

Notice of Decision on Proposed Project

Dear Campbell Resident,

December 19, 2022

The Community Development Director will be rendering a decision on the following project.

Project Address: 1071 Bucknam Avenue

Zoning | Area Plan: R-1-8 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2022-150

APN: 406-15-001

Applicant: Francis Kun

Property Owner: Tim Clark

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow the addition of 490 square feet to an existing single-family dwelling.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **December 21, 2022**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 30, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.

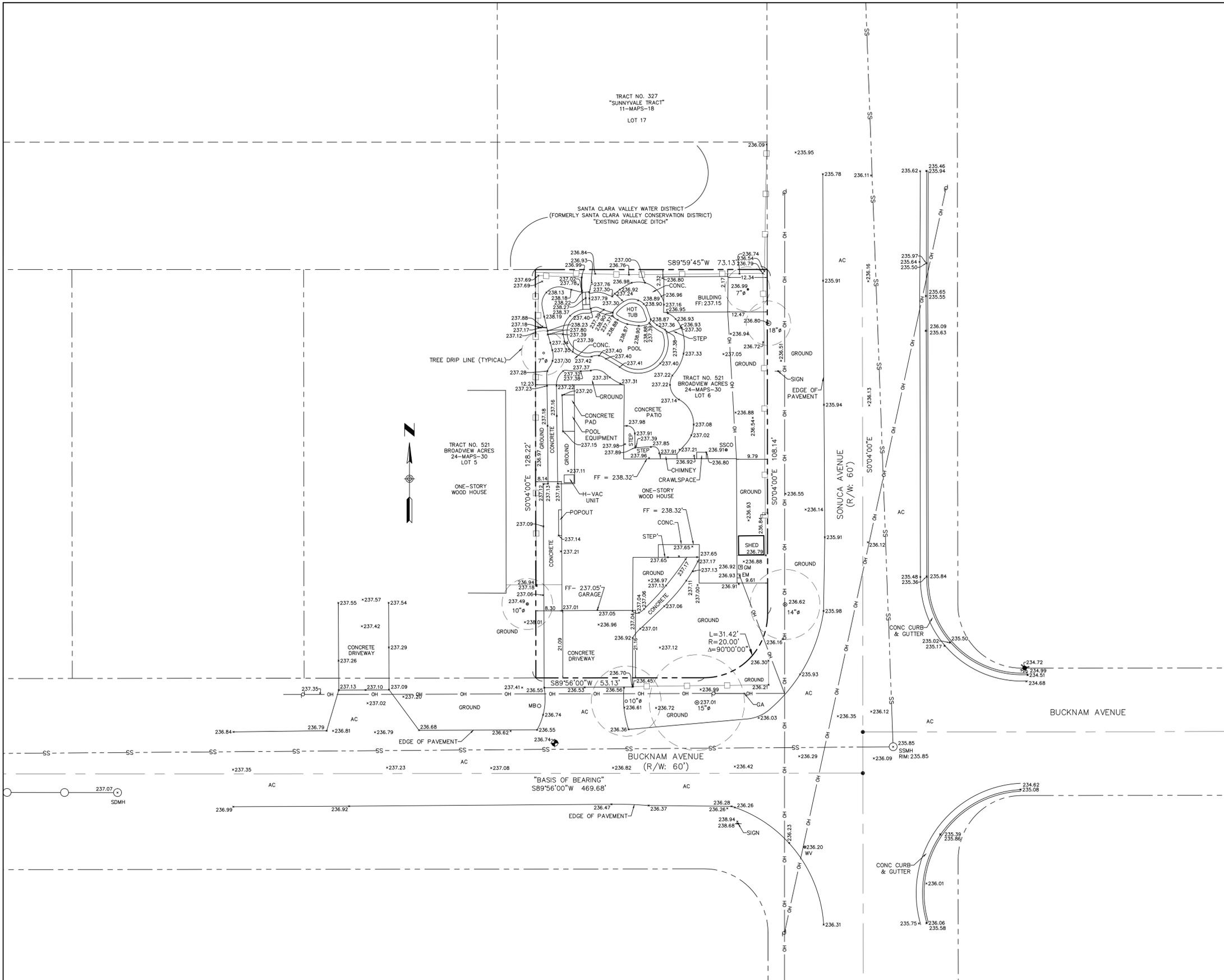


- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español





LEGEND

---	PROPERTY LINE	AC	ASPHALT
---	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSBL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
---		EB	ELECTRIC BOX
---		EM	ELECTRIC METER
---		EP	EDGE OF PAVEMENT
---		FH	FIRE HYDRANT
---		GA	GUY ANCHOR
---		GM	GAS METER
---		GV	GAS VALVE
---		IV	IRRIGATION VALVE
---		LP	LIGHT POLE
---		MB	MAIL BOX
---		MH	UTILITY MANHOLE
---		P.U.E.	PUBLIC UTILITY EASEMENT
---		P	BRICK CONC PILLAR
---		PP	POWER POLE
---		(R)	RADIAL BEARING
---		SL	STREET LIGHT
