

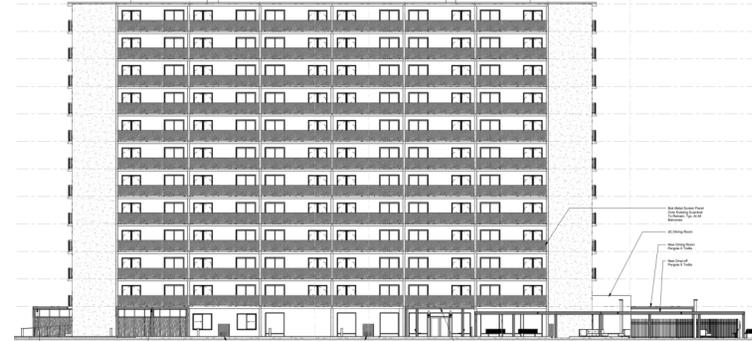
Location of Proposed Project

1655 South Winchester Boulevard



City of Campbell
70 North First Street
Campbell, CA 95008 -1423

Project Image



Notice of Decision on Proposed Project

Dear Campbell Resident,

December 14, 2022

The Community Development Director will be rendering a decision on the following project.

Project Address: 1655 S. Winchester Blvd.

Zoning | Area Plan: P-D | Winchester Plan

Neighborhood Association(s): Campbell Community Neighborhood

File No.: PLN-2022-102

APN: 305-21-005

Applicant: Barker Wagoner Architects

Property Owner: Wesley Manor LLC

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow minor site changes including façade alterations and construction of shade structures to an existing multi-family building.

Comment Period:

You have the opportunity to provide comment prior to the Director's decision.

The ten-day comment period for this application begins on **December 14, 2022**. If you have comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **December 24, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided.

Decision by the Community Development Director is final unless an appeal is received in writing within 10 days of the decision or submitted in writing to the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. If you have questions or comments regarding this application you may contact the Project Planner.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell CA 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal.
To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español



Legend

Reference Designation

-  Column Grid Reference
-  Section Number (Wall or Bldg.) Sheet Number
-  Elevation Number Sheet Number
-  Detail Number Sheet Number
-  Door Mark and Type Hardware Group
-  Window Type
-  Partition Type
-  Room Number Finish Code
-  Sheet Notes
-  Revision Number
-  Elevation From Datum Point or Reference Point
-  North Arrow

Dimensions

-  Face of Structure
-  Face of Finish
-  Center Line
-  New Grade / Elevation

Electrical / Mechanical Symbols

-  Supply Diffuser
-  Return Diffuser
-  Exhaust Diffuser
-  Fluorescent Light Fixture
-  Surface Mounted Light Fixture
-  Recess Mounted Light Fixture
-  Exit Sign / Light
-  Duplex Outlet
-  Switch

Plan and Section Symbols

- | | |
|---|---|
| <h3>Plan Symbols</h3> <ul style="list-style-type: none">  Earth  Porous Fill, Sand, Rock, Gravel  Concrete  Concrete Block/ Masonry  New Wall  Remove / Demo Wall  Corridor Handrail  Plywood  Wood - Rough (Structural / Backing)  Wood - Finish (Millwork)  Metal (Steel) | <h3>Section/Detail Symbols</h3> <ul style="list-style-type: none">  Gypsum Wallboard  Insulation - Loose Fill or Batt  Insulation - Rigid |
|---|---|

