

Courtesy Notice

Dear Campbell Resident,

December 14, 2022

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1184 Lovell Avenue

Zoning | Area Plan: R-1-6 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2022-157

APN: 406-06-050

Applicant: Jack Lin

Property Owner: Michael Meng

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow a 1,056 square foot addition to an existing single-family dwelling.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,

Simplemente marque (408) 866-2140 y pida traduccion en Español



GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND, THEREFORE, MAY NOT SPECIFICALLY DETAILS OR SPECIFY MATERIALS AND/OR MANUFACTURERS.
- THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUT-SHEETS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS.
- FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, HE SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE.
- ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE CONSTRUCTION DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGNER/ARCHITECT FROM ANY ACTION INITIATED BY THE INITIAL OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO CALIFORNIA BUILDING CODE (CBC), CALIFORNIA MECHANICAL CODE (CMC), NATIONAL ELECTRICAL CODE (NEC), CALIFORNIA PLUMBING CODE (CPC), AND ALL APPLICABLE LOCAL CODES AND LEGISLATION.
- THE CONTRACTOR SHALL REVIEW AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS, HE SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIRED ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION.
- ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIMSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME.
- NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS WORK.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
- THE STORING OF GOODS AND MATERIALS ON SIDEWALK AND/OR STREET WALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOWS SUCH STORAGE TO BE PLACED.
- GENERAL CONTRACTOR AND OWNER ARE REQUIRED TO SIGN THE STRUCTURAL SPECIAL INSPECTION FORM OF THE EPOXY HOLD-DOWN ANCHOR BOLTS BEFORE THE BUILDING PERMIT IS ISSUED BY CITY.
- THE LIST OF DEFERRED ITEMS WILL PROVIDED ON THE COVER SHEET. THE DEFERRED ITEMS SHALL NOT BE CONSTRUCTED OR INSTALLED UNTIL REVIEWED AND APPROVED BY CITY.
- UNDER SPECIAL INSPECTION TITLE ALL WORK REQUIRING SPECIAL INSPECTION PER 2019 CBC CHAPTER R106.1.1 ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY.
- RETROFIT HOLD-DOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLD-DOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTION(S).

SCOPE OF WORK

- 1st FL. REAR ADDITION 1,056 SF. INCLUDES: (N) BEDROOM #2, (N) BATH #2, (N) DINING RM. AND (N) FAMILY RM.
- 1st FL. EXISTING HOUSE WITHOUT.
- DEMO. WALL OF EXISTING KITCHEN FOR ADDITION.
- NEW EXTERIOR FINISHED STUCCO FOR ADDITION AND PAINT TO MATCH EXISTING.
- RELATED ELECTRICAL, MECHANICAL AND PLUMBING WORK.
- (E) GAS METER TO REMAIN AND (E) ELECTRICAL METER 100 AMP TO REMAIN.
- (N) TANK W.H. IN GARAGE AND (E) WALL FURNACE TO REMAIN.
- (N) AC LOCATED AT THE UP-RIGHT CORNER BESIDES SIDEYARD SETBACK.
- (N) HEAT PUMP FOR NEW REAR ADDITION @ATTIC.

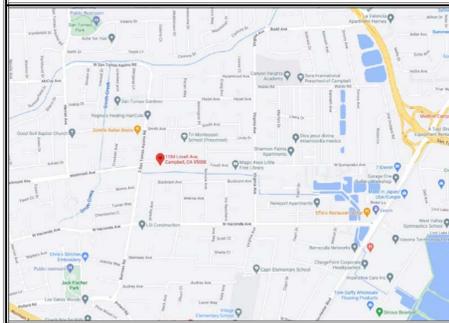
SYMBOLS

- | | | | |
|--|----------------------|--|---------------------|
| | COLUMN GRID LINE NO. | | EXISTING DOOR |
| | SECTION NO. | | DOOR NO. |
| | SECTION SHEET NO. | | DOOR SCHEDULE |
| | ELEVATION NO. | | DOOR TYPE |
| | ELEVATION SHEET NO. | | INTERIOR ELEVATIONS |
| | DETAIL NO. | | INDICATOR |
| | DETAIL SHEET NO. | | ROOM NAME |
| | REVISION NO. | | FLOOR FINISH |

BLDG DATA

SITE AREA:	0.2467	ACRES
	11,747	SQ. FT.
EXISTING BUILDING FLOOR AREA		
FLOOR AREA:	825	SQ. FT.
FRONT PORCH (UNCONTD)	61	SQ. FT.
GARAGE (COUNTED)	274	SQ. FT.
TOTAL EXISTING FLOOR:	1,099	SQ. FT.
PROPOSED ADDITION FLOOR AREA:		
ADDITION AREA: (REAR)	1,056	SQ. FT.
TOTAL PROPOSED FLOOR	1,056	SQ. FT.
MAX. ALLOWED FLOOR AREA		
11,747 X 45% =	5,286.15	SQ. FT.
TOTAL FLOOR AREA (GARAGE INCLUDED)		
ADDITION AREA:	1,056	SQ. FT.
EXISTING:	1,099	SQ. FT.
1,056 + 1,099 =	2,155	SQ. FT.
F.A.R.: 2,155 / 11,747 =	18.35	% < 45%
(E) FRONT PORCH	61	SQ. FT.
2,155 + 61 =	2,216	SQ. FT.
COVERAGE: 2,216 / 11,747 =	18.86	% < 40%
LANDSCAPE AREA:	7,048	SQ. FT.
LANDSCAPING COVERAGE:	60	%
APN:	406-06-050	
ZONE:	R-1-6	
OCCUPANCY:	R-3/U	
CONSTRUCTION TYPE:	VB	
STORY (IES):	1	
AUTO. FIRE SPRINKLER:	NO	
DESIGN COMPLY WITH:		
CAMPBELL MUNICIPAL CODE.		
2019 CBC Ed.		
2019 CRC Ed.		
2019 CFC Ed.		
2019 CMC Ed.		
2019 CPC Ed.		
2019 CALIFORNIA ELECTRICAL CODE Ed.		
2019 CALIFORNIA TITLE 24 ENERGY STANDARDS		
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE Ed.		

VICINITY MAP



SHEET INDEX

A1.1	TITLE SHEET & SITE PLAN
A1.2	EXISTING SITE PLAN REFERENCE
A1.3	NEW SITE PLAN REFERENCE
A2.0	1ST FLOOR DEMO. PLAN
A2.1	PROPOSED 1ST FLOOR PLAN
A3.1	(E) & (N) FRONT ELEVATIONS
A3.2	(E) & (N) REAR ELEVATIONS
A3.3	(E) & (N) RIGHT ELEVATIONS
A3.4	(E) & (N) LEFT ELEVATIONS
A3.5	(E) & (N) ROOF PLANS
A3.6	SECTION
SP	SITE PHOTOGRAPH

MR. MICHAEL MENG ADDITION & REMODEL

1184 IOVELL AVE., CAMPBELL, CA 95008-5920

Waste Management Standard Notes

- Provide **Waste Management** standard notes demonstrating a 65% reduction in construction waste, including:
- Construction wash-out water from concrete, mortar, tile, taping, and painting shall be done in a containment pool either portable or in a lined evaporative pit. Wash-out shall not enter the storm water system.
 - Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain paints, solvents, glues, taping compound, food products, or easily recyclable discards such as bottles, cans, plastics, or paper.
 - Remaining trash shall be limited to wood, drywall, roofing, and assorted metals and shall be covered with a waterproof tarp.
 - Trash shall be separated at an approved bay area disposal site such as Guadalupe Recycling. All trash is to be quickly hauled off site.
 - Retain the receipt and keep with the permit documents, proof of recycle and disposal of the job site trash will be checked periodically and prior to final inspection or WVCR will deliver a roll-off debris box and sort the trash off site.

BE CONSIDERATE OF YOUR NEIGHBORS DURING YOUR CONSTRUCTION PROJECT.

HOURS OF CONSTRUCTION:
 8 A.M. TO 5 P.M. Monday thru Friday
 8 A.M. TO 4 P.M. Saturday
 No construction Sundays & Holidays
 Contact the Building Inspection Division at (408) 866-2130

NOISE LIMITS:
 No continuously disruptive noises over 50dBA will be allowed. No intermittent noises over 65dBA will be allowed. No noise from adjacent streets. Keep windows open and clean. Material storage not permitted in street.

VEHICLE PARKING:
 No double parking on residential streets. Do not block adjacent driveways. Keep sidewalks open and clear. Material storage not permitted in street.

