

Location of Proposed Project




City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

January 4 , 2022

The Community Development Director will be rendering a decision on the following project.

Project Address: 1351 Olympia Avenue
Zoning | Area Plan: R-1-8 | Campbell Village Neighborhood Plan
Neighborhood Association(s): Campbell Village Neighborhood Association
File No.: PLN-2022-34
APN: 414-04-020
Applicant: TDDGUS LLC
Property Owner: SS Realty LLC
Application Type: Administrative Site and Architectural Review Permit
Project Planner: Tracy Tam, Associate Planner
Email Contact: tracyt@campbellca.gov
Phone Contact: (408) 871-5103

Project Description:

To allow an approximately 792 square-foot addition to an existing single-family residence and demolition of approximately 406 square feet of existing floor area.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **January 6, 2023**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **January 16, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.

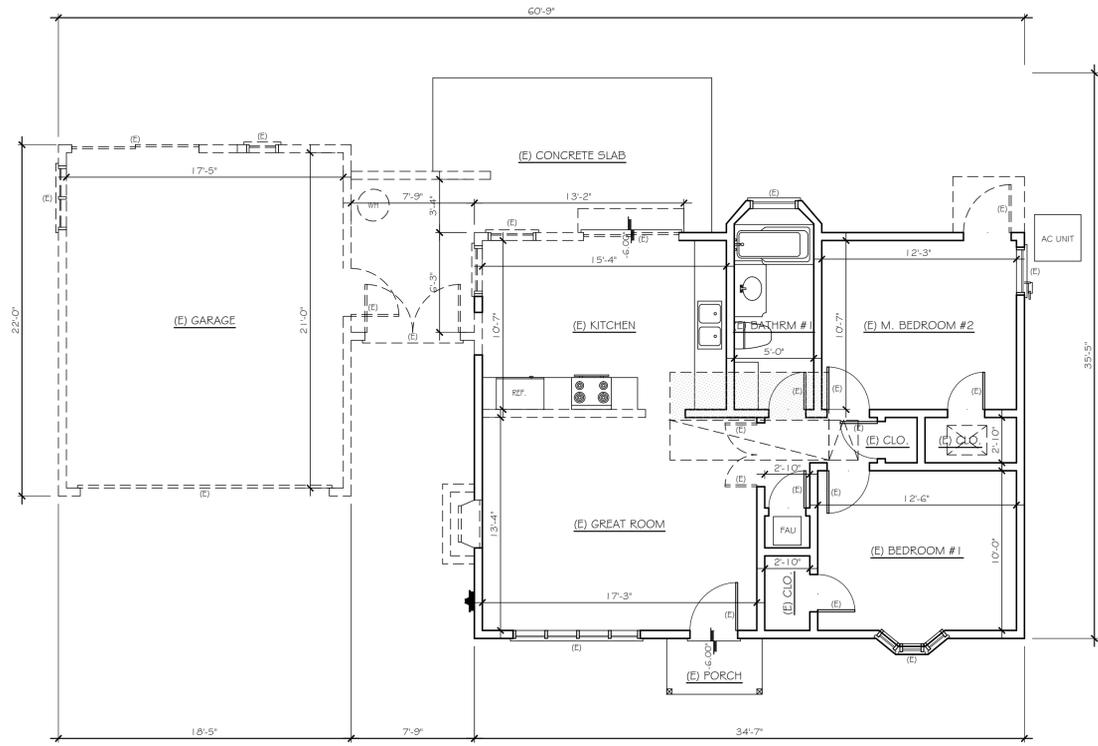


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español



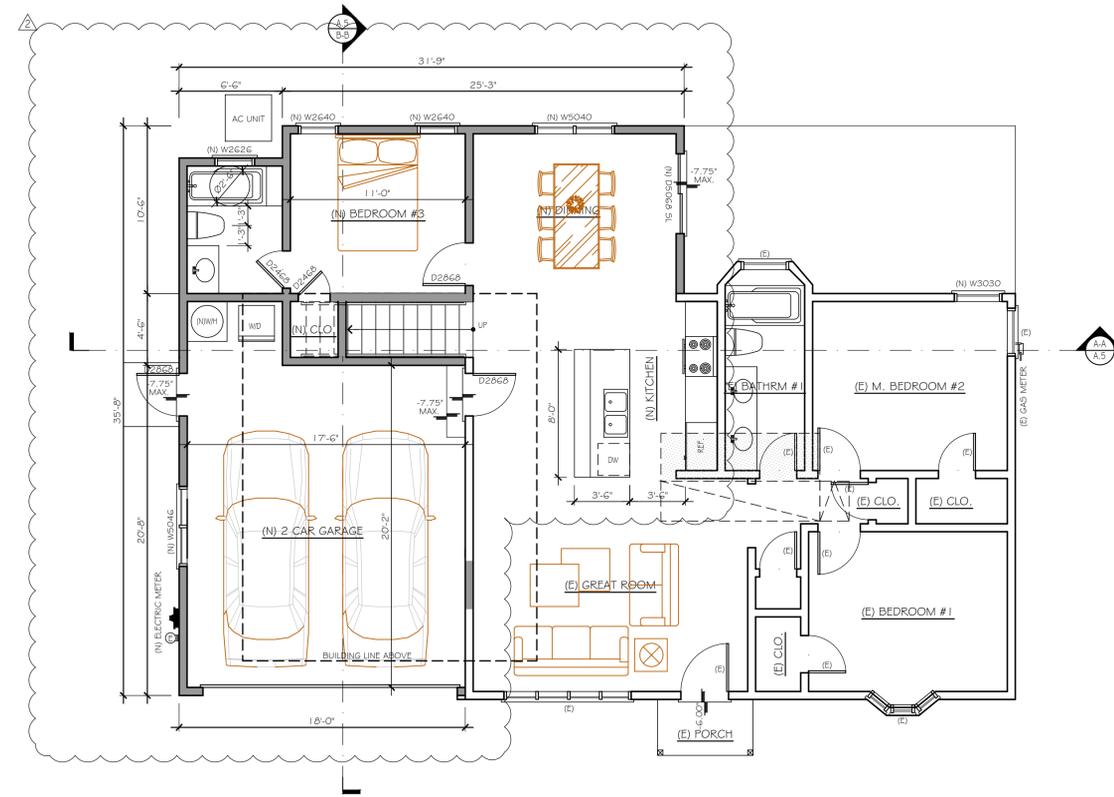


EXISTING / DEMOLITION FIRST FLOOR PLAN
 SCALE: 3/16"=1'-0"

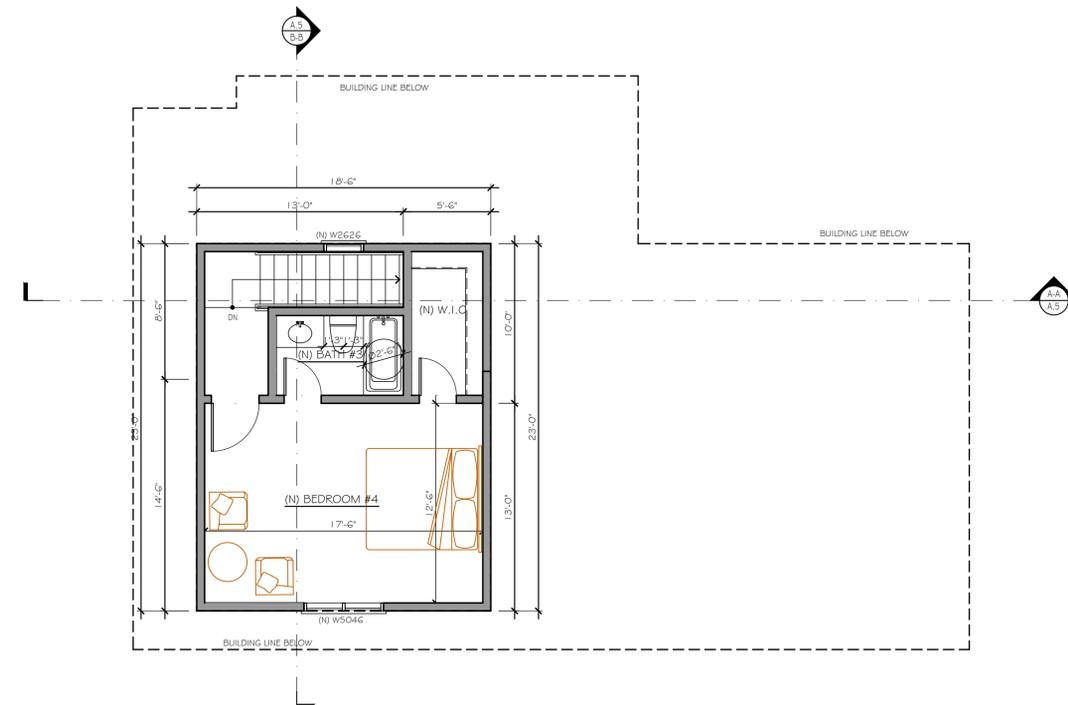


LEGEND:

- DEMOLITION WALL
- (E) PARTITION TO REMAIN
- (N) WALL



PROPOSED FIRST FLOOR PLAN
 SCALE: 3/16"=1'-0"



PROPOSED SECOND FLOOR PLAN
 SCALE: 3/16"=1'-0"



GLAZING NOTES:

1. EACH UNIT OF TEMP. GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUF. THE IDENTITY SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS & BE VISIBLE WHEN THE UNIT IS GLAZED.
2. THE LABEL (NFC) WHICH STATES THE LISTED U-VALUE FOR ALL FENESTRATION PRODUCTS SHALL NOT BE REMOVED PRIOR TO INSPECTION OR REMOVED ONLY BY THE BUILDING INSPECTOR.
3. ALL NEW GLAZING SHALL BE DUAL GLAZE PER THE ENERGY CALCULATION.

