

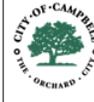
## Location of Proposed Project

476 E Campbell Avenue



376 0 188 376 Feet  
 WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 Campbell IT, GIS Services  
 Scale 1:2,257

This map is based on GIS information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



City of Campbell  
 70 North First Street  
 Campbell, CA 95008 -1423

## Project Image



# Notice of Decision on Proposed Project

Dear Campbell Resident,

December 22, 2022

The Community Development Director will be rendering a decision on the following project.

**Project Address:** 476 E. Campbell Avenue

**Zoning | Area Plan:** P-D | Winchester Blvd. Master Plan

**Neighborhood Association(s):** N/A

**File No.:** PLN-2022-148

**APN:** 412-09-065

**Applicant:** Evoco Architecture Interiors

**Property Owner:** Lavender Indigo LLC

**Application Type:** Administrative Planned Development Permit

**Project Planner:** Daniel Fama, Senior Planner

**Email Contact:** daniel@campbellca.gov

**Phone Contact:** (408) 866-2193

## Project Description:

Exterior façade improvements to an existing commercial building. No change of use.

## Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **December 22, 2022**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **January 3, 2023**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -  
Community Development Department  
70 N. First Street, Campbell CA 95008  
(408)866-2140 | [planning@campbellca.gov](mailto:planning@campbellca.gov)

**Note:** Applications may change after initial application submittal.  
To view the project plans, please scan the QR code.

\*\*Asistencia en Español disponible,  
Simplemente marque (408) 866-2140 y pida traducción en Español



# ERIK SWANSON DDS EXTERIOR IMPROVEMENTS 476 E CAMPBELL AVE, CAMPBELL, CA 95008

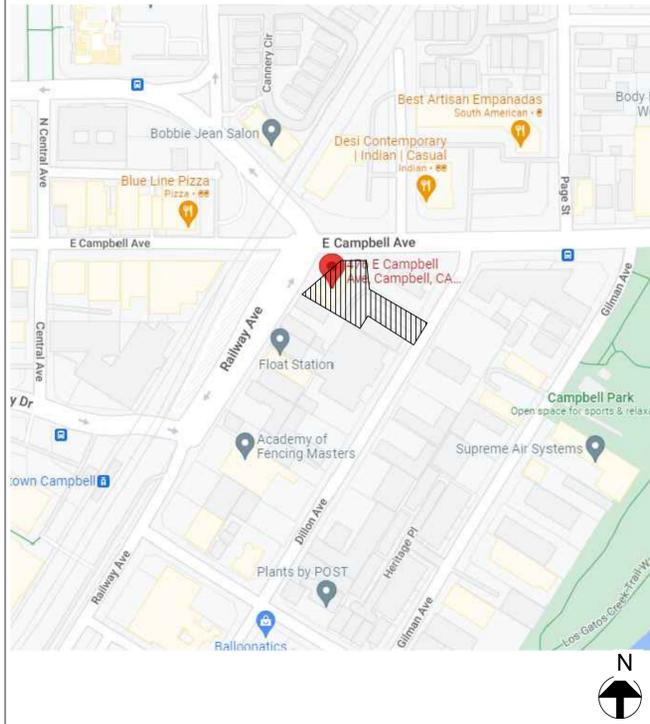
**evoco**

EVOCO ARCHITECTURE & INTERIORS  
470 NOOR AVE, # 1098  
SO. SAN FRANCISCO CA 94080

415.312.0454

OWNER:  
ERIK SWANSON DDS  
476 E CAMPBELL AVE,  
CAMPBELL, CA 95008

**LOCATION MAP**



**PROJECT DATA**

**JURISDICTION** CITY OF CAMPBELL  
**LOCATION** 476 E CAMPBELL AVE, CAMPBELL, CA 95008  
**APN** 412-09-065  
**ZONING** P-D, PLANNED DEVELOPMENT  
**LAND USE** CC/ CENTRAL COMMERCIAL  
**BUILDING CODE** 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA FIRE CODE  
 2019 CALIFORNIA ENERGY CODE  
  
**OCCUPANCY PROPOSED** GROUP B (NO CHANGE)  
**CONSTRUCTION TYPE** TYPE B  
**FIRE SPRINKLER** NO  
**EXISTING USE** MEDICAL OFFICE (LOWER LEVEL)  
 OFFICE (UPPER LEVEL)  
  
**BUILDING AREA**  
 BASEMENT FLOOR 552 SF  
 FIRST FLOOR 2,937 SF  
 SECOND FLOOR 1,665 SF  
 TOTAL AREA 5,154 SF

**INDEX OF DRAWINGS**

|       |  |
|-------|--|
| A-0.0 | TITLE SHEET                                  |
| A-1.0 | PROPOSED SITE PLAN                           |
| A-1.1 | EXISTING FLOOR PLANS- 1 (FOR REFERENCE ONLY) |
| A-1.2 | EXISTING FLOOR PLANS- 2 (FOR REFERENCE ONLY) |
| A-5.0 | EXISTING ELEVATIONS - 1                      |
| A-5.1 | EXISTING ELEVATIONS - 2                      |
| A-5.2 | PROPOSED ELEVATIONS - 1                      |
| A-5.3 | PROPOSED ELEVATIONS - 2                      |
| A-5.4 | EXISTING SITE PHOTOGRAPHS                    |
| A-6.0 | DETAILS                                      |
| PH-1  | PERSPECTIVES                                 |

**SCOPE OF WORK**

EXTERIOR MODIFICATIONS TO THE FACADE TO IMPROVE BUILDING APPEARANCE, NEW PAINT ON STUCCO, NEW AWNINGS, NEW METAL RAILINGS ALONG WEST FACADE OF THE BUILDING AND NEW GATE  
 NO CHANGE IS PROPOSED TO THE EXISTING LANDSCAPING.