Abbreviations

AC	ASPHALTIC CONCRETE	JST	JOIST
@	AT	KIT	KITCHEN
AB	ANCHOR BOLT	LAV	LAVATORY
ABF	ABOVE FINISHED FLOOR	LBS	POUND
ALT	ALTERNATE	LF	LINEAR FEET
ALUM	ALUMINUM	LTG	LIGHTING
ARCH	ARCHITECTURAL	MAX	MAXIMUM
BAT	BATTEN	MECH	MECHANICAL
BD	BOARD	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BOT	BOTTOM	MFR	MANUFACTURER
BM	BENCHMARK BEAM	MM	MILLIMETER
BLKG	BLOCKING	MTL	METAL MATERIAL
CD	CONSTRUCTION DOCUMENTS, CONTRACT DOCUMENTS	MULL	MULLION
CEM	CEMENT	MTD	MOUNTED
CAB	CABINET	N	NORTH
CLG	CEILING	NA	NOT APPLICABLE
CERT	CERTIFY, CERTIFICATE, CERTIFICATION	NIC	NOT IN CONTRACT
CL	CENTER LINE	NTS	NOT TO SCALE
CLO	CLOSET	ND or #	NO DIMENSION
CLR	CLEAR	OC	ON CENTER
CMU	CONCRETE MASONRY UNIT	OD	OUTSIDE DIAMETER
CNTR	COUNTER	OFF	OFFICE
COL	COLUMN	OPNG	OPENING
CONC	CONCRETE	OPP	OPPOSITE
CONF	CONFERENCE	PTD	PAPER TOWER DISPENSER
CONN	CONNECTION	PL	PLATE, PROPERTY LINE
COORD	COORDINATE, COORDINATION	PLYWD	PLYWOOD
CONT	CONTINUOUS	PR	PAIR
CT	CERAMIC TILE	PROP	PROPERTY
CSWK	CASEWORK	PWR	POWER
CSK	COUNTERSINK	PRELIM	PRELIMINARY
CTR	CENTER	QTY	QUANTITY
CTRL	CONTROL	QTR	QUARTER
DBL	DOUBLE	R	RISER, RADIUS, HEAT RESISTANCE
DEMO	DEMOLITION	RB	RUBBER BASE, RESILIENT BASE
DET	DETAIL	RD	ROOF DRAIN
DH	DOUBLE HUNG	REF	REFRIGERATOR
DIAM	DIAMETER	RCF	REFLECTED CEILING PLAN
DR	DOOR	REQD	REQUIRED
DM	DIMENSION	RH	RIGHT HAND, ROOF HATCH
DN	DOWN	REV	REVISION
DIST	DISTANCE	RM	ROOM
DS	DOWNSPOUT	RO	ROUGH OPENING
DW	DISH WASHER	ROW	RIGHT OF WAY
DWG	DRAWING	S	SOUTH
CONT	CONTINUOUS	SECT	SECTION
E	EAST	SF	SQUARE FOOT, SAFETY FACTOR
EACH	EACH	SIM	SIMILAR
ELEC	ELECTRICAL	SOG	SLAB ON GRADE
EL	ELEVATION	SPEC	SPECIFICATIONS(S)
EQ	EQUIPMENT	SQ	SQUARE
EQUIV	EQUIVALENT	STD	STANDARD
ENGR	ENGINEER	STOR	STORAGE
EXC	EXCAVATE	STRUCT	STRUCTURAL
EXT	EXTERIOR	SUB	SUBSTITUTE
FD	FLOOR DRAIN	SYS	SYSTEM
FNDR	FOUNDATION	TB	THROUGH BOLT, TOWEL BAR
FE	FIRE EXTINGUISHER	TECH	TECHNICAL, TECHNOLOGY
FIN	FINISH	TEL	TELEPHONE
FIXT	FIXTURE	TERR	TERRAZZO
FLR	FLOOR	TOP	TOP OF FOOTING, TOP OF FLOOR, TOP OF FRAME
FOOT	FOOTING	T & G	TONGUE AND GROOVE
FT	FOOT, FEET	TEMP	TEMPORARY, TEMPERATURE
FLOOR	FLOORING	TM	TOP OF MASONRY
GA	GAGE	TOS	TOP OF STEEL
GALV	GALVANIZED	TOP	TOPOGRAPHY
GC	GENERAL CONTRACTOR	TOC	TOP OF CONCRETE
GLZ	GLAZING	TV	TELEVISION
GLU LAM	GLUED LAMINATED BEAM	TYP	TYPICAL
GYP	GYPSONUM	UNQ	UNLESS NOTED OTHERWISE
GYP BD	GYPSONUM BOARD	OA	OVERALL
HB	HOSE BIBB	VAR	VARIABLE, VARIATION
HW	HARDWARE	VENT	VENTILATION
HWWD	HARDWOOD	VF	VERIFY IN FIELD
HRI	HOLLOW METAL	UTIL	UTILITY
HR	HOUR	W	WATT, WEST
HT	HEIGHT	WI	WITH
HWAC	HEATING, VENTILATING AND AIR CONDITIONING	WO	WOOD
HW	HOT WATER	WP	WATER PROOFING, WEATHERPROOF
HYDR	HYDRANT	WIND	WINDY
ID	INSIDE DIAMETER	ETR	EXISTING TO REMAIN
IN	INCHES	(N)	NEW
INFO	INFORMATION	(E)	EXISTING
INSUL	INSULATION	APPROX	APPROXIMATE
INT	INTERIOR		

General Notes

1. ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST ADOPTED RULES AND REGULATIONS OF THE LOCAL AGENCIES AND THE STATE OF CALIFORNIA, INCLUDING ALL ADOPTED AMENDMENTS AND SUPPLEMENTS.
2. THE INTENT OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK, CONSISTENT WITH GOOD PRACTICE. ANY WORK OR ITEM NOT SPECIFICALLY CALLED FOR IN THE DOCUMENTS BUT REQUIRED FOR A COMPLETE AND FULLY FUNCTIONING INSTALLATION CONSISTENT WITH THE INTENT OF THE DOCUMENTS SHALL BE SUPPLIED BY THE CONTRACTOR AND HIS SUB-CONTRACTORS AS IF SPECIFIED.
- A. 3. THE WORK HOURS ARE REGULATED BY NOISE LEVELS CREATED DURING CONSTRUCTION. THE MAXIMUM NOISE LEVELS ALLOWED ARE ESTABLISHED IN THE CITY OF CAMPBELL CODE CHAPTER 18.04 052 HOURS OF CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE HOURS OF EIGHT A.M. AND FIVE P.M. DAILY, MONDAY THROUGH FRIDAY, SATURDAY HOURS OF CONSTRUCTION SHALL BE NINE A.M. AND FOUR P.M. THERE SHALL BE NO CONSTRUCTION ACTIVITY ON SUNDAYS OR NATIONAL HOLIDAYS.
- B. NO LOUD ENVIRONMENTALLY DISRUPTIVE NOISE OVER FIFTY DBS, SUCH AS AIR COMPRESSORS WITHOUT MUFFLERS, CONTINUOUSLY RUNNING MOTORS OR GENERATORS, LOUD PLAYING MUSICAL INSTRUMENTS OR RADIOS WILL BE ALLOWED DURING THE AUTHORIZED HOURS OF CONSTRUCTION, MONDAY THROUGH SATURDAY, WHERE SUCH NOISE MAY BE A NUISANCE TO ADJACENT RESIDENTIAL NEIGHBORS. SUCH NUISANCES SHALL BE DISCONTINUED.
4. THE CONSTRUCTION SITE MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SCCFD'S SPECIFICATION SI-7 - CONSTRUCTION SITE FIRE SAFETY.
5. FIRE DEPARTMENT ACCESS TO THE SITE, THE BUILDING, AND TO ALL FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AT ALL TIMES, IN ACCORDANCE WITH CFC CHAPTER 5. NO OBSTRUCTION SUCH AS VEHICLES, STORAGE, AND OTHER MATERIALS OR OBJECTS SHALL BE PLACED OR KEPT NEAR FIRE HYDRANTS, FIRE DEPARTMENT INLET CONNECTIONS, OR FIRE PROTECTION SYSTEM CONTROL VALVES IN A MANNER THAT WOULD PREVENT SUCH EQUIPMENT OR FIRE HYDRANTS FROM BEING IMMEDIATELY DISCERNIBLE, IN ACCORDANCE WITH CFC 505.5.4.
6. ANY TIME THE FIRE SPRINKLER SYSTEM AND/OR THE FIRE DETECTION & ALARM SYSTEM IS IMPAIRED, A FIRE WATCH IS TO BE PROVIDED. THE SYSTEM IS TO BE TAGGED, AND A CORRESPONDING IMPAIRMENT PROGRAM IS TO BE PROVIDED, IN ACCORDANCE WITH CFC CHAPTER 9.
7. THE INTEGRITY OF THE FIRE-RATED CONSTRUCTION SHALL BE MAINTAINED, IN ACCORDANCE WITH CFC AND CBC CHAPTER 7.
8. ALL FINISHES SHALL COMPLY WITH CBC CHAPTER 8.

