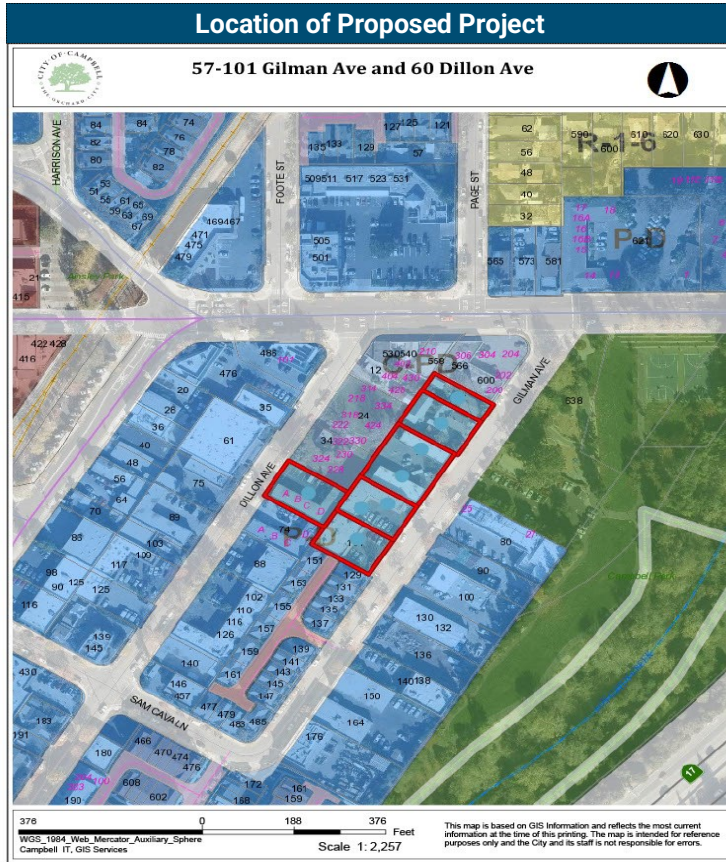






City of Campbell
70 North First Street
Campbell, CA 95008 –1423

Project Image



Courtesy Notice

Dear Campbell Resident,

March 6, 2023

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 57-101 Gilman Ave., & 60 Dillon Ave.

Zoning | Area Plan: P-D| SOCA

Neighborhood Association(s): DCNA

Council District: 2

File No.: PLN-2023-37

APN: 412-09-032

Applicant: Robson Homes, LLC

Property Owner: Robson Homes, LLC

Application Type: Preliminary Application

Project Planner: Daniel Fama, Senior Planner

Email Contact: daniel@campbellca.gov

Phone Contact: (408) 866-2193

Project Description:

Preliminary proposal for a 29-unit townhome/duet residential development on a 1.1 acre assemblage.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

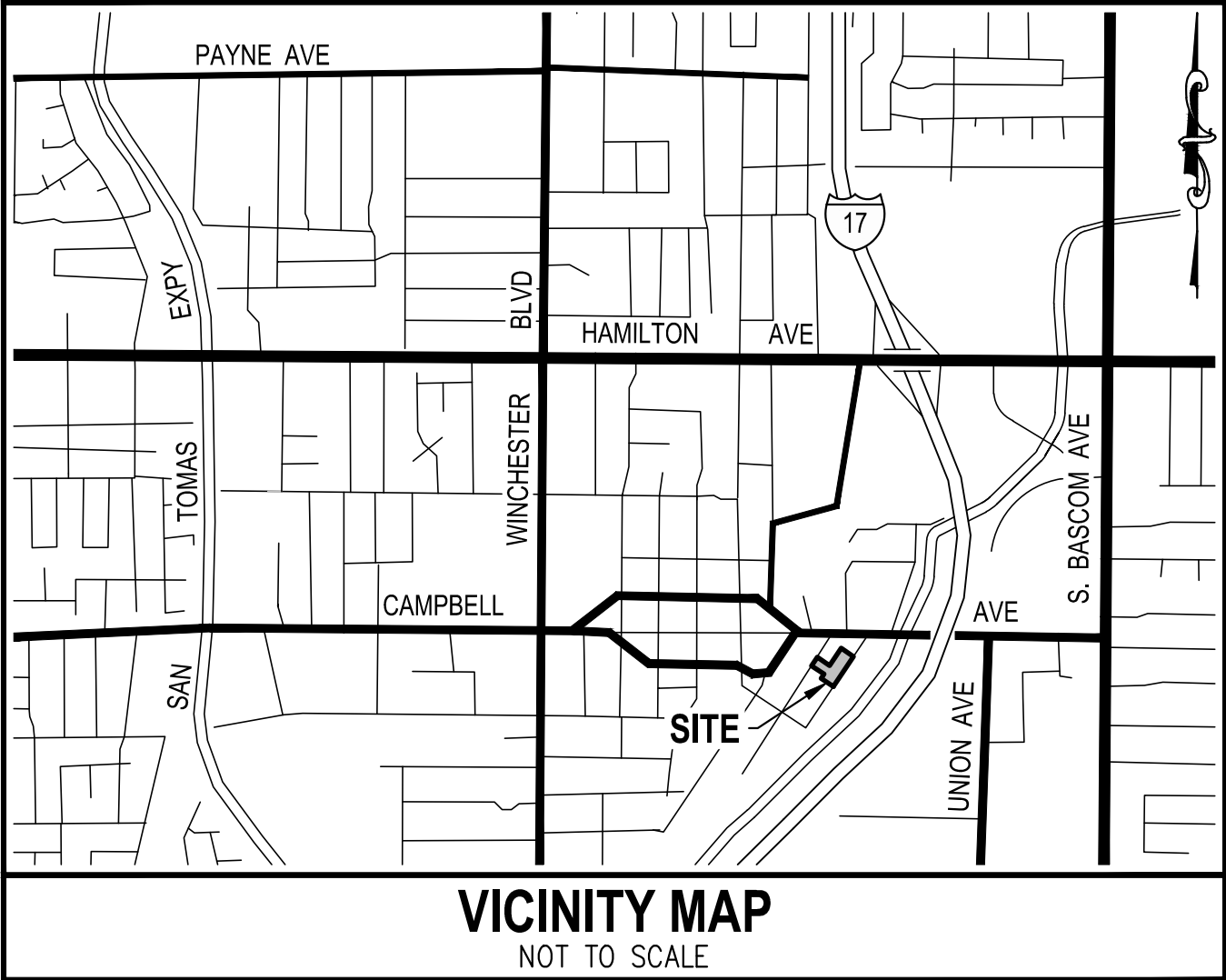
****Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español**



PRELIMINARY REVIEW PACKAGE

GILMAN AVENUE SITE DEVELOPMENT

CAMPBELL CALIFORNIA



APPLICANT:

2185 THE ALAMEDA, SUITE 150
SAN JOSE, CA 95126

Civil Engineers • Planners • Surveyors

28 Railway Avenue
Campbell, CA 95008
T: (408) 453-1066

3337 MICHELSON DRIVE | SUITE 170 | IRVINE, CA 92612
949.655.1550 | WWW.ROBERTHIDEY.COM

PO BOX 485
BEN LOMOND, CA 95005
(831) 336-3100

<u>PAGE</u>	<u>SHEET</u>	<u>TITLE</u>
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<u>CIVIL</u>		
1	C1	COVER SHEET
2	C2	SITE PHOTOGRAPHY SHEET
3	C3	PROJECT AREA EXHIBIT
4	C4	EXISTING CONDITIONS PLAN
5	C5	SITE PLAN

6 A-1

7	A-2	BUILDING 1A ELEVATIONS
8	A-3	BUILDING 1B ELEVATIONS
9	A-4	BUILDING 2 FLOOR PLAN & ROOF PLAN
10	A-5	BUILDING 2A ELEVATIONS
11	A-6	BUILDING 3 FLOOR PLAN & 3A ROOF PLAN
12	A-7	BUILDING 3A ELEVATIONS
13	A-8	BUILDING 3B ELEVATIONS

— — — — —	RIGHT-OF-WAY
_____	LOT LINE
_____	CENTER LINE
— — — — —	MONUMENT LINE
SS ○	SANITARY SEWER
⊙	STORM DRAIN
_____	WATER LINE
⋈	FIRE HYDRANT
⊗	WATER VALVE
G	GAS LINE
OH	OVERHEAD LINE
— X — X —	CHAIN LINK FENCE
○ — ○ — ○ — ○ —	IRON FENCE
□ — □ — □ — □ —	WOOD FENCE
⦿	BOLLARD
#275	TREE NUMBER

APN	ASSESSMENT
-----	------------

CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CONC	CONCRETE
ELEC	ELECTRIC
FH	FIRE HYDRANT
GM	GAS METER
GV	GAS VALVE
INV	INVERT
MH	MANHOLE
PED	PEDISTAL
SS	SANITARY SEWER
SD	STORM DRAIN
STLT	STREET LIGHT
WM	WATER METER
WT	WATER
WV	WATER VALVE
WF	WOOD FENCE

DEVELOPER REQUESTS AN SB 330 APPLICATION BE ACCEPTED FOR 29 RESIDENTIAL UNITS

CITE DATA

SITE ADDRESS

ASSESSOR'S PARCEL NUMBER:	412-09-026, 032, 033, 034, 035, 036
EXISTING ZONING DISTRICT:	P-D (PLANNED DEVELOPMENT)
EXISTING SPECIAL PROJECT AREAS:	SOUTH OF CAMPBELL AVENUE AREA PLAN / EAST CAMPBELL AVENUE MASTER PLAN AREA
EXISTING GP DESIGNATIONS:	COMMERCIAL/MED-HIGH DENSITY RESIDENTIAL (14-27 GR ACRE) / CENTRAL COMMERCIAL
GROSS SITE AREA:	1.452 ACRES (INCLUDING AREA TO CENTERLINE OF ADJACENT PUBLIC STREETS)
GROSS SITE DENSITY:	20.0 DU/AC
NET SITE AREA:	1.138 ACRES
NET SITE DENSITY:	25.5 DU/AC
NOTE: SEE SHEET C3 FOR ADDITIONAL INFORMATION.	
FLOOR AREA RATIO:	1.59 (78,789 SF GROSS FLOOR AREA / 49,571 SF NET LOT AREA)
BUILDING LOT COVERAGE:	26,450 SF
LANDSCAPING COVERAGE:	8,800 SF
PAVING COVERAGE:	12,330 SF