**PROJECT DIRECTORY**

**OWNER**  
ERIK SWANSON DDS  
476 E CAMPBELL AVE,  
CAMPBELL, CA 95008  
PHONE:  
  
**ARCHITECT**  
EVOCO ARCHITECTURE | INTERIORS  
490 NOOR AVE, # 1098  
SO SAN FRANCISCO, CA 94080  
CONTACT: DEEPAK PATANKAR  
PHONE: 415-312-0454

**APPLICABLE CODES**

CALIFORNIA CODE OF REGULATIONS TITLE 24, CBC 2019, CMC 2019, CPC 2019, CEC 2019, CALIFORNIA ENERGY CODE 2019, CFC 2019, CGBC 2019 AND ANY LOCAL GOVERNING CODES AND ORDINANCES.

**APPROVAL STAMP**

**REVISION**

DATE/DESC.

**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:

TITLE SHEET

DATE:

NOVEMBER 7, 2022

SCALE:

AS NOTED

JOB #:

22127

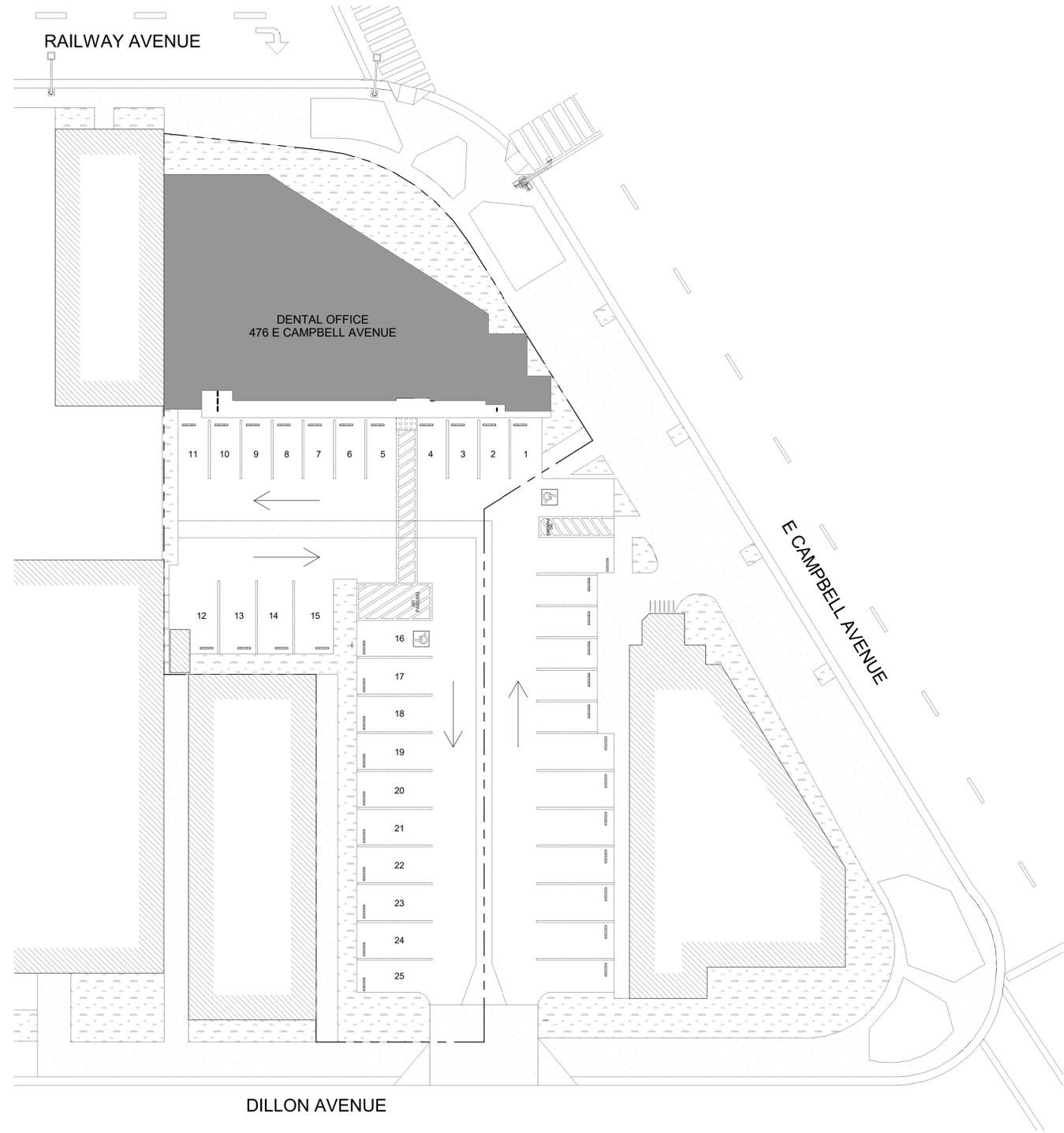
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DP

**A-0.0**

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CAMPBELL, CA 95008

REVISION

DATE/DESC.

