



CITY OF CAMPBELL
Community Development Department

March 14, 2014

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 25, 2014**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Gonzalez Architects for a Site and Architectural Review Permit (PLN2013-201) and Tree Removal Permit (PLN2013-202) to allow site and architectural improvements to the Pruneyard Shopping Center including the removal and replacement of existing palm trees, re-landscaping, and new exterior building improvements on property located at **1875 S. Bascom Avenue** in C-2 (General Commercial) Zoning District. Staff is recommending that this project be deemed Categorically exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

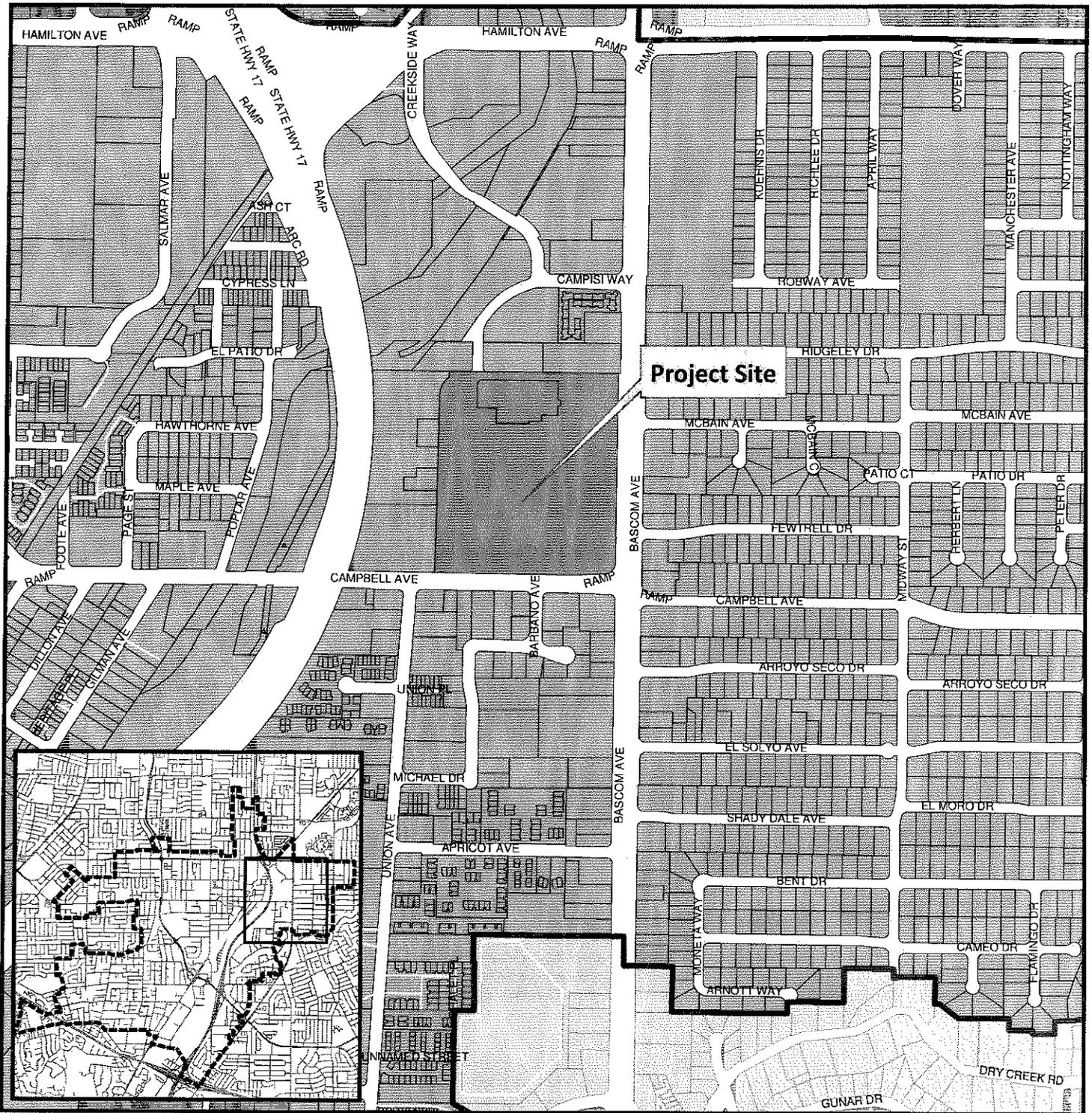
Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1875 S. Bascom Avenue**

Project Location Map

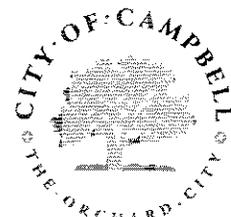
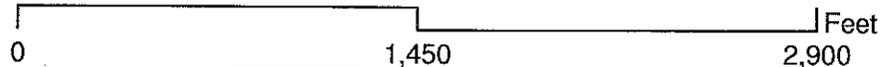


Project Location: 1875 S. Bascom Avenue

Application Type: Site & Arch. Review/ Tree Removal

Planning File No.: PLN2013-201/202

Description: Exterior Color and Material Change, Parking Area Island, Re-Landscape, & Remove 23 Palm Trees



Community Development Department
Planning Division

The Pruneyard Shopping Center | Site Improvements

1875 South Bascom Ave. Campbell, CA 95008 Planning Set 3 June 2013



González Architects
Hospitality

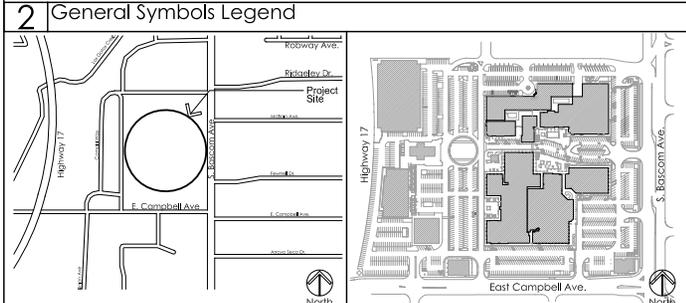
GONZALEZ ARCHITECTS
33 Bull Street, Suite 412
Savannah, GA 31401
1 912 201 9888