TOTAL RESIDENTIAL TOWNHOMES

<u>PLAN TYPE</u>	<u>BED COUNT</u>
PLAN 1	3 PD / 3 PA

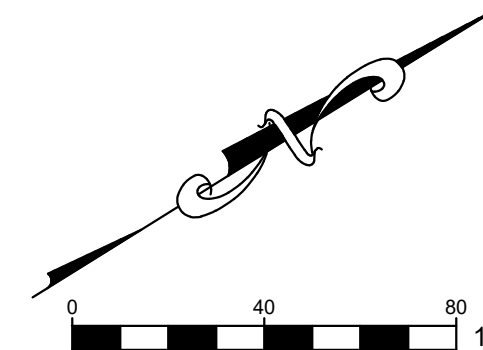
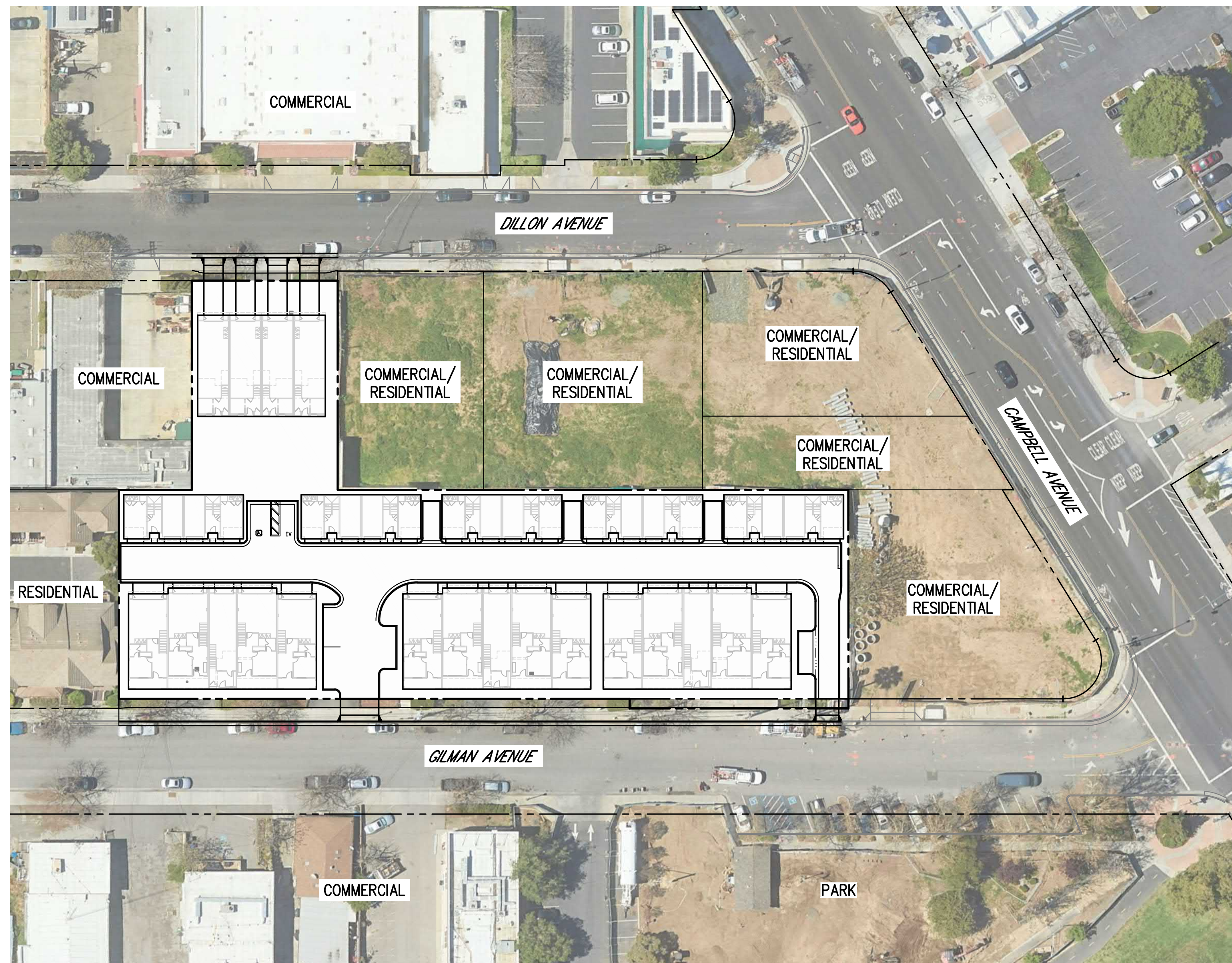
PLAN 1	3 BD / 3 BA	2 CAR TANDEM	3	10%
PLAN 2	3 BD / 3 BA	2 CAR TANDEM	4	14%
PLAN 3	4 BD / 3.5 BA	2 CAR SIDE BY SIDE	6	21%
PLAN 4	4 BD / 3.5 BA	2 CAR SIDE BY SIDE	6	21%
PLAN 5	2 BD / 2.5 BA	2 CAR	10	34%
(1 EACH SIDE OF ENTRY)				
TOTAL			29	100%

GROSS AREAS AS DEFINED IN ZONING CODE (CITY OF CAMPBELL, CA)							
	TOWNHOMES				DUET	NOTES	
	PLAN 1	PLAN 2	PLAN 2X	PLAN 3	PLAN 4	PLAN 5	
FIRST FLOOR	742	842	837	982	1055	714	To exterior walls including garage, stair, popouts, porch
SECOND FLOOR	792	885	892	1046	1007	736	To exterior walls including balcony and stair
THIRD FLOOR	723	1661	828	1041	1025	703	To exterior walls including stair
TOTAL GROSS AREA	2257	3388	2557	3069	3087	2153	

PROVIDED - 71 STALLS PROVIDED (2.45 STALLS PER UNIT)

- 58 COVERED STALLS (2 PER UNIT)
- 13 SURFACE STALLS (INCLUDING 1 VAN ACCESSIBLE STALL AND 1 EV STALL)

• PER AB 2097, PUBLIC AGENCIES SHALL NOT IMPOSE OR ENFORCE MINIMUM PARKING REQUIREMENTS ON PROJECTS THAT ARE WITHIN ONE-HALF MILE OF PUBLIC TRANSIT. THE SUBJECT SITE IS WITHIN ONE-HALF MILE OF THE CAMPBELL VTA LIGHT RAIL STATION (SEE SHEET C2).



SHEET C1 OF SHEETS	SHEET NO.	22-139	DRAWN	CH	DESIGNED	JG	SCALE	SEE PLAN	DATE	2/16/2023	GILMAN AVENUE COVER SHEET CAMPBELL CALIFORNIA	PREPARED FOR: ROBSON HOMES A CALIFORNIA LIMITED LIABILITY COMPANY 2185 THE ALAMEDA, SUITE 150 SAN JOSE, CA 95126	 Civil Engineering Associates Civil Engineers • Planners • Surveyors	28 Railway Avenue Campbell, CA 95008 T: (408) 453-1866	NO.	DATE	BY	REVISIONS



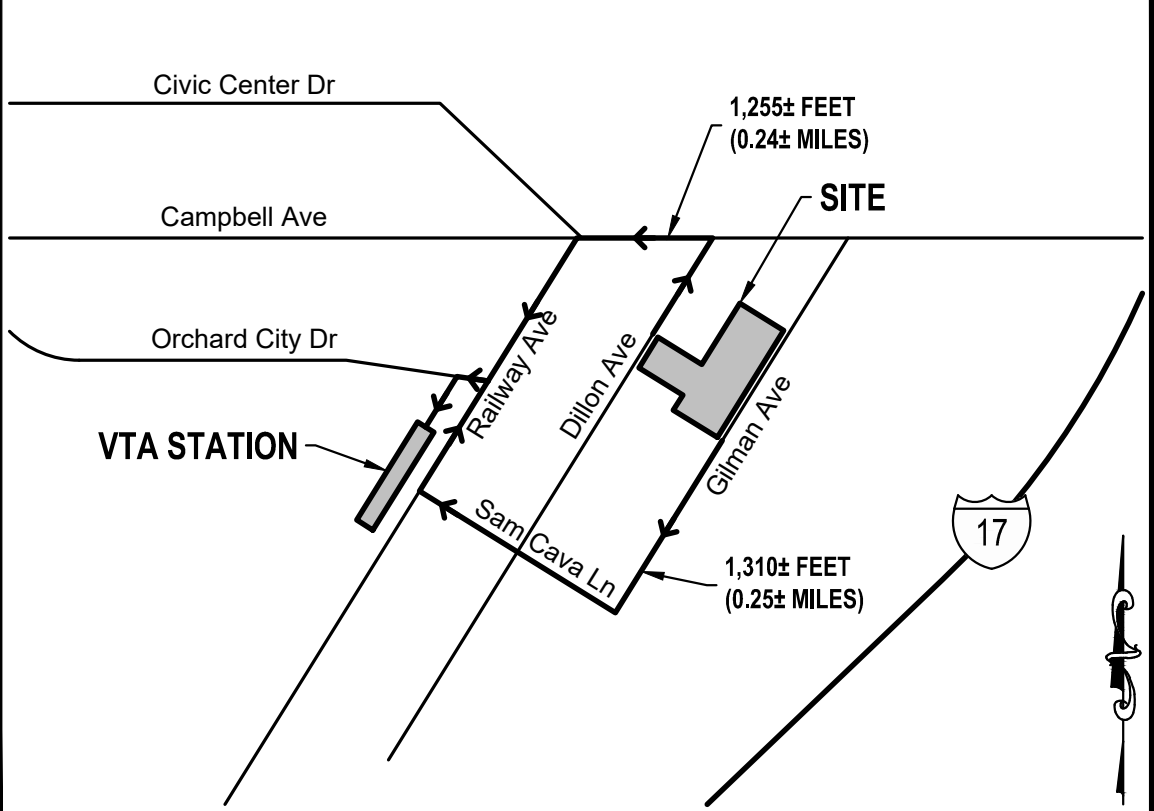
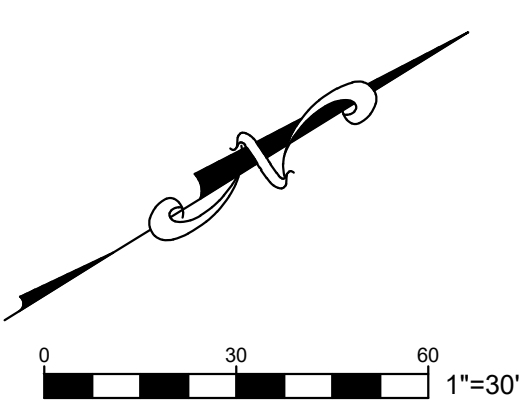
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2



3

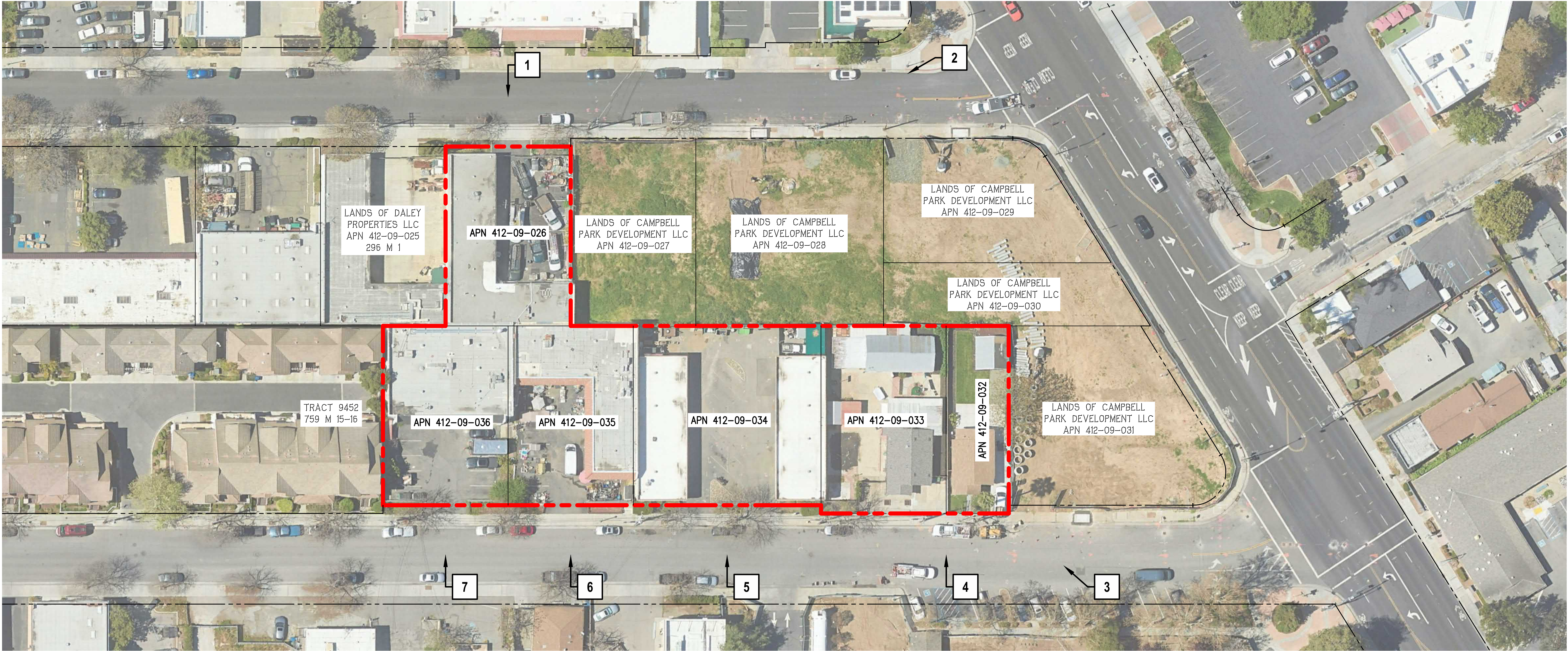


VICINITY MAP
NOT TO SCALE

NO.	DATE	REVISIONS	BY

28 Railway Avenue
Campbell, CA 95008
T: (408) 453-1066

Civil Engineering Associates
Civil Engineers • Planners • Surveyors



7



6



5



4

PREPARED FOR:

GILMAN AVENUE
SITE PHOTOGRAPHY SHEET

DATE	2/16/2023
SCALE	SEE PLAN
DESIGNED	JG
DRAWN	CH
JOB NO.	22-139
SHEET	C2
OF	SHEETS

ROBSON HOMES
A CALIFORNIA LIMITED LIABILITY COMPANY
2185 THE ALAMEDA, SUITE 150
SAN JOSE, CA 95126

CALIFORNIA
CAMPBELL



----	----	BOUNDARY LINE
----	----	RIGHT-OF-WAY
----	----	LOT LINE
----	----	CENTER LINE
----	----	MONUMENT LINE
SS	○	SANITARY SEWER
====	⊙	STORM DRAIN
W	----	WATER LINE
⋈	----	FIRE HYDRANT
⊗	----	WATER VALVE
G	----	GAS LINE
OH	----	OVERHEAD LINE
X	X	CHAIN LINK FENCE
○	○	IRON FENCE
□	□	WOOD FENCE
●		BOLLARD
#275		TREE NUMBER