---		SDMH	STORM DRAINAGE MANHOLE
---		SSMH	SANITARY SEWER MANHOLE
---		SSCO	SANITARY SEWER CLEAN OUT
---		TCD	THROUGH CURB DRAIN
---		TS	TRAFFIC SIGN
---		VG	VALLEY GUTTER
---		WM	WATER METER
---		WV	WATER VALVE

DISCLAIMER:
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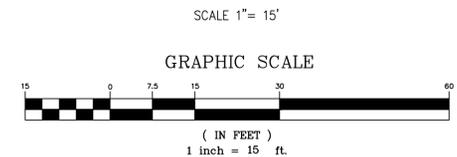
NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

BASIS OF BEARINGS:
FOUND STREET MONUMENTS ALONG BUCKNAM AVE.. RECORD INFORMATION WAS USED. PER RECORD MAP, TRACT NO. 521, BOOK: 24 PAGE:30, WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

PROJECT BENCHMARK:
S.C.V.W.D. BENCHMARK #617
ELEVATION=232.63' (NAVD 88 DATUM)

SITE BENCHMARK:
SURVEY CONTROL SET MAG NAIL
ELEVATION=236.74' (NAVD 88 DATUM)

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
 2. THE GROSS AREA OF LAND OF RECORD IS 9,288 SQ. FT. ±.
 3. THE MAP WAS BASED ON A GRANT DEED DOC.# 23309046 BY CHICAGO CO. DATED 05/19/2016, RECORDED IN SANTA CLARA COUNTY.
 4. ALL EXISTING BUILDINGS ARE WOOD.
 5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
 6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



1071 BUCKNAM AVE.
CAMPBELL, CA 95008
APN: 406-15-001



SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 15'
Prepared by: J.N.
Checked by: R.M.
Date: 04/15/2022
Project No: 222051