Registration Number:
C-32509

ACT	ACOUSTIC CEILING TILE	EW	ELECTRIC WATER COOLER	IN	INCH	PLMB	PLUMBING
AFF	ABOVE FINISHED FLR.	LEV	ELEVATION	INSUL	INSULATION	PLYM	PLYWOOD
AL	ALUMINUM	EQUIP	EQUIPMENT	INT	INTERIOR	PSI	POUNDS/SQUARE INCH
BSMT	BASEMENT	EXP	EXPANSION	JAN	JANITOR	PL	PROPERTY LINE
BLKG	BLOCKING	EXT	EXISTING	JST	JOIST	REF	REFRIGERATOR
BLDG	BUILDING	EXT	EXTERIOR	KP	KICK PLATE	REQD	REQUIRED
CAB	CABINET	FEED	FEEDING	LAV	LAVATORY	ROOM	ROOM
CPT	CARPET	FLR	FLOOR	LG	LENGTH	SECT	SECTION
CLG	CEILING	FOOT	FOOTING	LT	LIGHT	SHEET	SHEET
CEM	CEMENT	FLUOR	FLUORESCENT	MATL	MATERIAL	SIMIL	SIMILAR
CL	CENTER LINE	FR	FRAME	MFR	MANUFACTURER	STC	STANDARD
CT	CERAMIC TILE	FR	FRAME	MACH	MAXIMUM	STD	STANDARD
CLR	CLEAR	FR	FRAME	MCH	MECHANICAL	STRUC	STRUCTURE
COL	COLUMN	GALV	GALVANIZED	MTZ	MEZZANINE	STAIN	STAINLESS STEEL
CONF	CONFERENCE	GC	GENERAL CONTRACTOR	MNL	MINIMUM	SVC	SMOKE VENT
CONC	CONCRETE	GLASS	GLASS	MTD	MOUNTED	TYP	TYPICAL
CONST	CONSTRUCTION	GR	GROUND GRADE	NOM	NOMINAL	UN	UNLESS OTHERWISE NOTED
CL	CONTROL JOINT	GFI	GROUND FAULT INTERRUPT	NTS	NOT TO SCALE	VER	VERIFY IN FIELD
CONT	CONTINUOUS	GYP	GYPSON	OC	ON CENTER	VIB	VIBRATION
CMU	CONCRETE MASONRY UNIT	GWB	GYPSON WALL BOARD	OPD	OVERFLOW DRAIN	VST	VIRY COMP. TILE
DIA	DIAMETER	HC	HANDICAP	PA	PAINTED	WC	WATER CLOSET
DIM	DIMENSION	HW	HARDWARE	PA	PAINTED	WH	WATER HEATER
DISP	DISPENSER	HTR	HEATER	OPD	OVERFLOW DRAIN	W/O	WITHOUT
DWG	DRAWING	HTM	HOLLOW METAL	PR	PAIR	WB	WOOD BLOCKING
		HTV	HOT WATER	FD	FINISHED	WD	WOOD
				PLAM	PLASTIC LAMINATE		

1 Abbreviations

ROOM XXX	ROOM NAME	EARTH	ALUMINUM
X.XXXX	ELEVATION TARGET	GRANULAR FILL	STEEL
—◇—	PARTITION TYPE TAG	CONCRETE	GENERIC HATCH
(X XXX)	DETAIL TARGET	BRICK	PLYWOOD
—XXXXX—	SECTION TARGET	CMU	ACOUSTICAL TILE
(X)	GRID LINE	STONE (CUT OR CAST)	BATT INSULATION
●	LOCATION DATUM/ HT. AFF ELEVATION	GRANITE	RIGID INSULATION
(X)	WINDOW NUMBER TAG	WOOD FRAMING	GYPSON BD (LARGE SCALE)
(X)	DOOR NUMBER TAG	FINISH WOOD	SEALANT BACKER ROD
		SHIMS/BLOCKING	FIBROUS FIRE SAFING
			CERAMIC TILE



3 Vicinity Map

Not to Scale

4 Site Map

Not to Scale

GENERAL PROJECT DATA

Applicant: Gonzalez Architects
32 East Bay Street
Savannah, GA 31401
P - 912.201.9888

Address: 1875 South Bascom Avenue
Campbell, CA 95008
P - 408.796.3277

5 Project Data

DISCIPLINE	SHEET	DESCRIPTION	PLANNING SET	PLANNING SET	PLANNING SET
	T1.01	COVER	●	●	
	T1.02	INDEX	●	●	
	DX1	GRADING AND DRAINAGE PLAN	●	●	
CIVIL	A0.01	PAINTING SCOPE	●	●	
	A0.02	LANDSCAPE SCOPE	●	●	
	A0.10	OVERALL SITE PLAN	●	●	
	A1.00	TYPICAL DEMOLITION PLAN	●	●	
	A1.01	ENLARGED SITE PLAN	●	●	
	A1.02	ENLARGED SITE PLAN	●	●	
	A1.03	ENLARGED SITE PLAN	●	●	
	A1.04	ENLARGED SITE PLAN	●	●	
	A1.05	ENLARGED SITE PLAN	●	●	
	A1.06	ENLARGED SITE PLAN	●	●	
	A1.07	ENLARGED SITE PLAN	●	●	
	A1.08	ENLARGED SITE PLAN	●	●	
ARCHITECTURE	A2.01	TYPICAL EXISTING ELEVATION	●	●	
	A2.02	TYPICAL EXISTING ELEVATION	●	●	
	A2.03	TYPICAL EXISTING ELEVATION	●	●	
	A2.04	TYPICAL EXISTING ELEVATION	●	●	
	A2.05	TYPICAL PROPOSED ELEVATION	●	●	
	A2.06	TYPICAL PROPOSED ELEVATION	●	●	
	A2.07	TYPICAL PROPOSED ELEVATION	●	●	
	A2.08	TYPICAL PROPOSED ELEVATION & PART SCHEDULE	●	●	
	A4.01	SITE DETAILS	●	●	
LANDSCAPING	L0.0	TREE REMOVAL PLAN	●	●	
	L1.01	PLANTING PLAN	●	●	
	L1.02	PLANTING PLAN	●	●	
	L1.03	PLANTING PLAN	●	●	
	L1.04	PLANTING PLAN	●	●	
	L1.05	PLANTING PLAN	●	●	
	L1.06	PLANTING PLAN	●	●	
	L1.07	PLANTING PLAN	●	●	
	L1.08	PLANTING PLAN	●	●	
	D1.0	CONSTRUCTION DETAILS	●	●	
	D2.0	WATER EFFICIENT LANDSCAPE WORKSHEETS	●	●	

6 Index of Drawings

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



Project No: 1875 South Bascom Avenue, Campbell, CA 95008
Date: 11/19/03, 03/18/06, 7/11/03, 03/10/04

Project Name: Pruneyard Shopping Center

Project No: 1875 South Bascom Avenue

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Project No: 1875 South Bascom Avenue