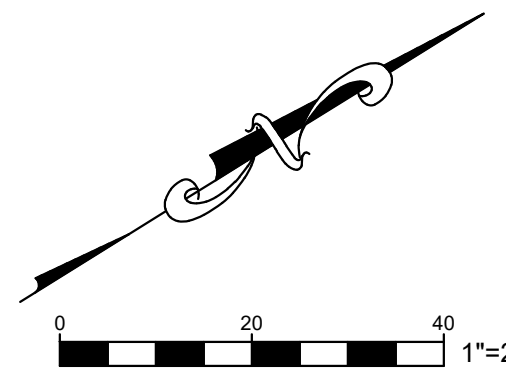
APN	ASSESSORS' PARCEL NUMBER
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CONC	CONCRETE
ELEC	ELECTRIC
FH	FIRE HYDRANT
GM	GAS METER
GV	GAS VALVE
INV	INVERT
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PED	PEDISTAL
SS	SANITARY SEWER
SD	STORM DRAIN
STLT	STREET LIGHT
WM	WATER METER
WT	WATER
WV	WATER VALVE
WF	WOOD FENCE

Table 4: Tree Inventory Summary

Tree Species	I.D. #	Trunk Diameter (in.)	Condition	Suitability	Expected Impact	Status
Chinese pistache (<i>Pistacia chinensis</i>)	4545	14	Fair	Good	Moderate	Street Tree
fan palm (<i>Washingtonia robusta</i>)	271	21	Good	Poor	High	Protected
tree of heaven (<i>Allanthus altissima</i>)	272	14, 9, 6, 8, 4, 7, 13	Fair	Poor	High	Protected
Chinese pistache (<i>Pistacia chinensis</i>)	4544	12	Good	Good	Moderate	Street Tree
Hollywood juniper (<i>Juniperus chinensis</i> 'Torulosa')	273	8	Fair	Poor	High	Not-Protected
Chinese pistache (<i>Pistacia chinensis</i>)	4543	17	Fair	Good	Moderate	Street Tree
Chinese pistache (<i>Pistacia chinensis</i>)	4542	15	Fair	Good	Moderate	Street Tree
Hollywood juniper (<i>Juniperus chinensis</i> 'Torulosa')	274	7, 8, 5, 5	Fair	Poor	High	Protected
Chinese pistache (<i>Pistacia chinensis</i>)	275	14	Good	Good	Moderate	Street Tree
Almond (<i>Prunus dulcis</i>)	276	6, 6, 4, 4	Good	Poor	High	Protected
Chinese pistache (<i>Pistacia chinensis</i>)	277	13	Fair	Good	Moderate	Street Tree
Chinese pistache (<i>Pistacia chinensis</i>)	278	10	Good	Good	Moderate	Street Tree
Chinese pistache (<i>Pistacia chinensis</i>)	279	10	Good	Good	Moderate	Street Tree

Architectural floor plan of the 1st floor of the 'DREAM HOUSE'. The plan shows a long, narrow building with a central corridor and various rooms. The rooms are labeled with numbers: #278, #279, #276, #277, #272, #271, #4542, #4543, #4544, and #4545. The plan also includes a 'PARKING AREA' and a 'DRIVE WAY'. The building is surrounded by a 'ROAD' and a 'PARKING AREA'. The plan is drawn in a detailed architectural style with lines and text.

NOTE
ALL TREES TO BE REMOVED.

[illegible]

**Civil
Engineering
Associates**

Civil Engineers • Planners • Surveyors

28 Railway Avenue
Campbell, CA 95008
T: (408) 453-1066

PREPARED FOR:

ROBSON HOMES
A CALIFORNIA LIMITED LIABILITY COMPANY

2185 THE ALAMEDA, SUITE 150
SAN JOSE, CA 95126

**GILMAN AVENUE
EXISTING CONDITIONS PLAN**

DATE	2/16/2023
SCALE	SEE PLAN
DESIGNED	JG
DRAWN	CH
JOB NO.	22-139
SHEET	C4

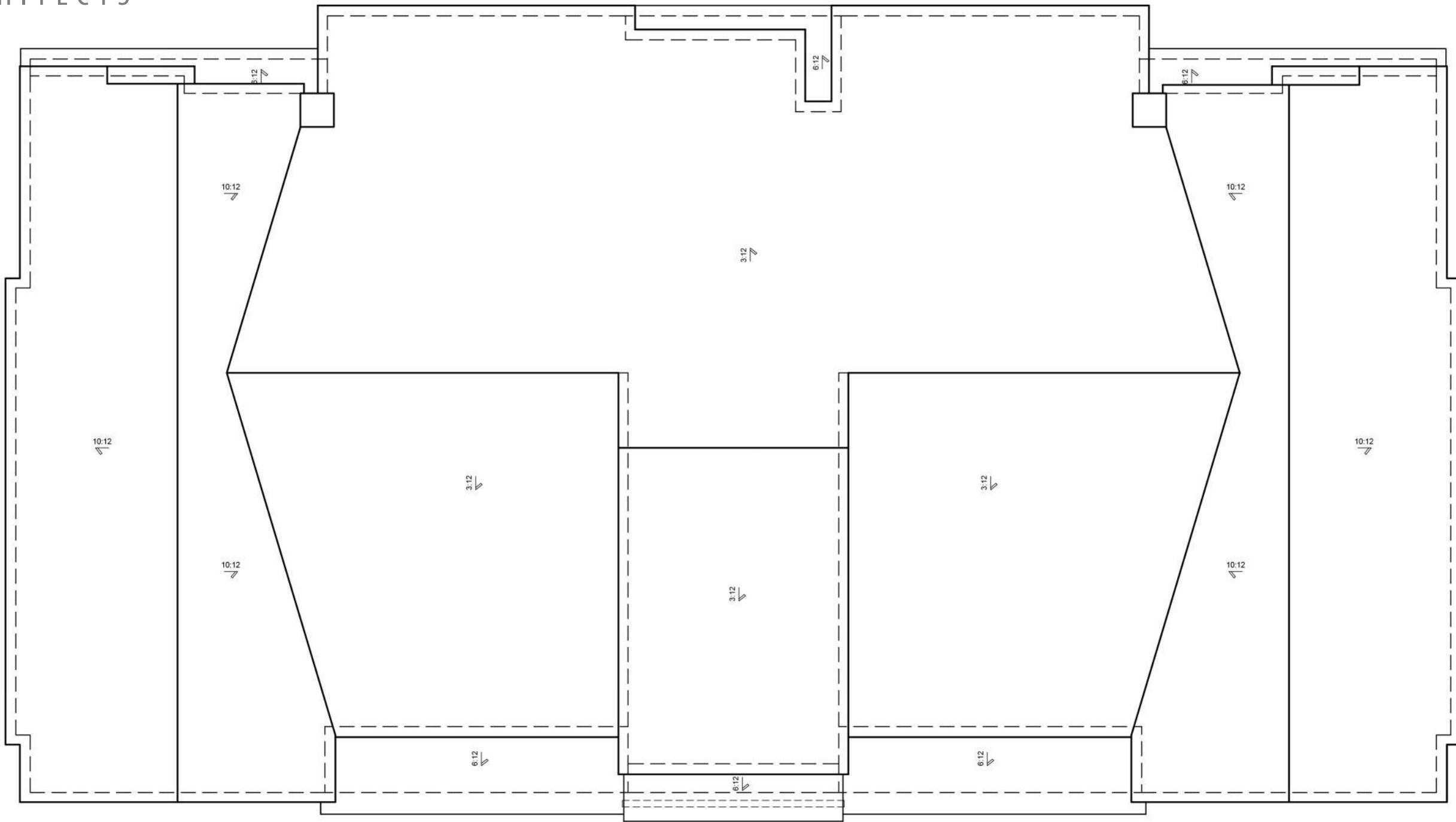
GILMAN AND DILLON SITE

CAMPBELL, CALIFORNIA

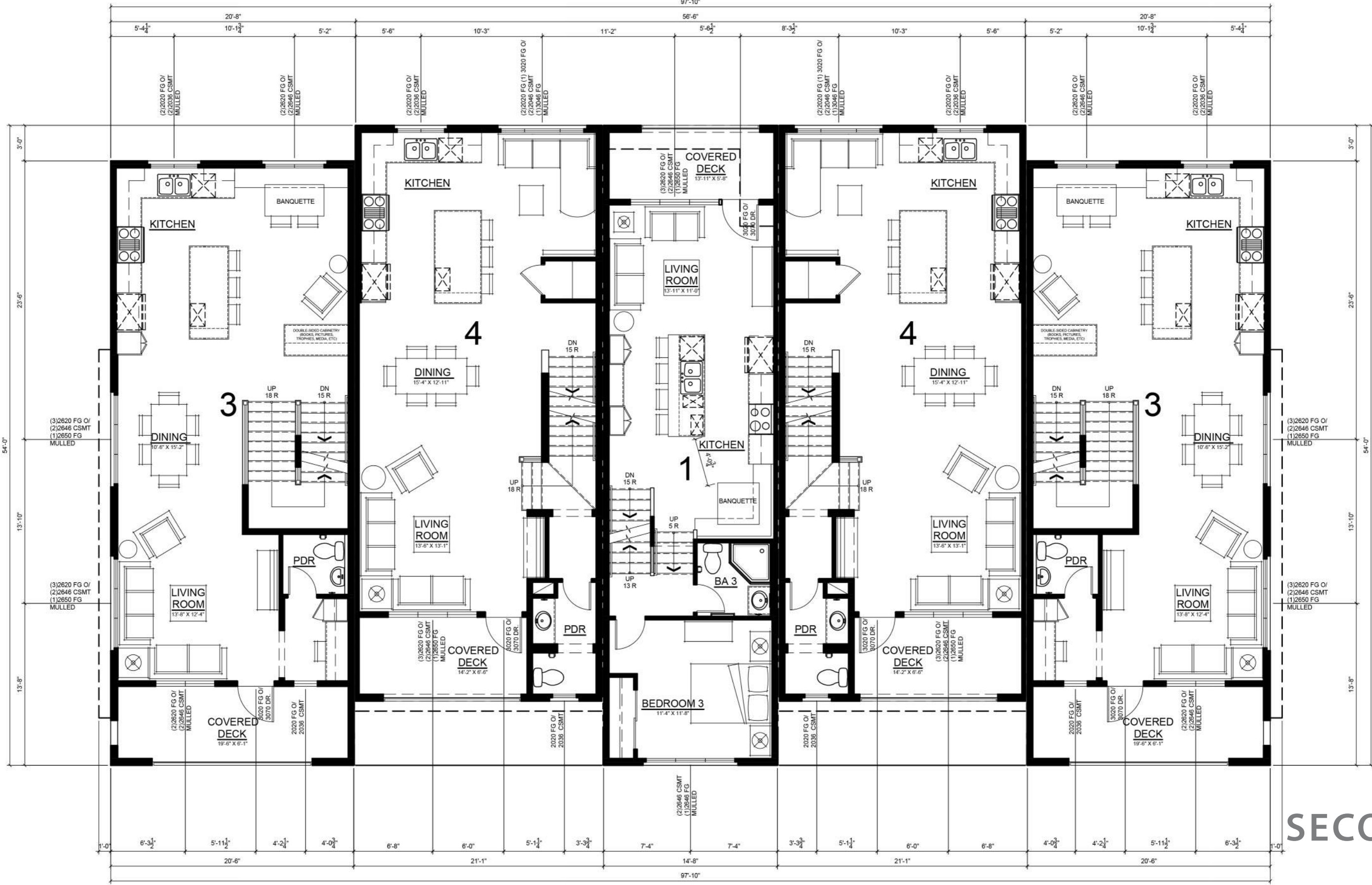
ROBSON  HOMES

PROJECT NUMBER 22094.02 02/20/2023

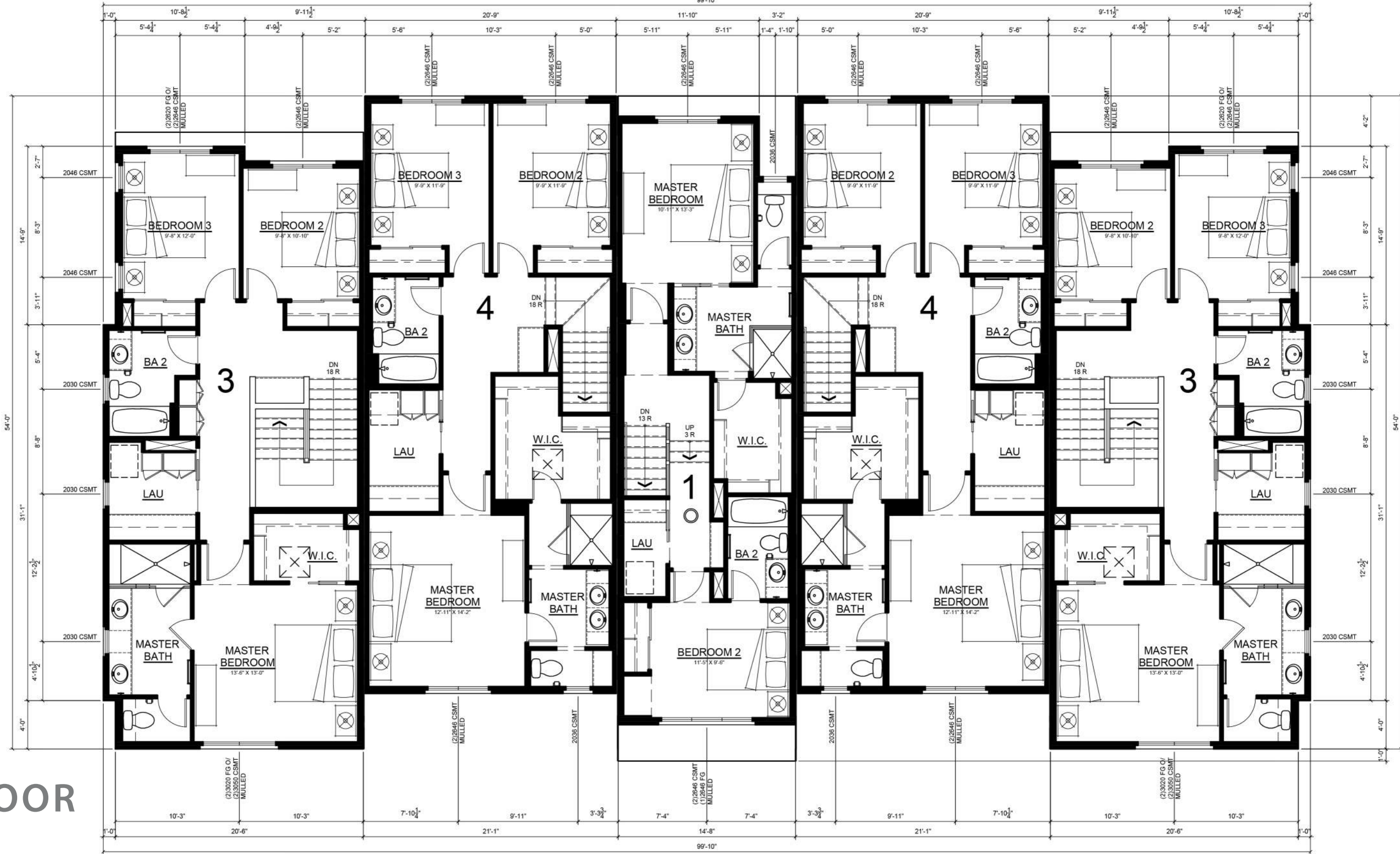
A-1	BUILDING 1 FLOOR PLAN & 1A ROOF PLAN
A-2	BUILDING 1A ELEVATIONS
A-3	BUILDING 1B ELEVATIONS
A-4	BUILDING 2 FLOOR PLAN & ROOF PLAN
A-5	BUILDING 2A ELEVATIONS
A-6	BUILDING 3 FLOOR PLAN & 3A ROOF PLAN
A-7	BUILDING 3A ELEVATIONS
A-8	BUILDING 3B ELEVATIONS



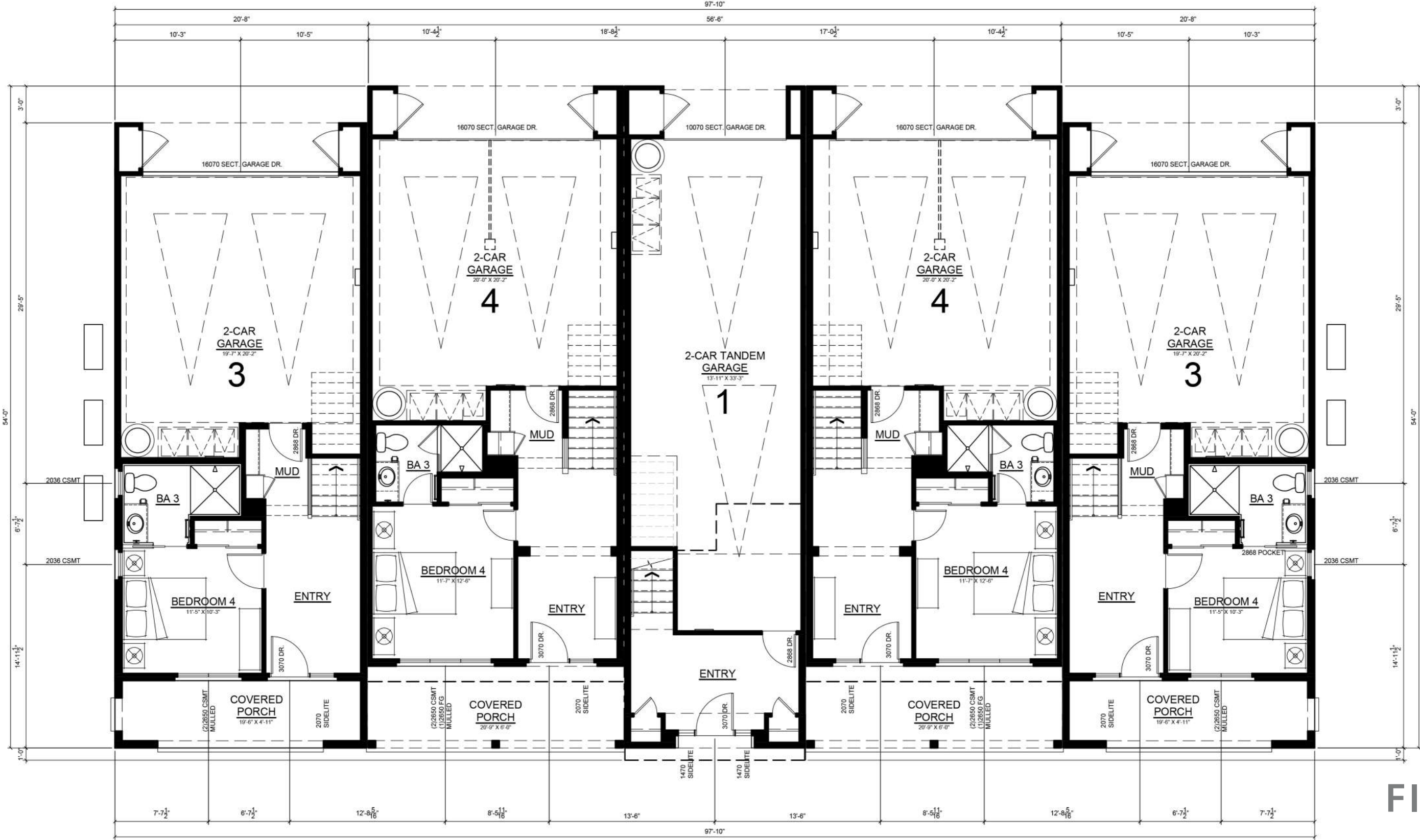
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

BUILDING 1 FLOOR PLAN & 1A ROOF PLAN

1,564 SF (PLAN 1) 2,251 SF (PLAN 3) *EACH* 2,322 SF (PLAN 4) *EACH*

GILMAN AND DILLON SITE
CAMPBELL, CALIFORNIA





LEFT ELEVATION



FRONT ELEVATION

- COMPOSITION ROOF SHINGLES
PABCO PREMIER PEWTER GRAY
- WOOD BARGE
PRATT & LAMBERT 32-17 ANUBIS
- CEMENTITIOUS SIDING
DUNN-EDWARDS DEC 750 BISON BEIGE
- STANDING SEAM METAL ROOF
STEELSCAPE NATURAL MATTE SHALE
- PRIMARY STUCCO BODY
DUNN-EDWARDS DEW 340 WHISPER
- METAL RAILING
- VINYL WINDOWS
MILGARD BRONZE
- WOOD ENTRY DOOR



RIGHT ELEVATION



REAR ELEVATION

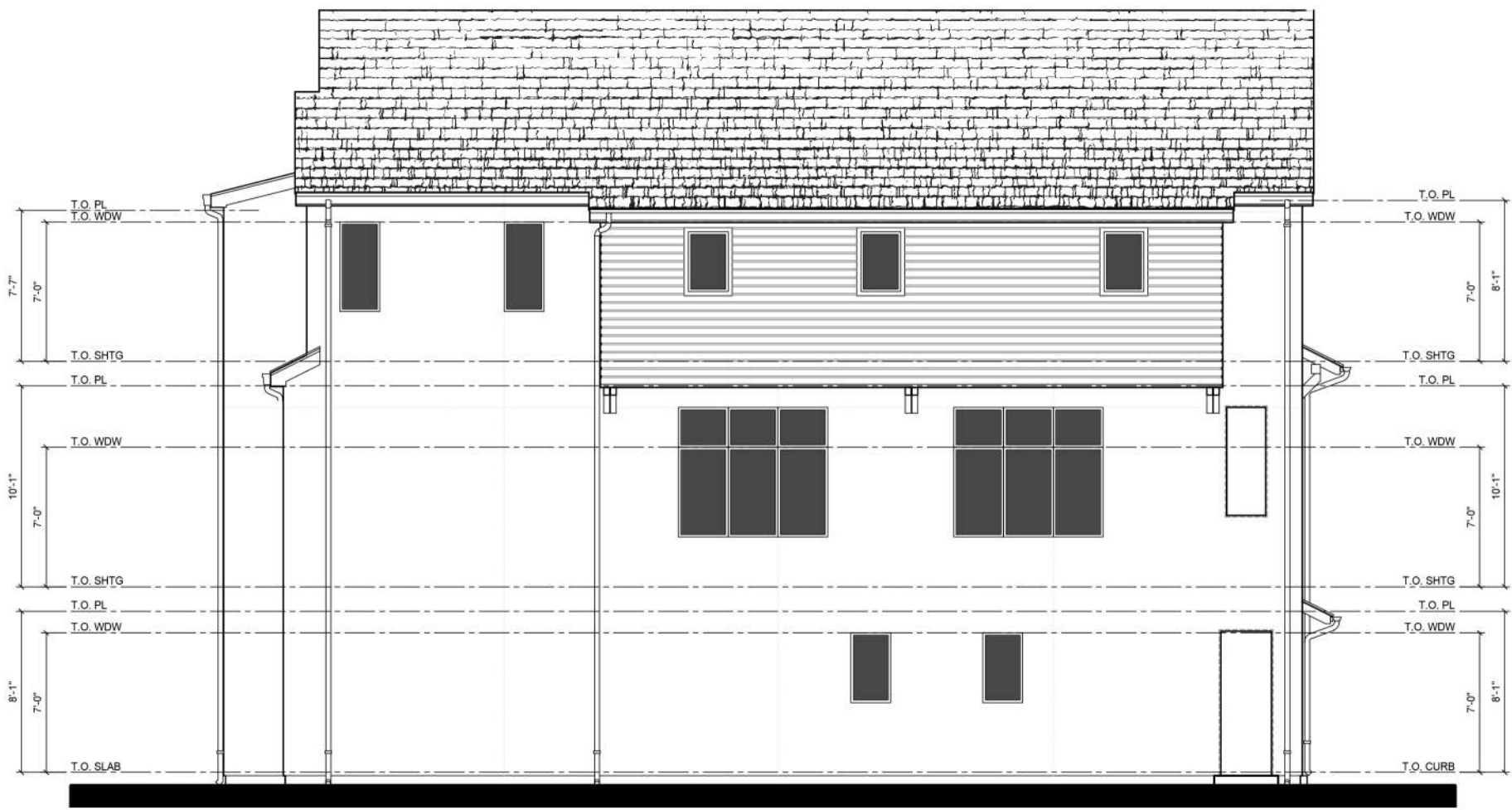
GARAGE DOOR

BUILDING 1A ELEVATIONS

GILMAN AND DILLON SITE
CAMPBELL, CALIFORNIA



SCALE: 1/8"=1'-0"



LEFT ELEVATION



FRONT ELEVATION

- COMPOSITION ROOF SHINGLES
PABCO PREMIER PEWTER GRAY
- WOOD BARGE
PRATT & LAMBERT 32-17 ANUBIS
- STANDING SEAM METAL ROOF
STEELSCAPE NATURAL MATTE SHALE
- CEMENTITIOUS SIDING
DUNN-EDWARDS DEC 750 BISON BEIGE
- PRIMARY STUCCO BODY
DUNN-EDWARDS DEW 340 WHISPER
- METAL RAILING
- VINYL WINDOWS
MILGARD BRONZE
- WOOD ENTRY DOOR