LITTER:
 Clean up litter and debris so it will not scatter to neighboring yards. Use trash receptacles on site. Keep streets and sidewalks clean for public use.

PLEASE POST ON JOB SITE. VIOLATORS MAY BE CITED!



Project Address: _____
 Permit No. _____

WMP REQUIRED BECAUSE PROJECT IS A

- Demolition > 500 Sq. Ft.
- Construction/Remodel > \$250,000
- Construction/Remodel > 2,000 sq. ft.

SECTION ONE: PERMIT APPLICATION

This Waste Management Plan (WMP) must be completed and approved to obtain a building permit. Separate WMPs must be completed for demolition and construction of the same site unless the Building Department requires only one permit.

Step 1: PROJECT INFORMATION - FILL OUT THE FOLLOWING INFORMATION

Applicant's Name: _____ Fax Number: _____
 Contact Phone Number: _____
 Check one: Owner Architect Builder Owner/Builder Other _____
 Contractor: _____ Contact Phone Number: _____
 Project Type: New Remodel Addition Demolition
 Project Square Footage: _____
 Project Description: _____
 Estimated Completion Date: _____

Step 2: WASTE MANAGEMENT REQUIREMENTS

REQUIREMENTS: You are required to recycle or re-use 65% of all construction and demolition debris.
 Understand that I am required by the City of Campbell Municipal Code Section 6.12 to salvage, reuse, or recycle a minimum of 65% of all construction and demolition debris (C&D) (initial)

I understand that failure to meet the requirements of Municipal Code Section 6.12 shall constitute a misdemeanor, and shall be punishable by imprisonment in the county jail for up to 6 months, or by a fine of up to \$1,000, or both. In addition, a stop order on the job or a delay of final approval may occur. (initial)

At the completion of this project, or more frequently if required, all receipts or other equivalent documentation from salvage, recycling and waste facilities will be provided to the City of Campbell Public Works Department and I understand that I may not be issued my final inspection unless all receipts and documentation are submitted to the City of Campbell Public Works Department. (initial)

Step 3: RECYCLING CONSTRUCTION AND DEMOLITION DEBRIS - ANSWER THE QUESTIONS BELOW

SAVING AND REUSE:
 What materials will be salvaged? _____
 Salvage Company (if applicable): _____
 What materials will be reused on site? _____
 How will this be documented? _____

MATERIAL TRANSPORTATION:
 Will you be using a hauling company or hauling the material yourself? (Check one)
 West Valley Collection & Recycling Co. (WVCR)* Self Haul
 *Permit Applicant is required to contact WVCR (408-283-9250) to request construction and demolition debris box service.

All original receipts, weight tags and documentation for salvage, recycling and disposal must be submitted.
 On Completion of project Other _____ Date: _____
 DPW Approval: _____ Date: _____

SECTION TWO: FINAL REPORT APPROVAL

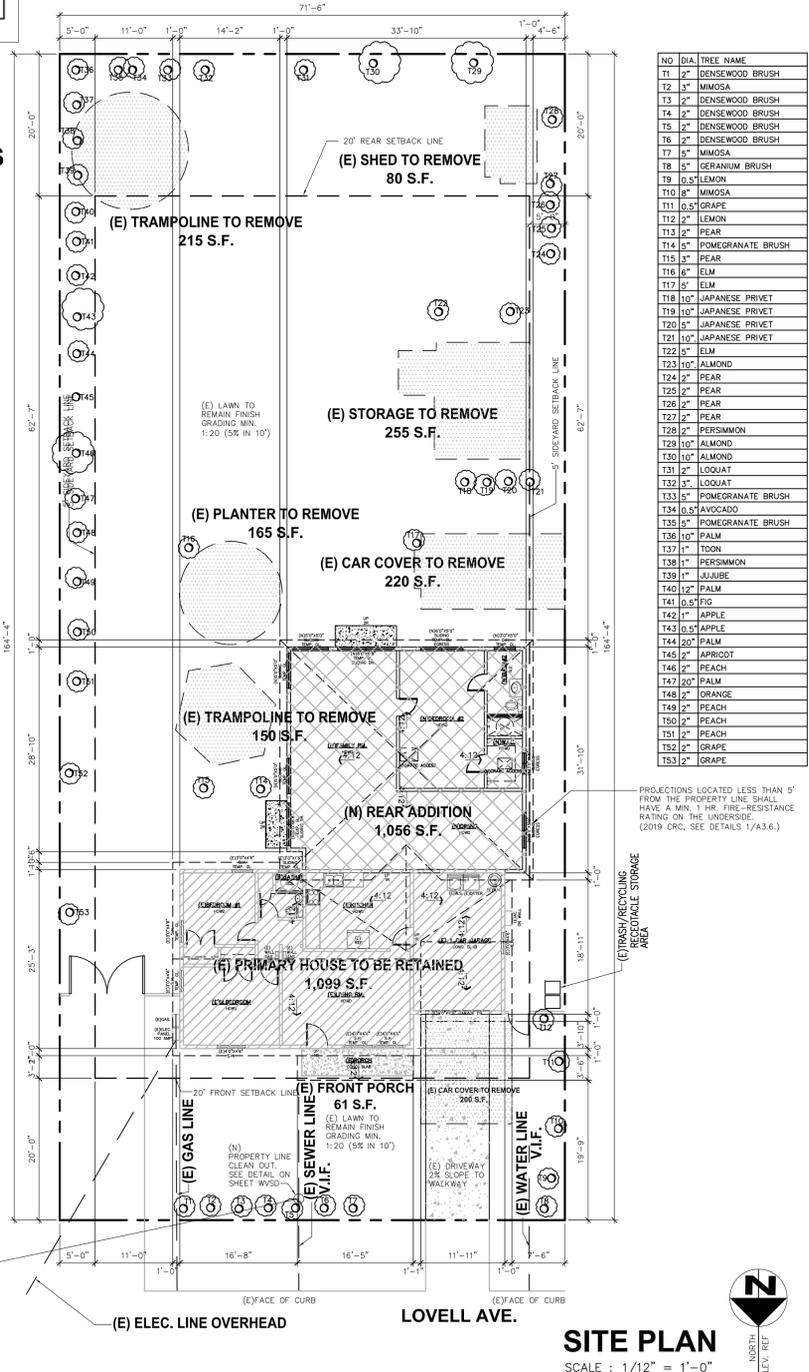
Please complete this section and have it approved by the Public Works Department no later than 30 days after completion of the demolition or construction project.

This section must be completed and signed, and all original receipts or other supporting documentation must be attached in order to receive final project approval.
 All original receipts or equivalent documentation for salvage, recycling, and disposal are hereby attached.
 This project has recycled at least 65% of all construction and demolition debris generated.

Applicant: _____ Date: _____
 DPW Approval: _____ Date: _____

J:\FORMS\Templates\Administrative\Waste Management Plan Form.docx

WORKING HOUR.
 8~5 Mon.~Fri.
 9~3 Sat.
NO WORK ON SUNDAYS OR HOLIDAYS.



CONTRACTOR:
T.B.D.

DRAFTER:
 JACK LIN
 CSLB #1093710
 EXPIRED: 07/31/2024
 CELL: (408) 218-0587
 EMAIL: fu333@yahoo.com
Jack Lin
 SIGNED ON 11-27-22