Project Name: Pruneyard Shopping Center

Index

Scale: As Shown

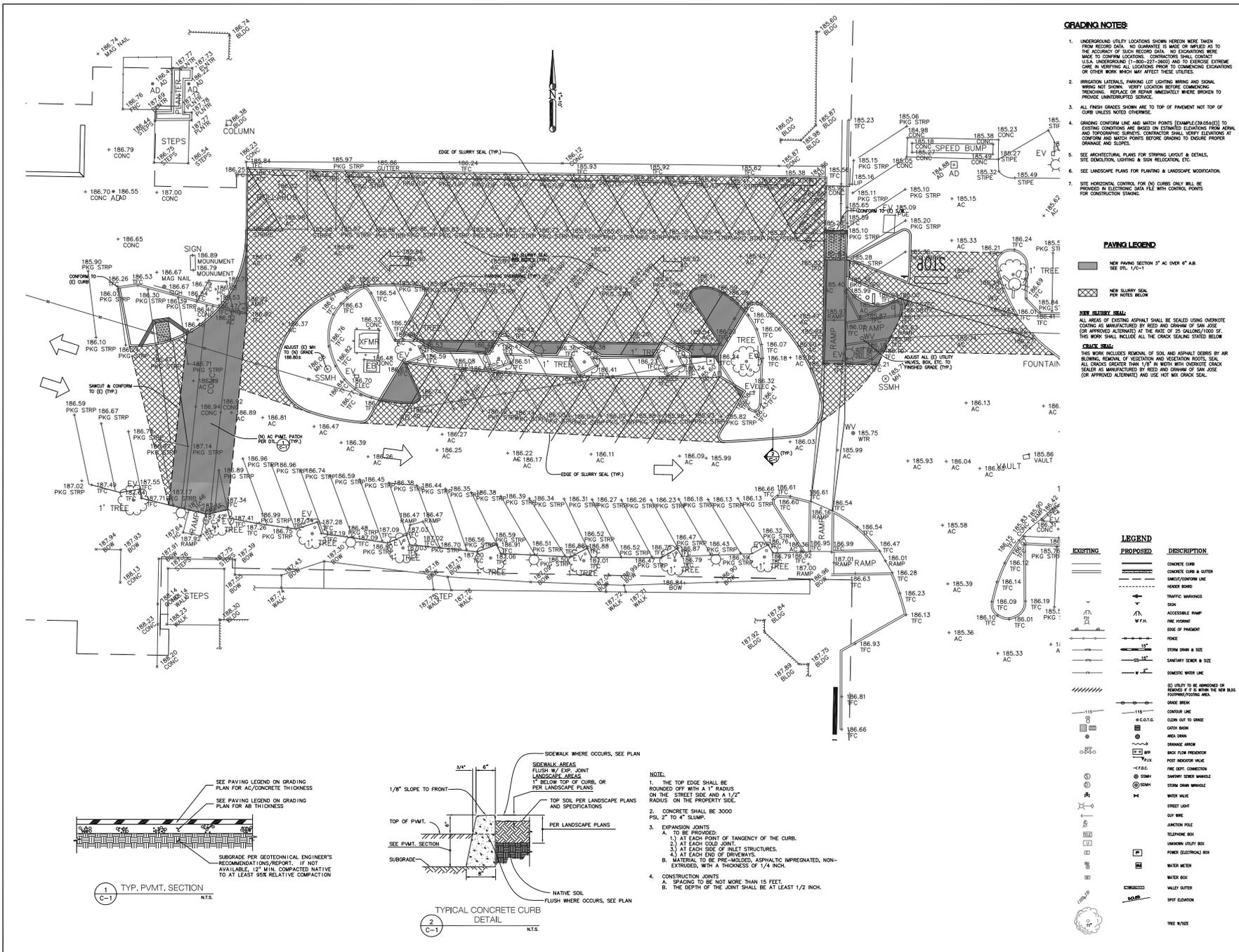
Date: 07/04/13

Drawn By: JSD

Project No: 1875 South Bascom Avenue

Project Name: Pruneyard Shopping Center

T1.01



- GRADING NOTES:**
- UNDERGROUND UTILITY LOCATIONS SHOWN HEREIN WERE TAKEN FROM RECORD DATA. NO GUARANTEE IS MADE OR IMPLIED AS TO THE ACCURACY OF SUCH RECORD DATA. NO EXCAVATIONS WERE MADE TO CONFIRM LOCATIONS. CONTRACTOR SHALL CONSULT U.S.A. UNDERGROUND (1-800-227-2800) AND TO EXERCISE EXTREME CARE IN VERIFYING ALL LOCATIONS PRIOR TO COMMENCING EXCAVATIONS OR OTHER WORK WHICH MAY AFFECT THESE UTILITIES.
 - IRRIGATION LATERALS, PARKING LOT LIGHTING WIRING AND SIGNAL WIRING NOT SHOWN. VERIFY LOCATION BEFORE COMMENCING TRENCHING. REPLACE OR REPAIR IMMEDIATELY WHERE BROKEN TO PROVIDE UNINTERRUPTED SERVICE.
 - ALL FINISH GRADES SHOWN ARE TOP OF PAVEMENT NOT TOP OF CURB UNLESS NOTED OTHERWISE.
 - GRADING CONTAIN LINE AND MATCH POINTS (EXAMPLE: 186.23/185.23) TO EXISTING CONDITIONS AND BASED ON ESTIMATED ELEVATIONS FROM NORMAL AND TOPOGRAPHIC SURVEYS. CONTRACTOR SHALL VERIFY ELEVATIONS AT CORNERS AND MATCH POINTS BEFORE GRADING TO ENSURE PROPER DRAINAGE AND SLOPES.
 - SEE ARCHITECTURAL PLANS FOR STRIPING LAYOUT & DETAILS. LANDSCAPE LIGHTING & SIGN RELOCATION, ETC.
 - SEE LANDSCAPE PLANS FOR PLANTING & LANDSCAPE MODIFICATION.
 - SEE HORIZONTAL CONTROL FOR (N) CURBS ONLY WILL BE PROVIDED IN ELECTRONIC DATA FILE WITH CONTROL POINTS FOR CONSTRUCTION STAKING.

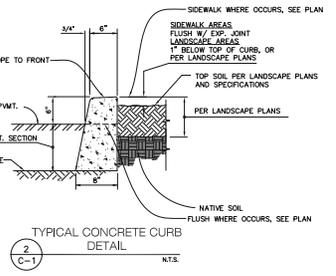
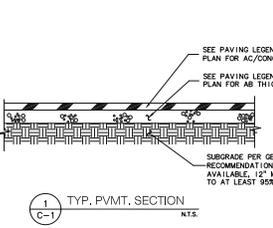
- PAVING LEGEND**
- NEW PAVING SECTION 2" AC OVER 6" AB
SEE DET. 170-C-1
 - NEW SLURRY SEAL
PER NOTES BELOW

NEW SLURRY SEAL
ALL AREAS OF EXISTING ASPHALT SHALL BE SEALED USING OVERNOTE COATING AS MANUFACTURED BY REED AND SHOWN OF SAN JOSE OR APPROVED ALTERNATE AT THE DISCRETION OF THE ENGINEER. THIS WORK SHALL INCLUDE ALL THE CRACK SEALING STATED BELOW.