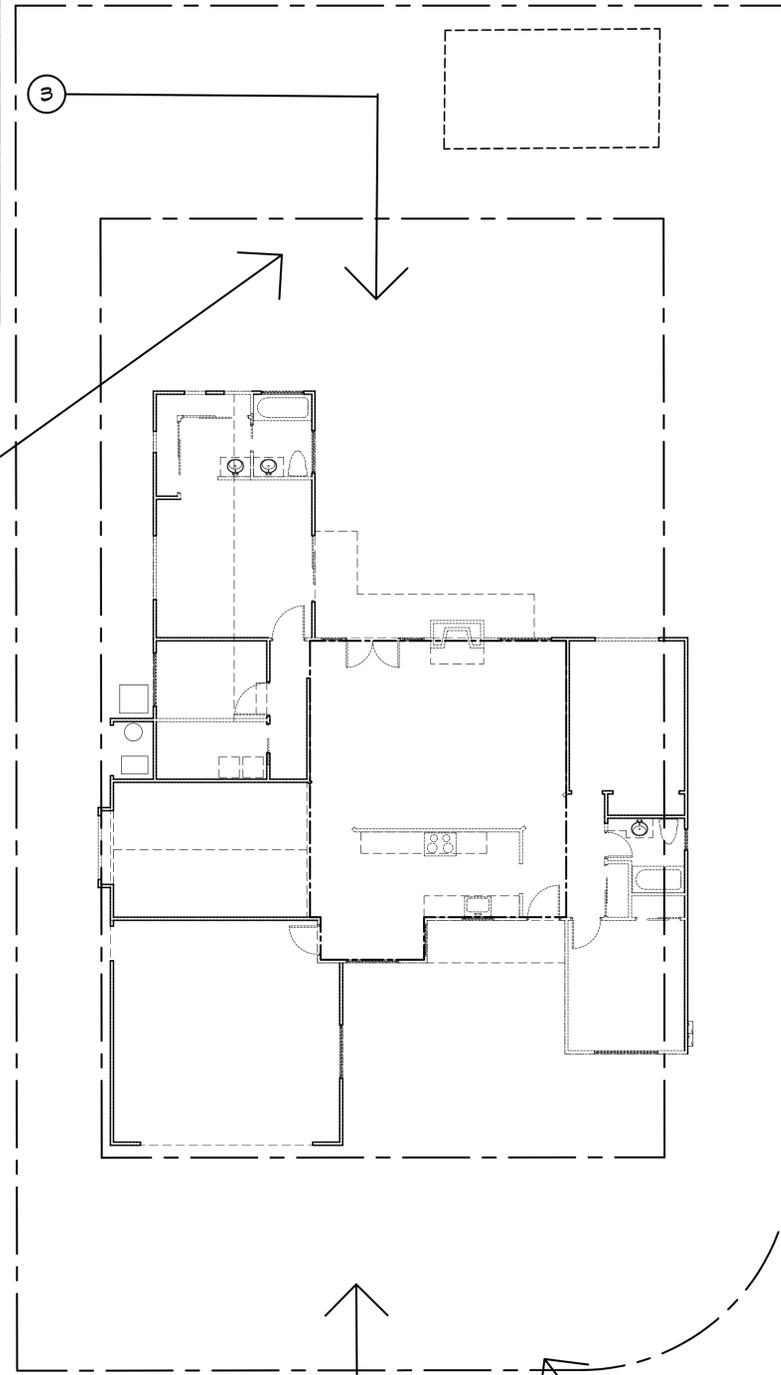
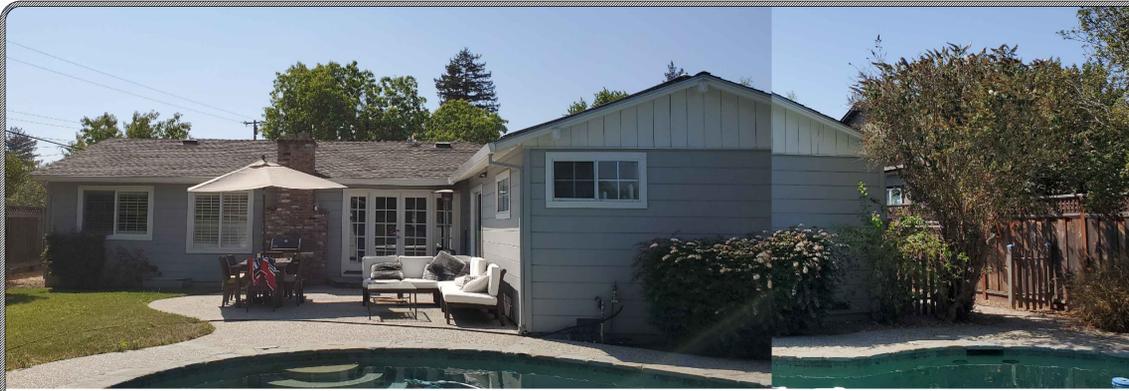


BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF CAMPBELL

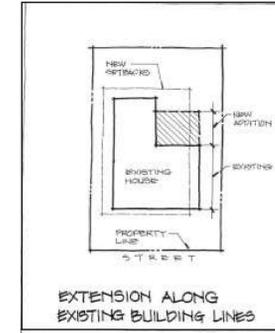


**San Tomas Area
Neighborhood Plan**

E. Extension Along Existing Building Lines

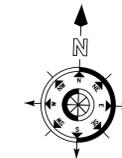
Additions to legally existing structures may be extended along the first floor of existing building lines even when the existing first floor setbacks do not meet the setback requirements for the San Tomas Area.

1. Extensions only apply to first story additions that are not detrimental to the public health, safety or general welfare of persons residing or working in the neighborhood (e.g. an addition in the front yard area along an existing building wall may not be placed in a manner that impairs pedestrian or vehicular safety.)
2. The extension may maintain existing setbacks but shall not further encroach into any required setback area.
3. All second story additions must comply with the standards for the San Tomas Area.



F. Maximum Building Height

The maximum height of a building shall be 28 and shall not exceed 2-1/2 stories measured from the adjacent natural grade.