OWNER:
 MR. MICHAEL MENG
 TEL: (669) 203-4241
 EMAIL: mengm@yahoo.com

MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920

TITLE SHEET & SITE PLAN

DATE: 04/05/22

JOB NO. _____

ISSUE & REVISION

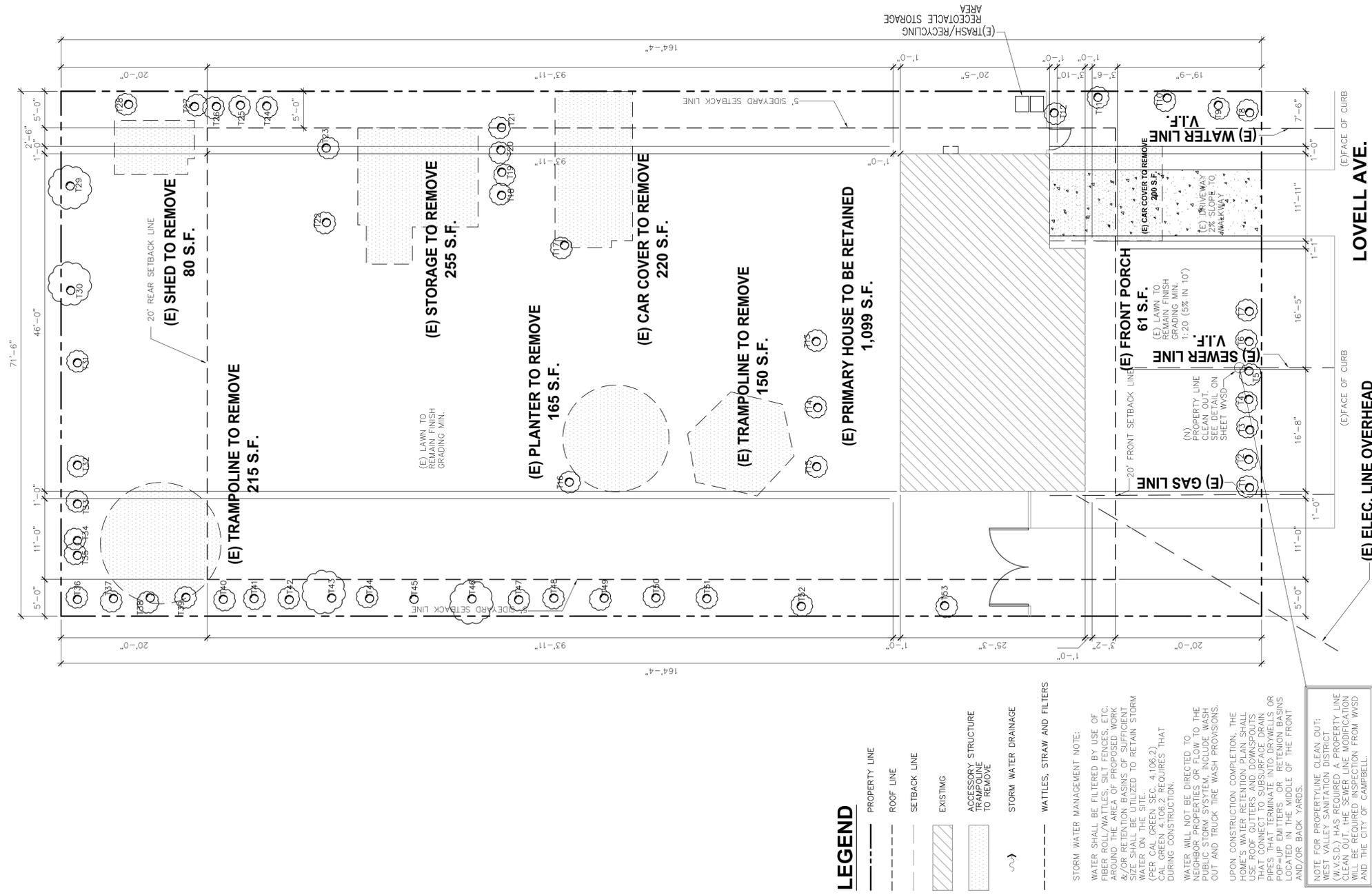
11/27/22	PLANN. PERMIT
----------	---------------

SHEET NO. _____

A1.1

DRAWN BY: JL

NO	DIA.	TREE NAME
T1	2"	DENSEWOOD BRUSH
T2	3"	MIMOSA
T3	2"	DENSEWOOD BRUSH
T4	2"	DENSEWOOD BRUSH
T5	2"	DENSEWOOD BRUSH
T6	2"	DENSEWOOD BRUSH
T7	5"	MIMOSA
T8	5"	GERANIUM BRUSH
T9	0.5"	LEMON
T10	8"	MIMOSA
T11	0.5"	GRAPE
T12	2"	LEMON
T13	2"	PEAR
T14	5"	POMEGRANATE BRUSH
T15	3"	PEAR
T16	6"	ELM
T17	5"	ELM
T18	10"	JAPANESE PRIVET
T19	10"	JAPANESE PRIVET
T20	5"	JAPANESE PRIVET
T21	10"	JAPANESE PRIVET
T22	5"	ELM
T23	10"	ALMOND
T24	2"	PEAR
T25	2"	PEAR
T26	2"	PEAR
T27	2"	PEAR
T28	2"	PERSIMMON
T29	10"	ALMOND
T30	10"	ALMOND
T31	2"	LOQUAT
T32	3"	LOQUAT
T33	5"	POMEGRANATE BRUSH
T34	0.5"	AVOCADO
T35	5"	POMEGRANATE BRUSH
T36	10"	PALM
T37	1"	TOON
T38	1"	PERSIMMON
T39	1"	JUJUBE
T40	12"	PALM
T41	0.5"	FIG
T42	1"	APPLE
T43	0.5"	APPLE
T44	20"	PALM
T45	2"	APRICOT
T46	2"	PEACH
T47	20"	PALM
T48	2"	ORANGE
T49	2"	PEACH
T50	2"	PEACH
T51	2"	PEACH
T52	2"	GRAPE
T53	2"	GRAPE



LEGEND

- PROPERTY LINE
 - ROOF LINE
 - SETBACK LINE
 - EXISTING
 - ACCESSORY STRUCTURE TO REMOVE
 - STORM WATER DRAINAGE
 - WATTLES, STRAW AND FILTERS
- STORM WATER MANAGEMENT NOTE:
 WATER SHALL BE FILTERED BY USE OF FIBER ROLL/WATTLES, SILT FENCES, ETC. AROUND THE AREA OF PROPOSED WORK &/OR RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
 (PER CAL GREEN SEC. 4.106.2) THAT DURING CONSTRUCTION.
- WATER WILL NOT BE DIRECTED TO THE NEIGHBORHOODS OR TO THE WASH BASIN. TRUCK TIRE WASH OUT AND TRUCK TIRE WASH PROVISIONS. UPON CONSTRUCTION COMPLETION, THE HOME'S WATER RETENTION PLAN SHALL USE FOOT CUTTERS AND DOWNSPOUTS TO REMOVE STORM WATER THROUGH PIPES THAT TERMINATE INTO DRYWELLS OR POP-UP EMITTERS OR RETENTION BASINS LOCATED IN THE MIDDLE OF THE FRONT AND/OR BACK YARDS.
- NOTE FOR PROPERTYLINE CLEAN OUT: WEST VALLEY SANITATION DISTRICT (W.V.S.D.) HAS REQUIRED A PROPERTY LINE CLEAN OUT. THE SEWER LINE MODIFICATION WILL BE REQUIRED INSPECTION FROM WUSD AND THE CITY OF CAMPBELL.

(E) SITE PLAN
 SCALE : 1/8" = 1'-0"



CONTRACTOR:
T.B.D.

DRAFTER
 JACK LIN
 CSLB #1093710
 EXPIRED: 07/31/2024
 CELL: (408) 218-0587
 EMAIL: fu333@yahoo.com
Jack Lin
 SIGNED ON 11-27-22