**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:

**PROPOSED SITE PLAN**

DATE:

NOVEMBER 7, 2022

SCALE:

AS NOTED

JOB #:

22127

DRAWN BY:

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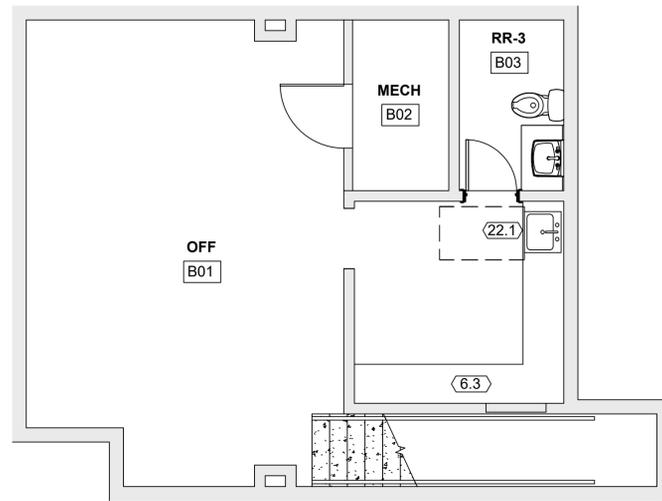


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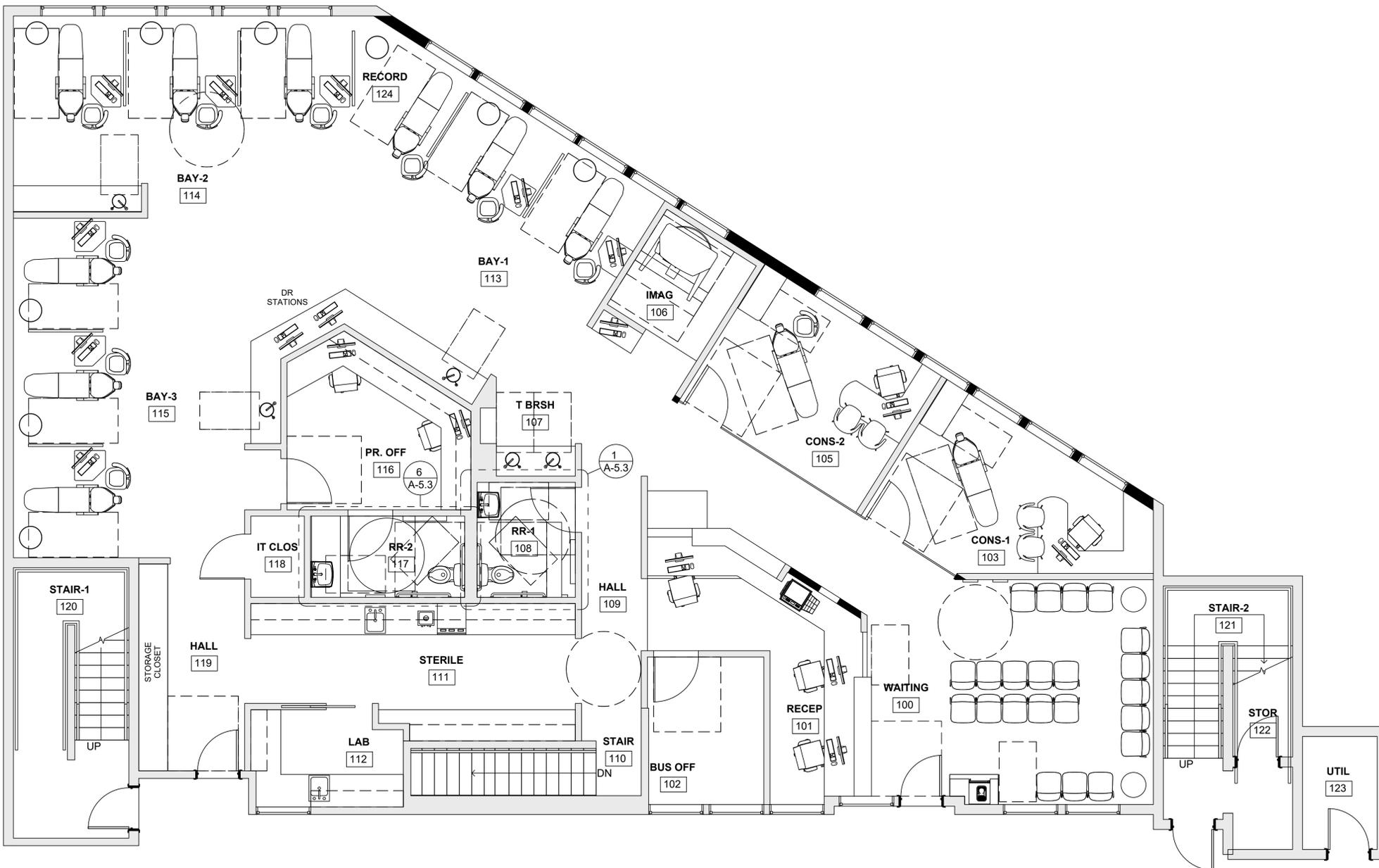
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2 BASEMENT FLOOR CONSTRUCTION PLAN

