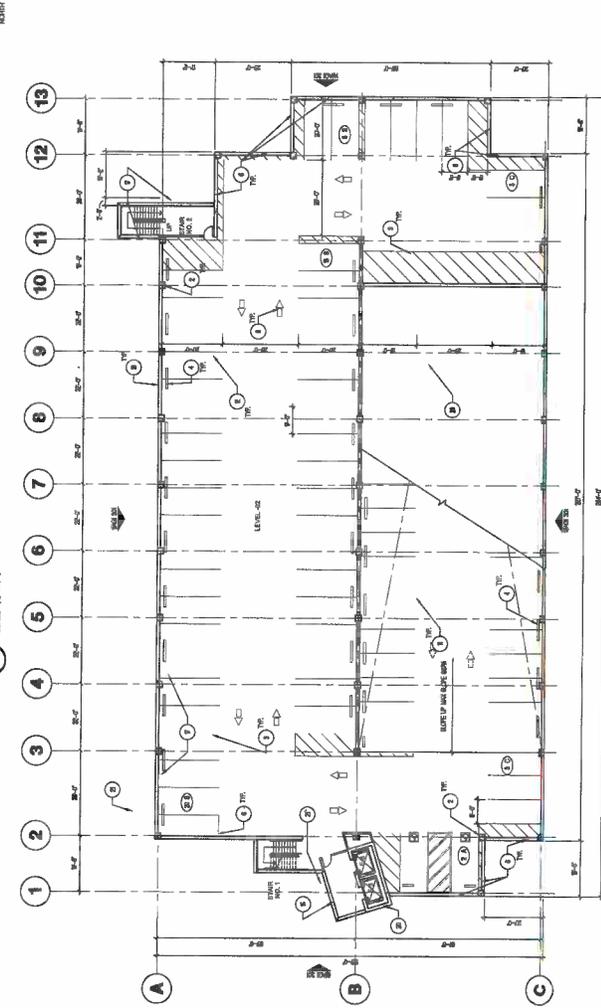
- KEY NOTES**
NOT TO SCALE UNLESS OTHERWISE NOTED
1. CONCRETE COLUMN - SEE DETAIL FOR DETAILS
 2. CONCRETE COLUMN - FINISH
 3. CONCRETE COLUMN - FINISH
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 100. CONCRETE COLUMN - FINISH

PARKING PROVIDED

STANDARD: 48' x 18'
COMPACT: 48' x 12'
BICYCLE: 48' x 6'



1 GARAGE 1 - FIRST LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"



2 GARAGE 1 - SECOND LOWER LEVEL PLAN
SCALE: 1/8" = 1'-0"



A Planning Application Package For
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 11/11/11
DESCRIPTION: PLANNING APPLICATION
DRAWN BY: [Name]
CHECKED BY: [Name]

GARAGE - FIRST AND SECOND
LOWER LEVEL PLANS
AG1 2.11
PROJECT NO. 110000

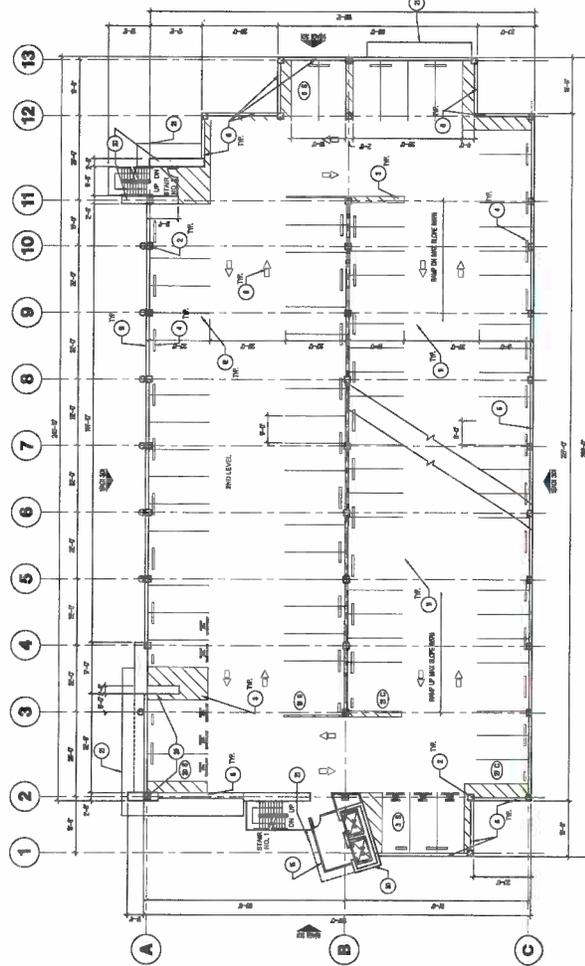
- KEY NOTES**
- 1 CONCRETE CURB - SEE CALL SHEETS FOR DETAILS
 - 2 CONCRETE COLUMN - FINISH
 - 3 CONCRETE COLUMN - FINISH
 - 4 FINISH FLOORING - SEE CALL SHEETS
 - 5 WALL FINISH
 - 6 CONCRETE FINISH - FINISH
 - 7 CONCRETE FINISH - FINISH
 - 8 FINISH OF CONCRETE FLOOR, ABOVE
 - 9 FINISH OF CONCRETE FLOOR, ABOVE
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 - 99 FINISH OF CONCRETE FLOOR, ABOVE
 - 100 FINISH OF CONCRETE FLOOR, ABOVE