Vicinity Map



Project Team

OWNER Santa Clara Methodist Retirement Foundation 890 Main Street Santa Clara, CA 95050 P 408.243.6226 E phaynes@scsmf.org	ARCHITECT Barker Wagoner Architects 303 Pajero St. Bld. 42 Suite 201 Santa Cruz, CA 95060 P 650.325.4504 E office@bwarc.com
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Scope Of Work

- The site work upgrades will include:
1. Replacing all the existing green canvas awning on the ground floor with new trellis canopies, including the front exterior Dining area, Entry canopy, and the two managers unit patios.
 - a. The Activity Room awning was removed during the previous seismic retrofit project and will not be replaced.
 - b. New passenger drop-off area trellis and connecting trellis to the Entry trellis will be added to provide covered drop-off for residents and families.
 2. Replace the existing irregular flatwork from the back of the front parking lot to the Entry with a better, level walking surface, resident gathering and seating area, and improved site lighting to support the residents with good quality outdoor spaces and accessible path of travel.
 3. Create a new resident and delivery drop-off area which will not block the shared driveway to provide a safe and out of the traffic drop-off/pick-up for residents and families as well as small deliveries.
 - a. New passenger drop-off area will have a trellis canopy and connecting trellis to the Entry trellis will be added to provide covered drop-off for residents and families.
 4. Add a decorative metal screen over the existing balcony railing to improve the building look and meet the current code for the guardrail pickets.
 - a. This same pattern will be used to replace the wood and/or iron fencing at the exterior gathering and around the Mangers units.
 5. No changes will be made to the building with this permit, including added area or changes in existing or parking.

Drawing Index

A/001	Project Information
A/100	Existing And Demo And Proposed New Site Plans
A/200	Enlarged Floor Plans
A/201	Enlarged Sections And Elevations
A/400	Exterior Elevations
A/401	Exterior Elevations
A/402	Exterior Elevations

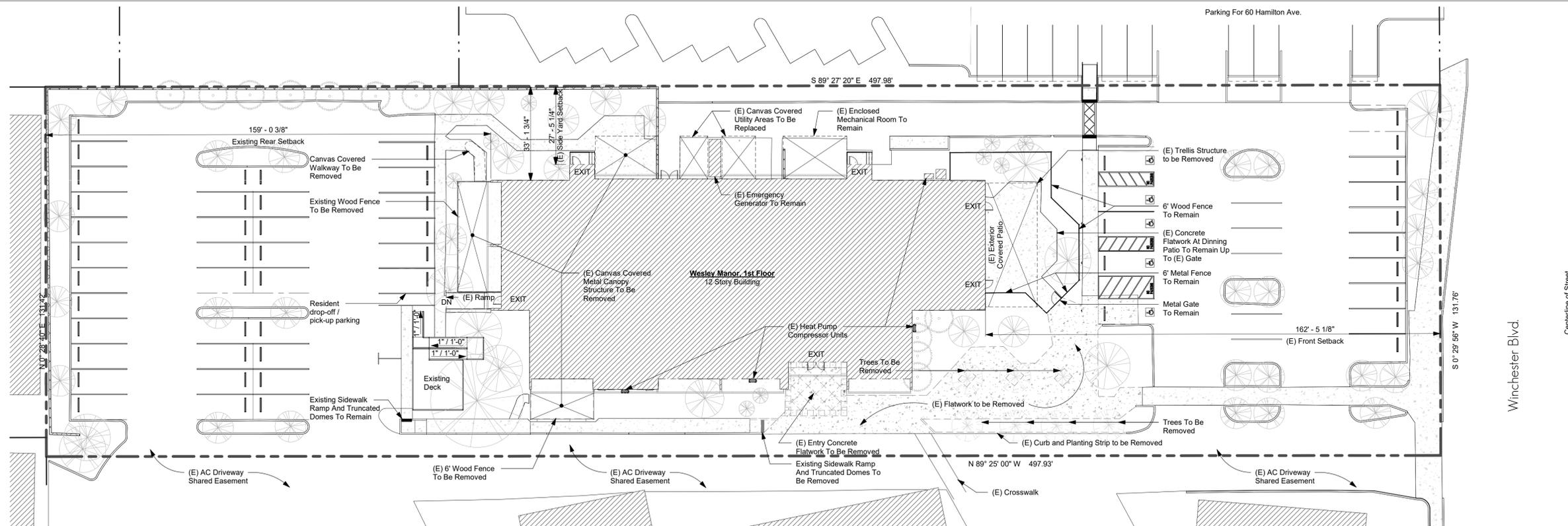


REVISIONS

Planning Review - Design Development	
DATE	8/25/22
SCALE	As indicated
PROJECT #	139-0018