CRACK SEAL
THIS WORK INCLUDES REMOVAL OF SOIL AND ASPHALT DEBRIS BY AIR BLOWING, REMOVAL OF VEGETATION AND VEGETATION ROOTS. SEAL ALL CRACKS GREATER THAN 1/4" IN WIDTH WITH OVERNOTE CRACK SEALER AS MANUFACTURED BY REED AND SHOWN OF SAN JOSE OR APPROVED ALTERNATE AND USE HOT BIT CRACK SEAL.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	CONCRETE CURB
---	---	CONCRETE CURB & OUTLET
---	---	UNPAVED CONC. DRIVE LINE
---	---	HEADER BOARD
---	---	TRAFFIC MARKINGS
---	---	SOIL
---	---	ACCESSIBLE RAMP
---	---	FIRE HOSE BOX
---	---	EDGE OF PAVEMENT
---	---	FENCE
---	---	STORM DRAIN & SIZE
---	---	SANITARY SEWER & SIZE
---	---	DOMESTIC WATER LINE
---	---	CRACK SEAL
---	---	CONTOUR LINE
---	---	CLEAN OUT TO GRADE
---	---	ORCHY BUSH
---	---	RED BUSH
---	---	DRAINAGE BARRIERS
---	---	BACK FLOW PREVENTOR
---	---	POST AND/OR SIGN
---	---	FIRE STOP CONCRETE
---	---	SANITARY STREET VEHICLE
---	---	STORM DRAIN VEHICLE
---	---	WATER VALVE
---	---	STREET LIGHT
---	---	SOFT WIRE
---	---	JUNCTION POLE
---	---	TELEPHONE BOX
---	---	UNKNOWN UTILITY BOX
---	---	POWER ELECTRICAL BOX
---	---	WATER METER
---	---	WATER BOX
---	---	WALKER VALVE
---	---	SPOT ELEVATION
---	---	TREE WHITE



- NOTE:**
- THE TOP EDGE SHALL BE ROUNDED OFF WITH A 1" RADIUS ON THE STREET SIDE AND A 1/2" RADIUS ON THE PROPERTY SIDE.
 - CONCRETE SHALL BE 3000 PSI, 2" TO 4" SLUMP.
 - EXPANSION JOINTS A. TO BE PROVIDED: 1.) AT EACH POINT OF TANGENCY OF THE CURB. 2.) AT EACH COLD JOINT. 3.) AT EACH SIDE OF INLET STRUCTURES. 4.) AT EACH END OF DRIVEWAYS. B. MATERIAL TO BE PRE-MIXED, ASPHALTIC IMPREGATED, NON-EXTRUDED, WITH A THICKNESS OF 1/4 INCH.
 - CONSTRUCTION JOINTS A. SPACING TO BE NOT MORE THAN 15 FEET. B. THE DEPTH OF THE JOINT SHALL BE AT LEAST 1/2 INCH.

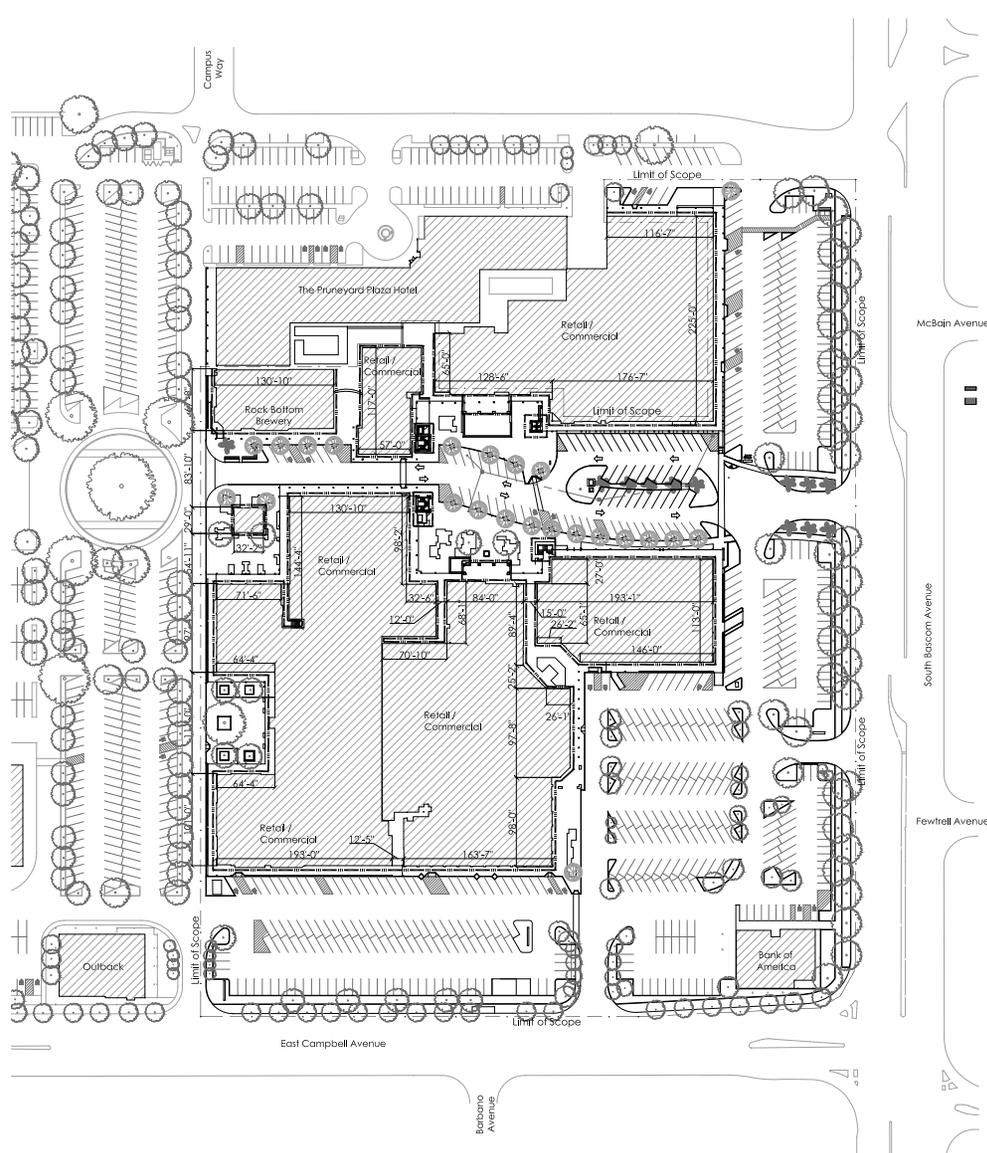
BRIC Engineering
INCORPORATED
8888 The Alameda, Suite 210
San Jose, CA 95128
Tel: (408) 240-5454
Fax: (408) 240-5483

GRADING AND DRAINAGE PLAN

PRUNEYARD PLAZA
CAMPBELL, CA

Date: 05/08/13
Checked: D. VALDEZ
Designer: D. VALDEZ
Drawn By: K. NAGAR
Scale: AS SHOWN
Title: PRUN1301

C-1
Sheet(s)



NOTE: See enlarged plans for further delineation of scope.