OWNER:
 MR. MICHAEL MENG
 TEL: (669) 203-4241
 EMAIL: mengm@yahoo.com

MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920

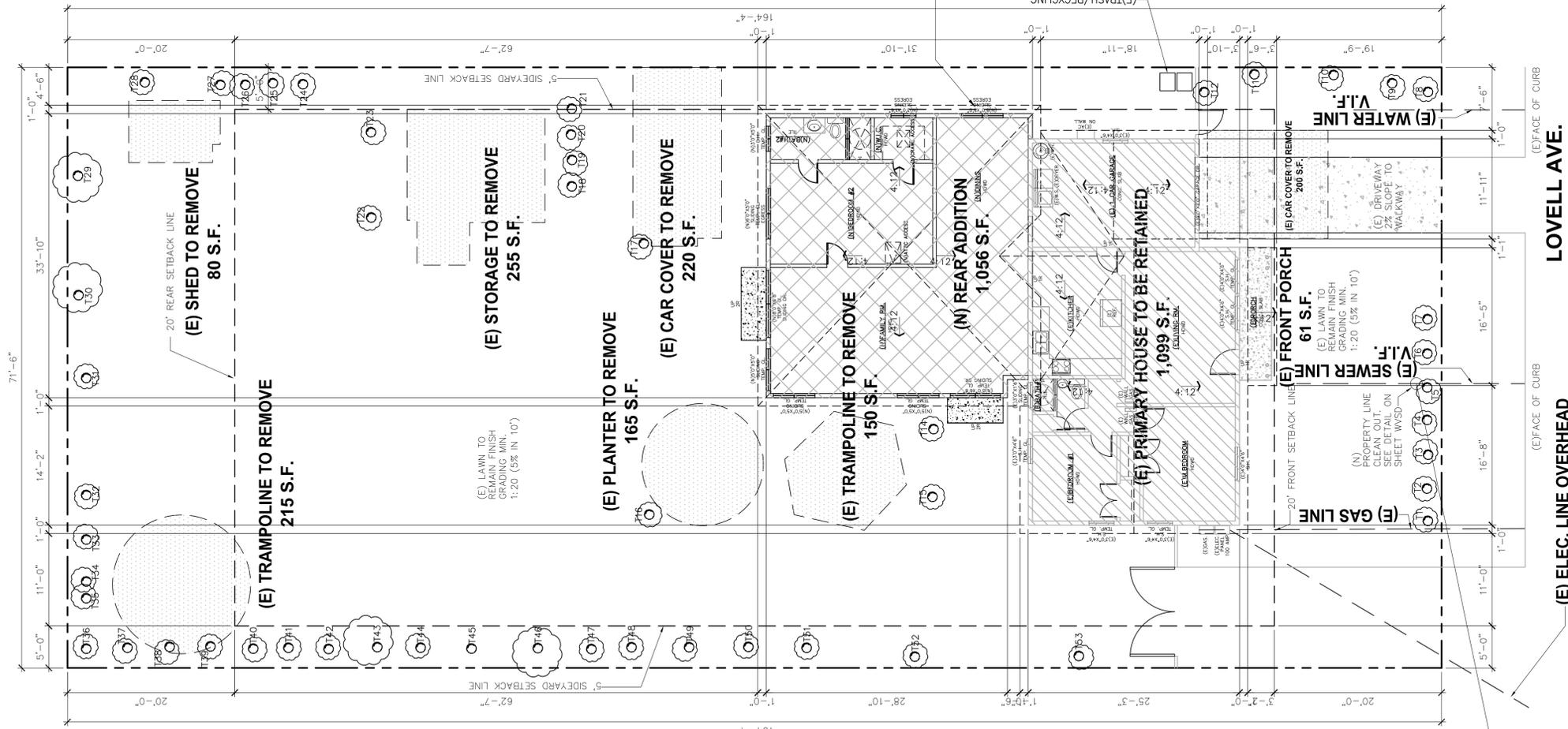
EXISTING SITE PLAN REFERENCE

DATE: 04/05/22
 JOB NO.
 ISSUE & REVISION
 11/27/22 PLANN. PERMIT

SHEET NO.
A1.2
 DRAWN BY: JL

NO	DIA.	TREE NAME
T1	2"	DENSEWOOD BRUSH
T2	3"	MIMOSA
T3	2"	DENSEWOOD BRUSH
T4	2"	DENSEWOOD BRUSH
T5	2"	DENSEWOOD BRUSH
T6	2"	DENSEWOOD BRUSH
T7	5"	MIMOSA
T8	5"	GERANIUM BRUSH
T9	0.5"	LEMON
T10	8"	MIMOSA
T11	0.5"	GRAPE
T12	2"	LEMON
T13	2"	PEAR
T14	5"	POMEGRANATE BRUSH
T15	3"	PEAR
T16	6"	ELM
T17	5"	ELM
T18	10"	JAPANESE PRIVET
T19	10"	JAPANESE PRIVET
T20	5"	JAPANESE PRIVET
T21	10"	JAPANESE PRIVET
T22	5"	ELM
T23	10"	ALMOND
T24	2"	PEAR
T25	2"	PEAR
T26	2"	PEAR
T27	2"	PEAR
T28	2"	PERSIMMON
T29	10"	ALMOND
T30	10"	ALMOND
T31	2"	LOQUAT
T32	3"	LOQUAT
T33	5"	POMEGRANATE BRUSH
T34	0.5"	AVOCADO
T35	5"	POMEGRANATE BRUSH
T36	10"	PALM
T37	1"	TOON
T38	1"	PERSIMMON
T39	1"	JUJUBE
T40	12"	PALM
T41	0.5"	FIG
T42	1"	APPLE
T43	0.5"	APPLE
T44	20"	PALM
T45	2"	APRICOT
T46	2"	PEACH
T47	20"	PALM
T48	2"	ORANGE
T49	2"	PEACH
T50	2"	PEACH
T51	2"	PEACH
T52	2"	GRAPE
T53	2"	GRAPE

PROJECTIONS LOCATED LESS THAN 5' FROM THE PROPERTY LINE SHALL HAVE A MIN. 1 HR. FIRE-RESISTANCE RATING ON THE UNDERSIDE.
(2019 CRC, SEE DETAILS 1/A3.6.)



LEGEND

- PROPERTY LINE
- ROOF LINE
- SETBACK LINE
- ADDITION
- EXISTING
- ACCESSORY STRUCTURE TO REMOVE
- STORM WATER DRAINAGE
- WATTLES, STRAW AND FILTERS

STORM WATER MANAGEMENT NOTE:
WATER SHALL BE FILTERED BY USE OF FIBER ROLL/WATTLES, SILT FENCES, ETC. AROUND THE AREA OF PROPOSED WORK &/OR RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO RETAIN STORM WATER ON THE SITE.
(PER CAL GREEN SEC. 4.106.2) THAT DURING CONSTRUCTION.
WATER WILL NOT BE DIRECTED TO NEIGHBORHOODS, STREETS, OR TO THE CURB AND TRUCK TIRE WASH PROVISIONS. UPON CONSTRUCTION COMPLETION, THE HOME'S WATER RETENTION PLAN SHALL USE ROOF CUTTERS AND DOWNSPOUTS THAT TERMINATE INTO DRYWELLS OR PIPES THAT TERMINATE INTO DRYWELLS OR POP-UP EMITTERS OR RETENTION BASINS LOCATED IN THE MIDDLE OF THE FRONT AND/OR BACK YARDS.
NOTE FOR PROPERTYLINE CLEAN OUT: WEST VALLEY SANITATION DISTRICT (W.V.S.D.) HAS REQUIRED A PROPERTY LINE CLEAN OUT. THE SEWER LINE MODIFICATION WILL BE REQUIRED INSPECTION FROM WWS&D AND THE CITY OF CAMPBELL.

(N) SITE PLAN
SCALE : 1/8" = 1'-0"
NORTH ELEV. REF

CONTRACTOR:
T.B.D.

DRAFTER
JACK LIN
CSLB #1093710
EXPIRED: 07/31/2024
CELL: (408) 218-0587
EMAIL: fu333@yahoo.com
Jack Lin
SIGNED ON 11-27-22