A/001

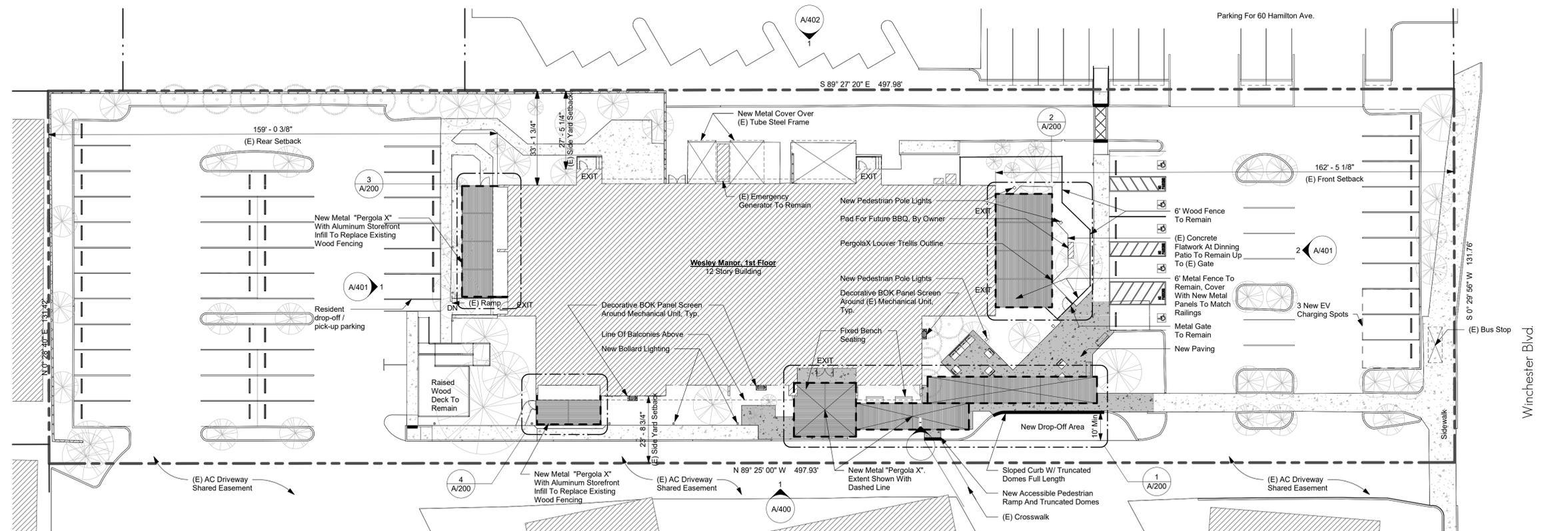
Project
Information



1 Existing Site Plan
1" = 20'-0"

Wesley Manor
Site and
Exterior
Alterations
1655 Winchester Blvd.,
Campbell, CA 95008

REVISIONS



2 Proposed Site Plan
1" = 20'-0"

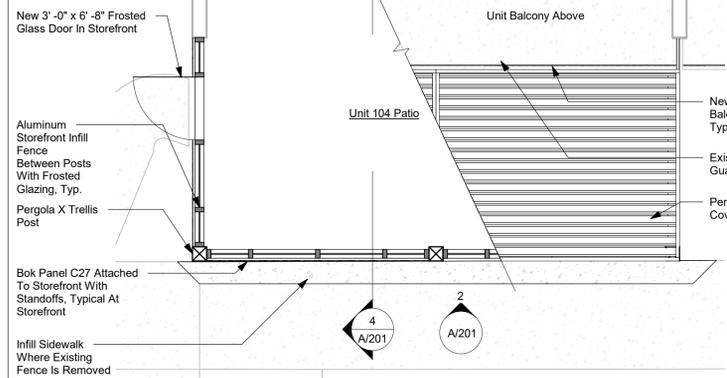
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SCALE 1" = 20'-0"
PROJECT # 139-0018