PARKING PROVIDED

STANDARD 18 SPACES
 COMPACT 48 SPACES
 BICYCLE 10 SPACES



1 GARAGE - FIRST LEVEL PLAN
 SCALE: 1/8" = 1'-0"



2 GARAGE - SECOND LEVEL PLAN
 SCALE: 1/8" = 1'-0"



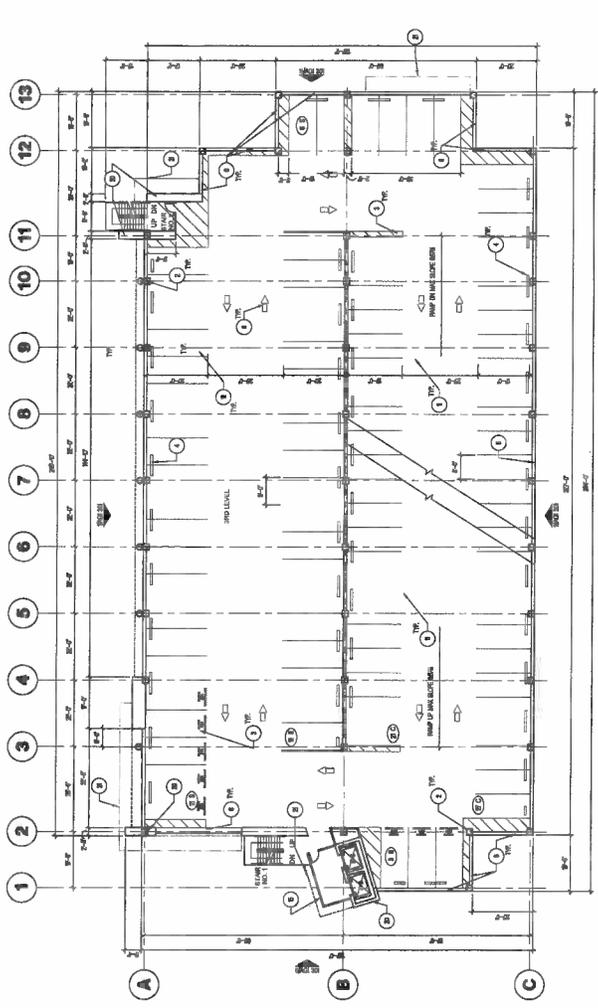
- KEY NOTES**
1. CONCRETE CURB - SEE WALL FINISHING FOR DETAILS
 2. CONCRETE COLUMN - FINISH
 3. FINISH FLOORING - FINISH
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 33. CONCRETE FLOORING - FINISH
 34. CONCRETE FLOORING - FINISH
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 48. CONCRETE FLOORING - FINISH
 49. CONCRETE FLOORING - FINISH
 50. CONCRETE FLOORING - FINISH

PARKING PROVIDED

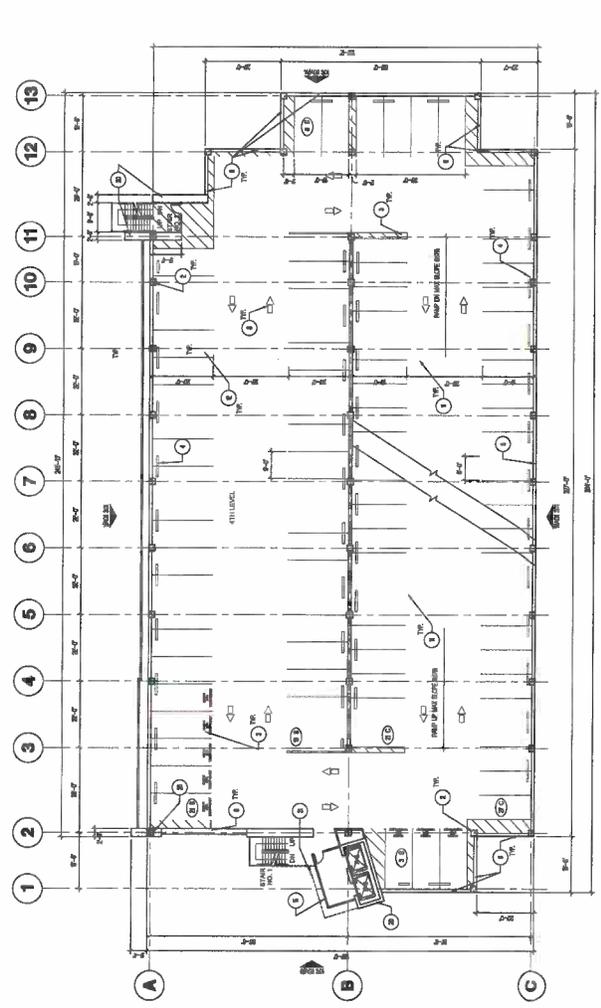
STANDARD: 4 SPACES
 COMPACT: 6 SPACES
 TOTAL: 10 SPACES

PARKING PROVIDED

STANDARD: 4 SPACES
 COMPACT: 6 SPACES
 TOTAL: 10 SPACES



1 GARAGE - THIRD LEVEL PLAN
 SCALE: 1/8" = 1'-0"



2 GARAGE - FOURTH LEVEL PLAN
 SCALE: 1/8" = 1'-0"



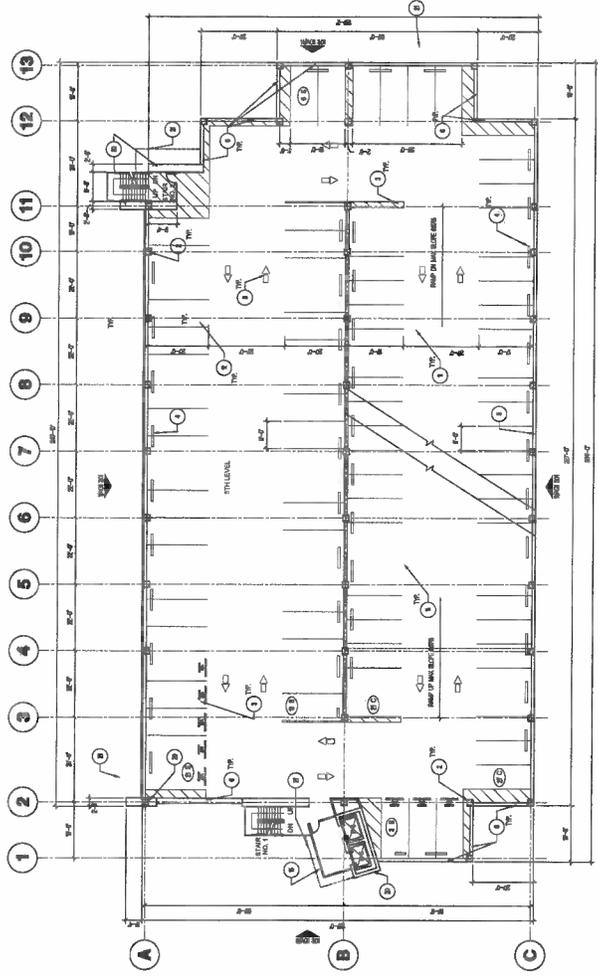
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 ARCHITECTURAL TECHNOLOGIES
 10000 Wilshire Blvd, Suite 1000
 Beverly Hills, CA 90210
 Tel: 310.277.1000
 Fax: 310.277.1001
 www.arctec.com