OWNER:
MR. MICHAEL MENG
TEL: (669) 203-4241
EMAIL: mengm@yahoo.com

MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920

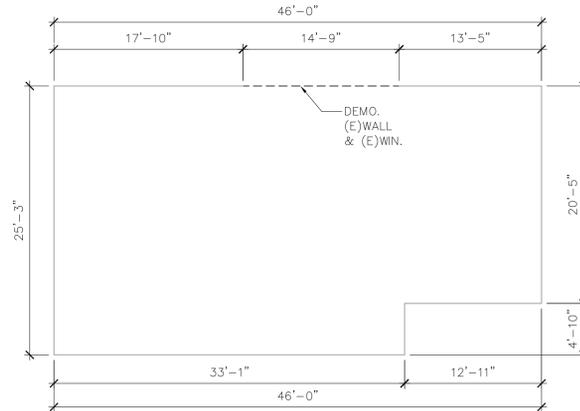
NEW SITE PLAN REFERENCE

DATE: 04/05/22
JOB NO.
ISSUE & REVISION
11/27/22 PLANN. PERMIT

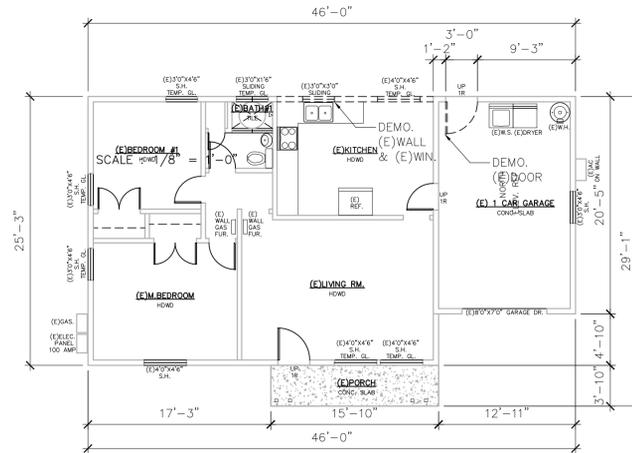
SHEET NO.
A1.3
DRAWN BY: JL

DEMOLITION NOTES

1. THE GENERAL CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS INDICATED AS ON RC USA DRAWINGS OR AS OTHERWISE DIRECTED BY THE OWNER.
2. THE CONTRACTOR TO VIEW AND VERIFY ACTUAL CONDITIONS AT ALL LOCATIONS WHERE ALTERATIONS TO THE EXISTING BUILDING OCCUR. WHEN WALLS, PARTITIONS, AND OTHER WORK EXISTS WHERE NEW WORK IS INDICATED, ALL SUCH EXISTING WORK SHALL BE REMOVED. VERIFY ALL SUCH CONDITIONS AT THE SITE.
3. THE CONTRACTOR SHALL REPORT TO RC USA ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
4. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
5. THE GENERAL CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING LANDLORD INCLUDING, BUT NOT LIMITED TO FLOOR COVERING, CEILING GRID AND TILE, LIGHT FIXTURES, DOORS, WINDOWS, FRAMES, HARDWARE, CABINETS, PLUMBING FIXTURES, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, PERIPHERAL ENCLOSURES, ETC.
6. THE GENERAL CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP CLOTH BARRIERS TO PROTECT ADJACENT BUILDING PROPERTY WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
7. THE GENERAL CONTRACTOR SHALL SURVEY ALL EXISTING FINISHED SURFACES TO INCLUDE CORNER BEADS, STOPS, ETC., FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES, AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW, FINISHED, INSTALLATION. THESE DEFECTIVE SURFACES SHALL BE REPAIRED OR, IF BEYOND REPAIR, THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING AND INSTALL NEW SURFACES TO THE SATISFACTION OF TSCG AND THE OWNER.
8. THE GENERAL CONTRACTOR SHALL INSPECT ALL EXISTING SURFACES AND WHERE AS A RESULT OF DEMOLITION, FINISHED SURFACES DO NOT ALIGN, THE EXISTING SURFACE SHALL BE CUT AND PATCHED.
9. ALL DAMAGED EXISTING AREAS TO REMAIN AND EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS SHALL BE PATCHED AS REQUIRED TO MATCH IMMEDIATE EXISTING ADJACENT AREAS IN MATERIAL, FIRE-RATING, FINISH, AND COLOR, UNLESS OTHERWISE NOTED.
10. ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE OWNER OR AS OTHERWISE DIRECTED.
11. IN ALL AREAS WHERE DEMOLITION (REMOVAL OF TILE, PARTITIONS, ETC. CAUSES AN UNEVENNESS IN THE SLAB, THE CONTRACTOR SHALL PATCH TO LEVEL THE SLAB TO RECEIVE NEW FINISH FLOORING.
12. ALL EXPOSED LIGHT FIXTURES, WIRING, SWITCHES, CONDUIT, AND METAL MOLDING NOT BEING REUSED SHALL BE REMOVED AND EITHER STORED OR DISPOSED OF BY THE GENERAL CONTRACTOR AS INSTRUCTED BY THE OWNER.
13. THE GENERAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE UNDER DEMOLITION AS REQUIRED.
14. THE GENERAL CONTRACTOR SHALL CAP OFF BEHIND FINISHED SURFACES ALL PROJECT PLUMBING, FLOOR ELECTRICAL/TELEPHONE OUTLETS, AND ALL OTHER PROJECTING ITEMS THAT ARE BEING ABANDONED.
15. THE GENERAL CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING SWITCH BOXES, PLATES, BRIDGES, OR ANY OTHER TELEPHONE OR ELECTRICAL WIRING OR EQUIPMENT. VERIFY WITH TENANT REUSE OF EXISTING CABLING PRIOR TO REMOVAL.
16. ALL "EXISTING TO REMAIN", "EXISTING", "RELOCATED", OR "NEW" ITEMS INSTALLED BY THE GENERAL CONTRACTOR, IN ADDITION TO BEING AMPLY PROTECTED THROUGHOUT THE PERIOD OF CONSTRUCTION, SHALL BE THOROUGHLY CLEANED TO THE SATISFACTION OF TSCG PRIOR TO BEING TURNED OVER TO THE OWNER.
17. REFER TO ENGINEERING DRAWINGS FOR REMOVAL AND/OR RELOCATION IF REQUIRED OF HAVOC DUCTS, DIFFUSERS, SPRINKLER HEADS, EXIT LIGHTS, ETC.
18. SOME DOORS AND FRAMES TO BE REMOVED SHALL BE RETURNED TO OWNER. HANDLE CAREFULLY AND STORE ON SITE.



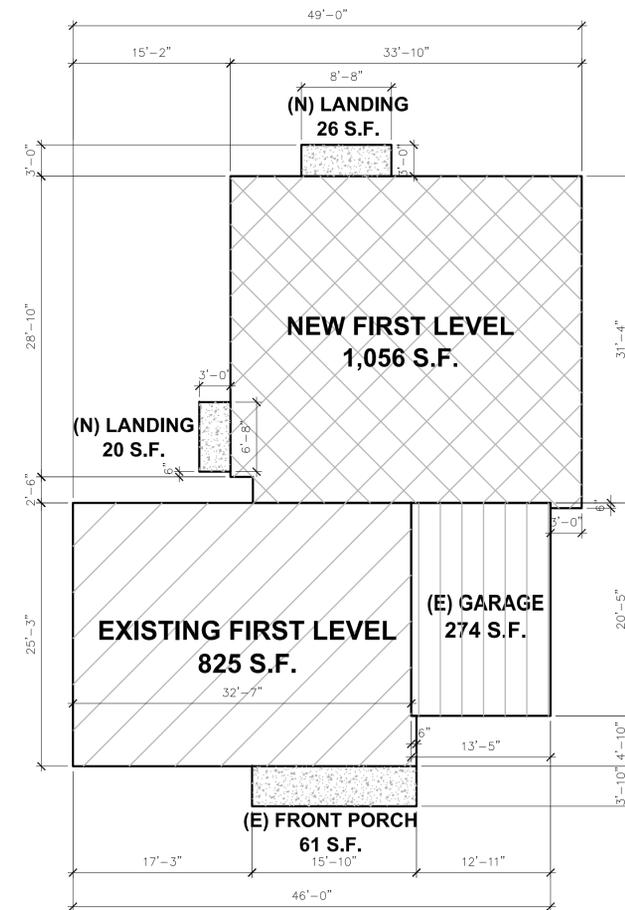
ALL EXTERIOR WALLS' LENGTH = 142'-6"
 DEMO. EXISTING EXTERIOR WALL'S LENGTH = 14'-9"
 $14'-9" / 142'-6" = 177" / 1,710" = 10.35\%$



LEGEND

- ===== EXISTING WALLS TO REMAIN REPAIR AS REQUIRED
- EXISTING WINDOWS WALLS AND DOORS TO BE REMOVED

DEMO. 1ST FLOOR PLAN



FLOOR AREA CAL. DIAGRAM

SCALE : 1/8" = 1'-0"

FLOOR AREA CAL. DIAGRAM:

MAX. FLOOR AREA: 11,747 X 45% = 5,286.15 S.F.
 MAX. COVERAGE: 11,747 X 40% = 4,698.80 S.F.

- 825 S.F. : EXISTING FIRST LEVEL
- 274 S.F. : EXISTING GARAGE
- 1,056 S.F. : NEW FIRST LEVEL ADDITION
- 61 S.F. : EXISTING FRONT PORCH (UNCOUNTED)
- 46 S.F. : NEW LANDING (UNCOUNTED)

TOTAL: 2,155 S.F. < 5,286.15 S.F.

F.A.R.: 2,155 / 11,747 = 18.35 % < 45 %

COVERAGE: 2,216 / 11,747 = 18.86 % < 40%

- 825 S.F. : EXISTING FIRST LEVEL
 - 274 S.F. : EXISTING GARAGE
- TOTAL EXISTING 1,099 S.F. 1,099 / 2 = 549.5 S.F. (50% OF EXISTING)

- 1,056 S.F. : NEW FIRST LEVEL ADDITION

TOTAL ADDITION 1,056 S.F.

TOTAL REMODEL 0 S.F.

1,056 + 0 = 1,056 S.F.
 1,056 - 549.5 = 506.5 S.F.
 1,056 / 1099 = 96.09% > 50%

CONTRACTOR:
T.B.D.