RIGHT ELEVATION



REAR ELEVATION

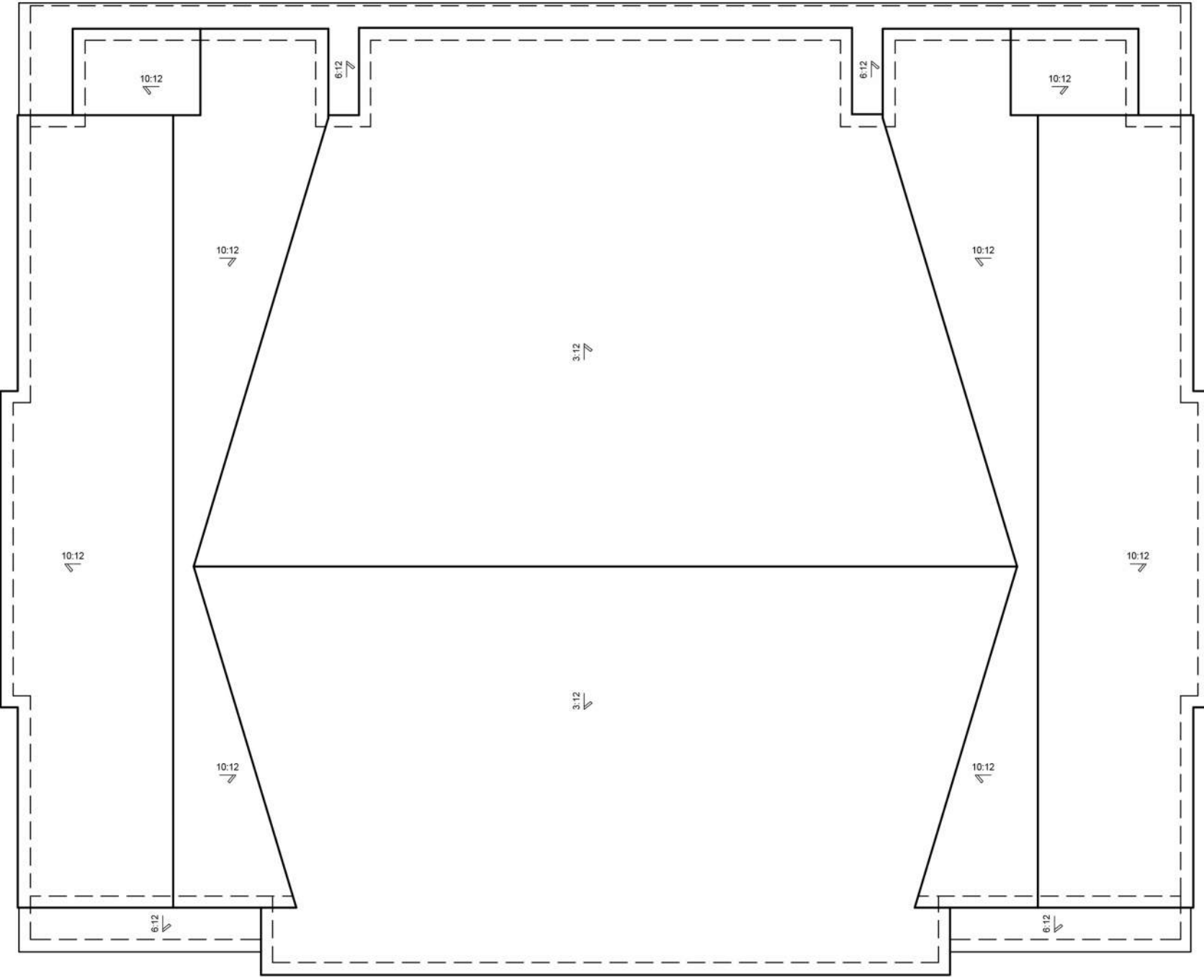
GARAGE DOOR

BUILDING 1B ELEVATIONS

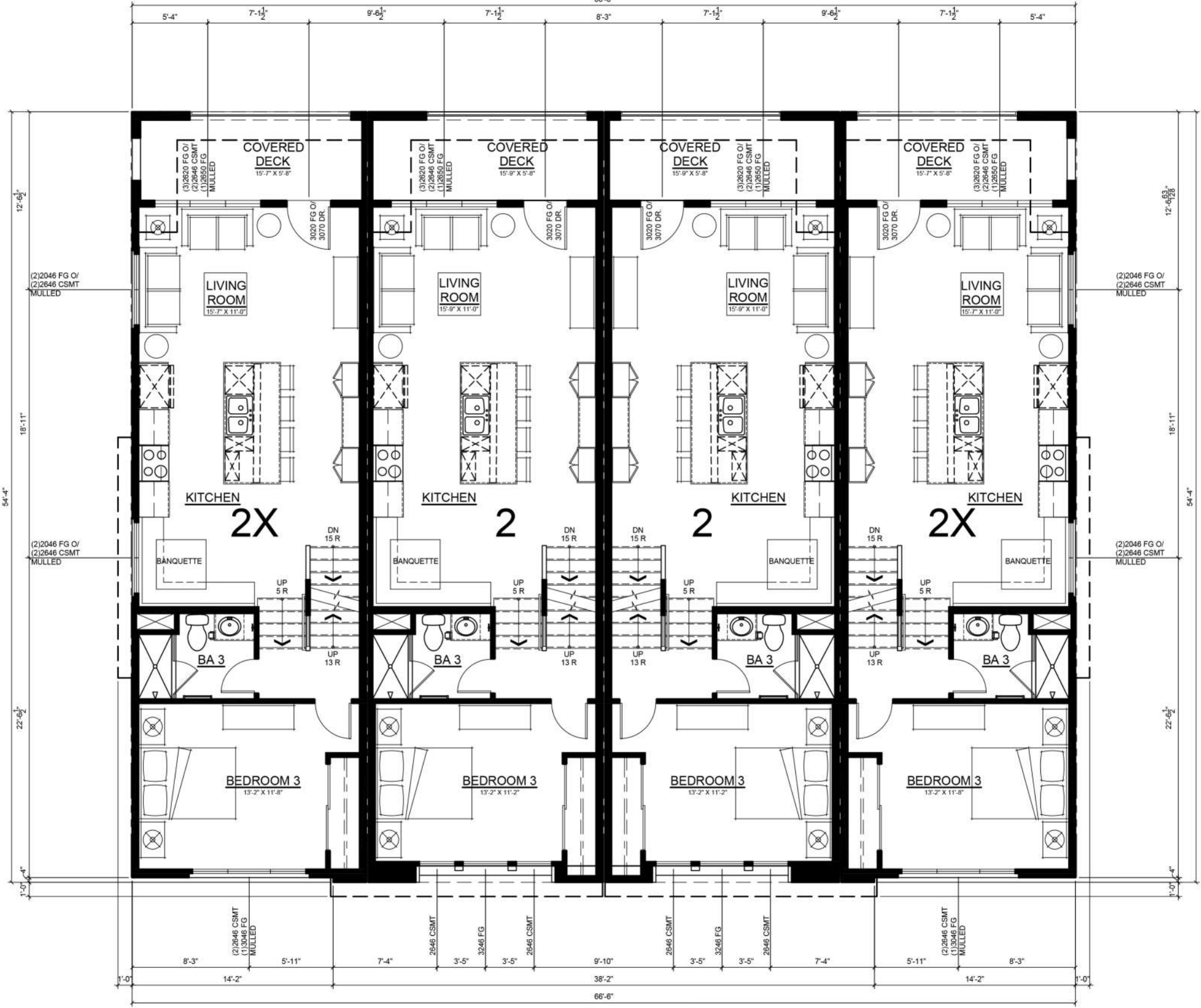
GILMAN AND DILLON SITE
CAMPBELL, CALIFORNIA



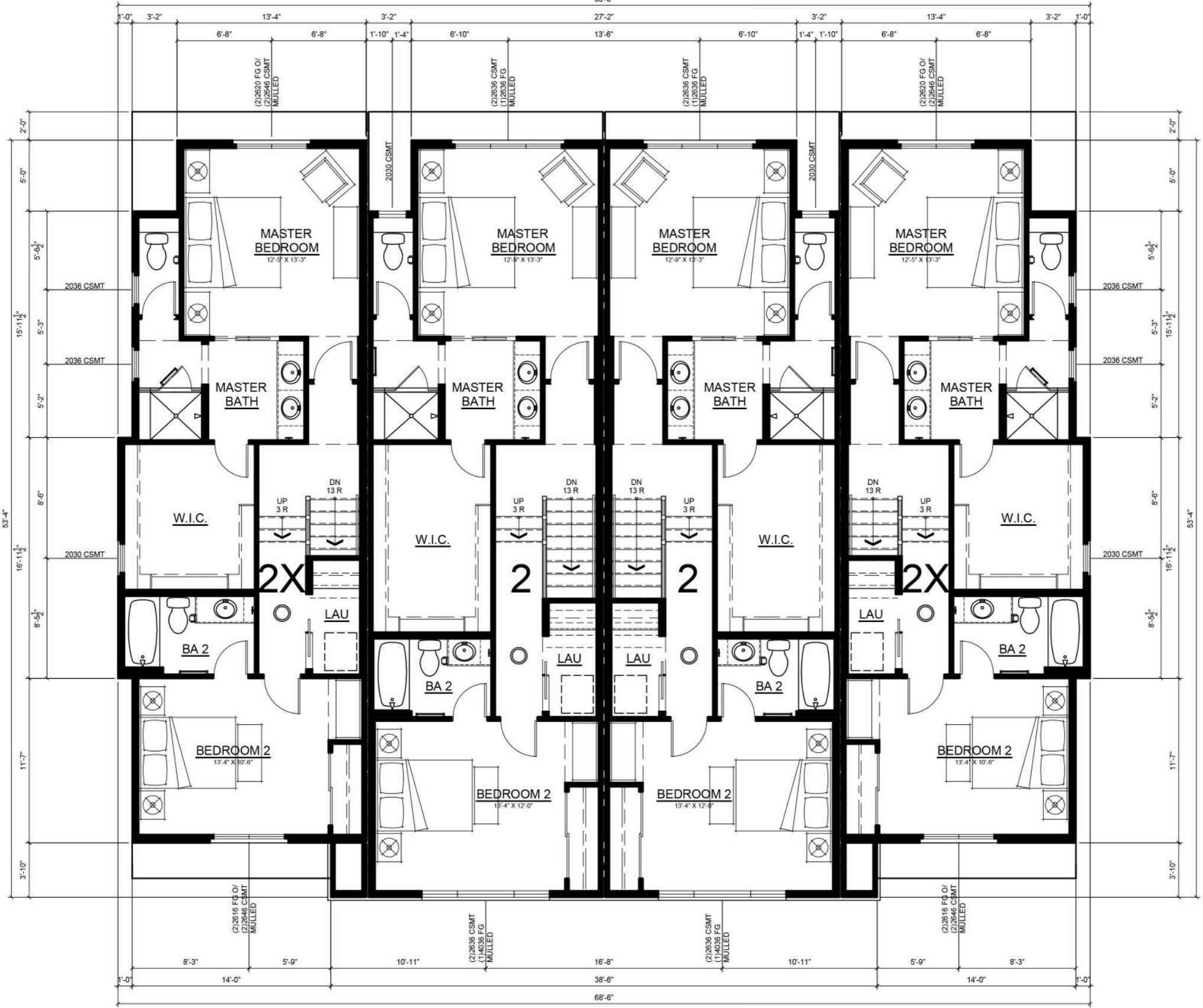
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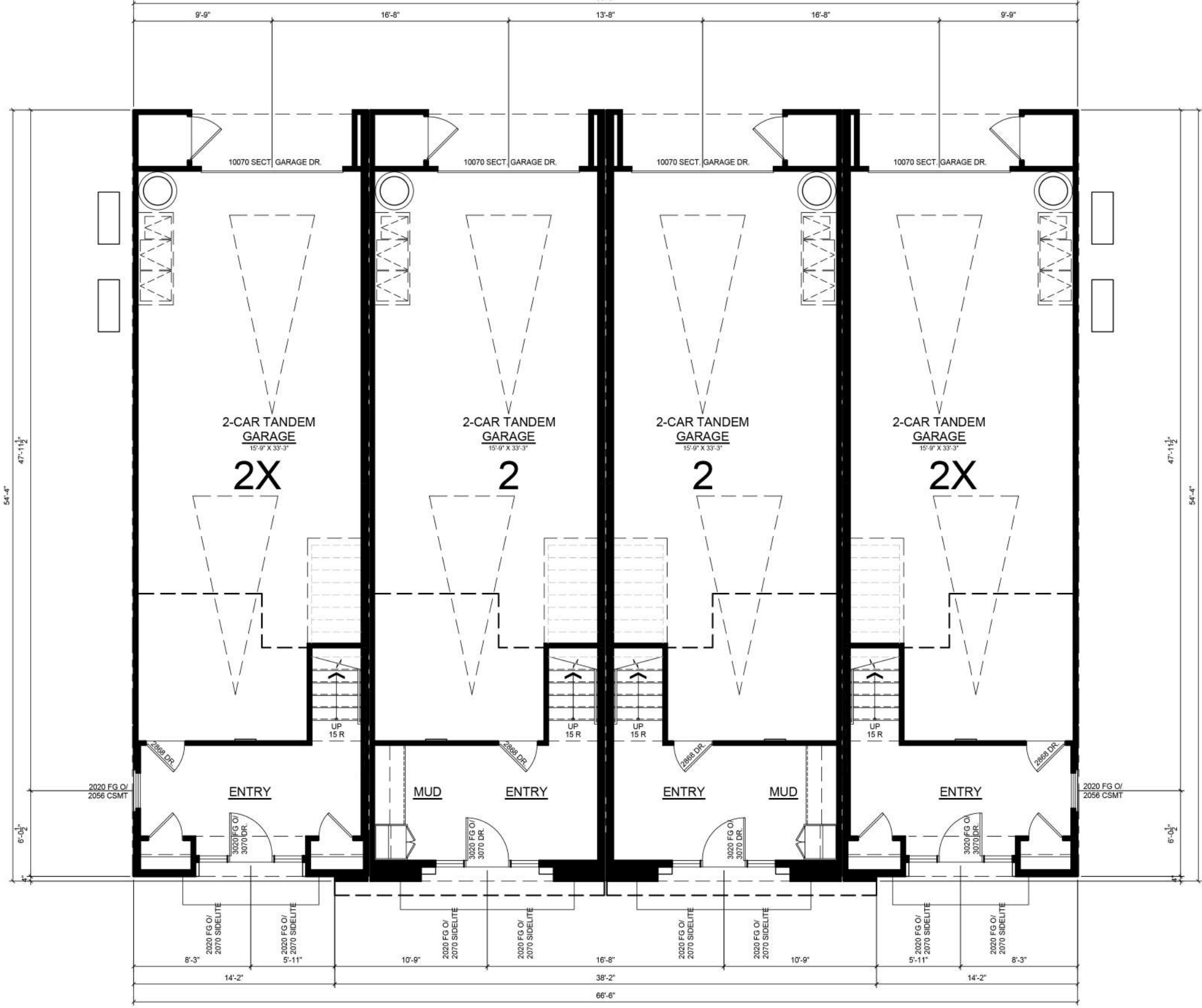
ROOF