KEY NOTES
 REFER TO SHEET 05-100 FOR DETAILS

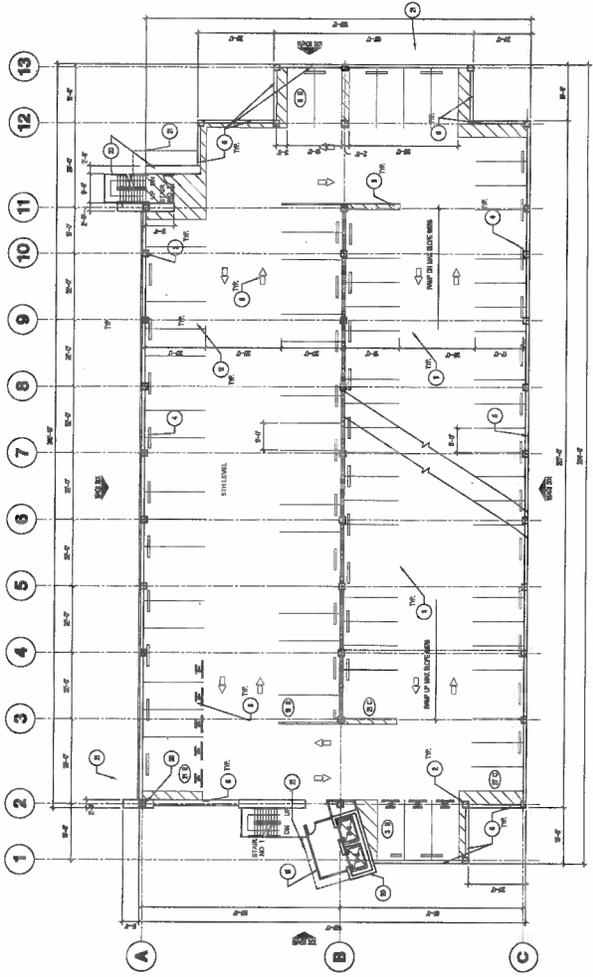
- 1) CONCRETE SLAB - SEE CALL OUTS FOR DETAILS
- 2) CONCRETE COLUMN - 18" DIA
- 3) FINISH FLOOR - 2" POLY CONCRETE
- 4) WELDED WIRE MESH - 18" DIA
- 5) CONCRETE FLOOR - 4" THICK
- 6) CONCRETE FLOOR - 4" THICK
- 7) CONCRETE FLOOR - 4" THICK
- 8) CONCRETE FLOOR - 4" THICK
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- 98) CONCRETE FLOOR - 4" THICK
- 99) CONCRETE FLOOR - 4" THICK
- 100) CONCRETE FLOOR - 4" THICK

PARKING PROVIDED

STANDARD	48 SPACES
COMPACT	12 SPACES
TOTAL	60 SPACES



1 GARAGE - FIFTH LEVEL PLAN
 SCALE: 1/8" = 1'-0"



2 GARAGE - SIXTH LEVEL PLAN
 SCALE: 1/8" = 1'-0"

A Planning Application Package For
CREEKSIDE
 Creekside Way
 Campbell, CA

DATE: 10/15/10
 DESCRIPTION: PLANNING APPLICATION
 DRAWN BY: [Name]
 CHECKED BY: [Name]

PARKING PROVIDED

STANDARD	48 SPACES
COMPACT	12 SPACES
TOTAL	60 SPACES

DATE: 10/15/10
 DESCRIPTION: PLANNING APPLICATION
 DRAWN BY: [Name]
 CHECKED BY: [Name]

AG1 2.14
 PROJECT: [Name]
 SHEET: [Number]

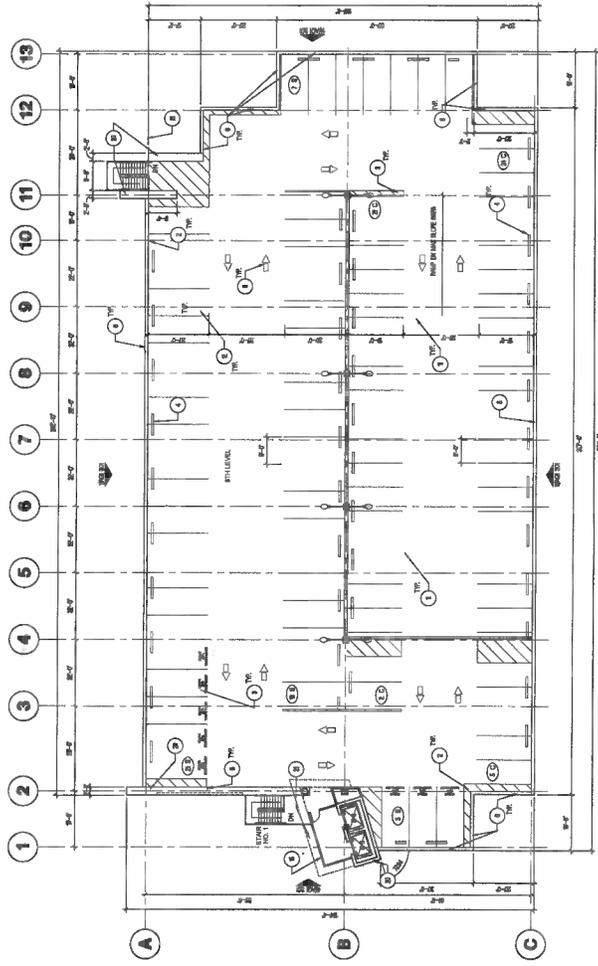


KEY NOTES
SEE THE GENERAL NOTES FOR DETAILS

- 1) CONCRETE COLUMN - 18" DIA. UNLESS NOTED OTHERWISE
- 2) CONCRETE COLUMN - 18" DIA.
- 3) CONCRETE COLUMN - 18" DIA.
- 4) CONCRETE COLUMN - 18" DIA.
- 5) CONCRETE COLUMN - 18" DIA.
- 6) CONCRETE COLUMN - 18" DIA.
- 7) CONCRETE COLUMN - 18" DIA.
- 8) CONCRETE COLUMN - 18" DIA.
- 9) CONCRETE COLUMN - 18" DIA.
- 10) CONCRETE COLUMN - 18" DIA.
- 11) CONCRETE COLUMN - 18" DIA.
- 12) CONCRETE COLUMN - 18" DIA.
- 13) CONCRETE COLUMN - 18" DIA.