PROJECT DESIGNER:
 DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

NO.	DATE	REVISION
△	5/17/22	PLANNING
△	9/03/22	PLANNING

Project Name:

REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

DATE: 10/17/21

JOB NO.: 2021-34

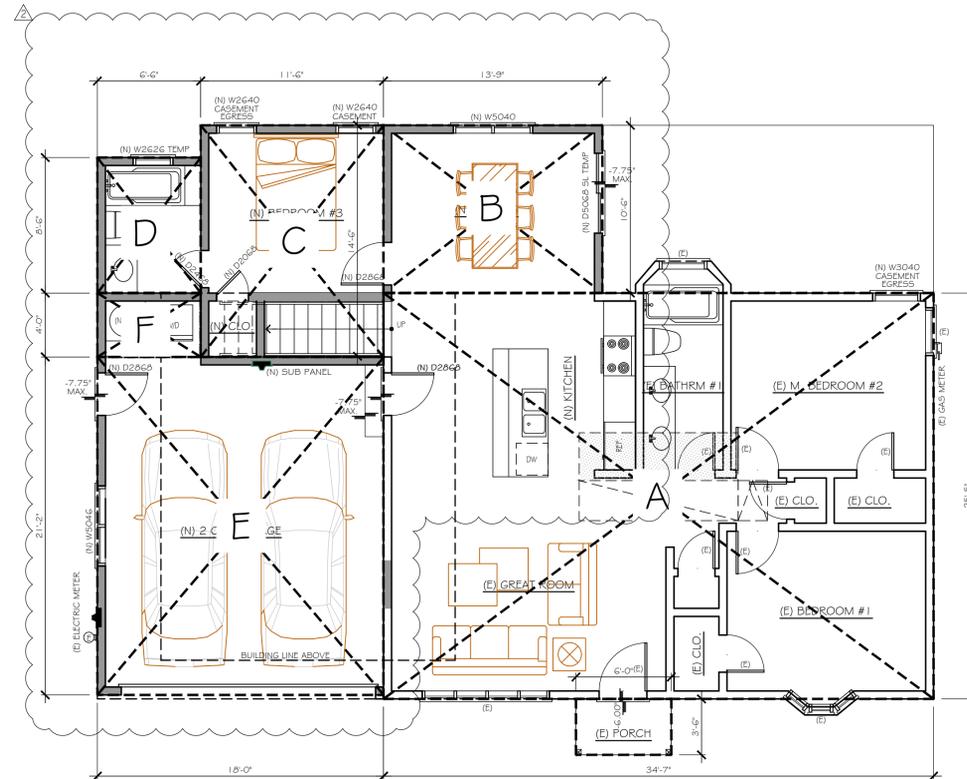
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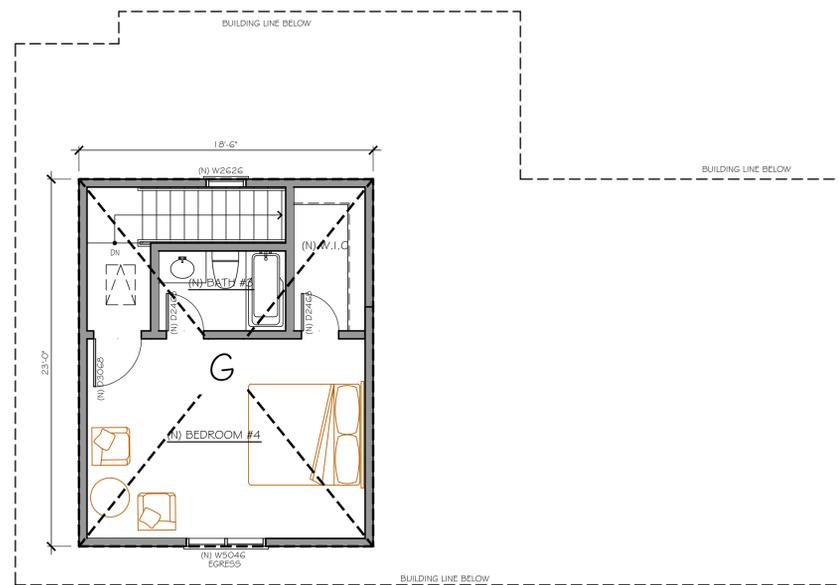
Sheet Number:

A2

Project No.: 2021



F.A.R. - FIRST FLOOR
 SCALE 3/16" = 1'-0"



F.A.R. - SECOND FLOOR
 SCALE 3/16" = 1'-0"

EXISTING HABITABLE AREA TO KEEP:

A 34'-7" x 25'-5" = 879.41 SF

ADDITION AREA

FIRST FLOOR:

B 13'-9" x 10'-6" = 144.38 SF

C 11'-6" x 14'-6" = 166.75 SF

D 6'-6" x 8'-6" = 55.25 SF

TOTAL = 366.38 SF

SECOND FLOOR:

G 18'-0" x 23'-0" = 425.50 SF

TOTAL = 425.50 SF

TOTAL ADDITION
 HABITABLE AREA: = 791.88 SF

TOTAL LIVING AREA: = 1,671.29 SF

GARAGE:

E 18'-0" x 21'-2" = 381.00 SF

F 6'-6" x 4'-0" = 26.00 SF

TOTAL = 407.00 SF

(E) PORCH: = 21.00 SF

TOTAL LIVING AREA + GARAGE:
 = 2,078.17 SF

LOT COVERAGE: = 1,673.79 SF

LOT AREA: = 9,424.00 SF

EXISTING F.A.R.:
 879.41 / 9,424.00 = 9.33%

PROPOSED F.A.R.:
 2,078.17 / 9,424.00 = 22.05%

EXISTING LOT COVERAGE:
 1,370.50 / 9,424.00 = 14.54%

PROPOSED LOT COVERAGE
 1,673.79 / 9,424.00 = 17.76%

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CAMPBELL, CA 95008

DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	
SCALE:	AS SHOWN	
DRAWN BY:	DN	

FAR

Project No.: 2021



THE DESIGN & DEVELOPMENT GROUP

97 BOSTON AVE
SAN JOSE, CA 95128
T 650.483.9454
www.tddgus.com

NOTES:

1. A MINIMUM 1/2" PER FT OF SLOPE AROUND THE BUILDING FOR DISTANCE OF AT LEAST 30 INCHES AWAY EXTERIOR WALLS.
2. BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
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4. FLASHING AND COUNTERFLASHING. PER 2016 C.R.C., EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
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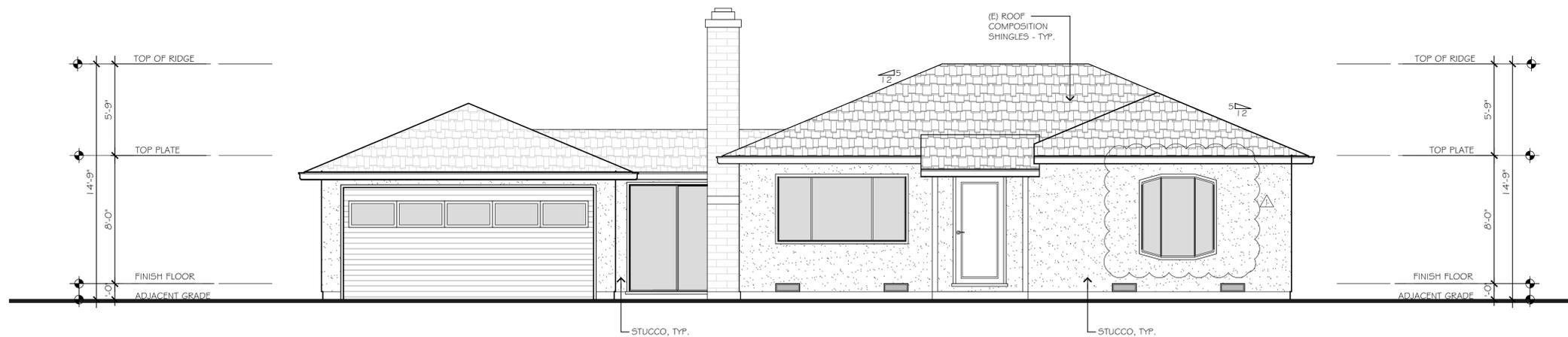
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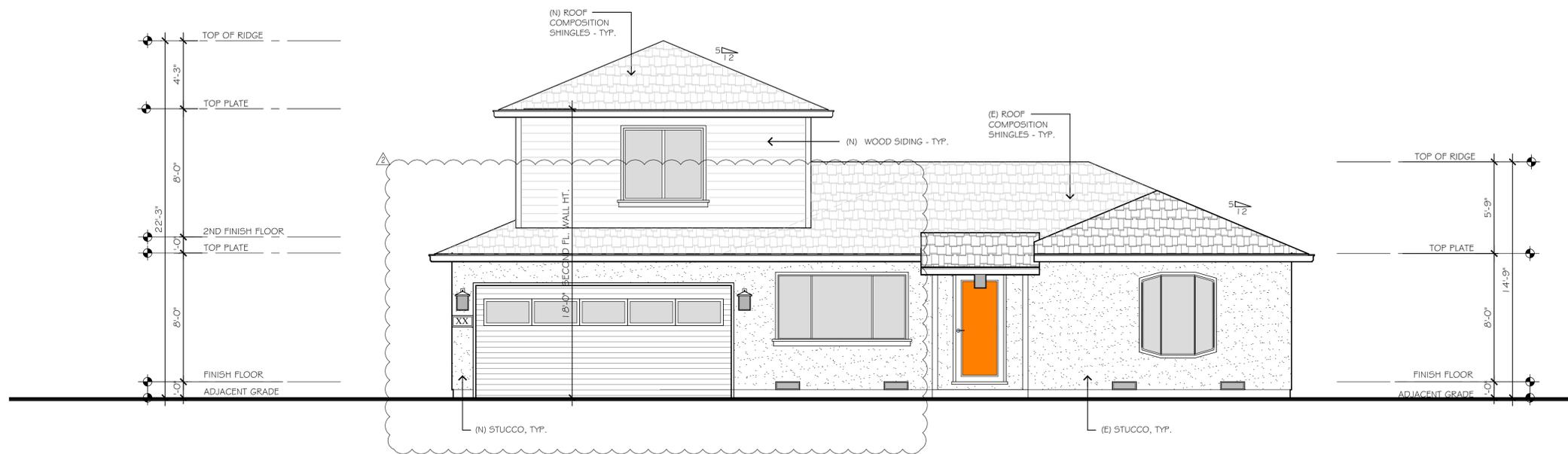
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JOB NO.: 2021-34
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Sheet Number:
A3.1