1/4"-1'-0"



1 FIRST FLOOR CONSTRUCTION FLOOR PLAN

1/4"-1'-0"

**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:  
EXISTING PLANS- 1  
(FOR REFERENCE ONLY)

DATE: NOVEMBER 7, 2022

SCALE: AS NOTED

JOB #: 22127

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A-1.1



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CAMPBELL, CA 95008

REVISION

DATE/DESC.

| DATE/DESC. |
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# EXTERIOR IMPROVEMENTS

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:  
EXISTING PLANS- 2  
(FOR REFERENCE ONLY)

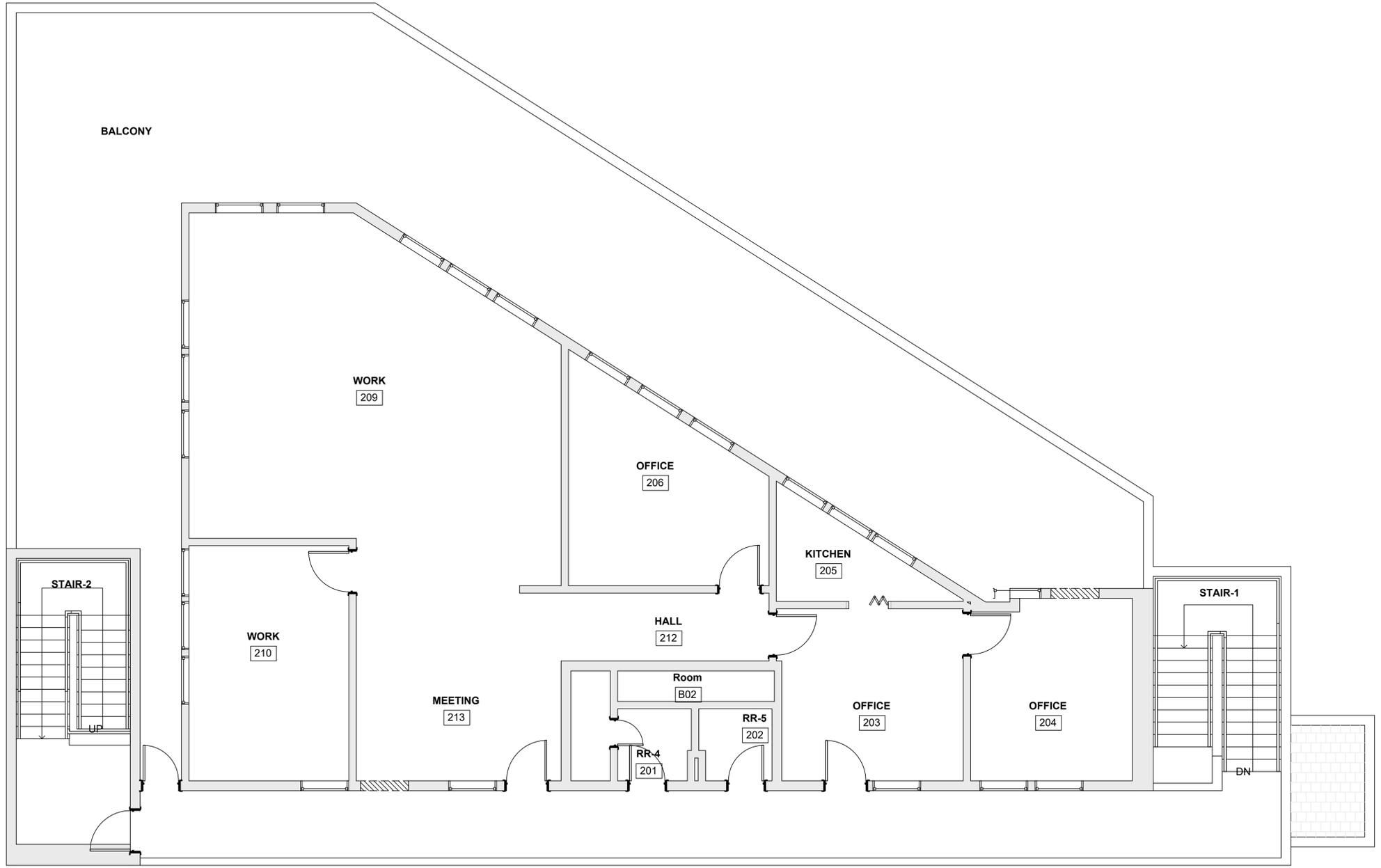
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NOVEMBER 7, 2022

SCALE:  
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JOB #:  
22127

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DP

A-1.2



1 SECOND FLOOR EXISTING PLAN (FOR REFERENCE ONLY)

1/4"-1'-0"