DRAFTER
 JACK LIN
 CSLB #1093710
 EXPIRED: 07/31/2024
 CELL: (408) 218-0587
 EMAIL: fu333@yahoo.com
Jack Lin
 SIGNED ON 11-27-22

OWNER:
 MR. MICHAEL MENG
 TEL: (669) 203-4241
 EMAIL: mengm@yahoo.com

MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920

1st FLOOR DEMO. PLAN

DATE: 04/05/22

JOB NO.

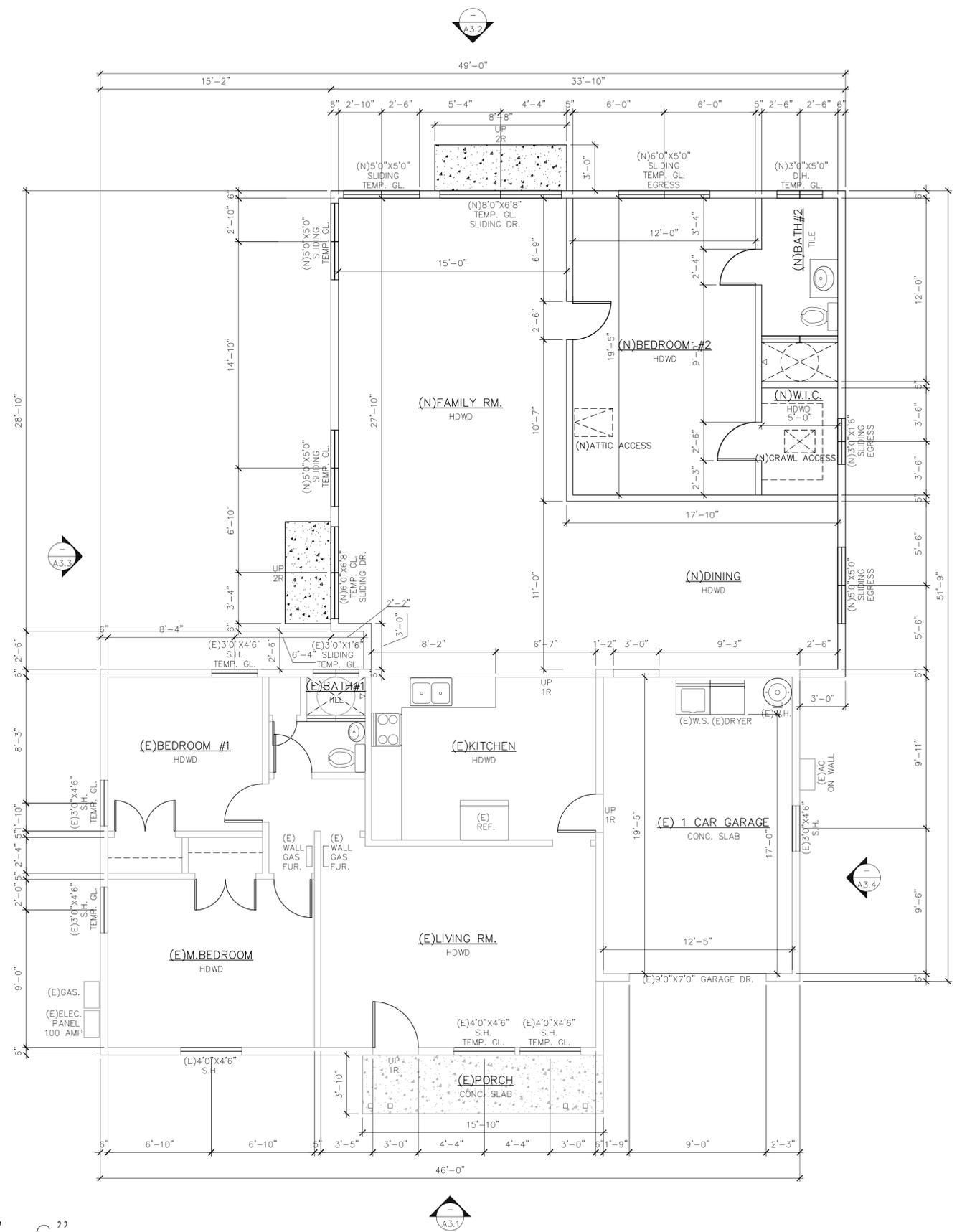
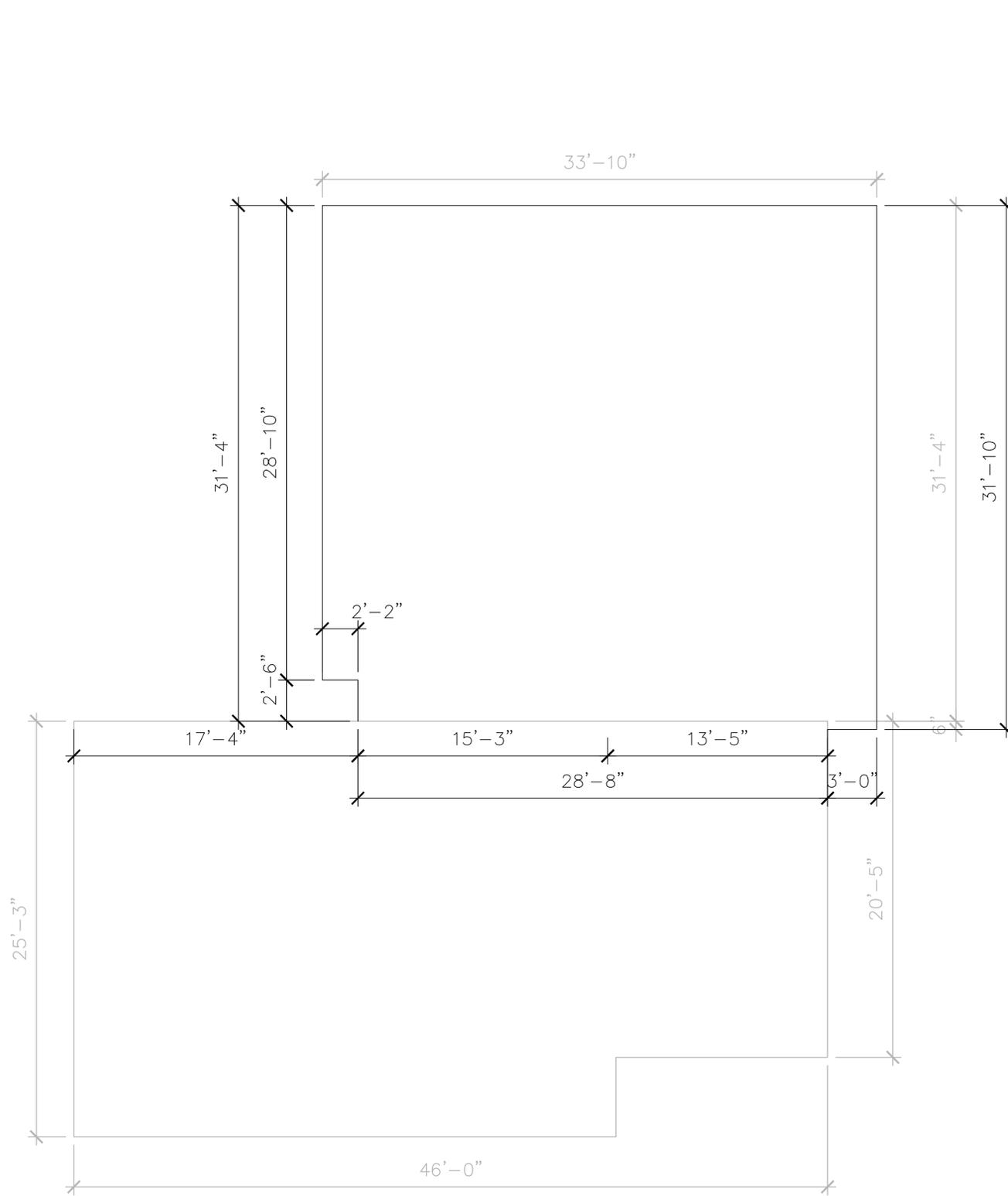
ISSUE & REVISION

11/27/22 PLANN. PERMIT

SHEET NO.