Project No.: 2021



EXISTING FRONT ELEVATION
SCALE: 1/4"=1'-0"

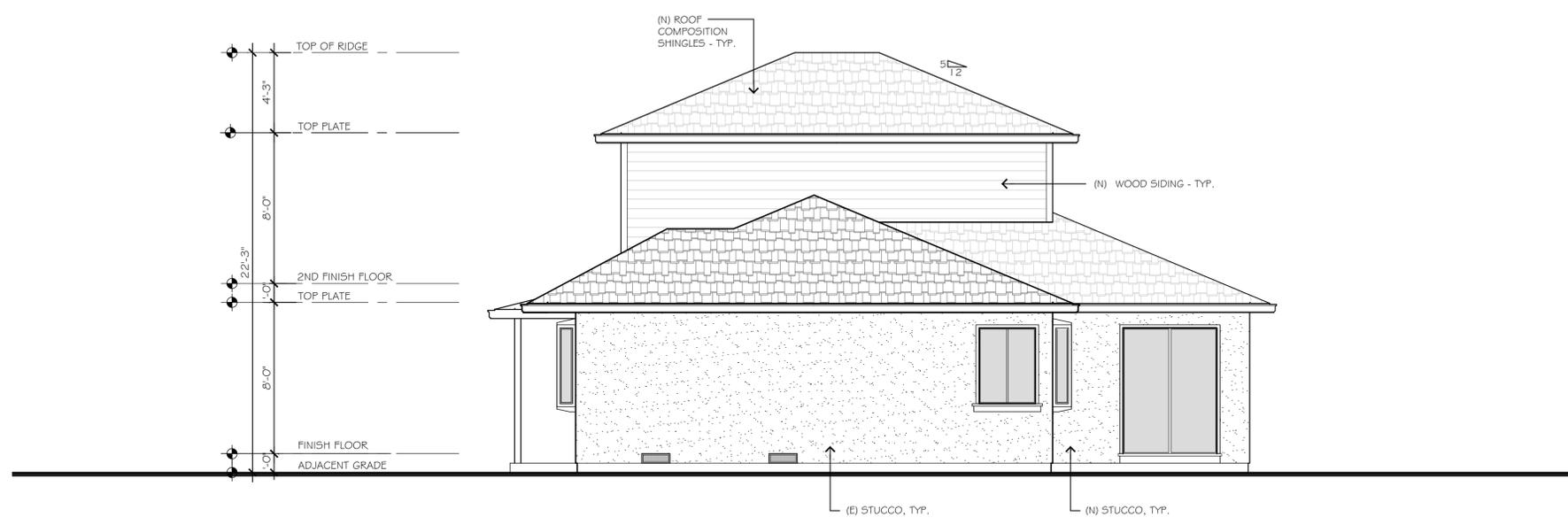
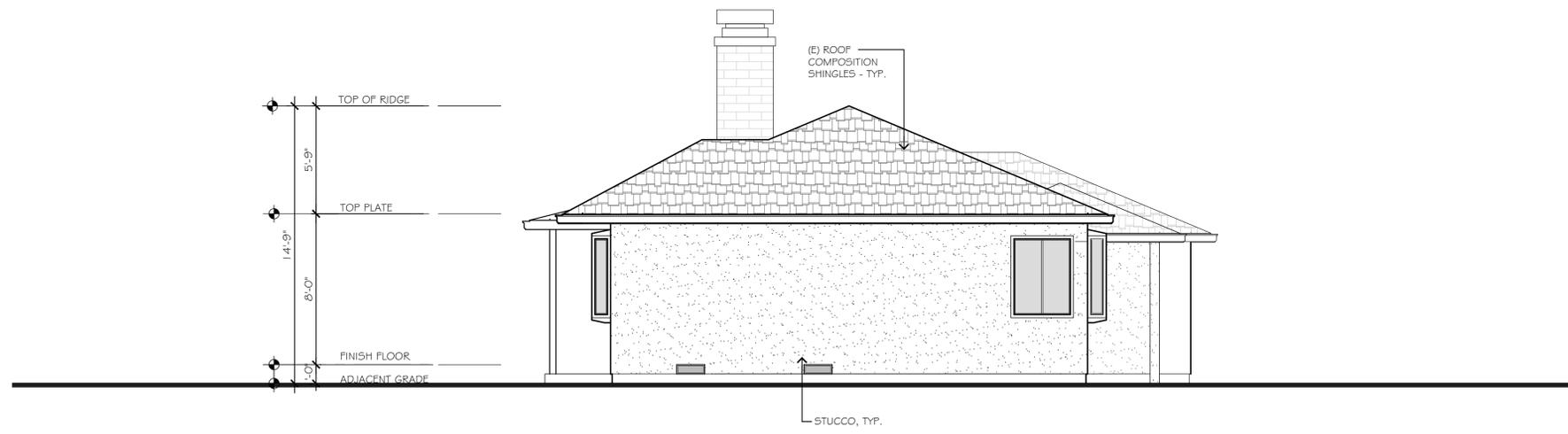


PROPOSED FRONT ELEVATION
SCALE: 1/4"=1'-0"



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T 650.483.9454
www.tddgus.com



PROPOSED RIGHT ELEVATION
SCALE: 1/4"=1'-0"

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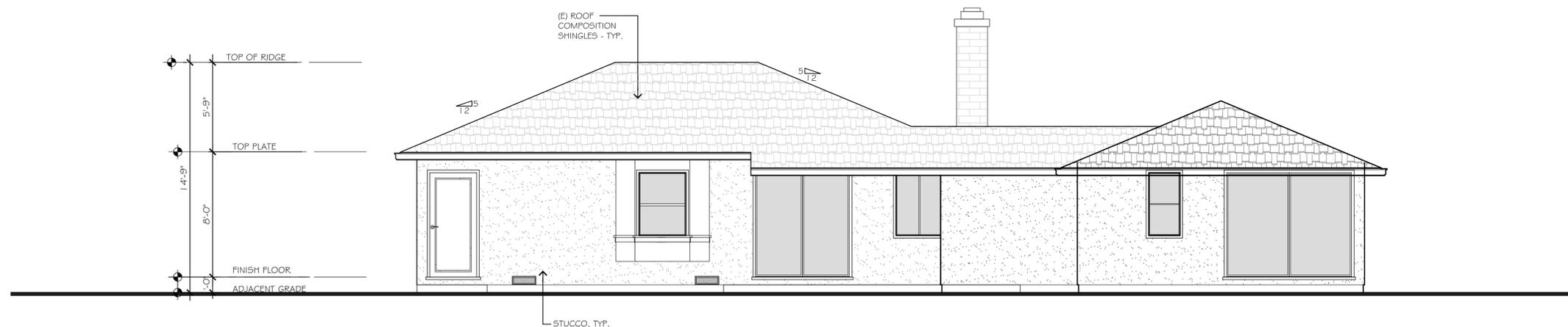
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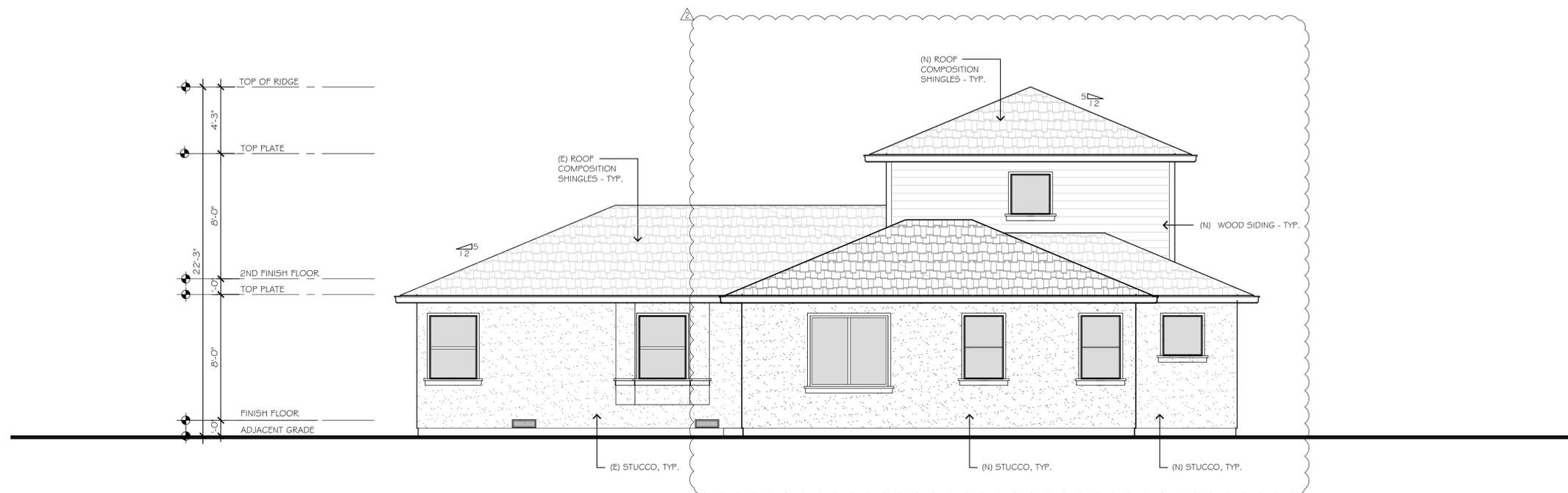
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CAMPBELL, CA 95008

DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	A3.2
SCALE:	AS SHOWN	
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Project No.: 2021		



EXISTING REAR ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4"=1'-0"

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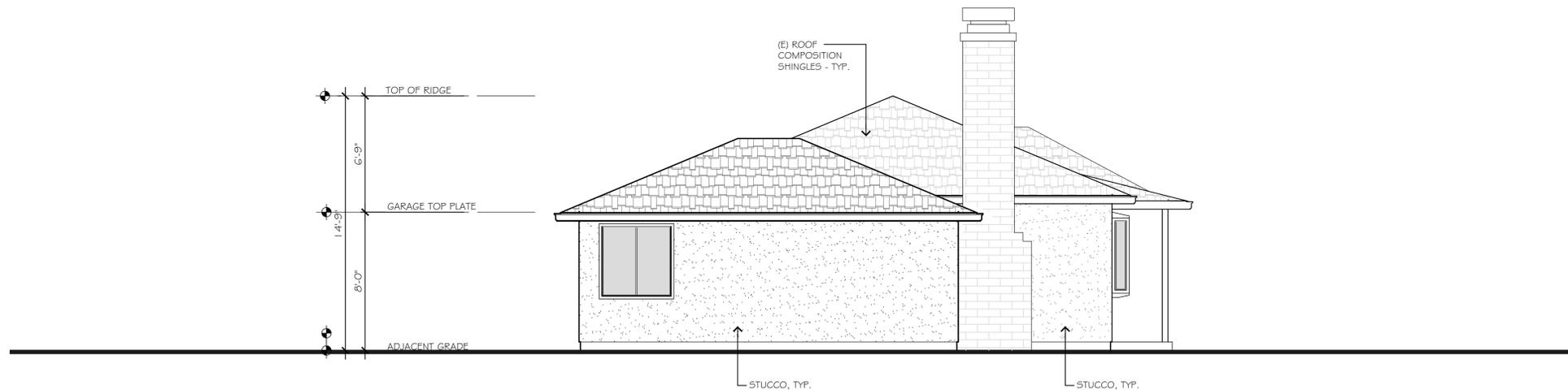
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DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	A3.3
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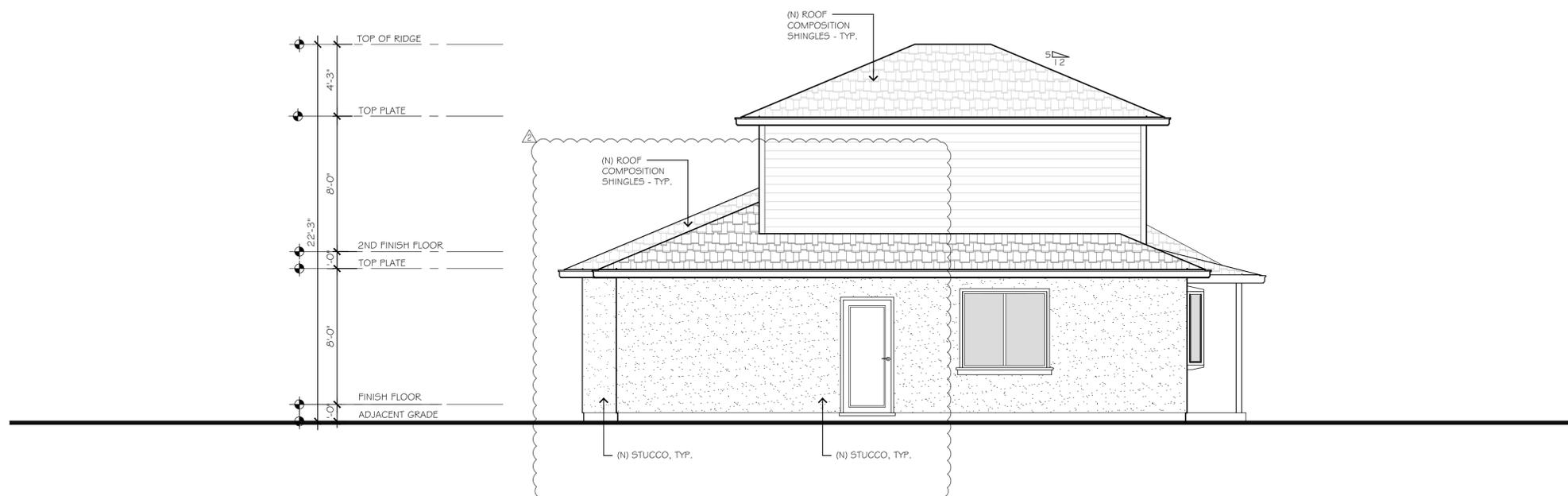


THE DESIGN & DEVELOPMENT GROUP

97 BOSTON AVE
SAN JOSE, CA 95128
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EXISTING LEFT ELEVATION
SCALE: 1/4"=1'-0"



PROPOSED LEFT ELEVATION
SCALE: 1/4"=1'-0"

NOTES:

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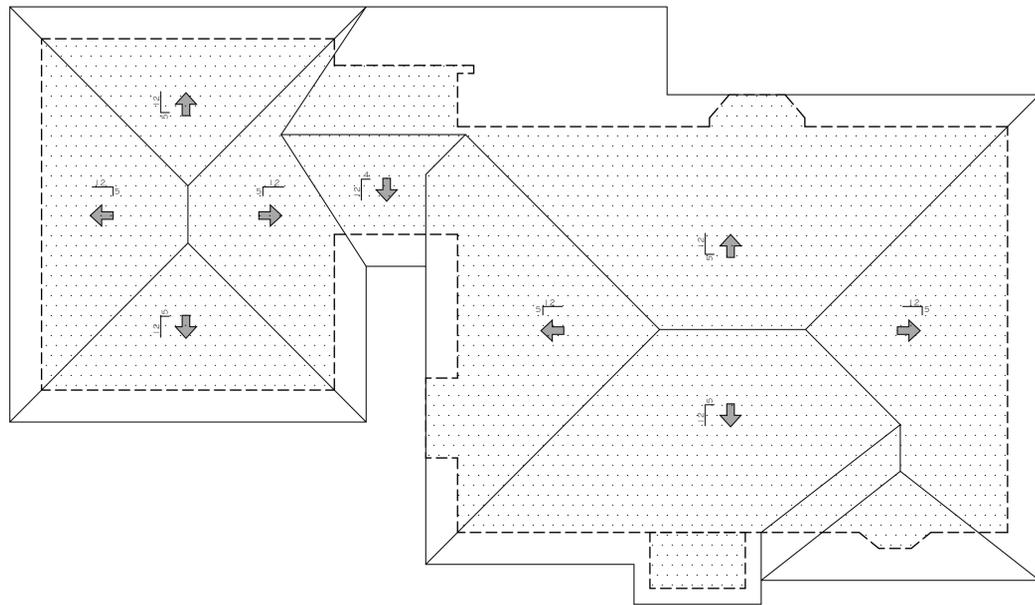
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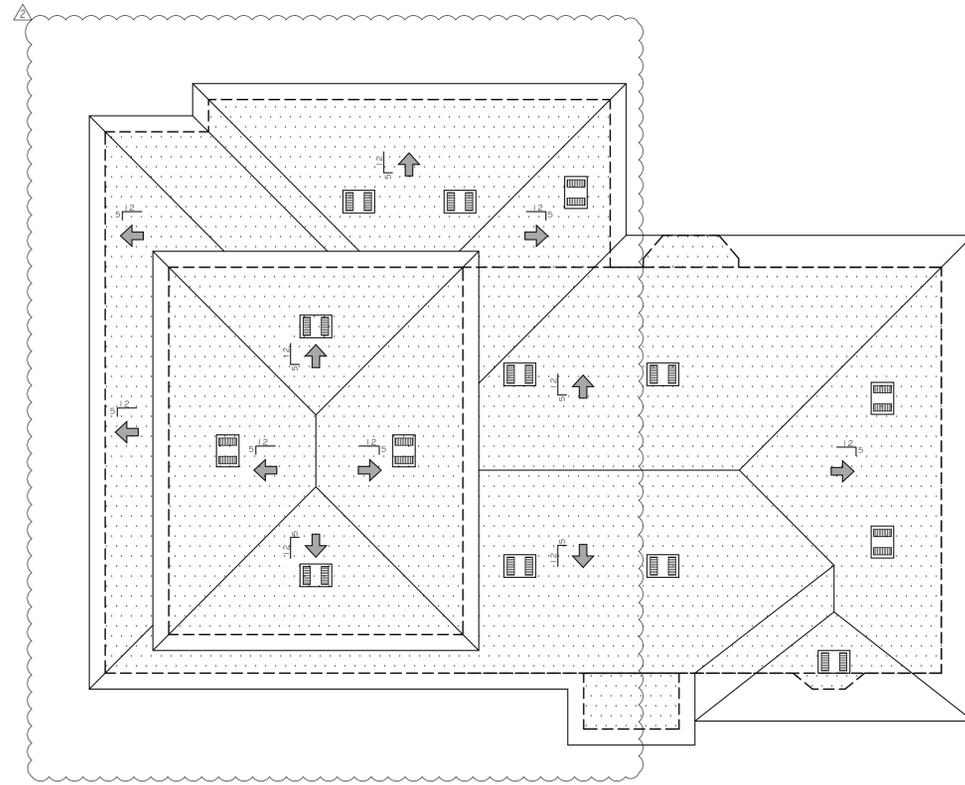
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JOB NO.:	2021-34	A3.4
SCALE:	AS SHOWN	
DRAWN BY:	DN	
Project No.:		2021