SECOND FLOOR



THIRD FLOOR



FIRST FLOOR

BUILDING 2 FLOOR PLAN & ROOF PLAN
1,797 SF (PLAN 2) *EACH* 1,769 SF (PLAN 2X) *EACH*

GILMAN AND DILLON SITE
CAMPBELL, CALIFORNIA





LEFT ELEVATION



FRONT ELEVATION

- COMPOSITION ROOF SHINGLES
PABCO PREMIER PEWTER GRAY
- WOOD BARGE
PRATT & LAMBERT 32-17 ANUBIS
- STANDING SEAM METAL ROOF
STEELSCAPE NATURAL MATTE SHALE
- VINYL WINDOWS
MILGARD BRONZE
- CEMENTITIOUS SIDING
DUNN-EDWARDS DEC 750 BISON BEIGE
- PRIMARY STUCCO BODY
DUNN-EDWARDS DEW 340 WHISPER
- WOOD ENTRY DOOR



RIGHT ELEVATION



REAR ELEVATION

- METAL RAILING
- GARAGE DOOR

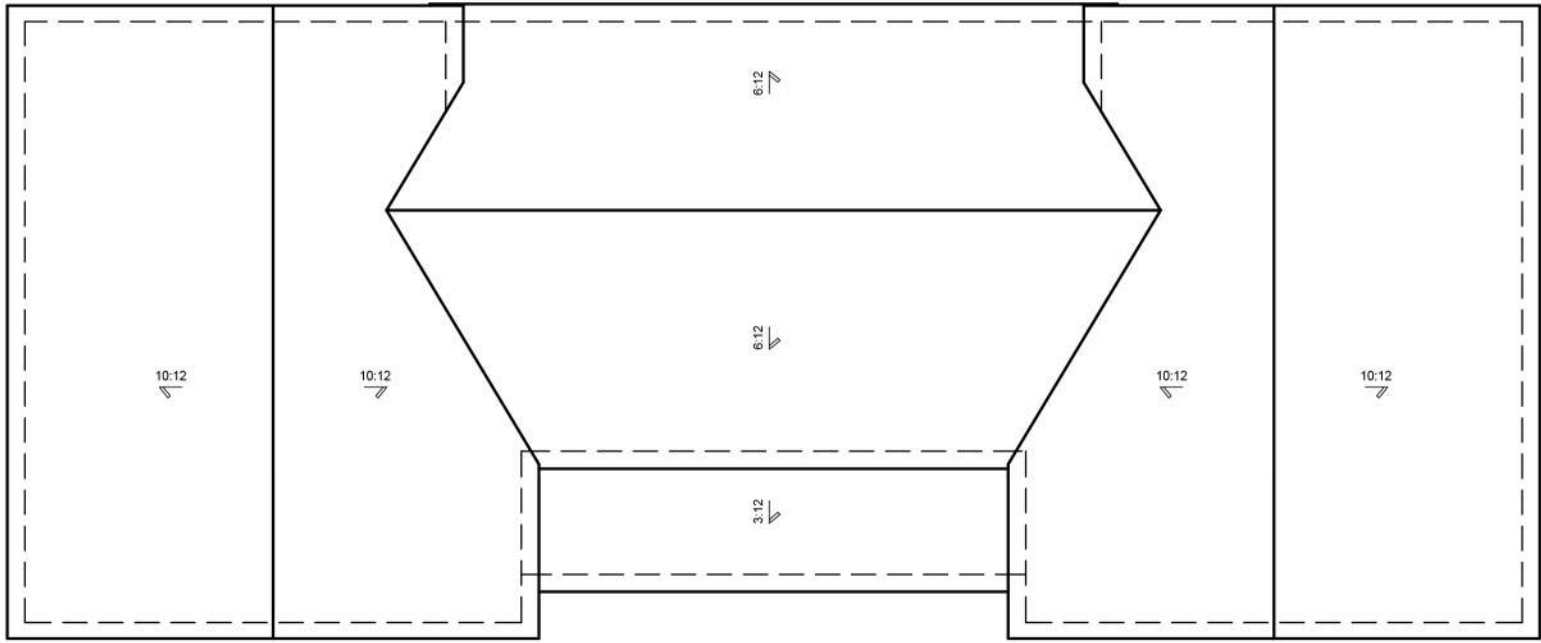
BUILDING 2A ELEVATIONS

GILMAN AND DILLON SITE
CAMPBELL, CALIFORNIA

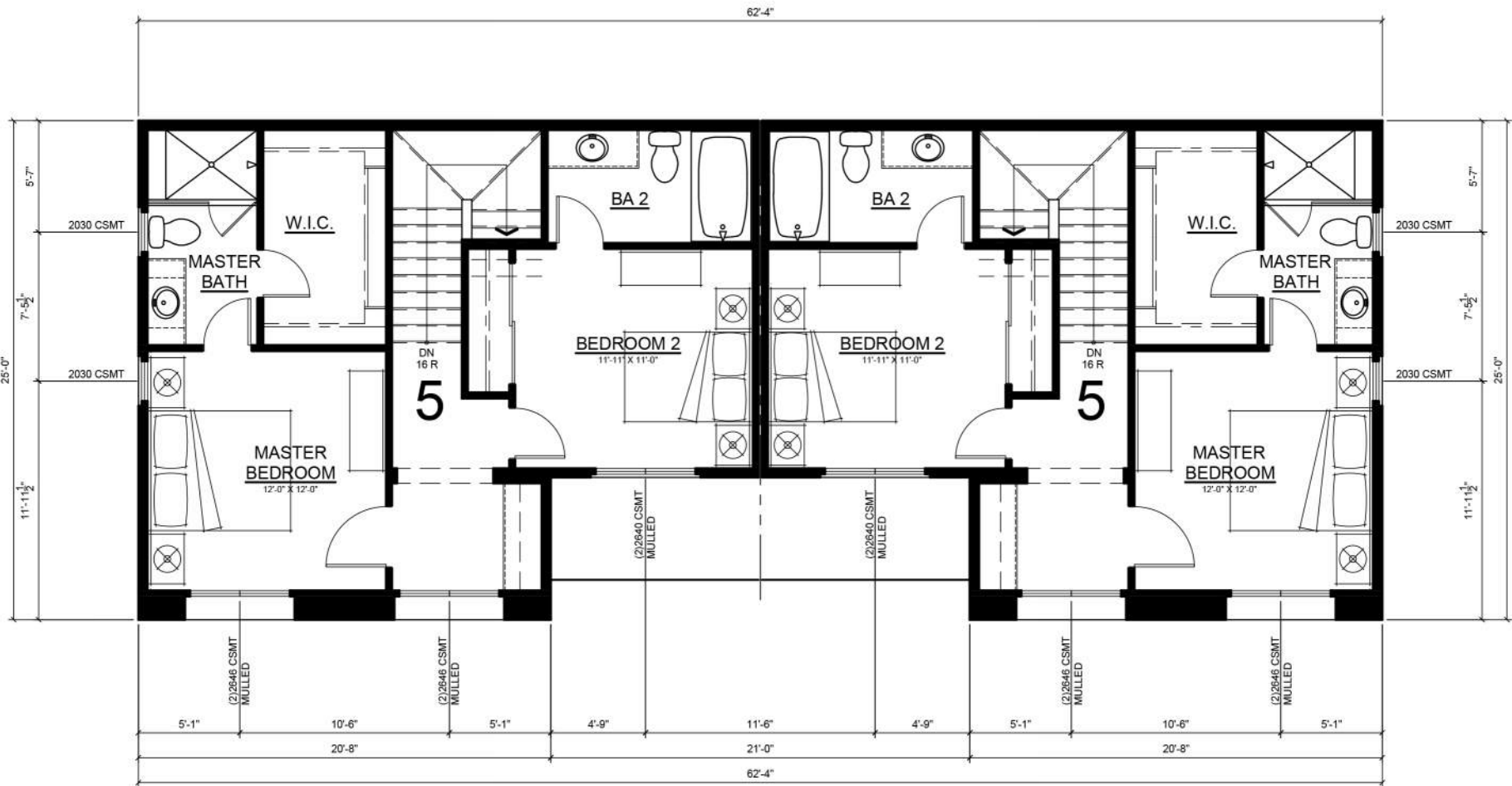


SCALE: 1/8"=1'-0"