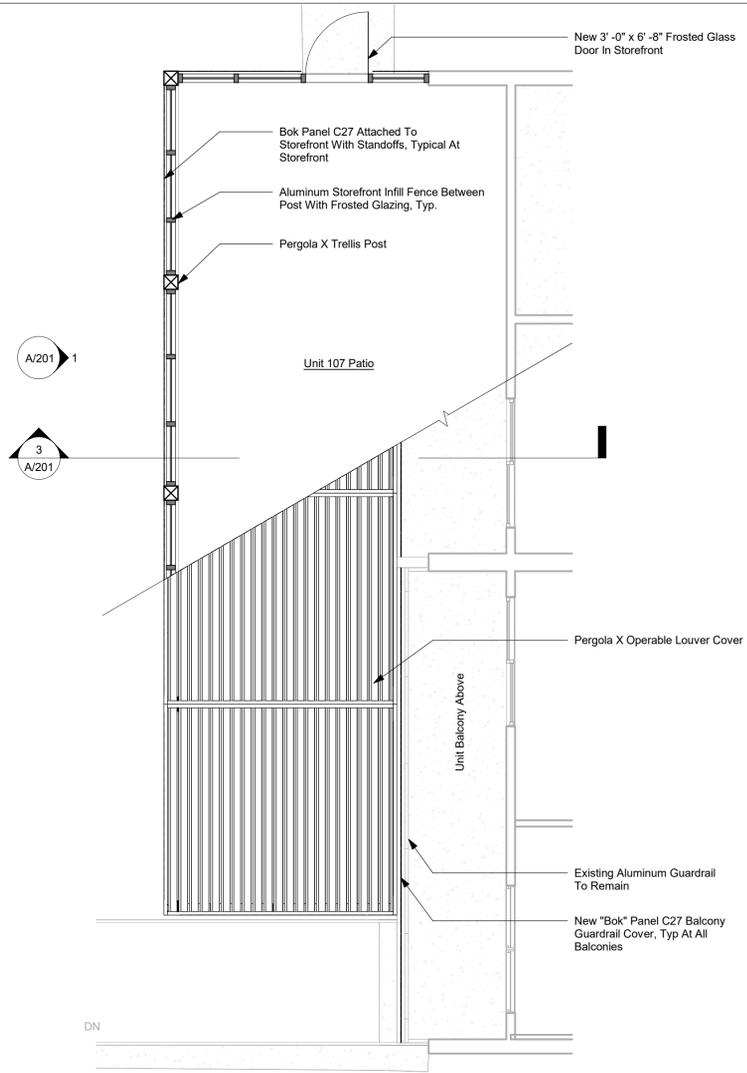
A/100
Existing And
Demo And
Proposed New
Site Plans

Wesley Manor
Site and
Exterior
Alterations
1655 Winchester Blvd.,
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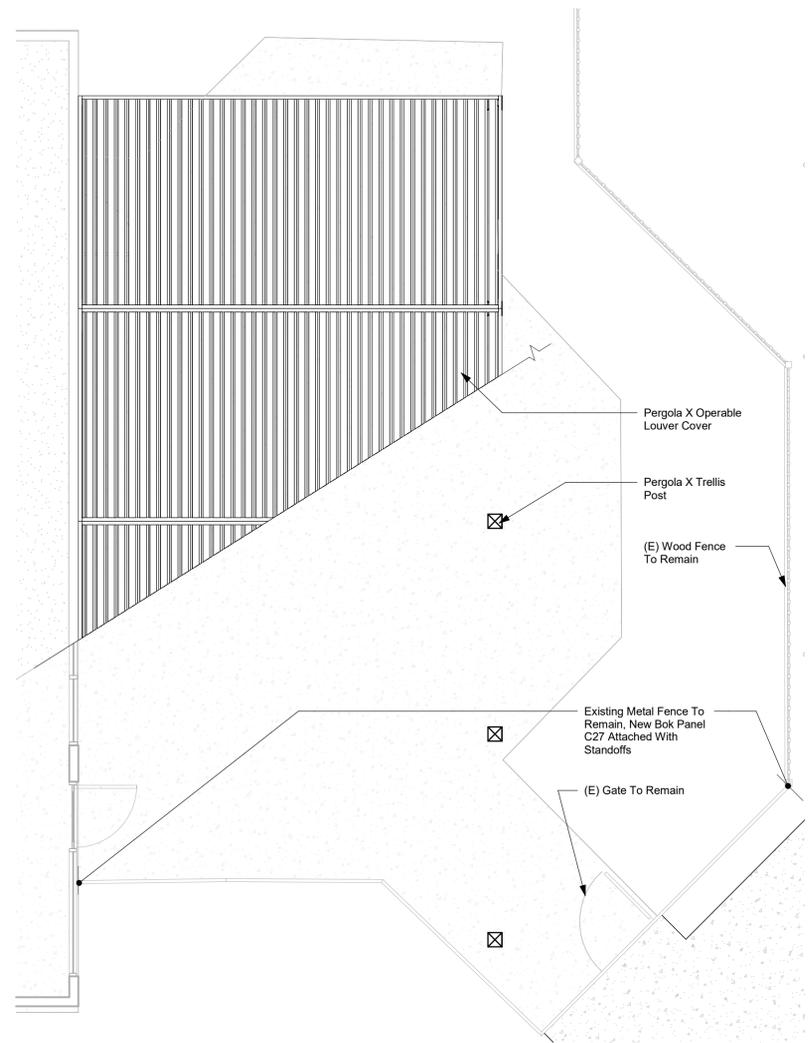
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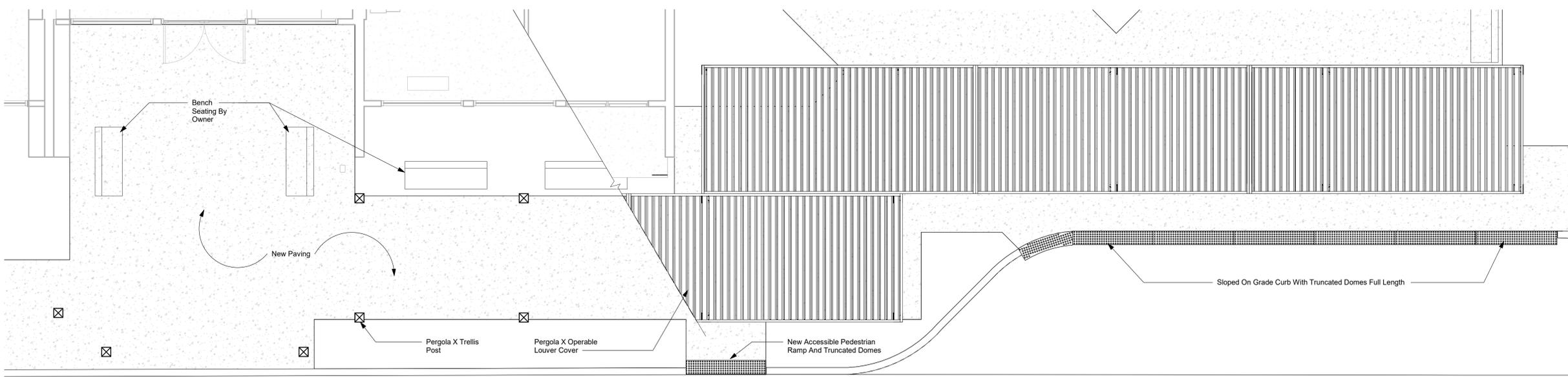
4 Unit 104 Exterior Covered Patio Plan
1/4" = 1'-0"