EXISTING ROOF PLAN
SCALE: 3/16"=1'-0"

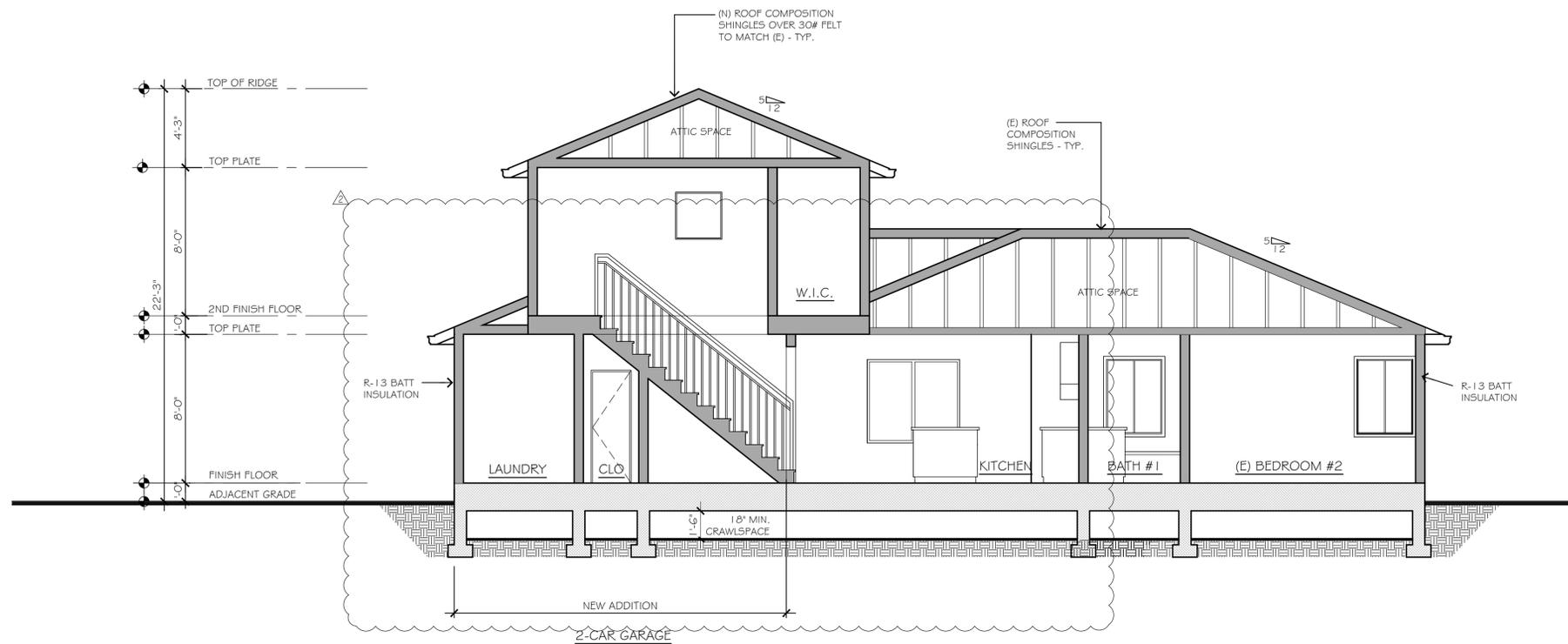


NEW ROOF PLAN
SCALE: 3/16"=1'-0"

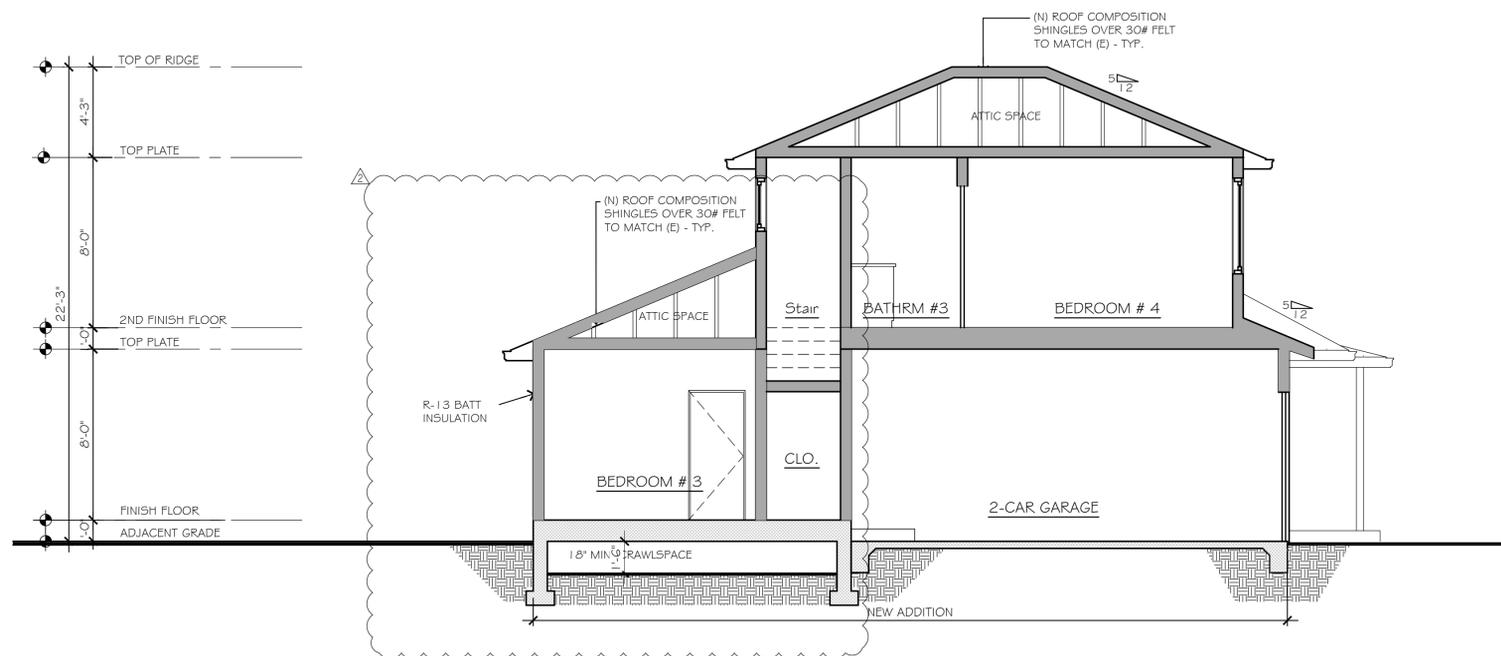


VENTILATION NOTES:

1. A MINIMUM OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING WITH ADEQUATE CROSS VENTING FOR VAULTED CEILING.
2. THE ATTIC ACCESS SHALL BE A MINIMUM OF 22" X 30". A THIRTY-INCH MINIMUM CLEAR HEAD ROOM SHALL BE PROVIDED ABOVE THE ATTIC ACCESS. ATTIC ACCESS SHALL BE LOCATED AT A READILY ACCESSIBLE LOCATION.
3. MECHANICAL VENTILATION IS NOT LESS THAN 6 AIR CHANGES PER HOUR TYPE. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING. THE EXHAUST VENT SHALL BE EQUIPPED WITH BACK-DRAFT DAMPER TO COMPLY WITH ENERGY REGULATIONS.
4. PROVIDE OUTDOOR COMBUSTION AIR OPENINGS FOR THE MECHANICAL CLOSET WITH THE 2 PERMANENT OPENINGS METHOD PER CMC SECTION 701.4.1. ONE OPENING SHALL COMMENCE WITHIN 12 INCHES OF THE TOP AND THE OTHER COMMENCING WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE.



SECTION A-A
SCALE: 1/4"=1'-0"



SECTION B-B
SCALE: 1/4"=1'-0"

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SCALE:	AS SHOWN	
DRAWN BY:	DN	



PROPOSED COLORED ELEVATION

SCALE: 1/4"=1'-0"

MATERIAL AND ASSOCIATED COLORS.