PARKING PROVIDED

STANDARD
STANDARD
STANDARD
STANDARD



1 GARAGE - SEVENTH LEVEL PLAN



A Planning Application Package For
CREEKSIDE
Creekside Way
Campbell, CA

DATE: 11/11/15
DESCRIPTION: PLANNING APPLICATION PACKAGE
PROJECT NO.: 15-0000000000

DATE: 11/11/15
DESCRIPTION: PLANNING APPLICATION PACKAGE
PROJECT NO.: 15-0000000000

AG1 2.15
PROJECT NO.: 15-0000000000



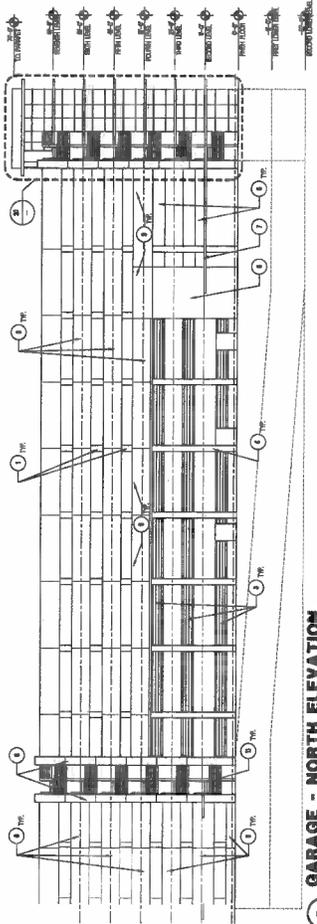
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DENVER, COLORADO 80202
P: 303.733.1235 F: 303.733.2986
BY APPOINTMENT ONLY
1000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
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BY APPOINTMENT ONLY

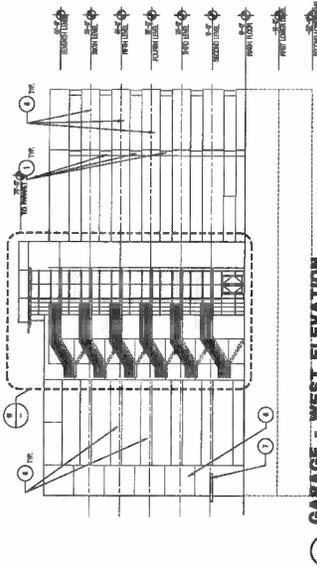
A Planning Application Package For:
CREEKSIDE
Creekside Way
Campbell, CA

DATE: _____
DESCRIPTION: PLANNING APPLICATION SUBMITTAL
FIELD: CAMPBELL, CA

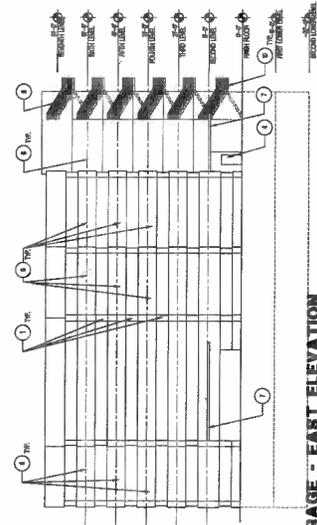
SCALE: EXTERIOR ELEVATIONS
AG1 3.01
PROJECT NO.: 123



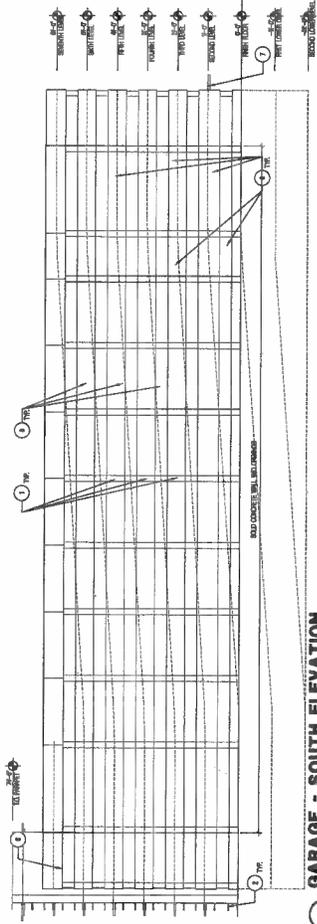
9 GARAGE - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



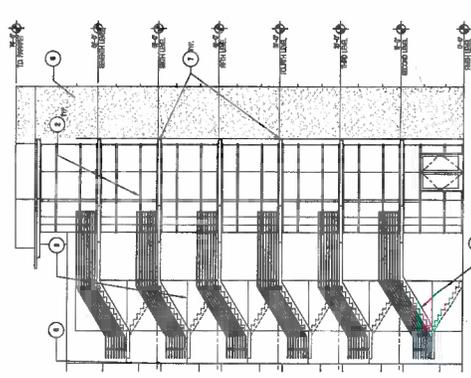
6 GARAGE - WEST ELEVATION
SCALE: 1/8" = 1'-0"



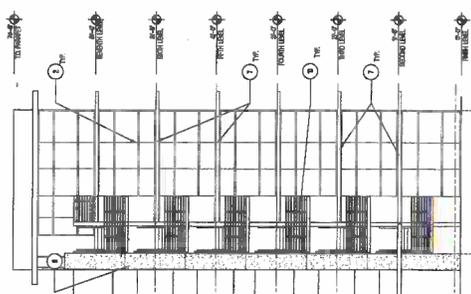
14 GARAGE - EAST ELEVATION
SCALE: 1/8" = 1'-0"