3 Unit 107 Exterior Covered Patio Plan
1/4" = 1'-0"



2 Dining Room Trellis Plan
1/4" = 1'-0"



1 Drop-off Trellis Plan
1/4" = 1'-0"

Planning Review - Design Development
DATE 8/25/22
SCALE 1/4" = 1'-0"
PROJECT # 139-0018

A/200
Enlarged Floor
Plans

C27



PERCENT OPEN
44.21%

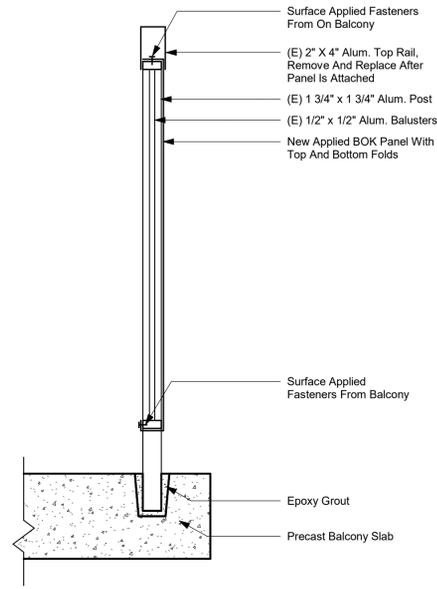
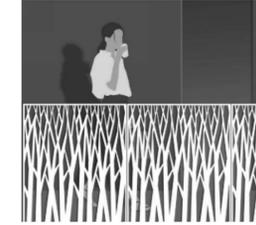
SCALE (IN) Sizes for scale reference. More sizes available.
GUARDRAIL: 47.5 x 14
WALLSCREEN: 47.5 x 120
SUNSHADE: 47.5 x 18

FULL BLEED
Available, depending on product type. Patterns can be modified.

TAGS
Organic, Floral

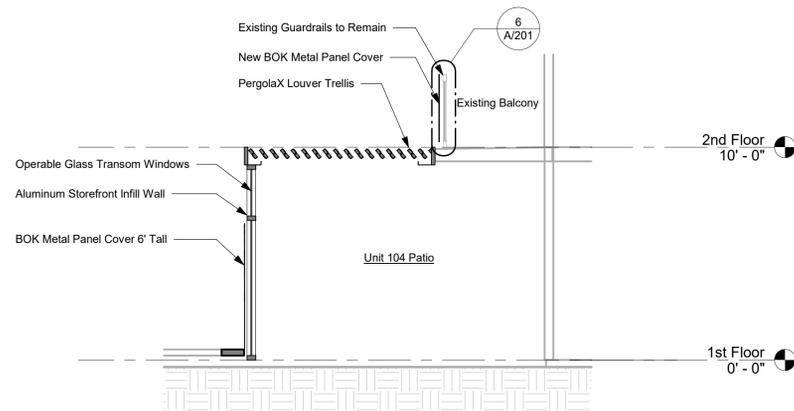
Bronze to match Pergola X Finish

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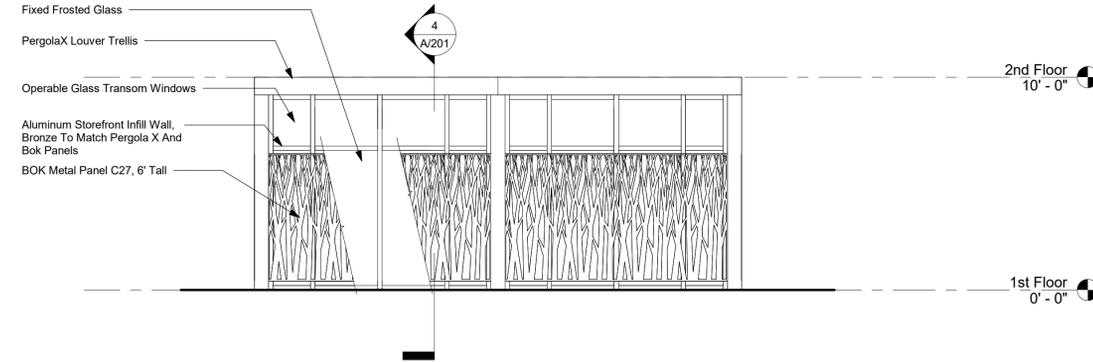


6 Guardrail Section
1 1/2" = 1'-0"

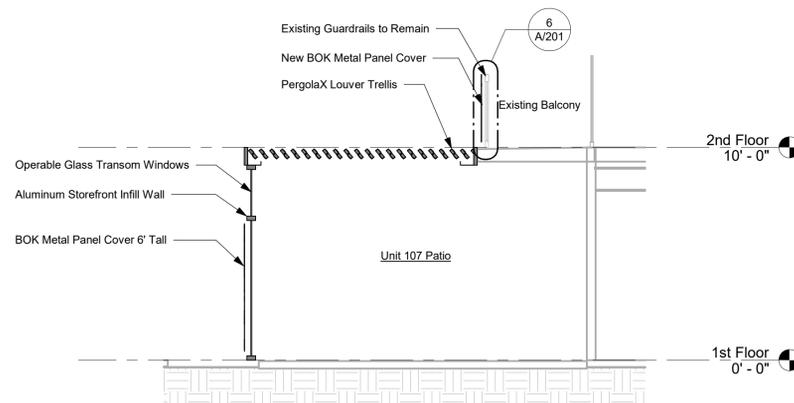
5 BOK Guardrail Pattern
12" = 1'-0"