Exterior Stucco color: Benjamin Moore sweatshirt 2126-40

Trim Color, Eaves, Facia, Door & Windows: Benjamin Moore White Dove OC-17

Wood Siding Color: Feather Gray 2127-60

Metal Garage door Painted: Benjamin Moore Anchor gray 2126-30

MANUFACTURE AND PRODUCT NUMBER.



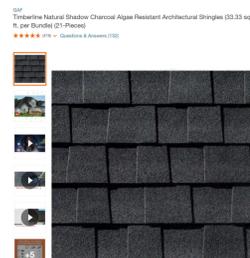
Manufacture: Clopay
Metal Garage door Painted: Benjamin Moore Anchor gray 2126-30



Wood Siding: HardiePlank HZ10 5/16 in. x 8.25 in. x 144 in. Fiber Cement Primed Cedar Mill Lap



Jeld-Ment: White Vinyl Sliding Window or White Single-Hung Vinyl Window



GAF: Timberline Natural Shadow Charcoal Algae Resistant Architectural Shingles.



1. GAF: TIMBERLINE NATURAL SHADOW CHARCOAL ALGAE RESISTANT ARCHITECTURAL SHINGLES.



2. WOOD SIDING BENJAMIN MOORE FEATHER GRAY 2127-60



3. STUCCO FINISH BENJAMIN MOORE SWEATSHIRT GRAY 2126-40



4. TRIMS/FRAMES, DOOR, WINDOWS BENJAMIN MOORE WHITE DOVE OC-17



4. GARAGE GATE BENJAMIN MOORE ANCHOR GRAY 2126-30

NOTES:

1. A MINIMUM 1/2" PER FT OF SLOPE AROUND THE BUILDING FOR DISTANCE OF AT LEAST 30 INCHES AWAY EXTERIOR WALLS.
2. BUILDING ADDRESS NUMBERS AND ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, AND BE A MINIMUM 4" HIGH, WITH A MINIMUM OF ONE-HALF INCH STROKE AND SHALL BE EITHER INTERNALLY OR EXTERNALLY ILLUMINATED IN ALL NEW CONSTRUCTION, ALTERATIONS OR REPAIR OF EXISTING CONSTRUCTION. THE POWER OF SUCH ILLUMINATION SHALL NOT BE NORMALLY SWITCHABLE.
3. ALL MATERIALS APPLIED AS ROOF COVERING ON ANY STRUCTURE REGULATED BY THIS CODE SHALL HAVE A FIRE RETARDANT RATING OF CLASS A OR B. ALL WOOD STRUCTURES ARE REQUIRED TO HAVE A MINIMUM OF CLASS 'C' ROOF COVERING.
4. FLASHING AND COUNTERFLASHING. PER 2016 C.R.C., EXTERIOR OPENING EXPOSED TO THE WEATHER SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.
5. EXTERIOR STUCCO: 3-COATS, 7/8" MINIMUM THICK W/ TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING W/ 26 GA GALV. WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING).

PROJECT DESIGNER:
DE NGUYEN

THE DESIGN AND DEVELOPMENT GROUP EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF TDDG, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD THE DESIGN AND DEVELOPMENT GROUP HARMLESS.

NO.	DATE	REVISION
1	5/17/22	PLANNING
2	9/03/22	PLANNING

Project Name:

REMODEL & ADDITION
1351 OLYMPIA AVE.
CAMPBELL, CA 95008

DATE:	10/17/21	Sheet Number:
JOB NO.:	2021-34	A6
SCALE:	AS SHOWN	
DRAWN BY:	DN	

PROJECT INFORMATION

PROJECT ADDRESS 1351 OLYMPIA AVE.
CAMPBELL, CA 95008

TOTAL LANDSCAPE AREA 972 SQ
PROJECT TYPE RESIDENTIAL NEW LANDSCAPE,
WATER SYSTEMS AND POTABLE WATER,

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE
WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A
COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

ARCHITECT SIGNATURE DATE

THE PROJECT IS AN AGGREGATE LANDSCAPE AREA
THAT IS LESS THAN 2500 SQ. AND WILL COMPLY WITH THE
RESERVATIVE MEASURES CONTAINED IN APPENDIX D OF
THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE MWELCO

Angela 9/6/2022

ARCHITECT SIGNATURE DATE
LANDSCAPE ARCHITECT
C 4987

TOTAL PLANTING AREA INCLUDING EDIBLES
972 SF (100%)
PLANTING AREA INSTALLED WITH COMPATIBLE ADAPTED
PLANTS THAT REQUIRE OCCASIONAL IRRIGATION OR NO
SUMMER WATER
972 (100%)
TOTAL TIER AREA 0

MORE THAN 75% OF PLANTING USES PLANTS THAT
REQUIRE OCCASIONAL IRRIGATION OR NO SUMMER WATER.

LANDSCAPE DESIGN PLAN DATE 23, CATER 2.7

REIRRIGATING WATER SYSTEMS SHALL BE USED FOR
WATER FEATURES

A MINIMUM 3" CONCRETE OR MORTAR SHALL BE APPLIED ON
ALL EXPOSED SOFT SURFACES OF PLANTING AREAS
EXCEPT TERRAZZO, CREEPING OR ROOTING
GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS
WHERE MORTAR IS CONTRAINDICATED.

FOR SOFTER THAN 6" ORGANIC MATTER IN THE TOP 6"
INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF
FOR CIRCULARS PER 1,000 SQUARE FEET OF
PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH
OF SIX INCHES IN TO THE SOIL.

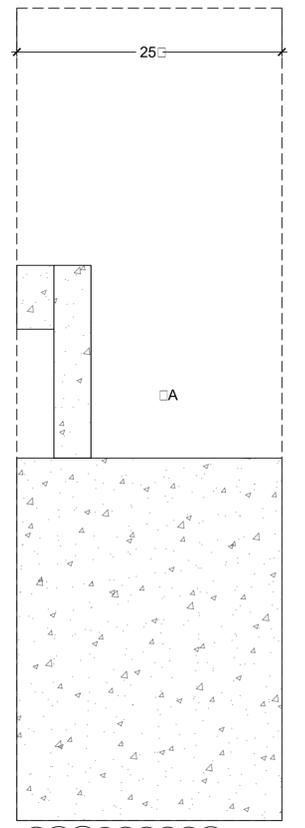
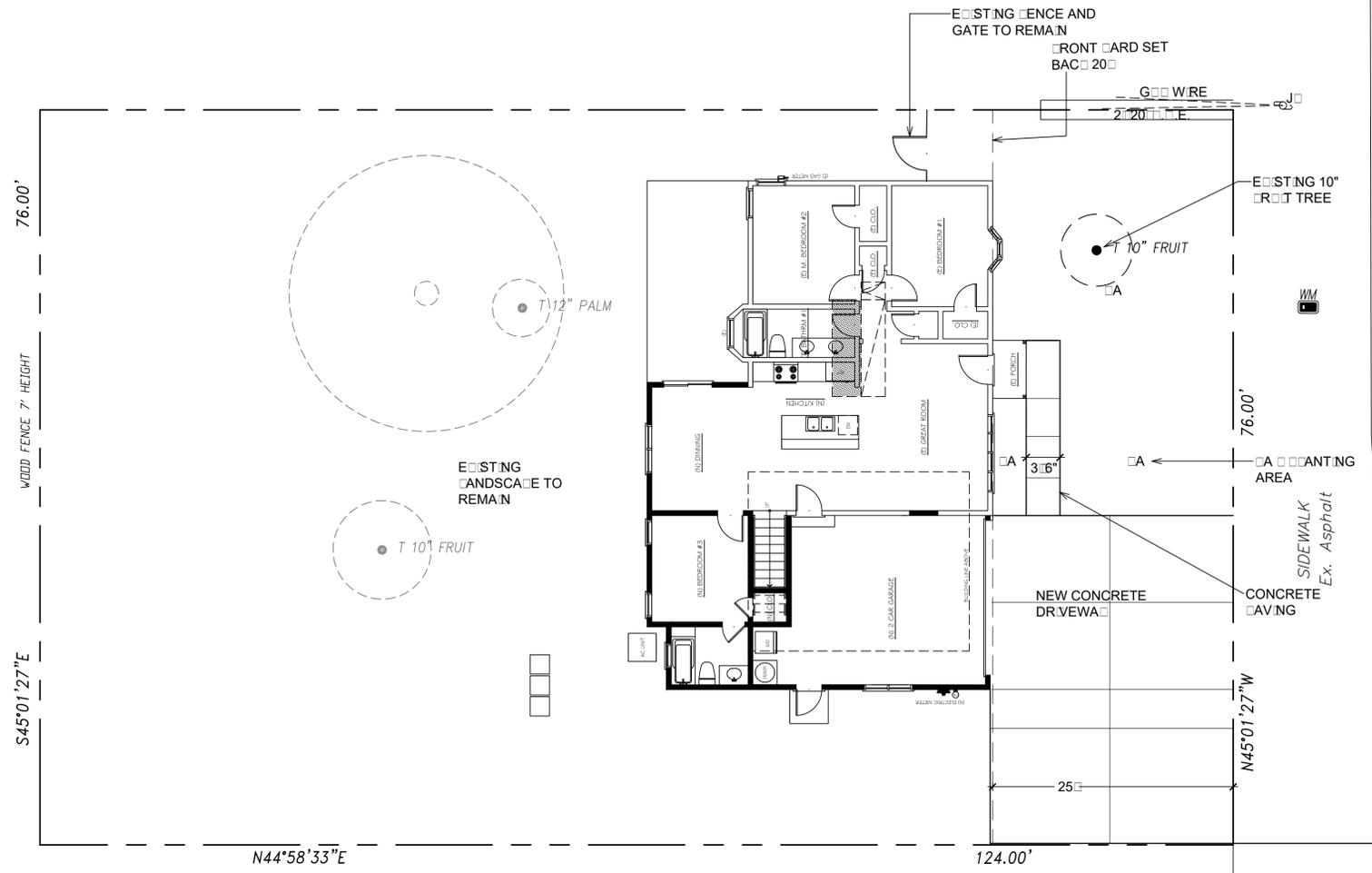
AT THE TIME OF FINAL INSPECTION, THE PERMIT
ARCHITECT MUST PROVIDE THE OWNER OF THE
PROJECT WITH A CERTIFICATE OF COMPLETION,
CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE
AND A SCHEDULE OF LANDSCAPE AND IRRIGATION
MAINTENANCE.