A2.0

DRAWN BY: JL



ALL EXISTING EXTERIOR WALLS' LENGTH = 142'-6"
 EXISTING EXTERIOR WALL'S LENGTH COVERED BY ADDITION = 28'-8"
 $28'-8" / 142'-6" = 344" / 1,710" = 20.12\%$

(N) 1ST FLOOR PLAN
 SCALE : 1/4" = 1'-0"



CONTRACTOR:
T.B.D.

DRAFTER
 JACK LIN
 CSLB #1093710
 EXPIRED: 07/31/2024
 CELL: (408) 218-0587
 EMAIL: fu333@yahoo.com
Jack Lin
 SIGNED ON 11-27-22

OWNER:
 MR. MICHAEL MENG
 TEL: (669) 203-4241
 EMAIL: mengm@yahoo.com

MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920

PROPOSED
1st
FLOOR
PLAN

DATE: 04/05/22
 JOB NO.
 ISSUE & REVISION
 11/27/22 PLANN. PERMIT

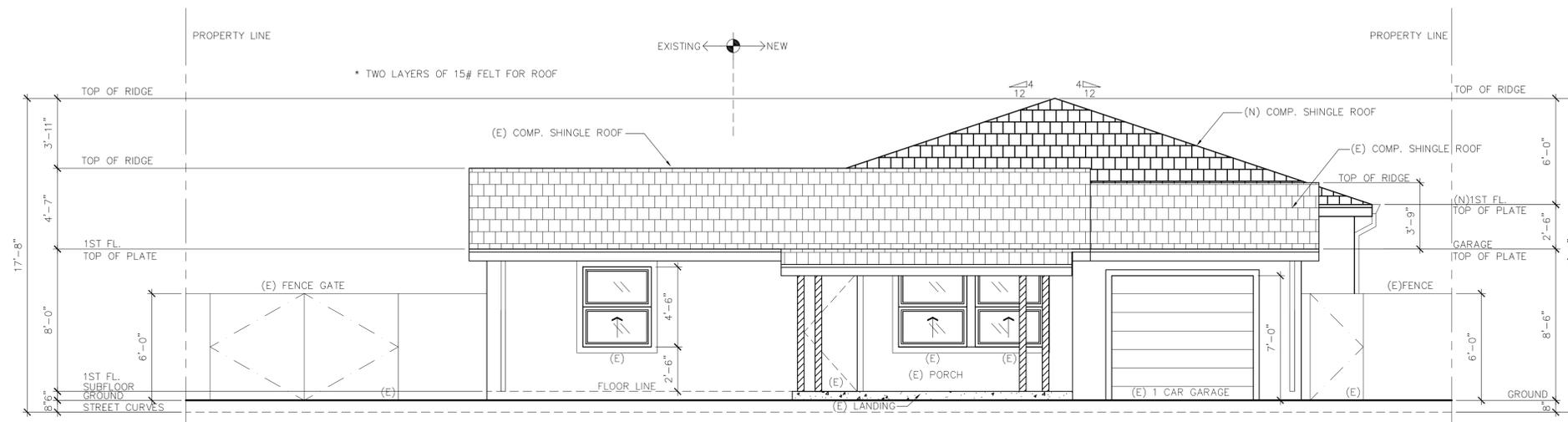
SHEET NO.
A2.1

DRAWN BY: JL



CONC. SLAB FOUNDATION VENT NO.0 *CRAWL SPACE VENTS DO NOT OCCUR IN SHEAR WALLS. * PROVIDE WEEP SCREED AT FOUNDATION PLATE LINE ON ALL STUCCO WALLS (2019 CRC SEC. R 703.7.2.1) WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.

1 (E) NORTH ELEVATION (FRONT)
1/4"=1'-0"



CONC. SLAB FOUNDATION VENT NO.0 *CRAWL SPACE VENTS DO NOT OCCUR IN SHEAR WALLS. * PROVIDE WEEP SCREED AT FOUNDATION PLATE LINE ON ALL STUCCO WALLS (2019 CRC SEC. R 703.7.2.1) WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.

2 (N) NORTH ELEVATION (FRONT)
1/4"=1'-0"

CONTRACTOR:
T.B.D.

DRAFTER
JACK LIN
CSLB #1093710
EXPIRED: 07/31/2024
CELL: (408) 218-0587
EMAIL: fu333@yahoo.com
Jack Lin
SIGNED ON 11-27-22

OWNER:
MR. MICHAEL MENG
TEL: (669) 203-4241
EMAIL: mengm@yahoo.com

**MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920**

**(E) & (N)
FRONT
ELEVATIONS**

DATE: 04/05/22

JOB NO.

ISSUE & REVISION

11/27/22	PLANN. PERMIT
----------	---------------

SHEET NO.
A3.1
DRAWN BY: JL

CONTRACTOR:

T.B.D.

DRAFTER
JACK LIN
CSLB #1093710
EXPIRED: 07/31/2024
CELL: (408) 218-0587
EMAIL: fu333@yahoo.com

Jack Lin
SIGNED ON 11-27-22

OWNER:
MR. MICHAEL MENG
TEL: (669) 203-4241
EMAIL: mengm@yahoo.com

**MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920**

**(E) & (N)
REAR
ELEVATIONS**

DATE: 04/05/22

JOB NO.