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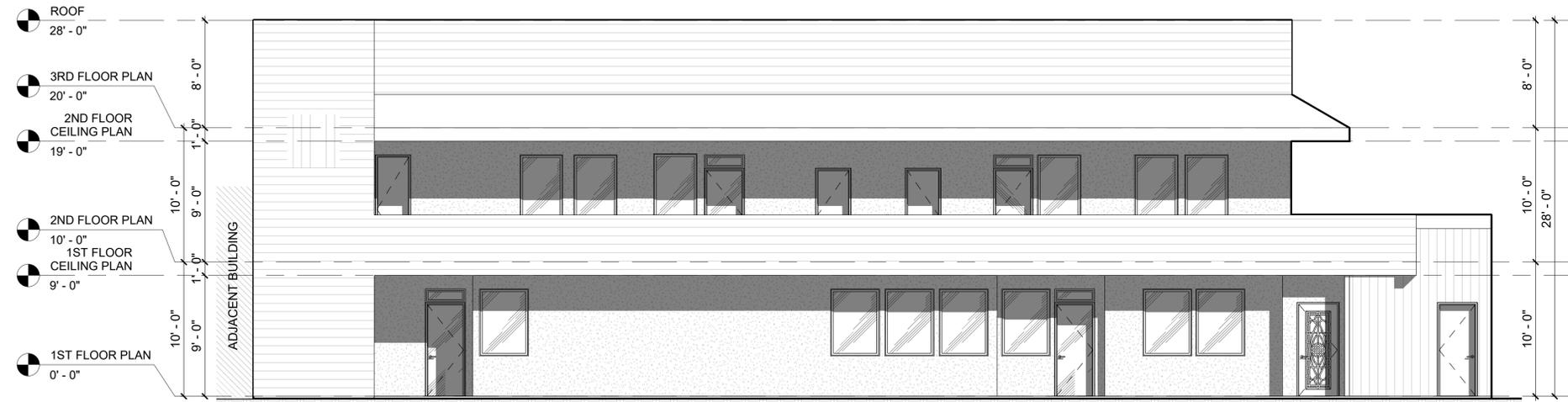
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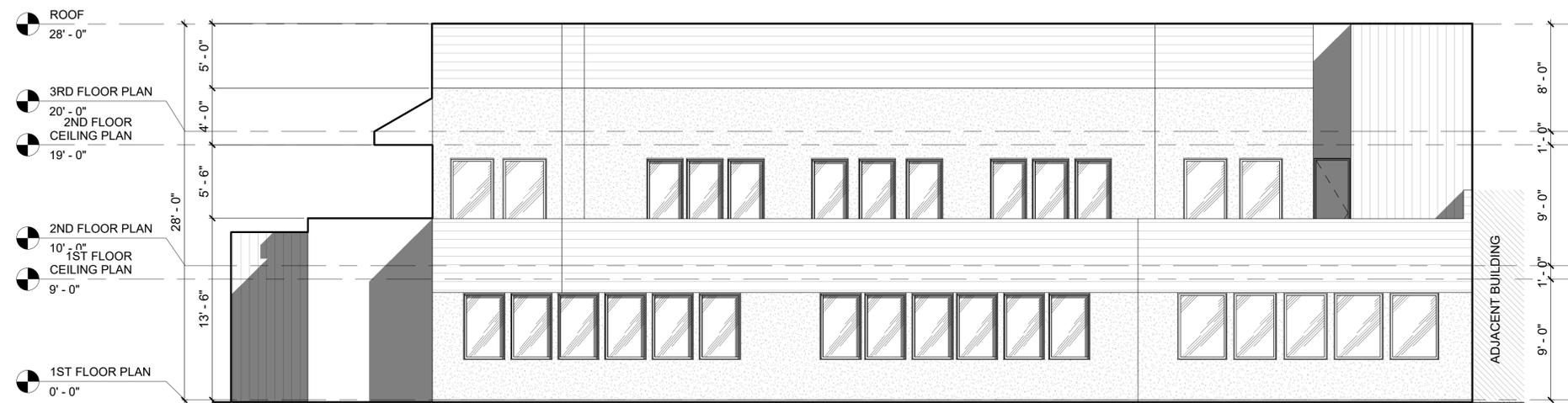
REVISION

DATE/DESC.



2 EXISTING SOUTH ELEVATION

3/16" = 1'0"



1 EXISTING NORTH ELEVATION

3/16" = 1'0"

**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:

EXISTING ELEVATIONS - 1

DATE:

NOVEMBER 7, 2022

SCALE:

AS NOTED

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**A-5.0**

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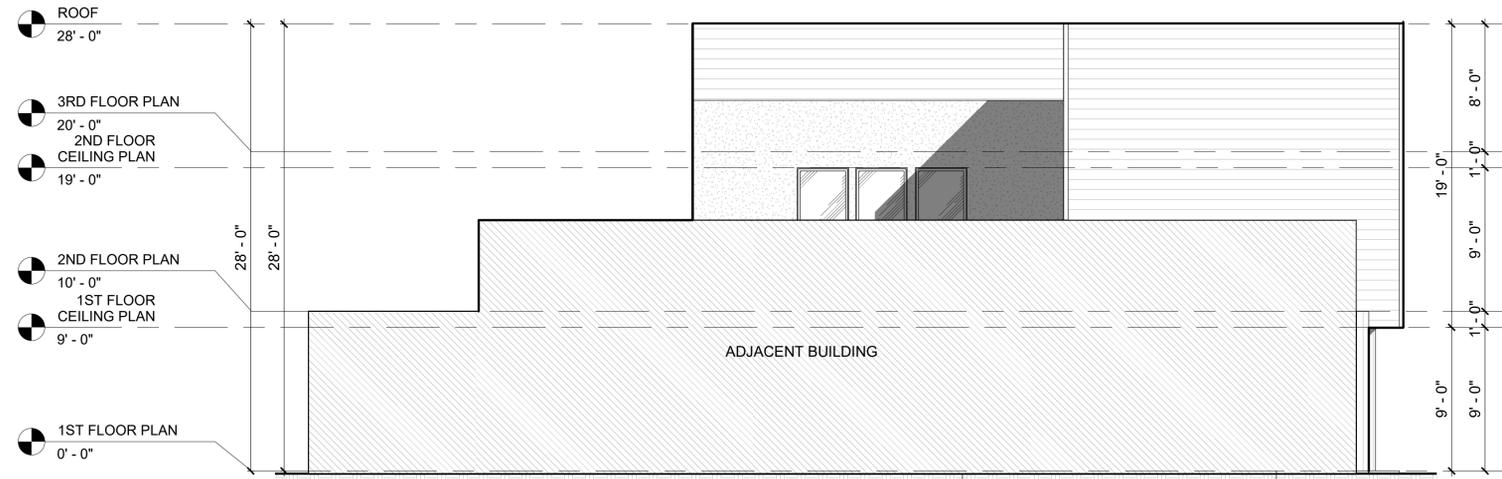
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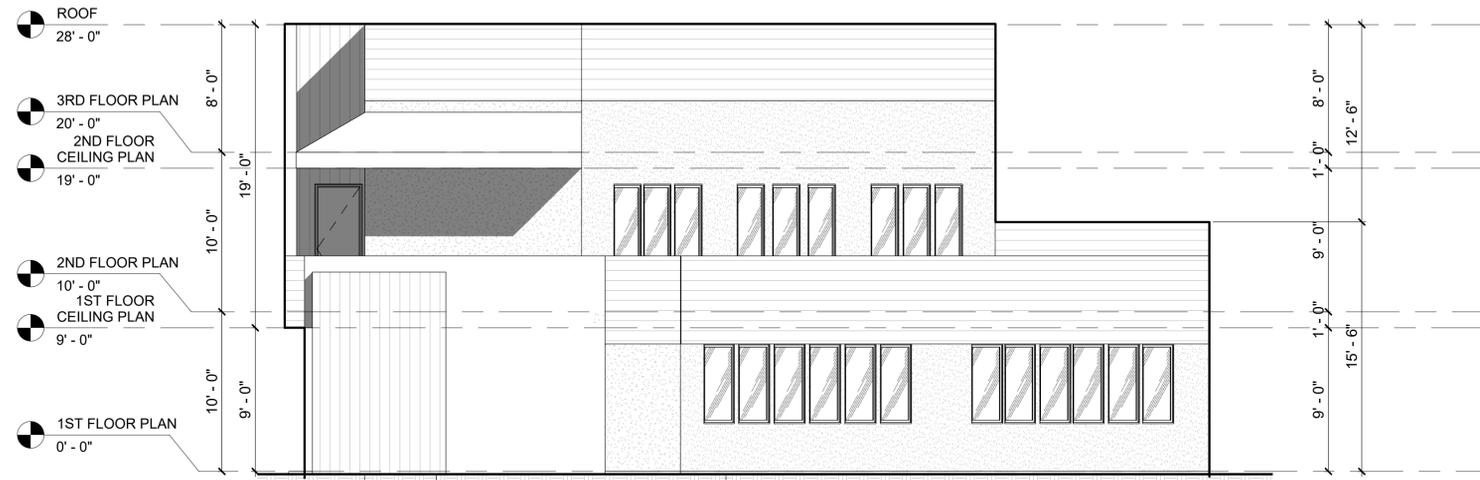
REVISION

DATE/DESC.



2 | EXISTING WEST ELEVATION

3/16" = 1'0"



1 | EXISTING EAST ELEVATION

3/16" = 1'0"

**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:

EXISTING  
ELEVATIONS - 2

DATE:

NOVEMBER 7, 2022

SCALE:

AS NOTED

JOB #:

22127

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DP

**A-5.1**

**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:  
**PROPOSED ELEVATIONS - 1**

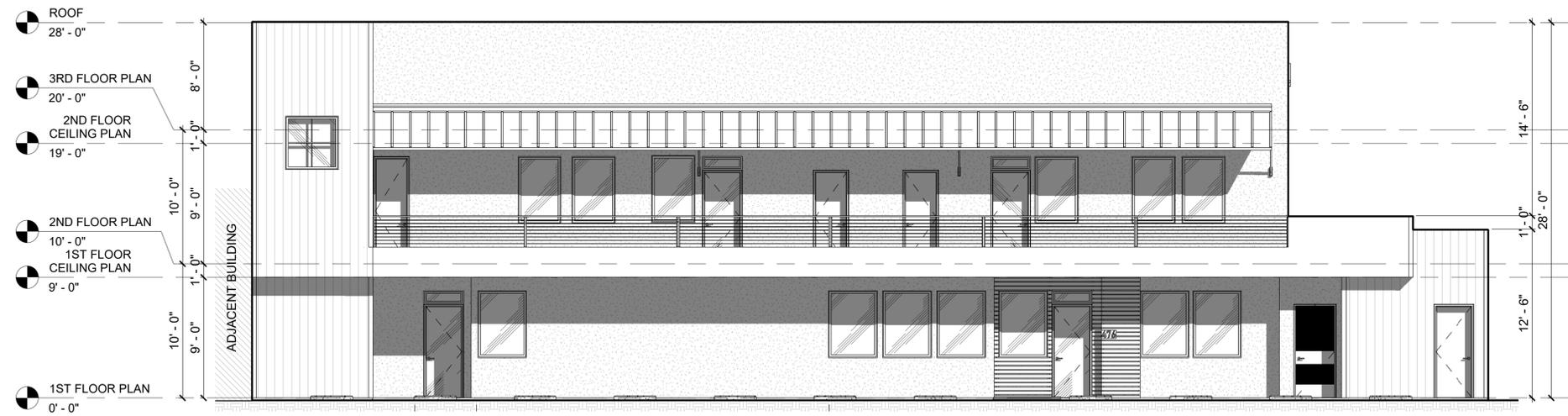
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JOB #: 22127

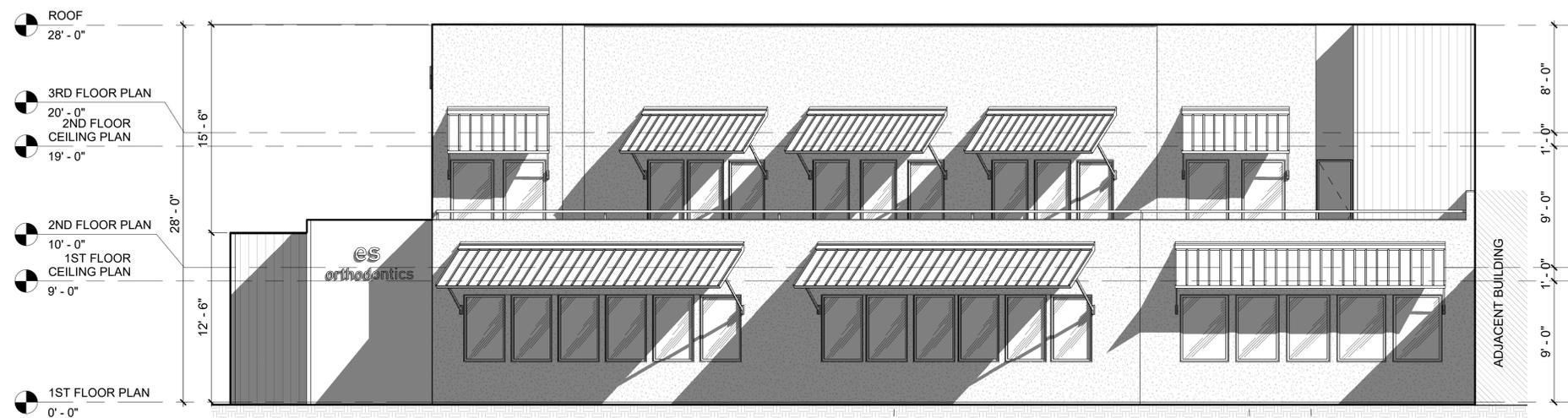
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**A-5.2**



2 PROPOSED SOUTH ELEVATION

3/16" = 1'0"



1 PROPOSED NORTH ELEVATION

3/16" = 1'0"

REVISION

DATE/DESC.

**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:

**PROPOSED ELEVATIONS - 2**

DATE:

NOVEMBER 7, 2022

SCALE:

AS NOTED

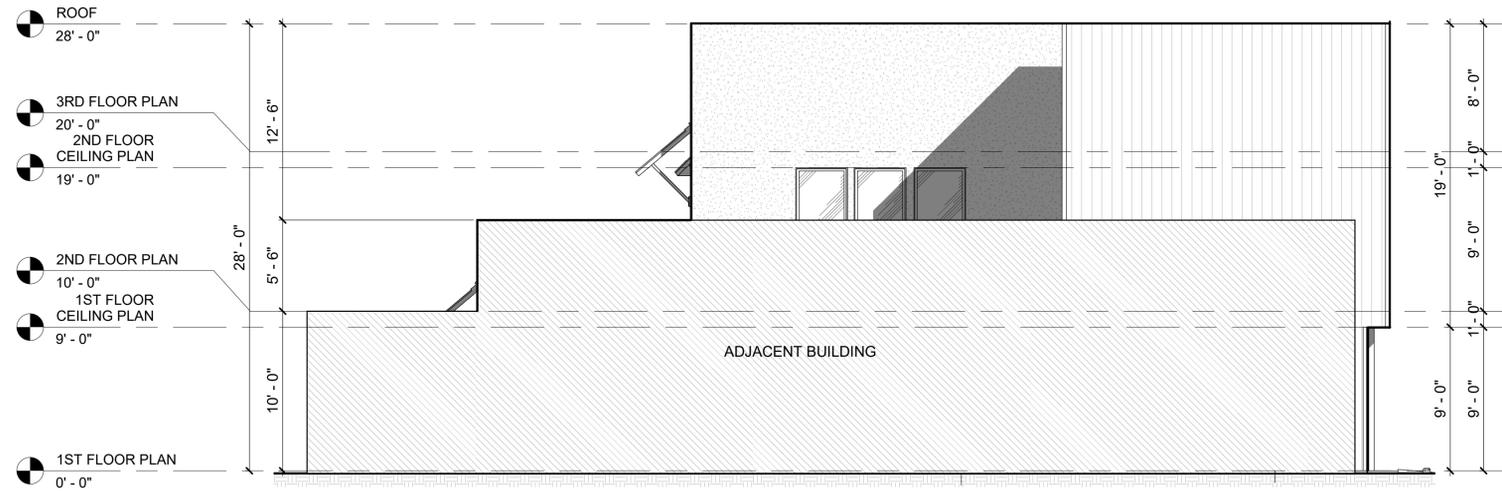
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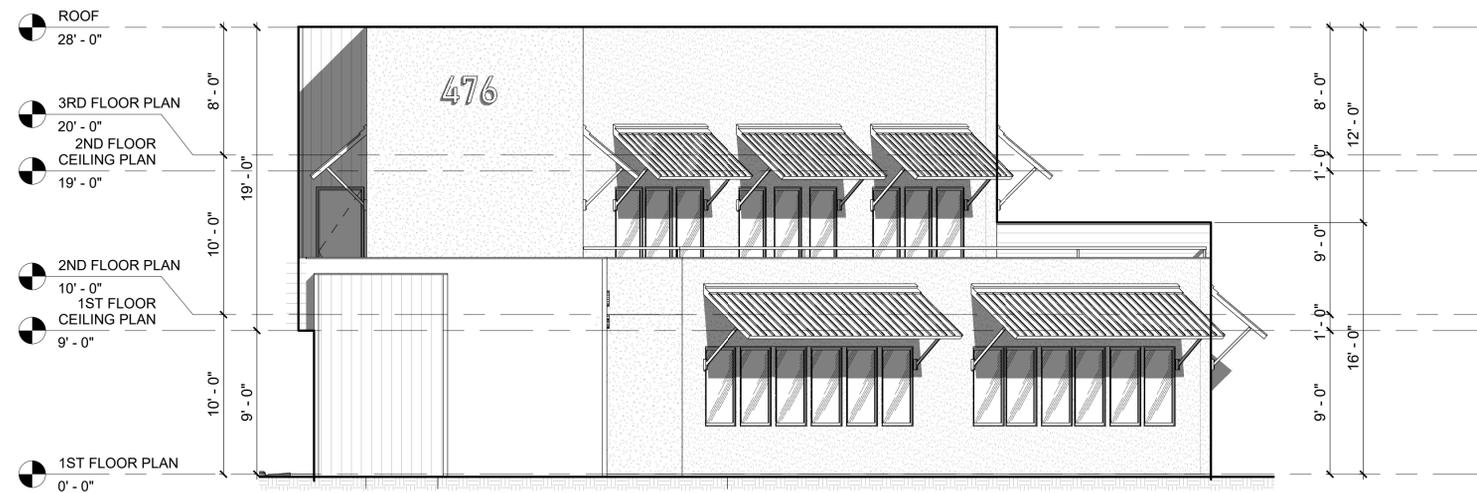
DP

**A-5.3**



2 | PROPOSED WEST ELEVATION

3/16" = 1'0"



1 | PROPOSED EAST ELEVATION

3/16" = 1'0"

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**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:  
**EXISTING SITE PHOTOGRAPHS**

DATE: NOVEMBER 7, 2022

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**A-5.4**

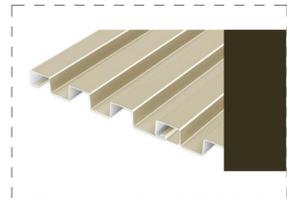
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STUCCO (WHITE)  
SW 7004 SNOWBOUND  
SHERWIN WILLIAMS



STUCCO (ORANGE)  
SW 6657 AMBER WAVE  
SHERWIN WILLIAMS



ACCENT-METAL CLADDING  
WALL PANELS-PRECISION BOX RIB 1 - AGED BRONZE  
PAC-CLAD



WOOD SLATS



AWNING  
AWNTECH  
HOUSTONIAN METAL AWNINGS



METAL RAILING



METAL GATE



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**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:

DETAILS

DATE: NOVEMBER 7, 2022

SCALE: AS NOTED

JOB #: 22127

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**A-6.0**

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CAMPBELL, CA 95008

REVISION

DATE/DESC.

| DATE/DESC. |
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**EXTERIOR IMPROVEMENTS**

476 E CAMPBELL AVE  
CAMPBELL, CA 95008

SEAL:



TITLE:

**PERSPECTIVES**

DATE: NOVEMBER 7, 2022

SCALE: AS NOTED

JOB #: 22127

DRAWN BY: DP

**PH-1**