**UNDERGROUND SERVICE ALERT
(USA) - 800-227-2600**

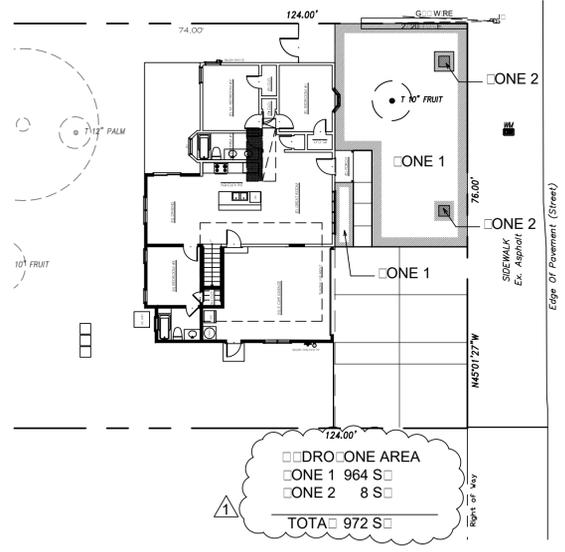
CALL BEFORE YOU DIG.
CONTRACTOR TO CALL USA 2 DAYS BEFORE EXCAVATION
TO LOCATE UNDERGROUND UTILITIES.

SHEET INDEX

1.0	LANDSCAPE SITE PLAN
2.0	LANDSCAPE IRRIGATION PLAN
3.0	LANDSCAPE PLANTING PLAN



**FRONT SETBACK IMPERIOUS
PAVING CALCULATION**
TOTAL SETBACK AREA 1907 SQ
PAVED AREA 935 SQ 49%
PLANTING AREA 972 SQ 51%

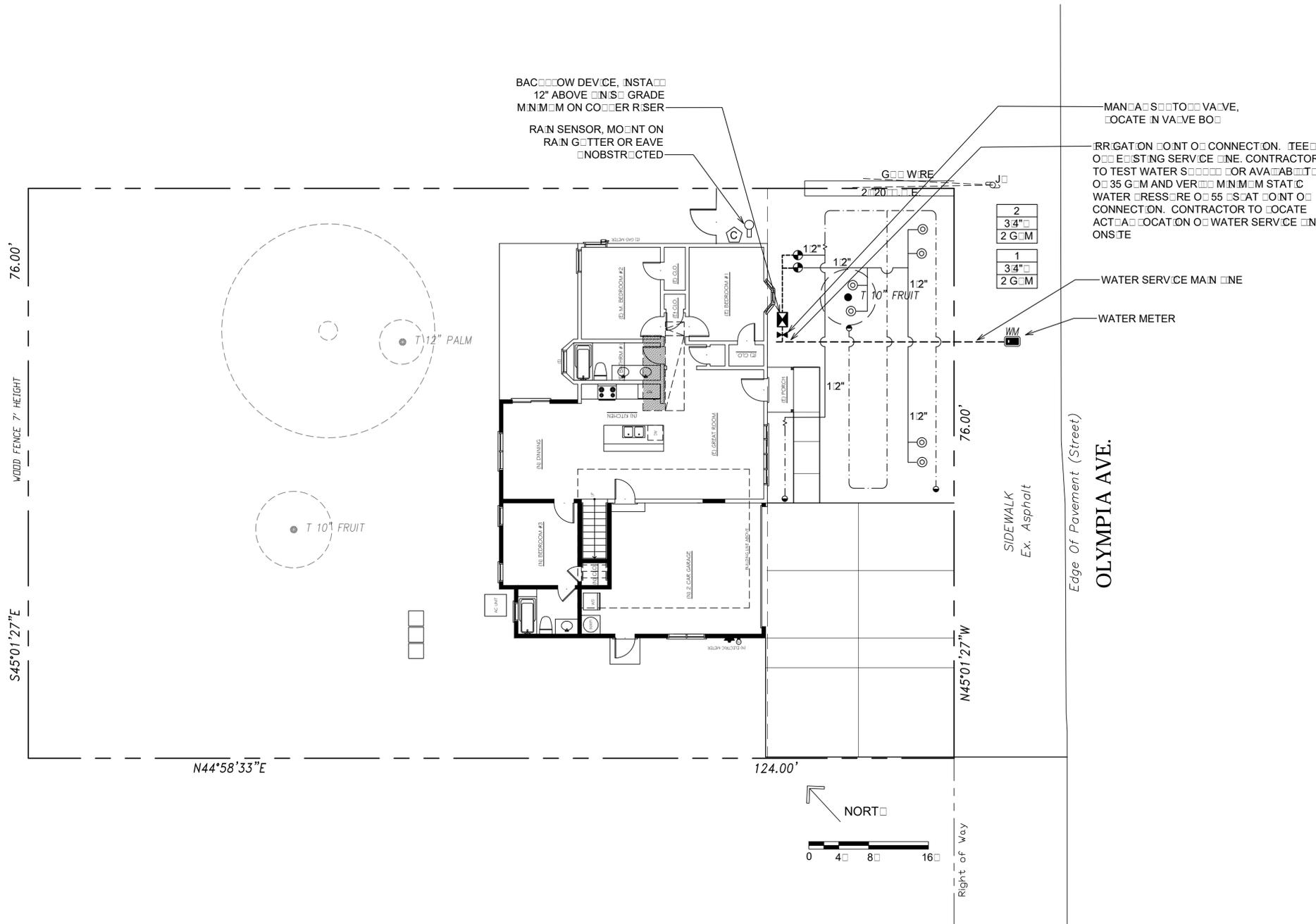


CONSTRUCTION LAYOUT NOTES:

- THE PROJECT PLAN IS DIAGRAMMATIC ONLY, SHOULD A DISCREPANCY EXIST BETWEEN THE PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY, IN WRITING, PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR:
A. VERIFYING AND CONFORMING TO SETBACKS AND OTHER INDICATED DIMENSIONS.
B. LOCATING ALL MAJOR COMPONENTS PRIOR TO STARTING CONSTRUCTION.
C. COOPERATING WITH LANDSCAPE ARCHITECT AND OWNER IN RESOLVING ANY DISCREPANCIES AND MAKING ADJUSTMENTS TO AVOID ADDITIONAL COSTS TO THE OWNER.
- THE LANDSCAPE ARCHITECT SHALL APPROVE ALL STAKE AND FORM WORK PRIOR TO INSTALLATION.
- ALL CURVES SHALL BE SMOOTH AND CONTINUOUS AND ALL ANGLES SHALL BE 90°, UNLESS OTHERWISE NOTED.
- WRITTEN DIMENSIONS SHALL PREVAIL DO NOT SCALE DRAWINGS, UNLESS OTHERWISE NOTED.
- ALL RADII POINT DISCREPANCIES ARE TO BE ADJUSTMENTS IN THE FIELD MAKE NECESSARY FOR SMOOTH, EVEN LINES AND POINT POINTS.
- ALL DIMENSIONS START AT REFERENCE LINES, FACE OR BOUNDING, DESIGNATED RADII POINTS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL INSTALL EMBEDDINGS ON JOINTS WITH MASTIC BETWEEN ANCHORING AND PAVING CONNECTIONS, AND BETWEEN EXISTING PAVING AND NEW PAVING.
- CONTRACTOR TO COORDINATE SEWER, IRRIGATION, GUTTERING, DRAINAGE, ETC. WITH OTHER CONTRACTORS

GENERAL NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EXISTING CONDITIONS, THE LOCATION OF ALL TREES WITHIN THE LIMIT OF WORK, UTILITIES, AND ALL SITE ELEMENTS PRIOR TO BEGINNING THE WORK.
- PERFORM ALL WORK IN CONFORMANCE WITH REQUIREMENTS AND OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS. OBSERVE ALL SETBACKS SHOWN ON THE PLANS AND AS OTHERWISE MADE BE REQUIRED.
- THE LANDSCAPE ARCHITECT AND THE OWNER SHALL BE ADVISED 48 HOURS IN ADVANCE FOR PERFORMANCE OF SITE OBSERVATIONS.