11 GARAGE - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



16 GARAGE WEST ELEVATION
SCALE: 1/8" = 1'-0"



20 GARAGE NORTH ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

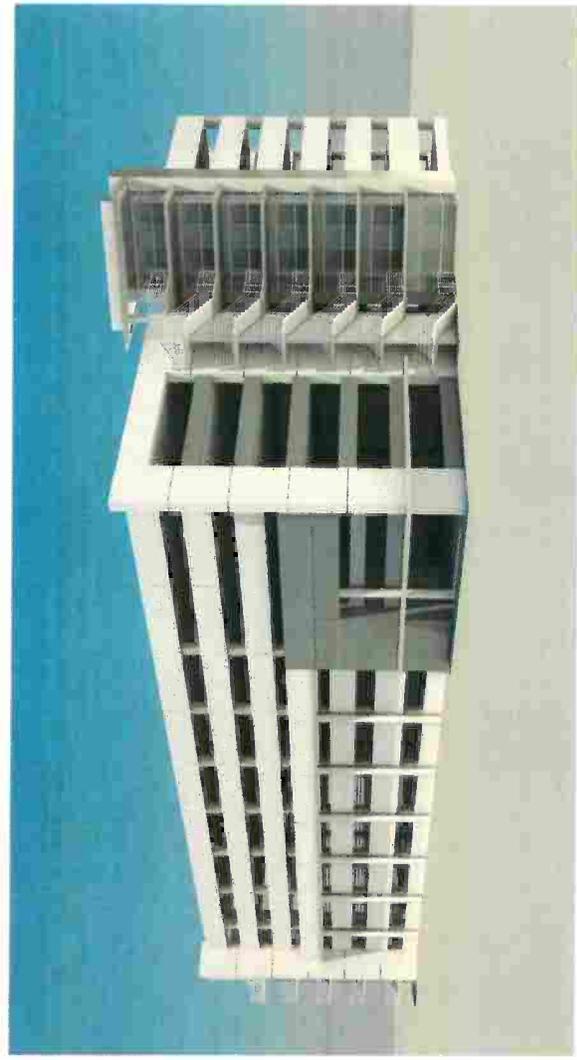
- 1 CONCRETE COLUMN - FINISH
- 2 REBAR
- 3 ALUMINUM BRACES
- 4 1/2" IS STEEL PIPE COLUMN
- 5 HOT LUB
- 6 CONCRETE METAL DECK WITH METAL BRACING
- 7 CONCRETE METAL PANELS - FINISH
- 8 CONCRETE FLOOR
- 9 CONCRETE FLOOR WITH CONCRETE REINFORCEMENT AND INSULATION
- 10 CONCRETE FLOOR WITH METAL BRACING AND METAL DECK WITH METAL BRACING
- 11 CONCRETE FLOOR WITH METAL BRACING AND METAL DECK WITH METAL BRACING



1 GARAGE 1 WEST ELEVATION
 SCALE: 3/32" = 1'-0"



2 GARAGE 1 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



3 GARAGE 1 EXTERIOR RENDERING
 SCALE: NOT TO SCALE

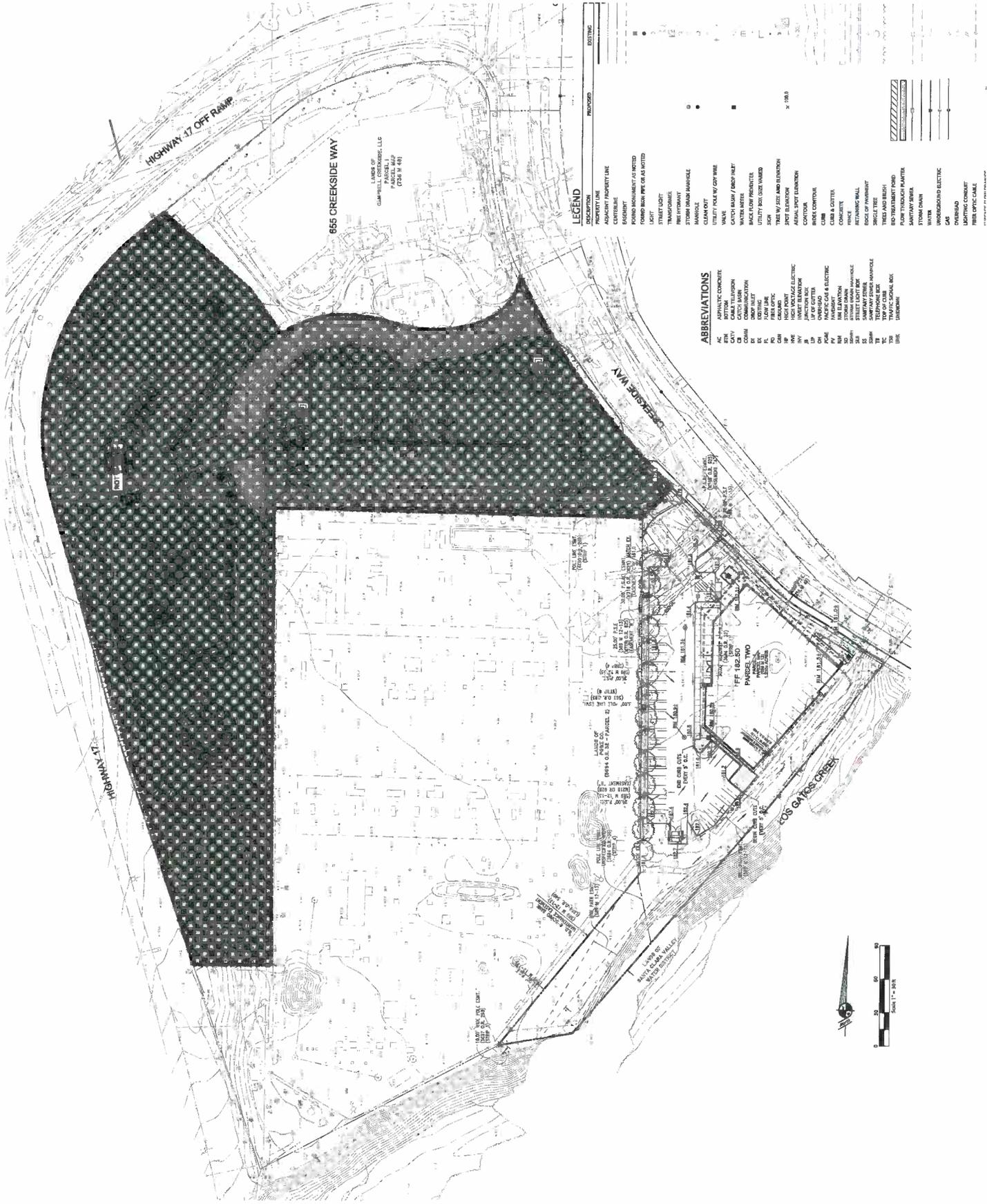


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 ARCHITECTS
 10000 Wilshire Blvd, Suite 1000
 Los Angeles, CA 90024
 Tel: (310) 206-1111
 Fax: (310) 206-1112
 www.kirkwright.com