1 Painting Scope Plan
1/64"=1'-0"

PAINTING NOTES:

- 1-All painting shall be limited to the areas as graphically designated in these plans and shall be coordinated between Owner, Tenants, GC, and Architect.
- 2- Painting scope shall consist of first and second floor vertical surfaces as well as stair enclosures, canopy columns, and underside of canopies.
- 3-All surfaces to be properly cleaned, sanded, etc prior to painting. All new stucco shall be sand finish and properly prepared to receive paint finish.
- 4- Existing permanent concrete planter beds within limit of scope to receive new paint finishes.
- 5- Painting to occur in the approximate linear footage of building frontage, as measured along the ground level storefronts as designated. This areas must be field verified; 4,640 Feet

----- = Painting Scope

2 Painting Notes

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



Registration No. 13 State of California, CA 1342
002597 1/1 9/10/2018 886.8 11 9/10/2018 1040

Rev.	Date	Description
1	08-24-18	Revised
2	08-24-18	Revised

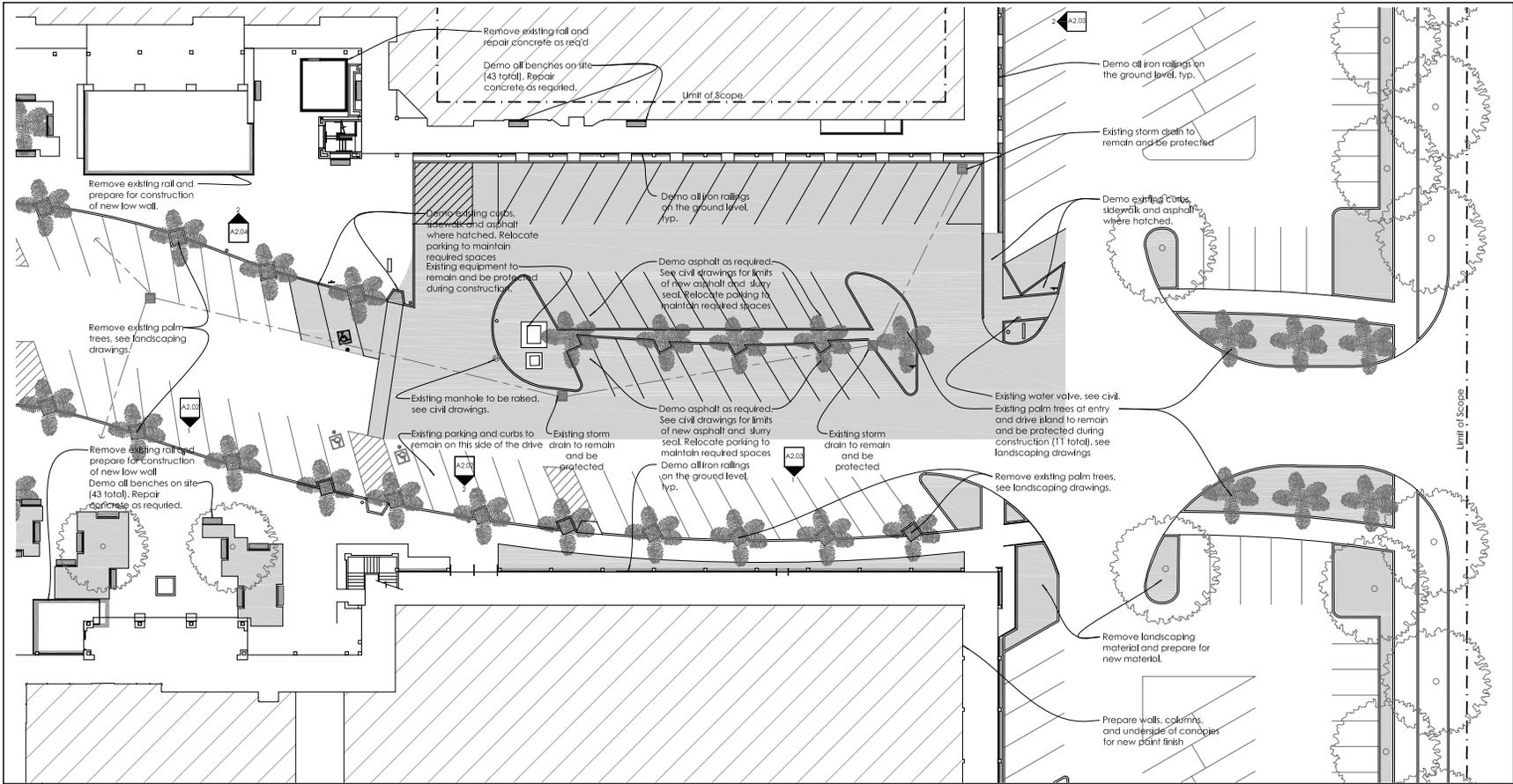
Drawing Title	
Painting Scope Plan	
Scale	As Shown
Date	08/24/18
Drawn By	SSD
Reviewed	SSD
Drawing No.	

A0.01

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Typical Demolition Plan
1/16/2010

- Remove all miscellaneous movable planters, second floor flower boxes and drip lines, fountains, etc. from within the limit of scope.
- Replace damaged concrete sections and caulking, where noted, with new. All new concrete to have integral color and match existing color of adjacent concrete
- Loose flagstones at existing tree bases to be replaced with decomposed granite
- All wrought iron railings on the ground level and within the limit of scope to be removed (U.O.N.) See plans for locations of new low walls to replace
- Remove all rope lighting from existing trees.
- Coordinate with owner on modifying existing signage
- Where a curb ramp exists without truncated domes they shall be installed per minimum requirements of detail I2/A4.01

2 Notes

Redrawn by: [blank] Date: [blank]
 13 Star City Street, Campbell, CA 95008
 T: (415) 551-1886 F: (415) 551-1240

Rev.	Date	Description
1	08-24-10	Revised
2	08-24-10	Revised

Drawing Title:	
Typical Demolition Plan	
Scale:	As Shown
Date:	07/24/10
Drawn By:	SSD
Reviewed By:	SSD
Drawing No.:	0200

A1.00

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



Enlarged Site Plan

Registration No. 13 State of California, CA License No. 1319102, 501 4866, F + T (916) 501 1040

Project No. 18-001-01

Site Date: 08/24/18

Drawn By: JSD

Checked By: JSD

Project No. 18-001-01

Drawing No.