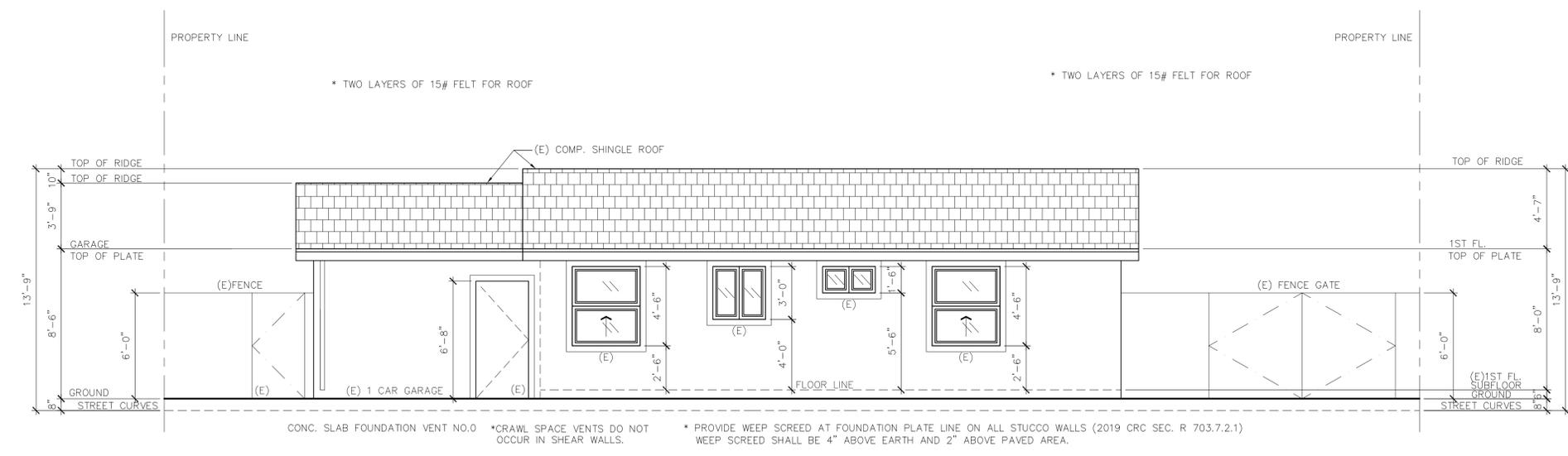
ISSUE & REVISION

11/27/22 PLANN. PERMIT

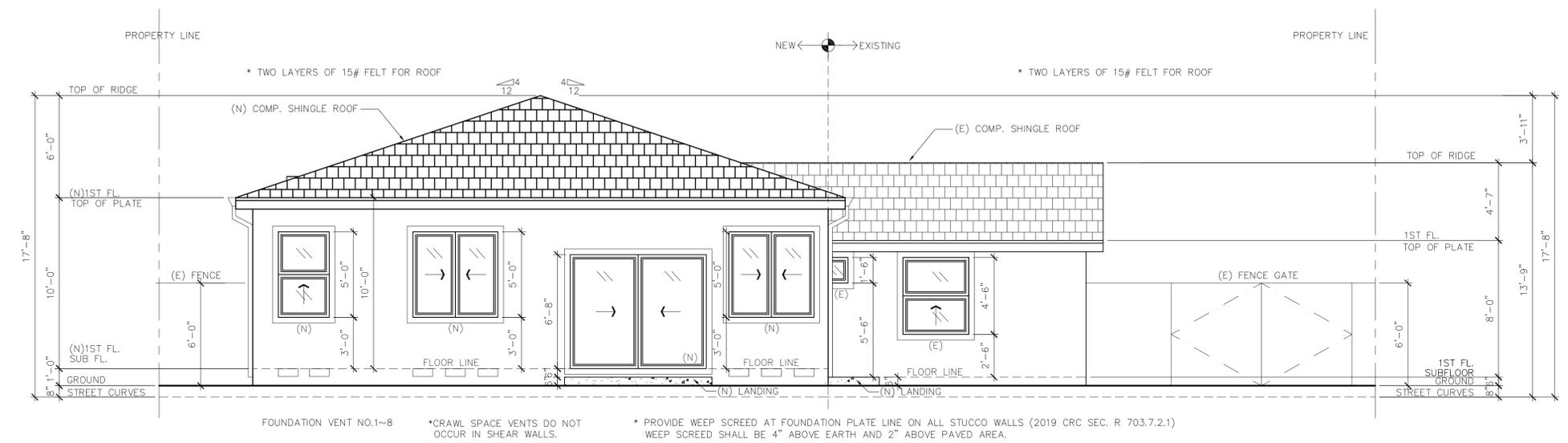
SHEET NO.

A3.2

DRAWN BY: JL



1 1/4"=1'-0" **(E) SOUTH ELEVATION (REAR)**



2 1/4"=1'-0" **(N) SOUTH ELEVATION (REAR)**

CONTRACTOR:

T.B.D.

DRAFTER
JACK LIN
CSLB #1093710
EXPIRED: 07/31/2024
CELL: (408) 218-0587
EMAIL: fu333@yahoo.com

Jack Lin
SIGNED ON 11-27-22

OWNER:
MR. MICHAEL MENG
TEL: (669) 203-4241
EMAIL: mengm@yahoo.com

**MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920**

**(E) & (N)
LEFT
ELEVATIONS**

DATE: 04/05/22

JOB NO.

ISSUE & REVISION

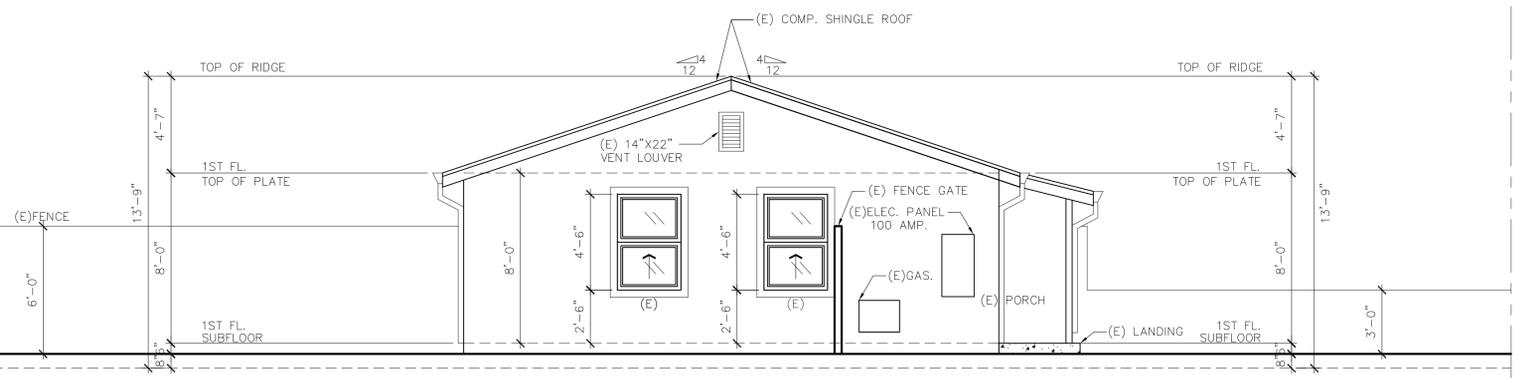
11/27/22 PLANN. PERMIT

SHEET NO.

A3.3

DRAWN BY: JL

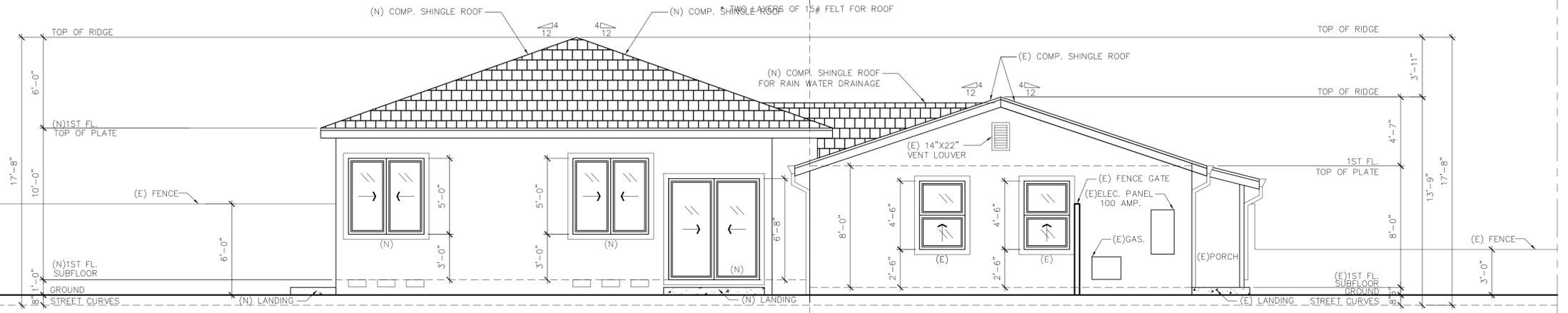
* TWO LAYERS OF 15# FELT FOR ROOF



FOUNDATION VENT NO.9~12 *CRAWL SPACE VENTS DO NOT OCCUR IN SHEAR WALLS. * PROVIDE WEEP SCREED AT FOUNDATION PLATE LINE ON ALL STUCCO WALLS (2019 CRC SEC. R 703.7.2.1) WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.

1 1/4"=1'-0" **(E) EAST ELEVATION (LEFT)**

NEW ← → EXISTING



FOUNDATION VENT NO.9~14 *CRAWL SPACE VENTS DO NOT OCCUR IN SHEAR WALLS. * PROVIDE WEEP SCREED AT FOUNDATION PLATE LINE ON ALL STUCCO WALLS (2019 CRC SEC. R 703.7.2.1) WEEP SCREED SHALL BE 4" ABOVE EARTH AND 2" ABOVE PAVED AREA.

2 1/4"=1'-0" **(N) EAST ELEVATION (LEFT)**



1



2



3



4



SITE



6



5



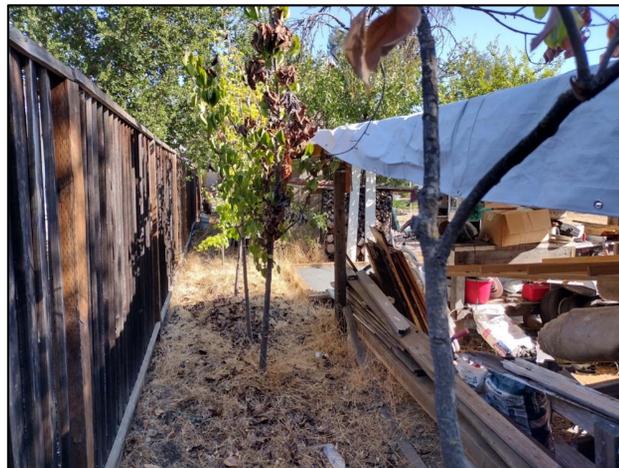
7



9



8



C



A



B

CONTRACTOR:
T.B.D.

DRAFTER
JACK LIN
CSLB #1093710
EXPIRED: 07/31/2024
CELL: (408) 218-0587
EMAIL: fu333@yahoo.com

Jack Lin
SIGNED ON 11-27-22

OWNER:
MR. MICHAEL MENG
TEL: (669) 203-4241
EMAIL: mengm@yahoo.com

**MR. MICHAEL MENG
ADDITION ONLY
1184 LOVELL AVE.
CAMPBELL, CA 95008-5920**

**SITE
PHOTOGRAPHY**

DATE: 04/05/22

JOB NO.

ISSUE & REVISION

11/27/22 PLANN. PERMIT

SHEET NO.

SP

DRAWN BY: JL