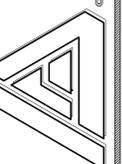


ARCHITECTURAL SITE PLAN
SCALE 1/16" = 1'-0"

NO.	REVISIONS

NOTICE
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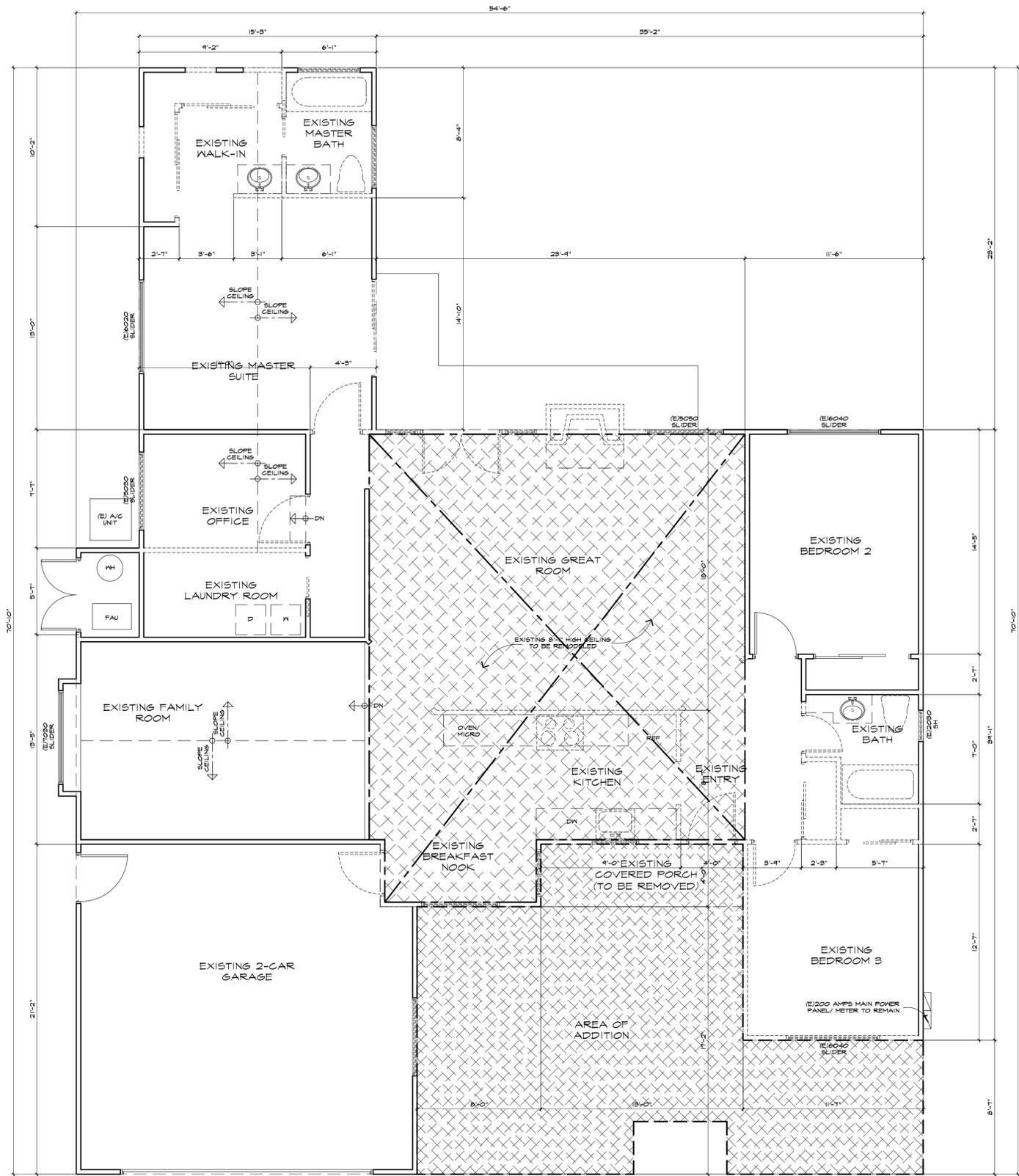