Scale: 1/16"=1'-0"

Date: 08/24/18

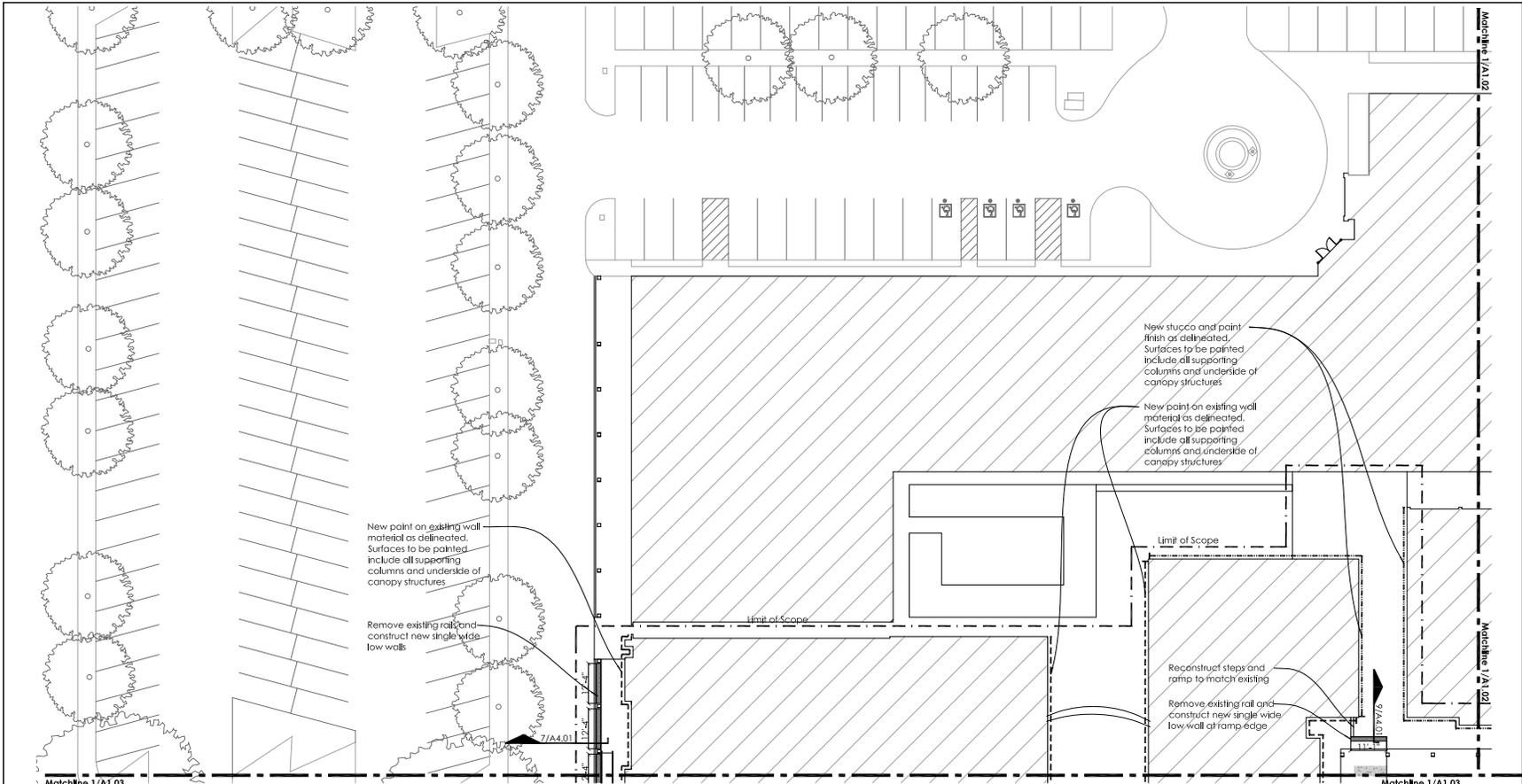
Drawn By: JSD

Checked By: JSD

Project No. 18-001-01

Drawing No.

A1.01



1 Enlarged Site Plan - Section A1

- Remove all miscellaneous movable planters, second floor flower boxes and drip lines, fountains, etc. from within the limit of scope.
- Replace damaged concrete sections and caulking, where noted, with new. All new integral color concrete to match existing construction type and color of adjacent concrete. All new concrete to be broom finish.
- Loose flagstones at existing tree bases to be replaced with decomposed granite.
- All wrought iron railings on the ground level and within the limit of scope to be removed (U.O.N.) See plans for locations of new low walls to replace.
- Remove all rope lighting from existing trees.
- Coordinate with owner on modifying existing signage.
- Where a curb ramp exists without truncated domes they shall be installed per minimum requirements of detail 12/A4.01.

2 Notes

- New Single Wide Low Wall
- New Double Wide Low Wall
- ☼ New Deciduous Tree
- ☼ Existing Palm to Remain
- New Asphalt
- New Grass/Landscaping - Maintenance
- New Infill Concrete Walkway - Maintenance
- ☼ Existing Deciduous Tree to Remain
- New Stucco with New Paint Finish
- New Paint on Existing Stucco

3 Legend

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



Enlarged Site Plan

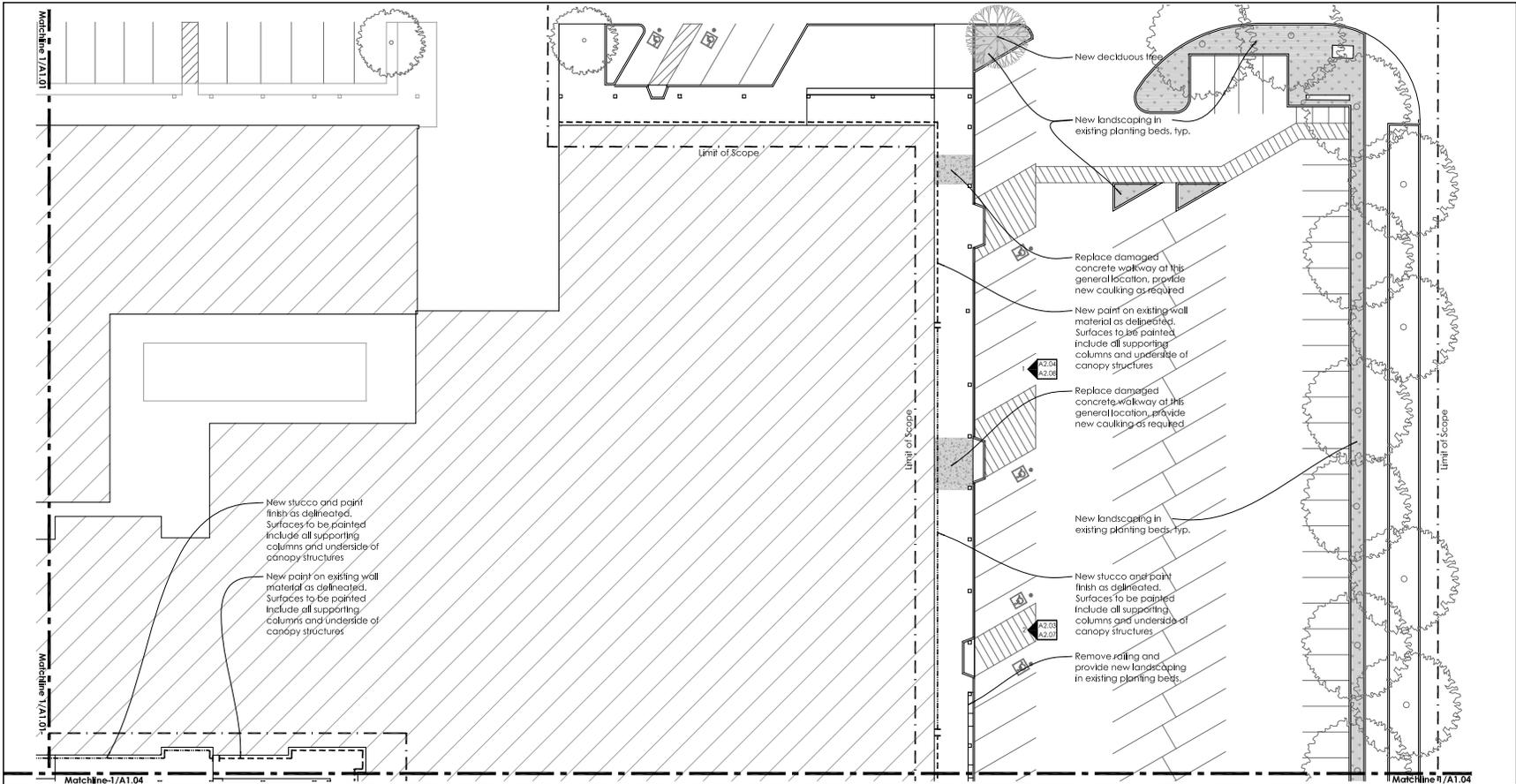
Registration No. 13 State of California, CA 10001
C02059 11/19/02, 05/18/06, 7/11/02, 05/10/04