CREEKSIDE: 1-STORY OFFICE BLDG
 A Planning Application Package For
 Creekside Way
 Campbell, CA

DATE: 11/15/05
 DESCRIPTION: CONCEPTUAL GRADING & DRAINAGE PLAN
 PROJECT NO.: 120555.06
 C1.0



- ABBREVIATIONS**
- AC ASPHALTIC CONCRETE
 - ATV AIR TRAVEL
 - BTM BOTTOM
 - CA CATCH BASIN
 - COM COMMUNICATION
 - CON CONCRETE
 - CS CATCH BASIN
 - CSH CATCH BASIN
 - CSM CATCH BASIN
 - CSN CATCH BASIN
 - CSO CATCH BASIN
 - CSU CATCH BASIN
 - CSV CATCH BASIN
 - CSW CATCH BASIN
 - CSX CATCH BASIN
 - CSY CATCH BASIN
 - CSZ CATCH BASIN
 - CSAA CATCH BASIN
 - CSAB CATCH BASIN
 - CSAC CATCH BASIN
 - CSAD CATCH BASIN
 - CSAE CATCH BASIN
 - CSAF CATCH BASIN
 - CSAG CATCH BASIN
 - CSAH CATCH BASIN
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 - CSAJ CATCH BASIN
 - CSAK CATCH BASIN
 - CSAL CATCH BASIN
 - CSAM CATCH BASIN
 - CSAN CATCH BASIN
 - CSAO CATCH BASIN
 - CSAP CATCH BASIN
 - CSAQ CATCH BASIN
 - CSAR CATCH BASIN
 - CSAS CATCH BASIN
 - CSAT CATCH BASIN
 - CSAU CATCH BASIN
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 - CSBA CATCH BASIN
 - CSBB CATCH BASIN
 - CSBC CATCH BASIN
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 - CSBK CATCH BASIN
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 - CSBM CATCH BASIN
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 - CSBP CATCH BASIN
 - CSBQ CATCH BASIN
 - CSBR CATCH BASIN
 - CSBS CATCH BASIN
 - CSBT CATCH BASIN
 - CSBU CATCH BASIN
 - CSBV CATCH BASIN
 - CSBW CATCH BASIN
 - CSBX CATCH BASIN
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 - CS CZ CATCH BASIN

LEGEND

PROPOSED	EXISTING
ADJACENT PROPERTY LINE	ADJACENT PROPERTY LINE
ADJACENT PROPERTY USE	ADJACENT PROPERTY USE
CEMENT	CEMENT
FOUNDATION AS NOTED	FOUNDATION AS NOTED
FOUNDATION PIPE AS NOTED	FOUNDATION PIPE AS NOTED
FOUNDATION LIGHT	FOUNDATION LIGHT
FOUNDATION TRANSFORMER	FOUNDATION TRANSFORMER
FOUNDATION	FOUNDATION
FOUNDATION MANHOLE	FOUNDATION MANHOLE
UTILITY POLE W/ CRY WIRE	UTILITY POLE W/ CRY WIRE
WALL	WALL
CATCH BASIN / DROP INLET	CATCH BASIN / DROP INLET
BACKFLOW PREVENTER	BACKFLOW PREVENTER
UTILITY POLE SIZE NAMED	UTILITY POLE SIZE NAMED
SEWER	SEWER
TREE W/ SIZE AND ELEVATION	TREE W/ SIZE AND ELEVATION
SPOT ELEVATION	SPOT ELEVATION
PROPERTY ELEVATION	PROPERTY ELEVATION
CONTOUR	CONTOUR
BRIDGE CONTOUR	BRIDGE CONTOUR
CURB	CURB
CURB & GUTTER	CURB & GUTTER
RETAINING WALL	RETAINING WALL
EDGE OF PAVEMENT	EDGE OF PAVEMENT
SHEDDING TREE	SHEDDING TREE
NO TREATMENT POND	NO TREATMENT POND
FLOW THROUGH PLANTER	FLOW THROUGH PLANTER
STORM DRAIN	STORM DRAIN
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC
GAS	GAS
OVERHEAD	OVERHEAD
LIGHTING CONDUIT	LIGHTING CONDUIT
FIBER OPTIC CABLE	FIBER OPTIC CABLE





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 10000 WILLOW CREEK DRIVE
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 TEL: 415.486.1000
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 E: INFO@ARCTEC.COM