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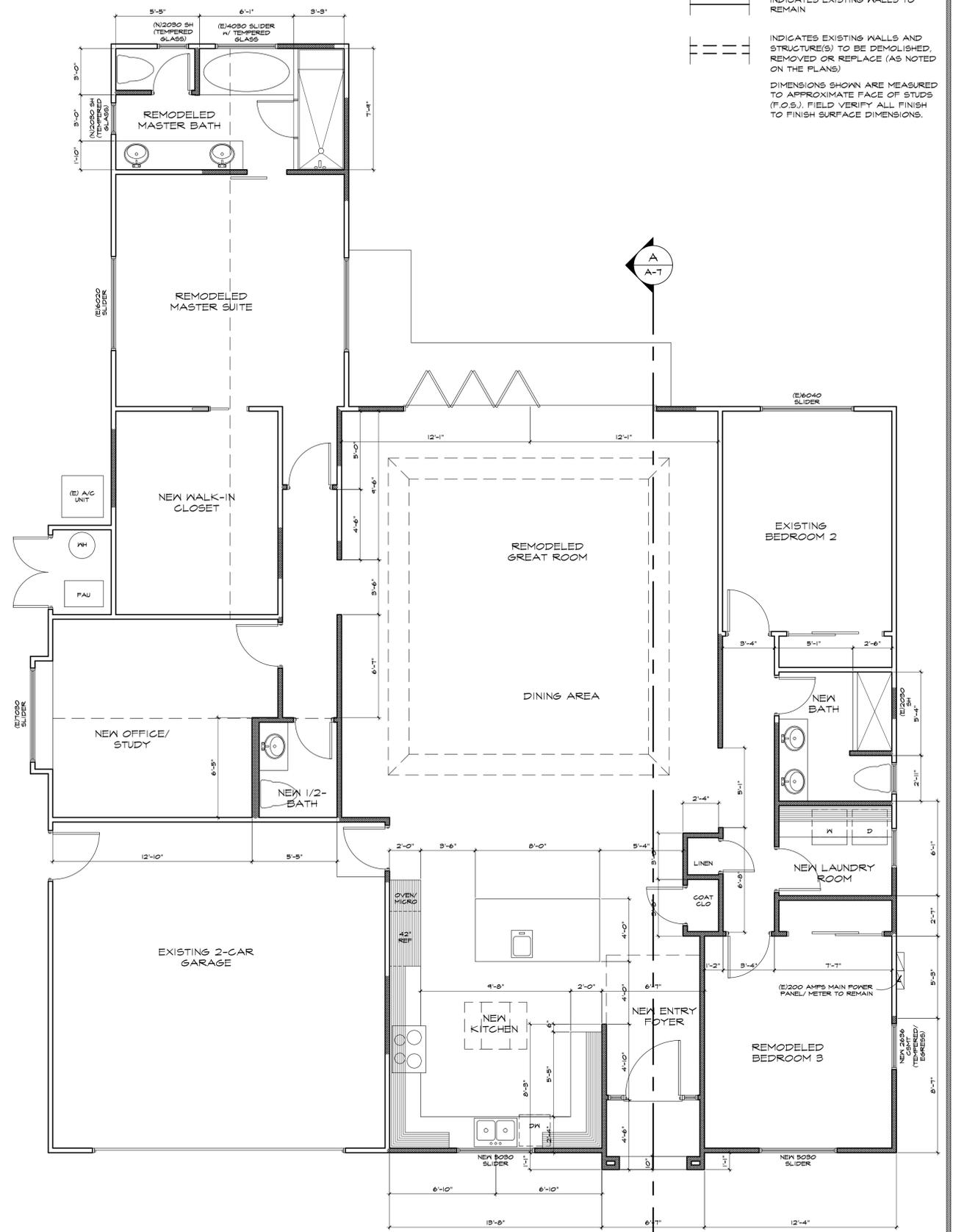
RESIDENTIAL ADDITION and REMODEL FOR:
**TIM CLARK and
KAREN SILLIGAN**
1071 BUCKNAM DRIVE
CAMPBELL, CA 95008

JOB NO:
CLARK-SILLIGAN
DATE:
11/9/2022
DRAWN BY:
FT KUN
SCALE:
1/4" = 1'-0"

A-3



AS-BUILD/DEMOLITION PLAN
SCALE 1/4" = 1'-0"



NEW FLOOR PLAN
SCALE 1/4" = 1'-0"

- NOTES and LEGEND:
- INDICATES NEW 2x WOOD STUDS AT 16" O.C. WALLS (TYPICAL U.O.N.)
 - INDICATES EXISTING WALLS TO REMAIN
 - INDICATES EXISTING WALLS AND STRUCTURE(S) TO BE DEMOLISHED, REMOVED OR REPLACE (AS NOTED ON THE PLANS)
 - DIMENSIONS SHOWN ARE MEASURED TO APPROXIMATE FACE OF STUDS (F.O.S.). FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.