Revised/Added	
No.	Description
1	05-24-13 Revising Set
2	05-24-13 Revising Set - Revising Set

Drawing No.

Scale	As Shown
Date	05/24/13
Drawn by	SSD
Reviewed	SSD
Drawing No.	0200

A1.02



1 Enlarged Site Plan - Section A2

- Remove all miscellaneous movable planters, second floor flower boxes and drip lines, fountains, etc. from within the limit of scope.
- Replace damaged concrete sections and caulking, where noted, with new. All new integral color concrete to match existing construction type and color of adjacent concrete. All new concrete to be broom finish.
- Loose flagstones at existing tree bases to be replaced with decomposed granite
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- Remove all rope lighting from existing trees.
- Coordinate with owner on modifying existing signage
- Where a curb ramp exists without truncated domes they shall be installed per minimum requirements of detail I2/A4.01

2 Notes

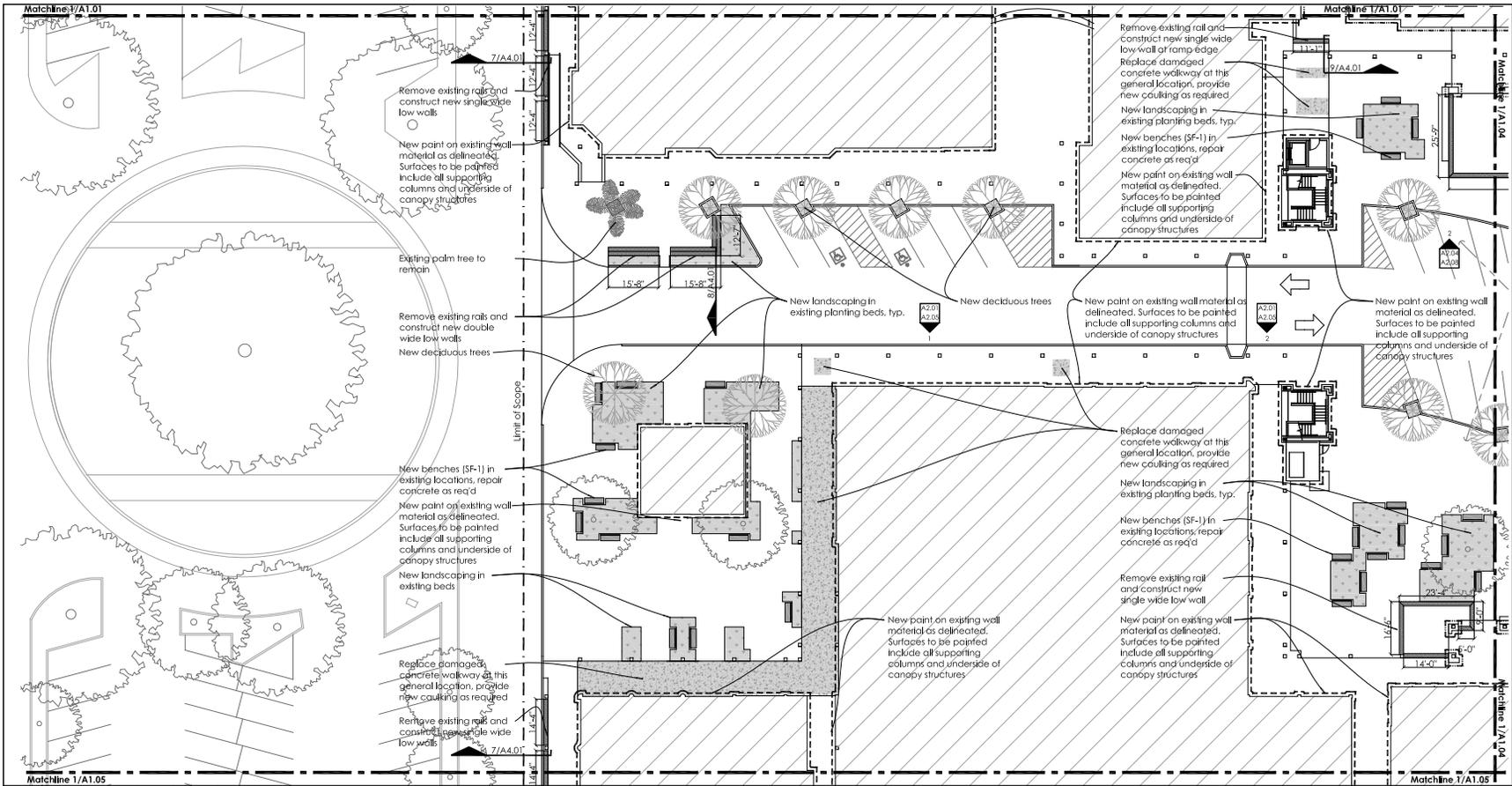
- New Single Wide Low Wall
- New Double Wide Low Wall
- New Deciduous Tree
- Existing Palm to Remain
- New Asphalt
- New Grass/Landscaping - Maintenance
- New Infill Concrete Walkway - Maintenance
- Existing Deciduous Tree to Remain
- New Stucco with New Paint Finish
- New Paint on Existing Material

3 Legend

The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Enlarged Site Plan - Section B1
1/16"=1'-0"

- Remove all miscellaneous movable planters, second floor flower boxes and drip lines, fountains, etc. from within the limit of scope.
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- Remove all rope lighting from existing trees.
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- Where a curb ramp exists without truncated domes they shall be installed per minimum requirements of detail 12/A4.01