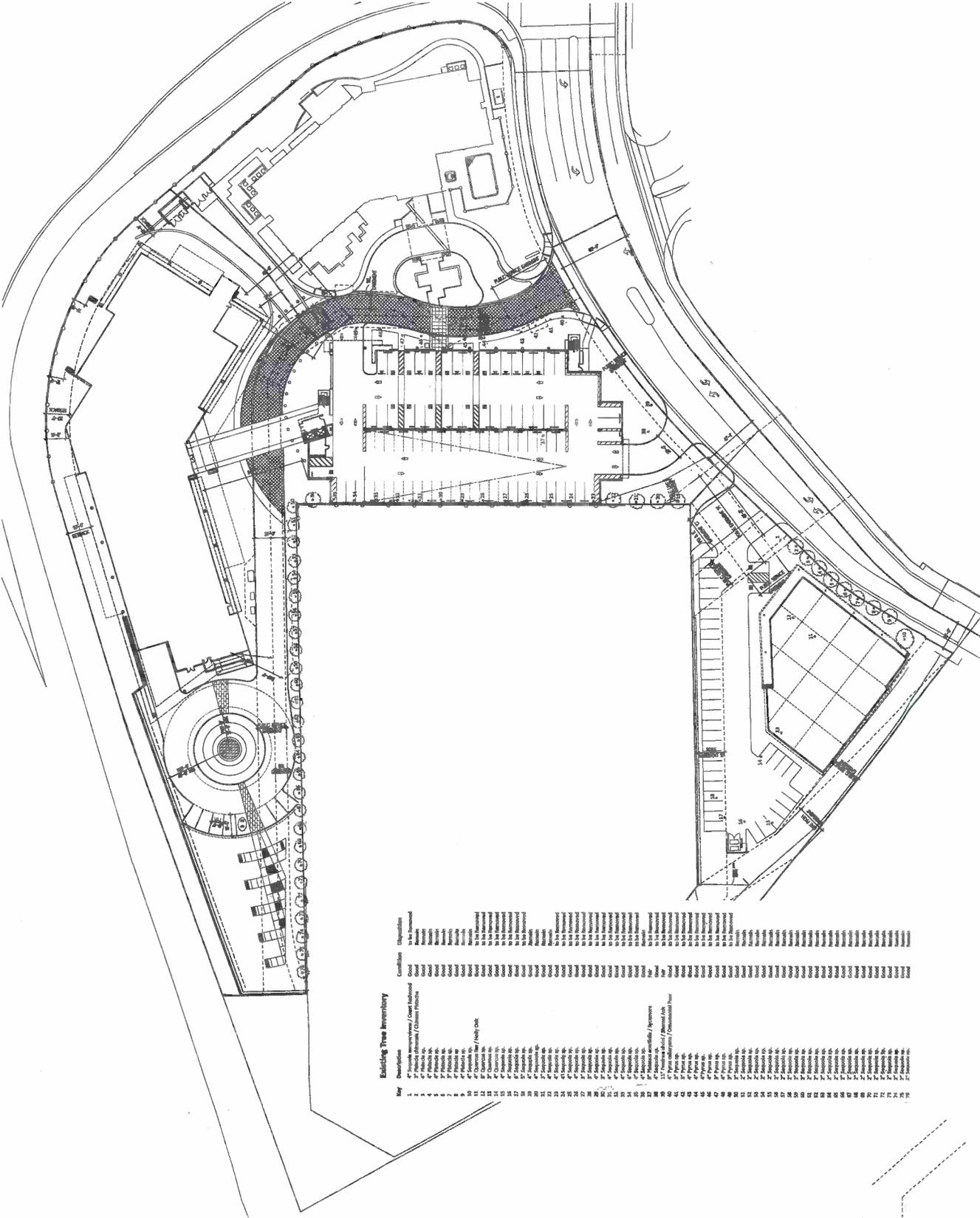
LEIGH B. WITTEKAMP
 LEAD ARCHITECT
 200 PASCADENE DRIVE, SUITE 200
 CAMPBELL, CA 95008
 TEL: 415.486.1000
 FAX: 415.486.1001
 E: LEIGH@ARCTEC.COM

A Planning Application Package For
CREEKSIDE: 1-STORY OFFICE BLDG
 Creekside Way
 Campbell, CA

DATE: 12/11/11
 DESCRIPTION: PLANNING APPLICATION

EXISTING TREE INVENTORY

L2.1
 PROJECT NO.: 12111111

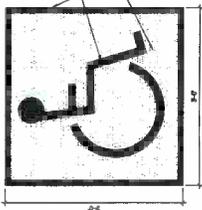
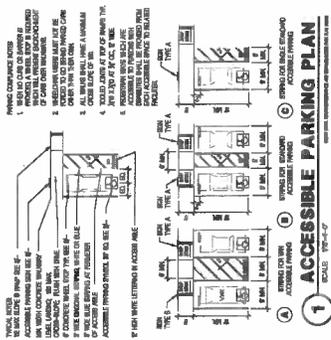


Existing Tree Inventory

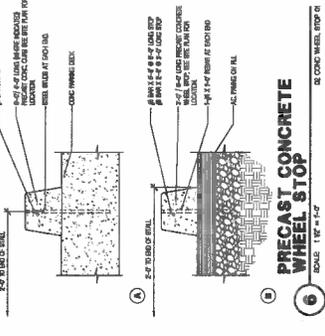
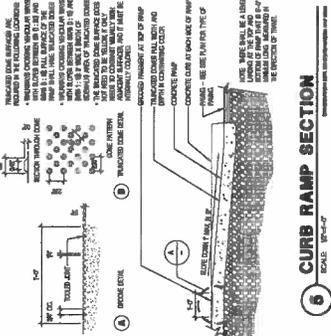
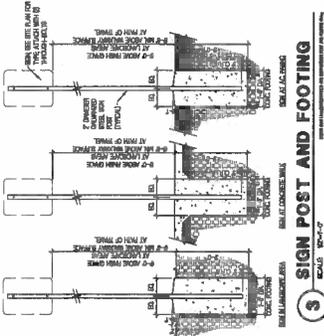
Tag	Description	Condition	Disposition
1	4" Spindle Juniper / Coast Redwood	Good	To be Retained
2	4" Florida Live Oak / Coast Redwood	Good	To be Retained
3	4" Florida Live Oak / Coast Redwood	Good	To be Retained
4	4" Florida Live Oak / Coast Redwood	Good	To be Retained
5	4" Florida Live Oak / Coast Redwood	Good	To be Retained
6	4" Florida Live Oak / Coast Redwood	Good	To be Retained
7	4" Florida Live Oak / Coast Redwood	Good	To be Retained
8	4" Florida Live Oak / Coast Redwood	Good	To be Retained
9	4" Florida Live Oak / Coast Redwood	Good	To be Retained
10	4" Florida Live Oak / Coast Redwood	Good	To be Retained
11	4" Florida Live Oak / Coast Redwood	Good	To be Retained
12	4" Florida Live Oak / Coast Redwood	Good	To be Retained
13	4" Florida Live Oak / Coast Redwood	Good	To be Retained
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30	4" Florida Live Oak / Coast Redwood	Good	To be Retained
31	4" Florida Live Oak / Coast Redwood	Good	To be Retained
32	4" Florida Live Oak / Coast Redwood	Good	To be Retained
33	4" Florida Live Oak / Coast Redwood	Good	To be Retained
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35	4" Florida Live Oak / Coast Redwood	Good	To be Retained
36	4" Florida Live Oak / Coast Redwood	Good	To be Retained
37	4" Florida Live Oak / Coast Redwood	Good	To be Retained
38	4" Florida Live Oak / Coast Redwood	Good	To be Retained
39	4" Florida Live Oak / Coast Redwood	Good	To be Retained
40	4" Florida Live Oak / Coast Redwood	Good	To be Retained
41	4" Florida Live Oak / Coast Redwood	Good	To be Retained
42	4" Florida Live Oak / Coast Redwood	Good	To be Retained
43	4" Florida Live Oak / Coast Redwood	Good	To be Retained
44	4" Florida Live Oak / Coast Redwood	Good	To be Retained
45	4" Florida Live Oak / Coast Redwood	Good	To be Retained
46	4" Florida Live Oak / Coast Redwood	Good	To be Retained
47	4" Florida Live Oak / Coast Redwood	Good	To be Retained
48	4" Florida Live Oak / Coast Redwood	Good	To be Retained
49	4" Florida Live Oak / Coast Redwood	Good	To be Retained
50	4" Florida Live Oak / Coast Redwood	Good	To be Retained
51	4" Florida Live Oak / Coast Redwood	Good	To be Retained
52	4" Florida Live Oak / Coast Redwood	Good	To be Retained
53	4" Florida Live Oak / Coast Redwood	Good	To be Retained
54	4" Florida Live Oak / Coast Redwood	Good	To be Retained
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56	4" Florida Live Oak / Coast Redwood	Good	To be Retained
57	4" Florida Live Oak / Coast Redwood	Good	To be Retained
58	4" Florida Live Oak / Coast Redwood	Good	To be Retained
59	4" Florida Live Oak / Coast Redwood	Good	To be Retained
60	4" Florida Live Oak / Coast Redwood	Good	To be Retained
61	4" Florida Live Oak / Coast Redwood	Good	To be Retained
62	4" Florida Live Oak / Coast Redwood	Good	To be Retained
63	4" Florida Live Oak / Coast Redwood	Good	To be Retained
64	4" Florida Live Oak / Coast Redwood	Good	To be Retained
65	4" Florida Live Oak / Coast Redwood	Good	To be Retained
66	4" Florida Live Oak / Coast Redwood	Good	To be Retained
67	4" Florida Live Oak / Coast Redwood	Good	To be Retained
68	4" Florida Live Oak / Coast Redwood	Good	To be Retained
69	4" Florida Live Oak / Coast Redwood	Good	To be Retained
70	4" Florida Live Oak / Coast Redwood	Good	To be Retained