IRRIGATION LEGEND

SYMBOL	DESCRIPTION
	1/2" POLYETHYLENE DISTRIBUTION TUBING (RAINBIRD) AT 700' ON R/SER FROM WATERLINE. SECURE IN PLACE WITH GALVANIZED TIE DOWN STAPLE EVERY 4' UNDER MINIMUM USE RAINBIRD BURIED EMITTERS (B100C 1 GPM, B100C OR ONE AND 5 GALLON EMITTERS, AND B200C 2 GPM, RED OR EACH 15 GALLON EMITTER. INSTALL 1/4" TUBING WITH STAPLE AND DRAINAGE SERB G CAP TO EACH EMITTER. INSTALL SERB CAP RAINBIRD MDC CAP AT THE END OF 700' TUBING.
	RAINBIRD 18" ROOT WATERING SYSTEM WITH .25 GPM BURIED AND GRATE. RWS/M.B.C.1401. INSTALL 2 PER TREE
	1" DIAMETER SCHEDULE 40 PVC IRRIGATION MAIN LINE, BURIED 18" DEEP.
	CLASS 200 PVC WATERLINE, SIZE AS NOTED. BURIED 12" MINIMUM.
	BACKFLOW PREVENTER PRESSURE VACUUM BREAKER, 1" SIZE, INSTALL ON COUPLER RISER, 12" ABOVE FINISH GRADE.
	RAINBIRD 075 VALVE OR DRIPPER SYSTEM (INSTALL 3/4" R/R BURIED AFTER VALVE LOCATE IN VALVE BOX BELOW GRADE.
	INDICATES STATION NUMBER INDICATES VALVE SIZE, DIAMETER INDICATES FLOW RATE (GALLONS PER MINUTE)
	RETRO RAIN DRAIN STATION (R/D) 600' E.T. MOUNT ON GARAGE EJECTOR WALL OR AS DIRECTED BY OWNER. POWER TO CONTROLLER TO BE PROVIDED BY LICENSED ELECTRICIAN.
	RAINBIRD CROSSBED WIRED RAIN SENSOR. MOUNT UNOBSTRUCTED FROM EAVES OR OVERHEAD WIRE TO CONTROLLER.

NOTES

- CONTRACTOR TO TEST WATER SOURCE FOR AVAILABILITY OF 35 GPM AND VERIFIED MINIMUM STATIC WATER PRESSURE OF 55' AT POINT OF CONNECTION.
- TEST DEVICES FOR LEAKS BEFORE BACKFLOW.
- INSTALL 4" PVC SLEEVE UNDER PAVING, COORDINATE WITH OTHER CONTRACTORS.

IRRIGATION DESIGN PLAN DATE 23, COUNTER 2.7

PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.

CHECK VALVES OR ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.

IRRIGATION STATIONS INFORMATION

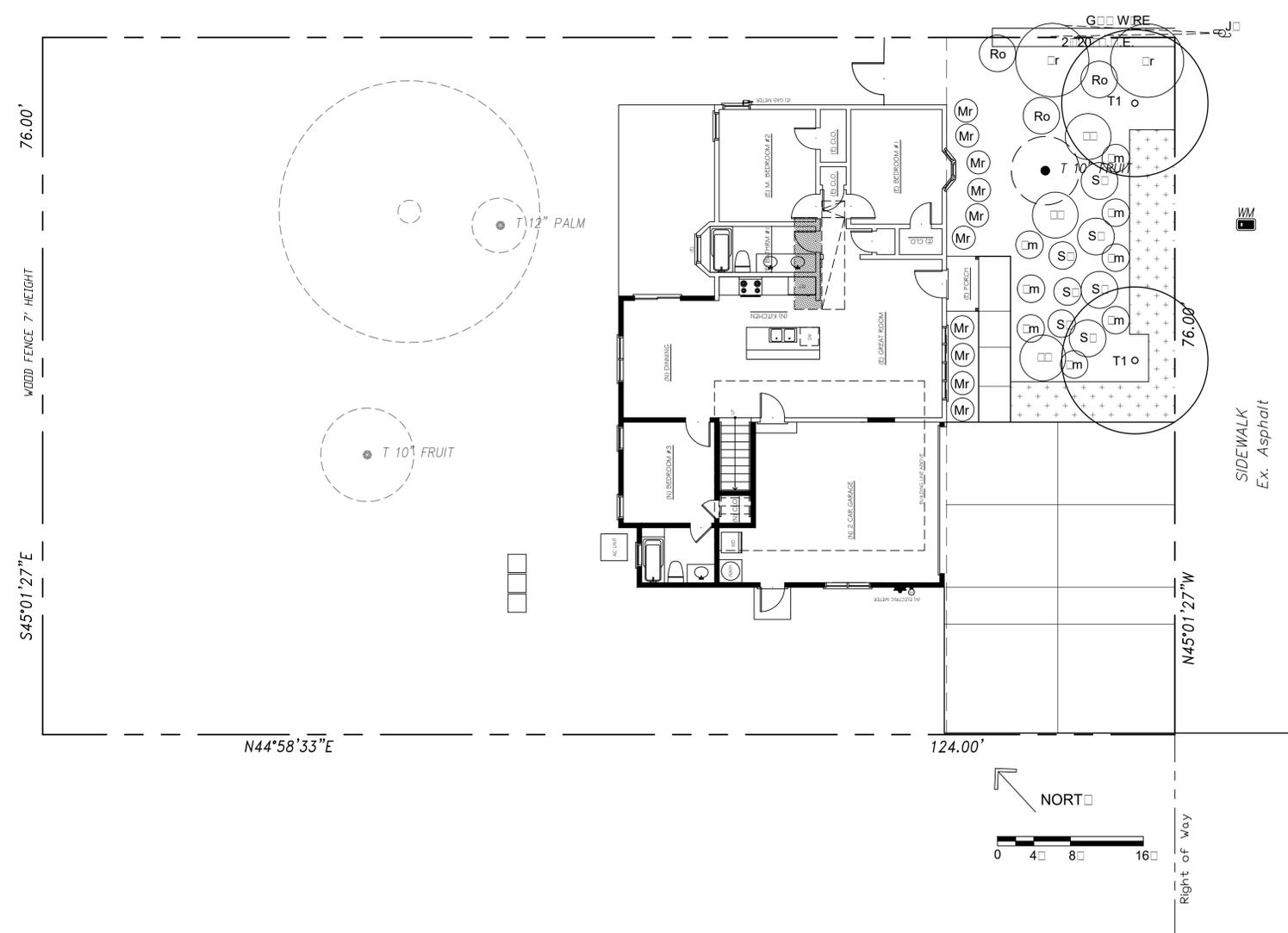
DROONE VALVE	VALVE SIZE	FLOW RATE (GPM)	APPLICATION TYPE (R/A)	DESIGN OPERATING PRESSURE (PSI)	DROONE OPERATING PRESSURE
1	3/4"	2	Drain/A	30 PSI	Low/Tricks
2	3/4"	2	Buried/A	30 PSI	Low/Tricks

WATERMETER, INSTALL AFTER VALVE

IRRIGATION SCHEDULE NOTE

- IRRIGATION SHALL BE LIMITED TO THE HOURS OF 8 AM TO 10 AM.

SHALL COMPLY WITH THE CRITERIA OF THE ORDINANCE AND APPLICABLE CODES FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.



Edge of Pavement (Street)
OLYMPIA AVE.
SIDEWALK
Ex. Asphalt

PLANTING LIST

SYM	BOTANICAL NAME	COMMON NAME	QT	SIZE	W/COS	Mature Spacing	Spacing
Tr							
T1	Argemone	Musk Mallow	2	15 gal		25" x 18"	
Sr							
Mr	Argemone	Low Growing	3	1 gal		1" x 4"	4"
Ro	Rosmarinus	Mint	10	5 gal		5" x 4"	4"
Sr	Rosmarinus	Bush	3	1 gal		4" x 3"	3"
Sr	Succisa	Mallow	3	1 gal		3" x 4"	4"
Sr	Succisa	Dot	4	1 gal		3" x 4"	4"
Sr	Rosmarinus	Bright	2	5 gal		16" x 10"	10"
Gr							
Gr	Arctostaphylos	Emerald	1	1 gal		1" x 3"	3"
Gr							
Gr	Ornamental	Grass	8	1 gal		2" x 3"	4"

WATER NEEDS: V = VERY LOW, L = LOW WATER USE, M = MODERATE WATER USE

- PLANTING NOTE**
- Before planting, amend soil with 6 cubic yards of compost.
 - 10 bags of 16/6/8/20 fertilizer
 - 5 bags of mulch
 - Mulch beds with 3" of medium redwood wood chips, color Dr. Brown.
 - Tree and shrub care: Arcobut and low-growing plants to root or amend soil with succulent do not meet American Standards for Nursery Stock (ANS) plant materials standards. Contractor should inspect plants for pests, diseases or damage due to improper handling. Tree Contractor should inspect plants for damage or root rot in porous, container-grown plants or stems and stems originating from the soil to the root.
 - Tree and shrub care: Arcobut and low-growing plants to root or amend soil with succulent mulch and amend soil with succulent mulch.
 - Tree Contractor should ensure continuous irrigation through mulch and amend soil with succulent mulch.
 - Tree Contractor should ensure proper irrigation and protection of plants. Drip irrigation, such as surface or subsurface, should be installed or recommended to add to the irrigation system.

PLANTING NOTE: AVE COMPARED WITH THE CRITERIA OF THE ORDINANCE AND ADDED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS.

TREE



T1 Argemone Musk Mallow

SHRUBS



Argemone Low Growing, Rosmarinus Mint, Rosmarinus Bush, Succisa Mallow, Succisa Dot, Rosmarinus Bright, Arctostaphylos Emerald

GROUND COVER



Ornamental Grass

Ornamental Grass



Ornamental Grass

SHEET TITLE: LANDSCAPE PLANTING PLAN

PROJECT ADDRESS: 1351 OLYMPIA AVE, CAMBRIDGE, CA 95008

DATE: 7/18/2022
SCALE: 1/8" = 1'-0"
DRAWN BY: A
PROJECT: 22023

SHEET: 3
TOTAL SHEETS: 3