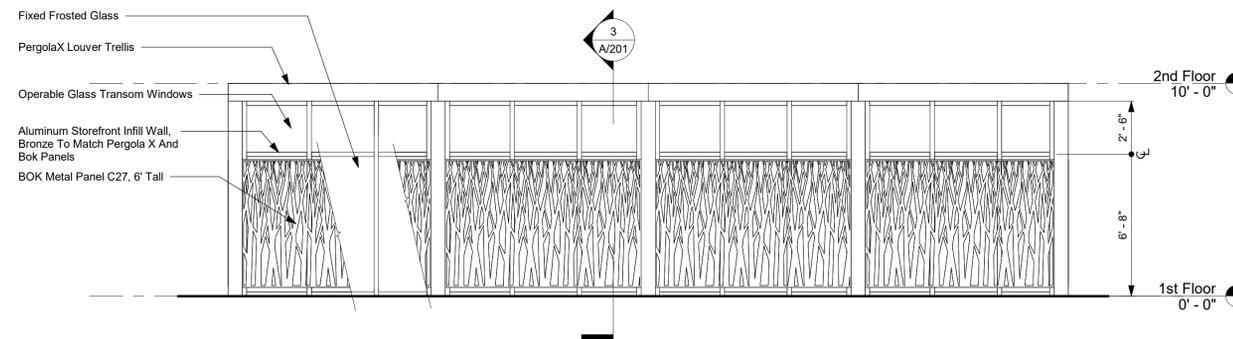
4 Unit 104 Section
1/4" = 1'-0"



2 Unit 104 Elevation
1/4" = 1'-0"



3 Unit 107 Exterior Covered Patio Section
1/4" = 1'-0"



1 Unit 107 Exterior Covered Patio Elevation
1/4" = 1'-0"

REVISIONS

Planning Review - Design Development
DATE 8/25/22
SCALE As indicated
PROJECT # 139-0018

A/201
Enlarged Sections
And Elevations

Wesley Manor
Site and
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Alterations
1655 Winchester Blvd.,
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REVISIONS

Planning Review - Design Development
DATE 8/25/22
SCALE 1/8" = 1'-0"
PROJECT # 139-0018

A/400
Exterior
Elevations



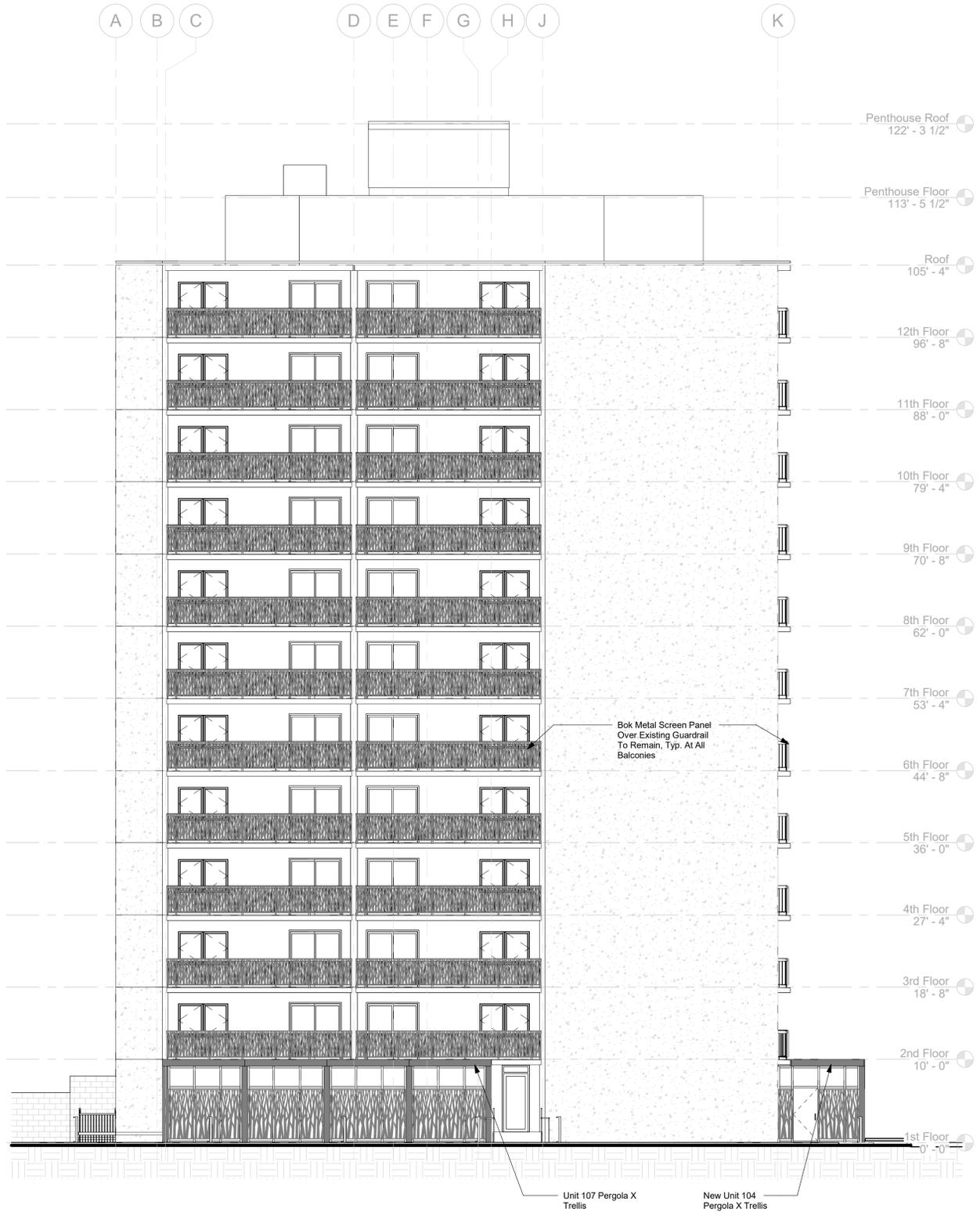
1 South Exterior Elevation (Entry Drive View)
1/8" = 1'-0"