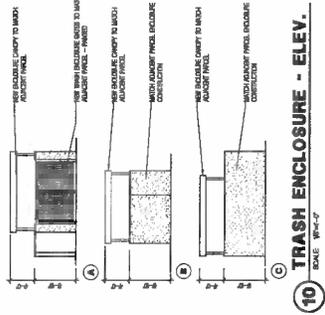
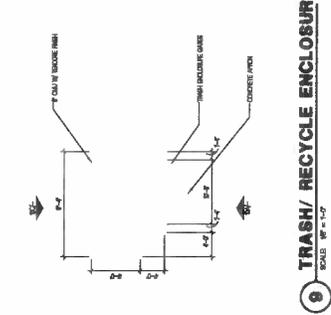
1 EXISTING TREE INVENTORY
 SCALE: 1" = 20'-0"



3 SIGN POST AND FOOTING
SCALE: 1/8" = 1'-0"



8 TRASH/ RECYCLE ENCLOSURE
SCALE: 1/8" = 1'-0"



9 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1/8" = 1'-0"



11 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1/8" = 1'-0"



12 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1/8" = 1'-0"



13 ACCESSIBLE PARKING SIGNAGE & UNAUTHORIZED VEHICLE SIGNAGE
SCALE: 1/8" = 1'-0"

DATE	DESCRIPTION
11/20/13	PLANNING APPLICATION

NO.	REVISION	DATE
1	ISSUED FOR PERMITTING	11/20/13

14. SIGNAGE SHALL BE PROVIDED AS SHOWN. SIGNAGE SHALL BE PROVIDED AS SHOWN. SIGNAGE SHALL BE PROVIDED AS SHOWN.

15. DIMENSIONS SHALL BE PROVIDED AS SHOWN. DIMENSIONS SHALL BE PROVIDED AS SHOWN. DIMENSIONS SHALL BE PROVIDED AS SHOWN.

16. MATERIALS SHALL BE PROVIDED AS SHOWN. MATERIALS SHALL BE PROVIDED AS SHOWN. MATERIALS SHALL BE PROVIDED AS SHOWN.

17. FINISHES SHALL BE PROVIDED AS SHOWN. FINISHES SHALL BE PROVIDED AS SHOWN. FINISHES SHALL BE PROVIDED AS SHOWN.

18. INSTALLATION SHALL BE PROVIDED AS SHOWN. INSTALLATION SHALL BE PROVIDED AS SHOWN. INSTALLATION SHALL BE PROVIDED AS SHOWN.

19. MAINTENANCE SHALL BE PROVIDED AS SHOWN. MAINTENANCE SHALL BE PROVIDED AS SHOWN. MAINTENANCE SHALL BE PROVIDED AS SHOWN.

20. REPLACEMENT SHALL BE PROVIDED AS SHOWN. REPLACEMENT SHALL BE PROVIDED AS SHOWN. REPLACEMENT SHALL BE PROVIDED AS SHOWN.



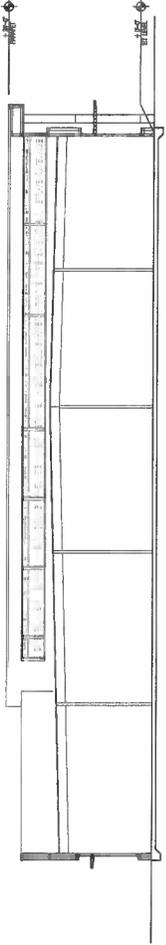
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A Planning Application Package For
CREEKSIDE: 1-STORY OFFICE BLDG
Creekside Way
Campbell, CA

DATE: 11/11/09
DESCRIPTION: PLANNING APPLICATION
CLIENT: PLANNING APPLICATION

STAIR/BUILDING SECTIONS
A4.01
PROJECT NO.: 120303.00



PROPOSED OFFICE BUILDING

1 LATITUDINAL SITE/BUILDING SECTION
SCALE: 1/4" = 1'-0"