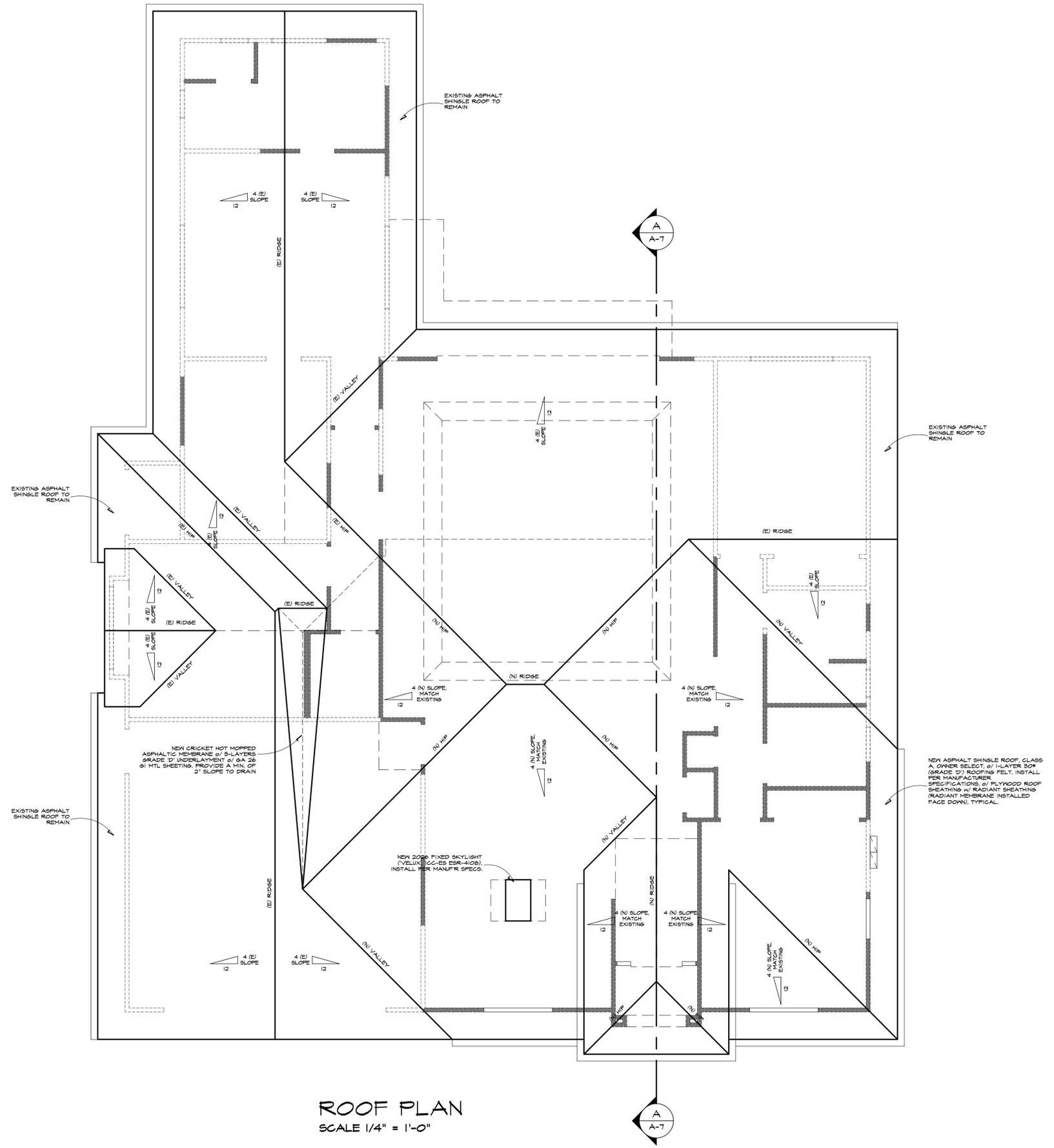
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Drafting and Design Service Firm
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GILROY, CA 95021
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RESIDENTIAL ADDITION and REMODEL FOR:
TIM CLARK and KAREN SILLIGAN
1071 BUCKNAM DRIVE
CAMPBELL, CA 95008

JOB NO: CLARK-SILLIGAN
DATE: 11/9/2022
DRAWN BY: FT Kus
SCALE: 1/4" = 1'-0"

A-4



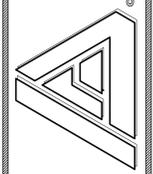
ROOF PLAN
SCALE 1/4" = 1'-0"

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NO.	DATE	REVISIONS

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P.O. BOX 21169
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Clark

RESIDENTIAL ADDITION and REMODEL FOR:
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1071 BUCKNAM DRIVE
CAMPBELL, CA 95008

JOB NO: CLARK-GILLIGAN
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DRAWN BY: FT Kus
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