ROOF

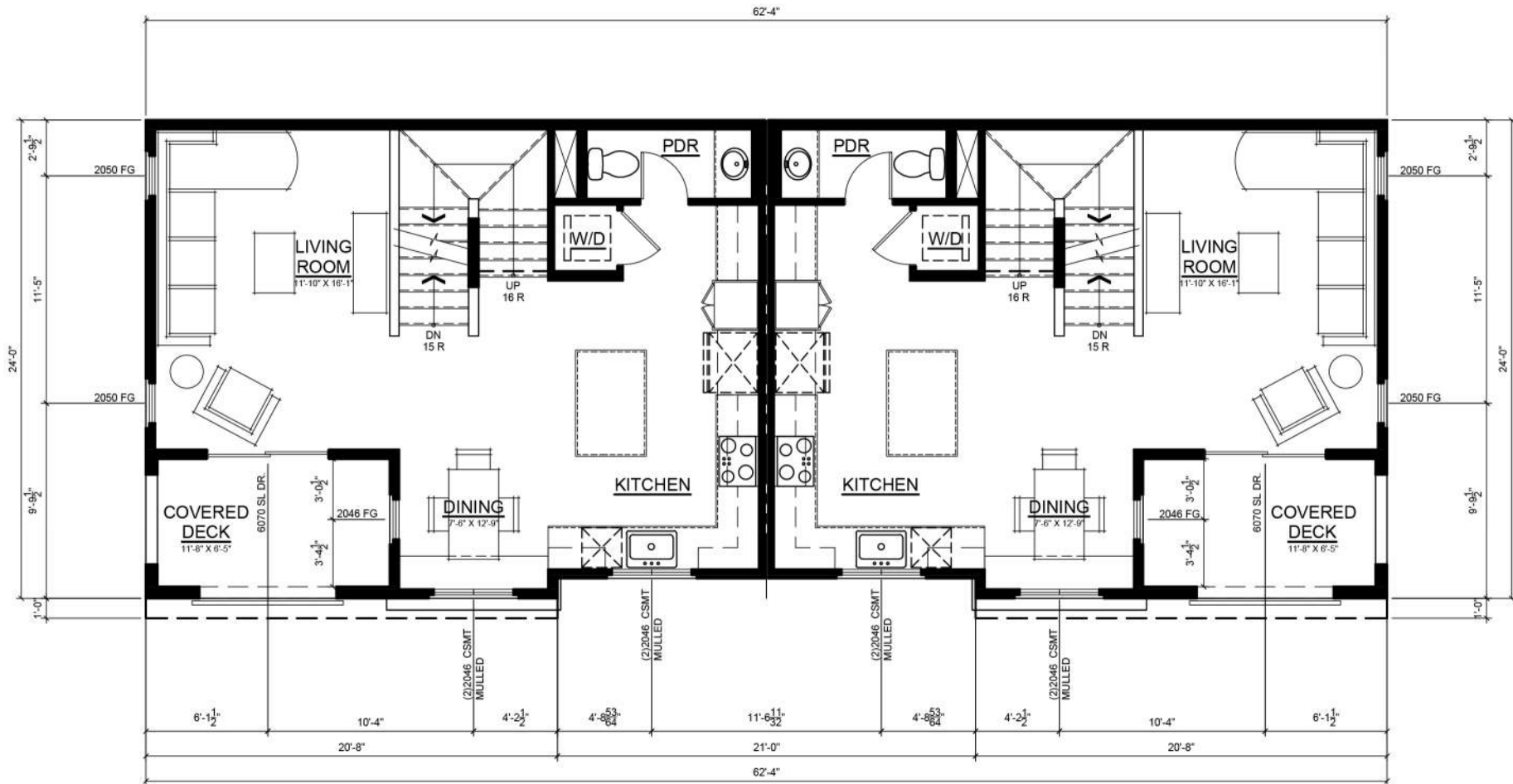


THIRD FLOOR

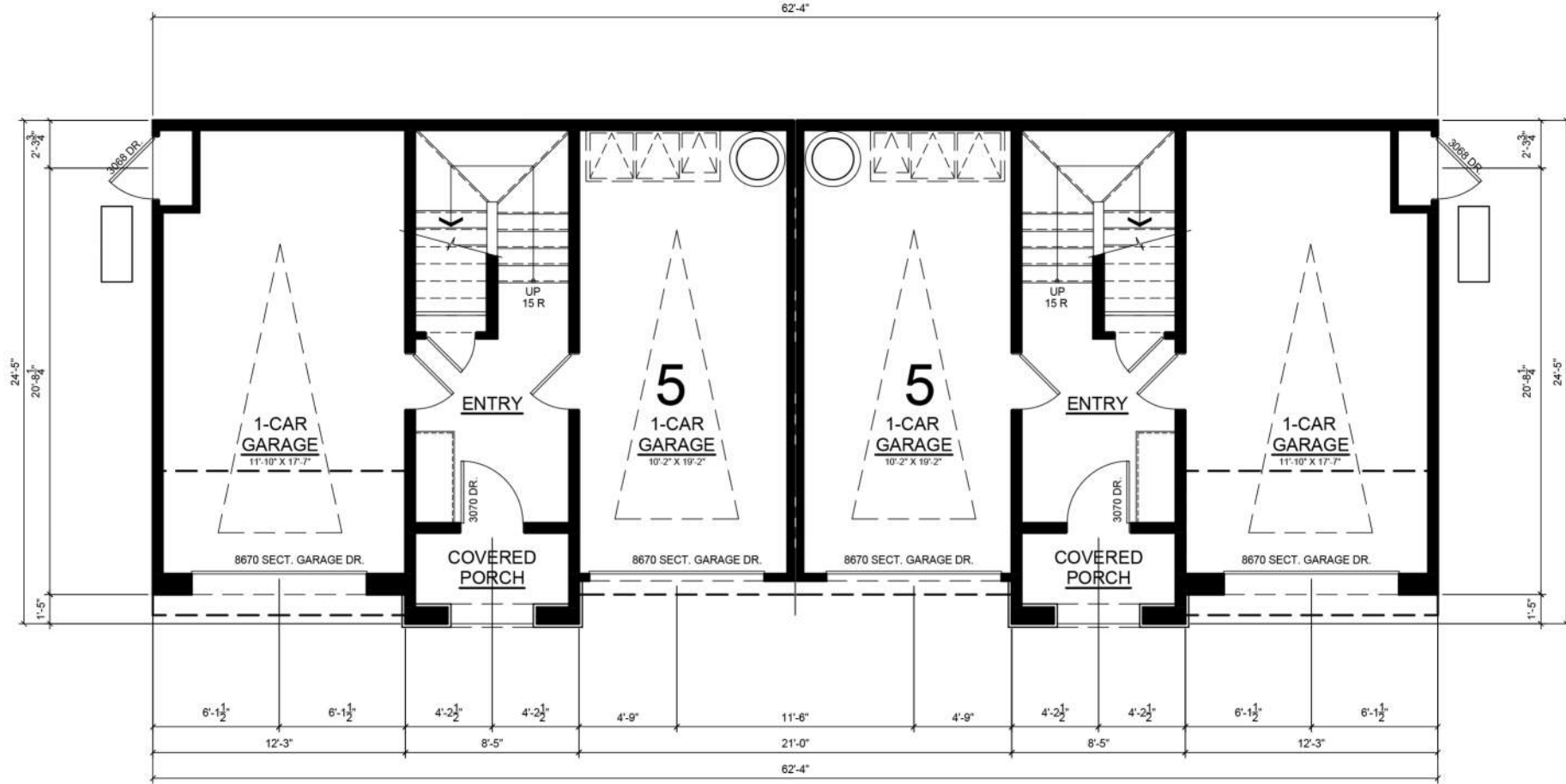


GILMAN AND DILLON SITE
CAMPBELL, CALIFORNIA

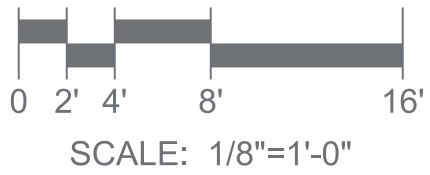
SECOND FLOOR

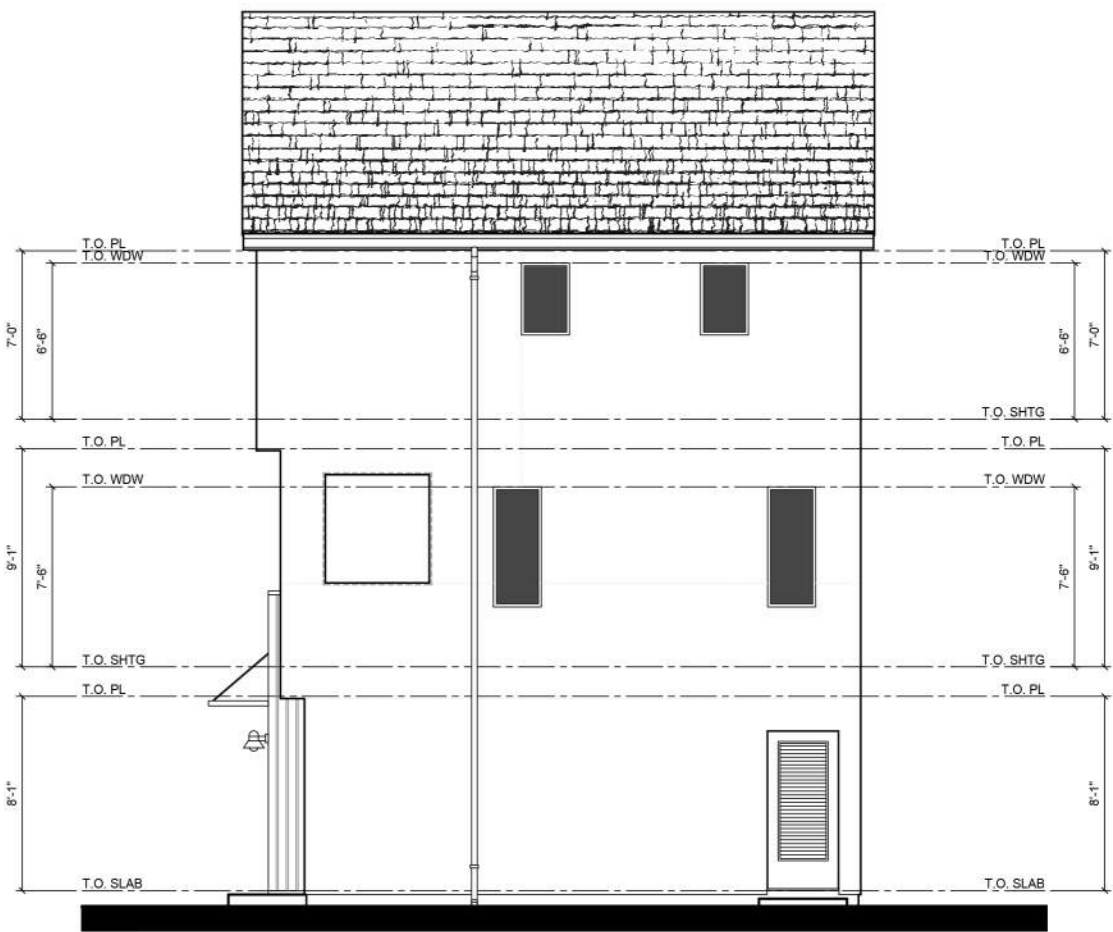


FIRST FLOOR

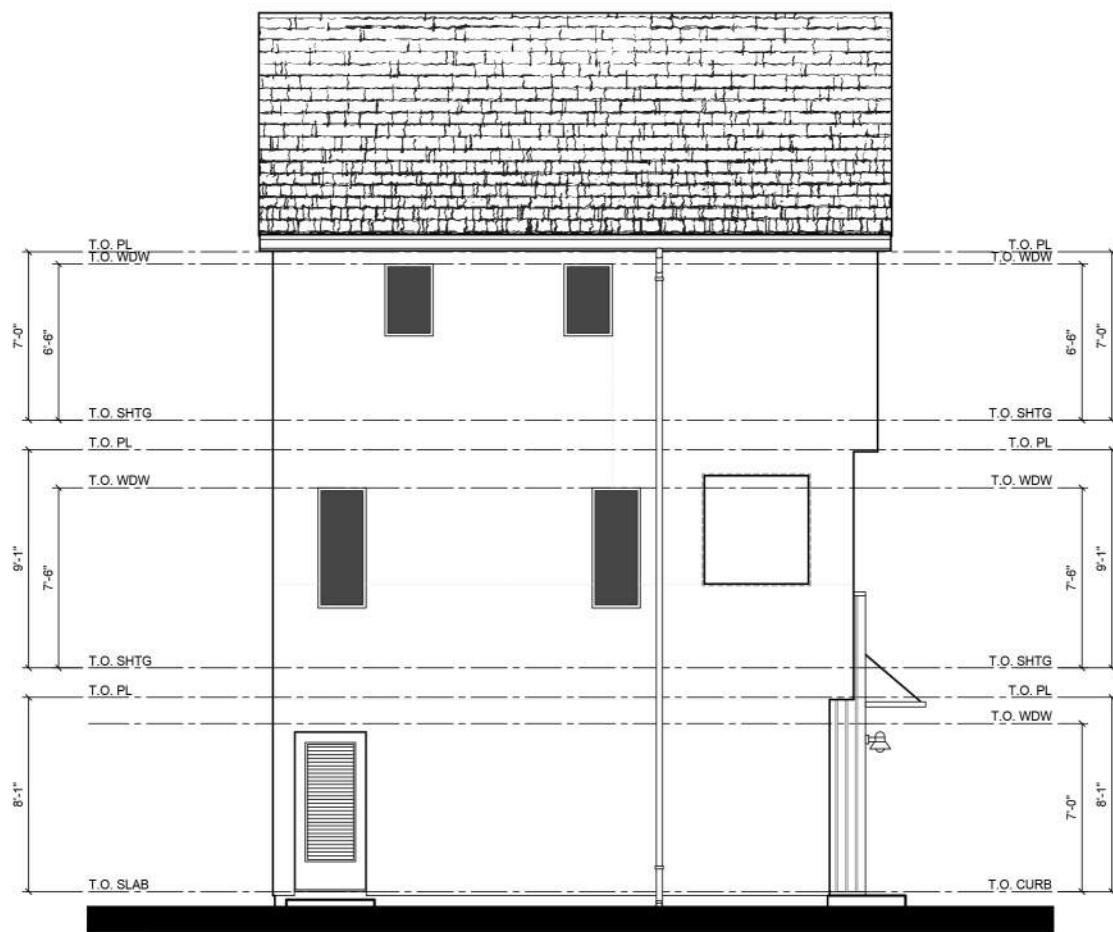


BUILDING 3 FLOOR PLAN & 3A ROOF PLAN
1,437 SF (PLAN 5) *EACH*





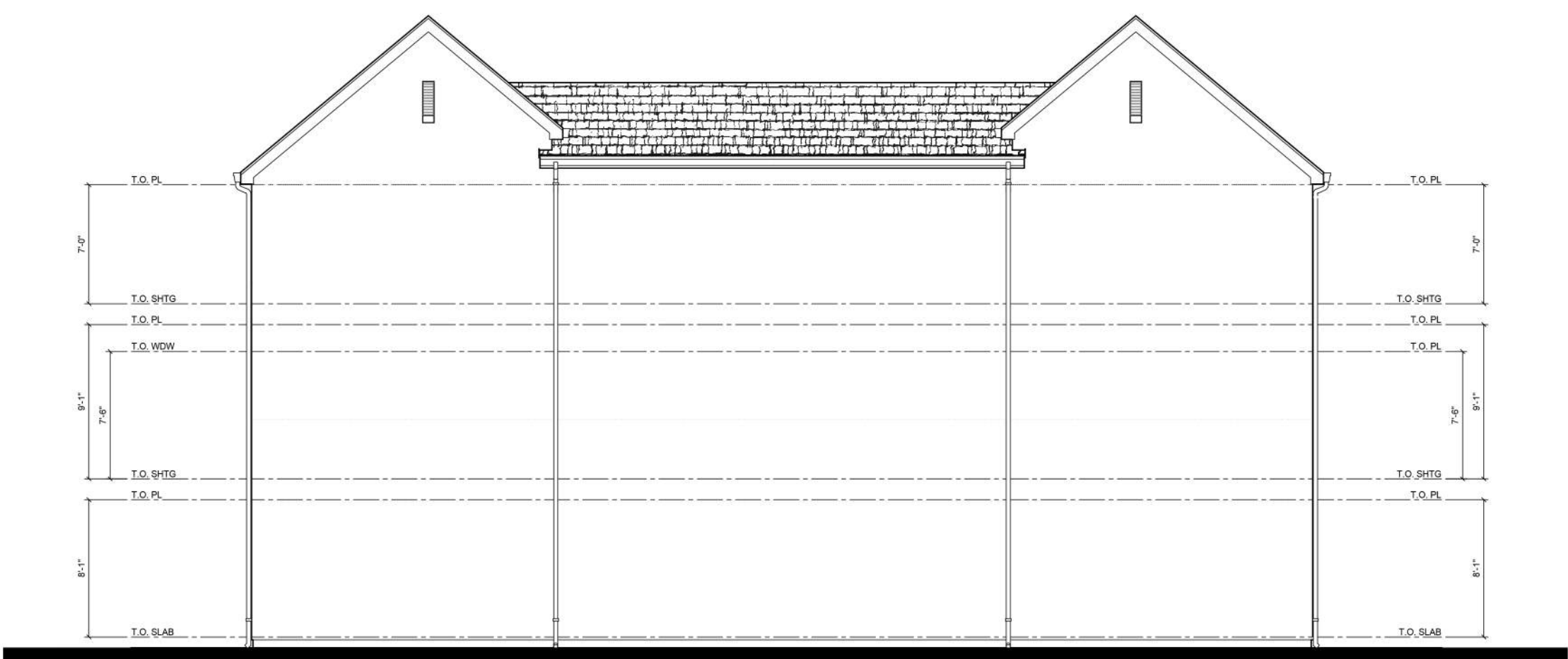
LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION



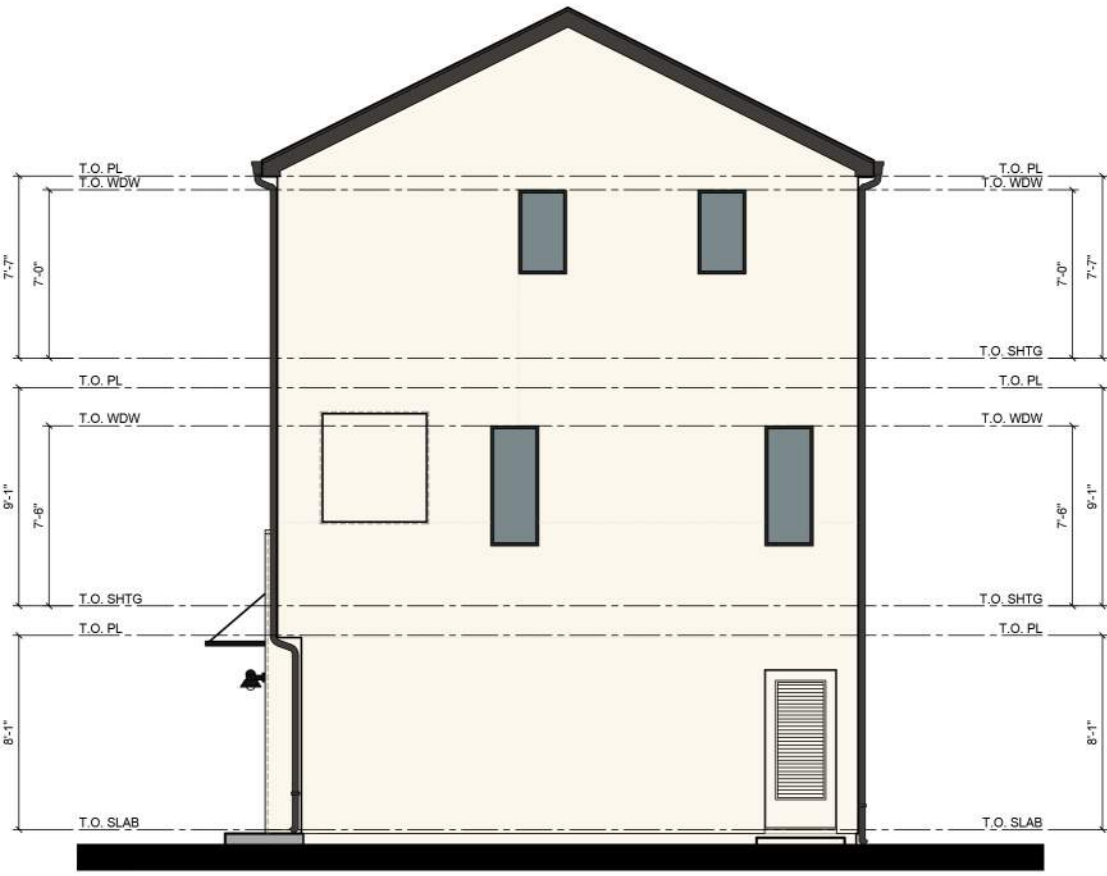
REAR ELEVATION

BUILDING 3A ELEVATIONS

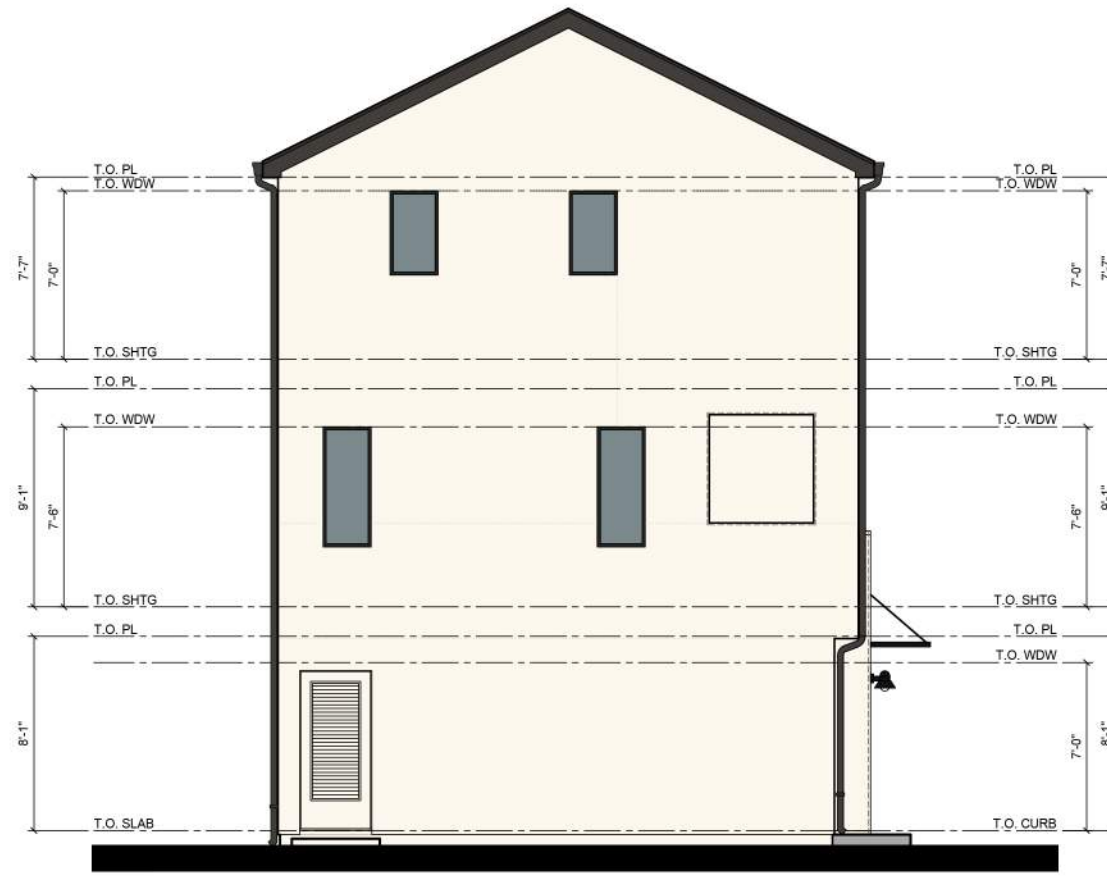
GILMAN AND DILLON SITE