Wesley Manor
Site and
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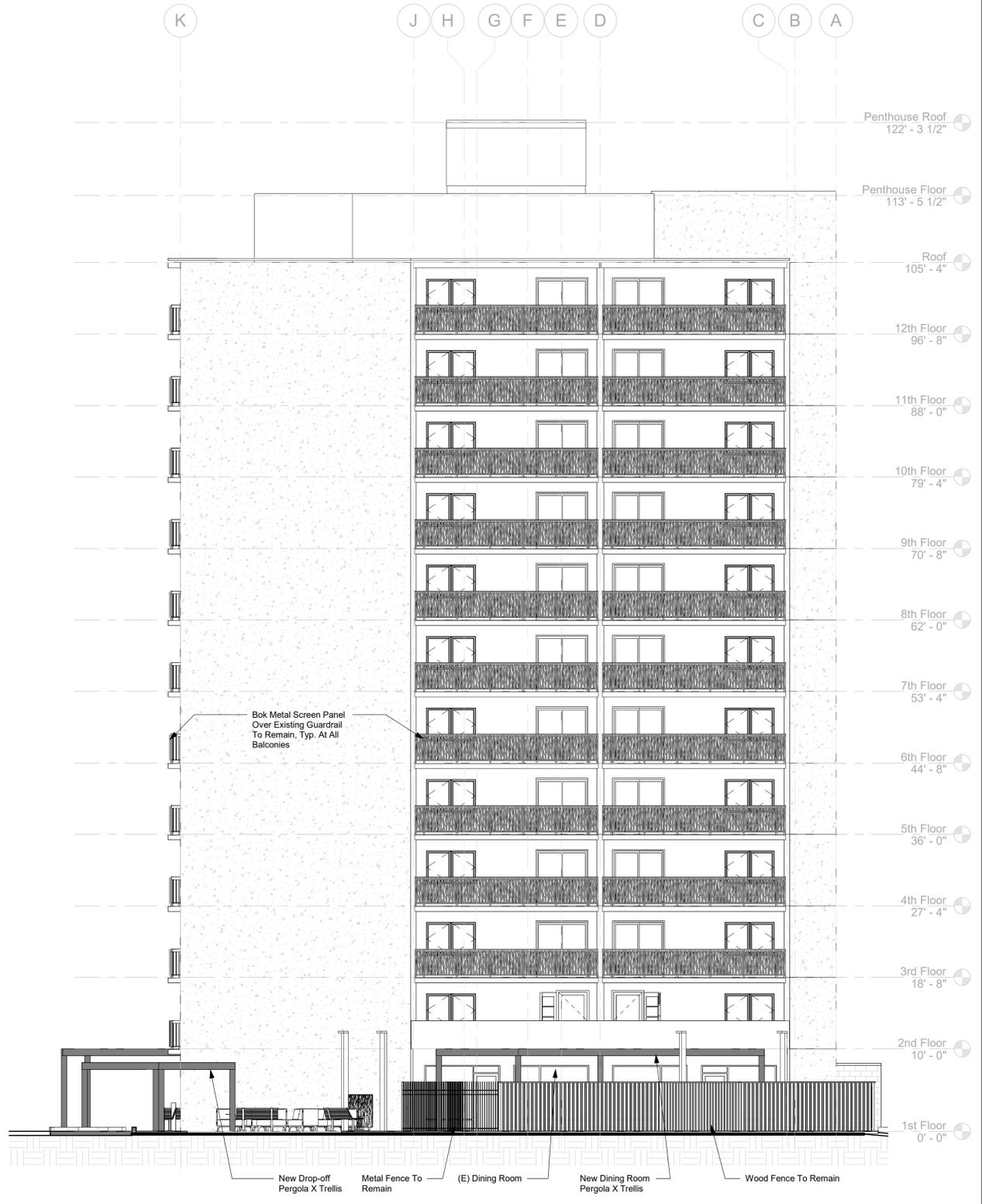
REVISIONS

Planning Review - Design Development
DATE 8/25/22
SCALE 1/8" = 1'-0"
PROJECT # 139-0018

A/401
Exterior
Elevations



1 West Exterior Elevation (Rear Paring Lot View)
1/8" = 1'-0"



2 East Exterior Elevation (Street View)
1/8" = 1'-0"

Wesley Manor
Site and
Exterior
Alterations
1655 Winchester Blvd.,
Campbell, CA 95008

REVISIONS

Planning Review - Design Development
DATE 8/25/22
SCALE 1/8" = 1'-0"
PROJECT # 139-0018

A/402
Exterior
Elevations



1 North Exterior Elevation (Service Drive View)
1/8" = 1'-0"