CAMPBELL, CALIFORNIA

0 2' 4' 8' 16'
SCALE: 1/8"=1'-0"

ROBSON HOMES



LEFT ELEVATION



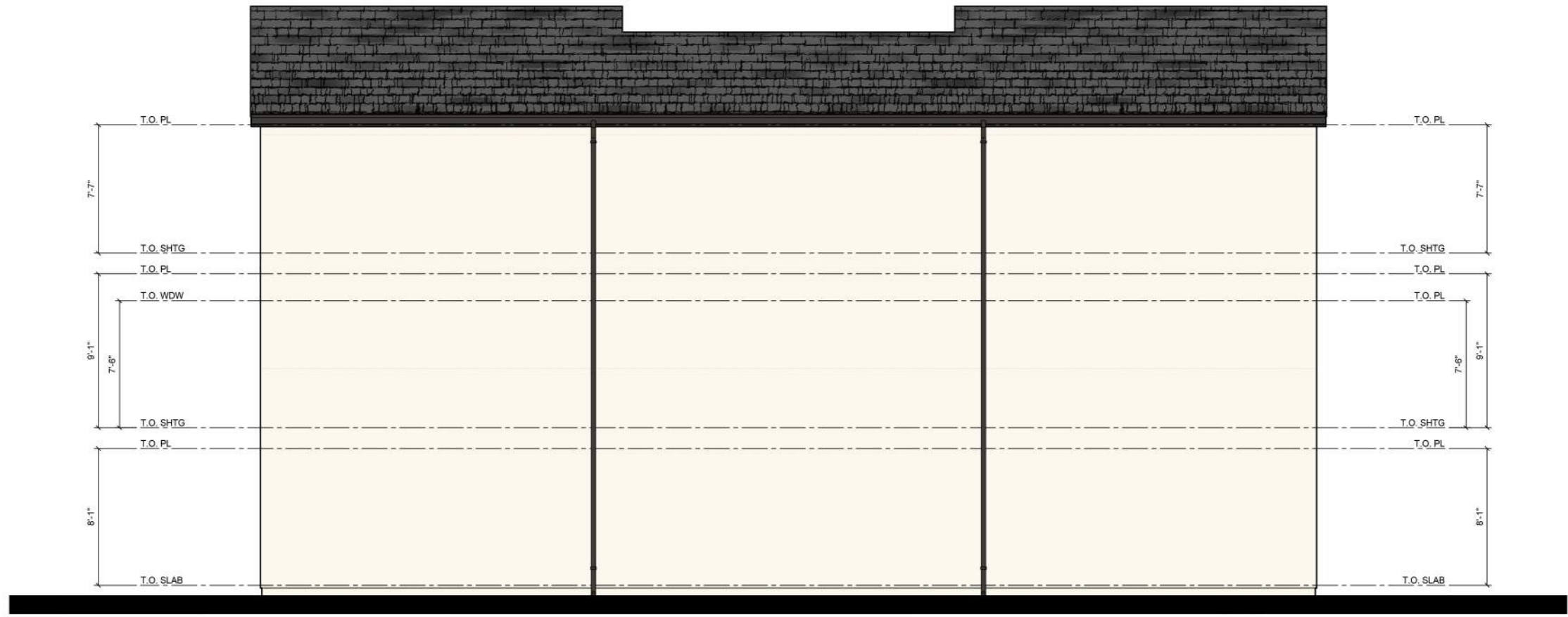
RIGHT ELEVATION

METAL RAILING



FRONT ELEVATION

- COMPOSITION ROOF SHINGLES
PABCO PREMIER PEWTER GRAY
- WOOD EAVE
PRATT & LAMBERT 32-17 ANUBIS
- PRIMARY STUCCO BODY
DUNN-EDWARDS DEW 340 WHISPER
- STANDING SEAM METAL ROOF
STEELSCAPE NATURAL MATTE SHALE
- VINYL WINDOWS
MILGARD BRONZE
- CEMENTITIOUS SIDING
DUNN-EDWARDS DEC 750 BISON BEIGE
- WOOD ENTRY DOOR
- GARAGE DOOR



REAR ELEVATION

BUILDING 3B ELEVATIONS

GILMAN AND DILLON SITE
CAMPBELL, CALIFORNIA

0 2' 4' 8' 16'
SCALE: 1/8"=1'-0"

ROBSON HOMES