2 Notes

- New Single Wide Low Wall
- New Double Wide Low Wall
- 🌳 New Deciduous Tree
- 🌴 Existing Palm to Remain
- New Asphalt
- New Grass/Landscaping - Maintenance
- New Infill Concrete Walkway - Maintenance
- 🌳 Existing Deciduous Tree to Remain
- New Stucco with New Paint Finish
- New Paint on Existing Material

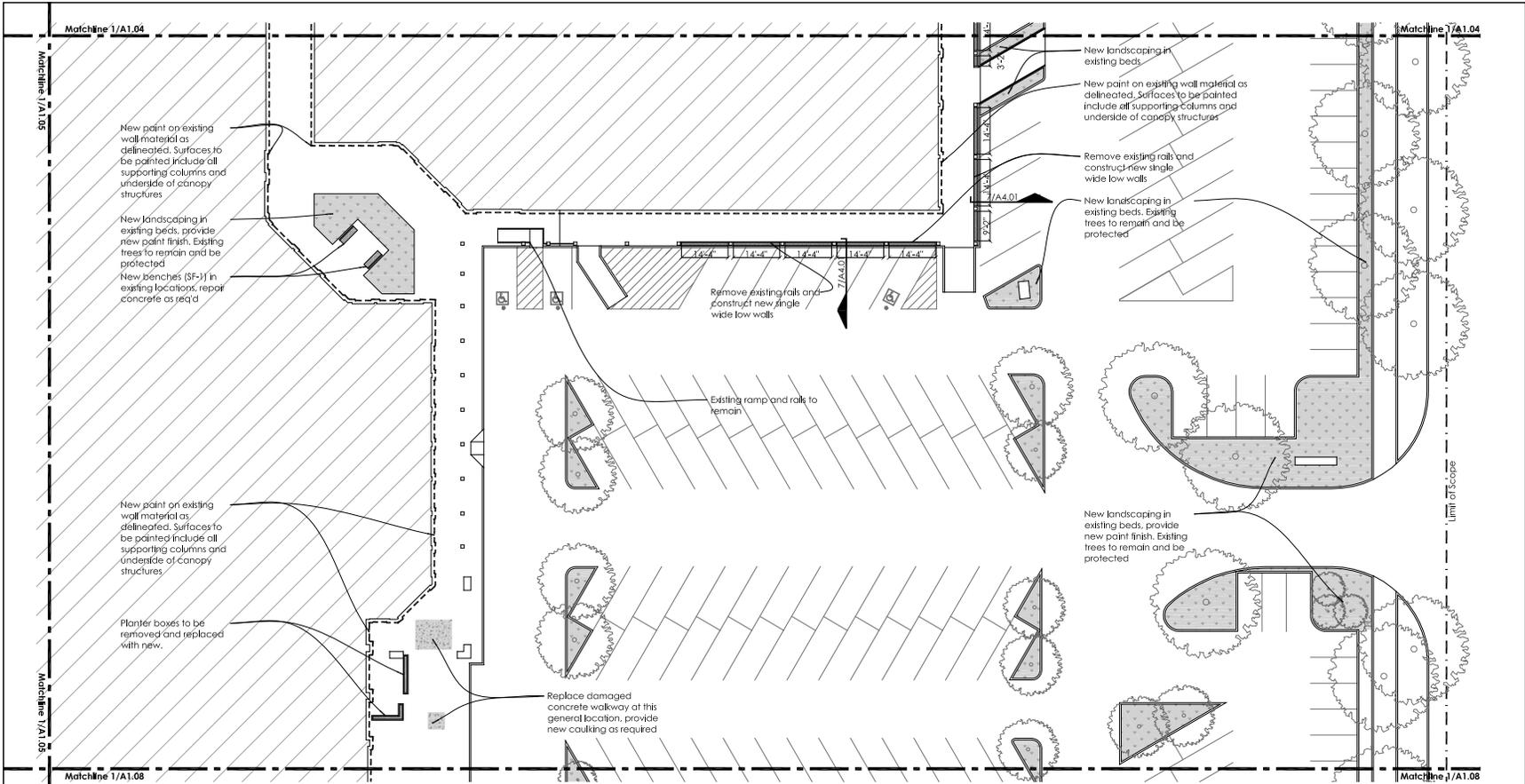
3 Legend

Registration No. 13 000 0000
C-00000 13 000 0000

No.	Date	Description
1	05-24-13	Preparation
2	08-26-13	Revised per design

Scale	As Shown
Date	05/24/13
Drawn By	SSS
Checked By	SSS
Drawn By	SSS
Checked By	SSS

A1.03



1 Enlarged Site Plan - Section C2
1/16" = 1'-0"

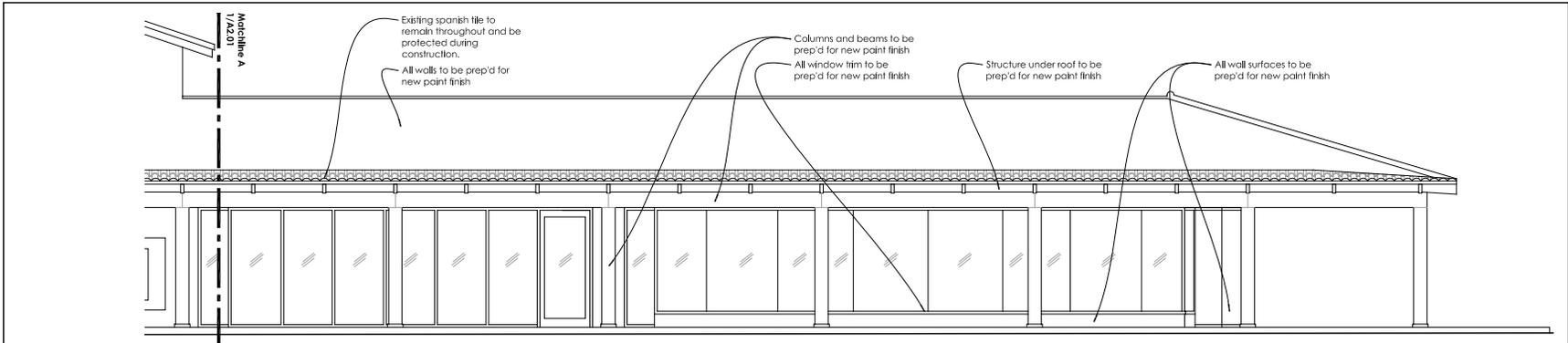
- Remove all miscellaneous movable planters, second floor flower boxes and drip lines, fountains, etc. from within the limit of scope.
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- New Single Wide Low Wall
- New Double Wide Low Wall
- New Deciduous Tree
- Existing Palm to Remain
- New Asphalt
- New Grass/Landscaping - Maintenance
- New Infill Concrete Walkway - Maintenance
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- New Stucco with New Paint Finish
- New Paint on Existing Material

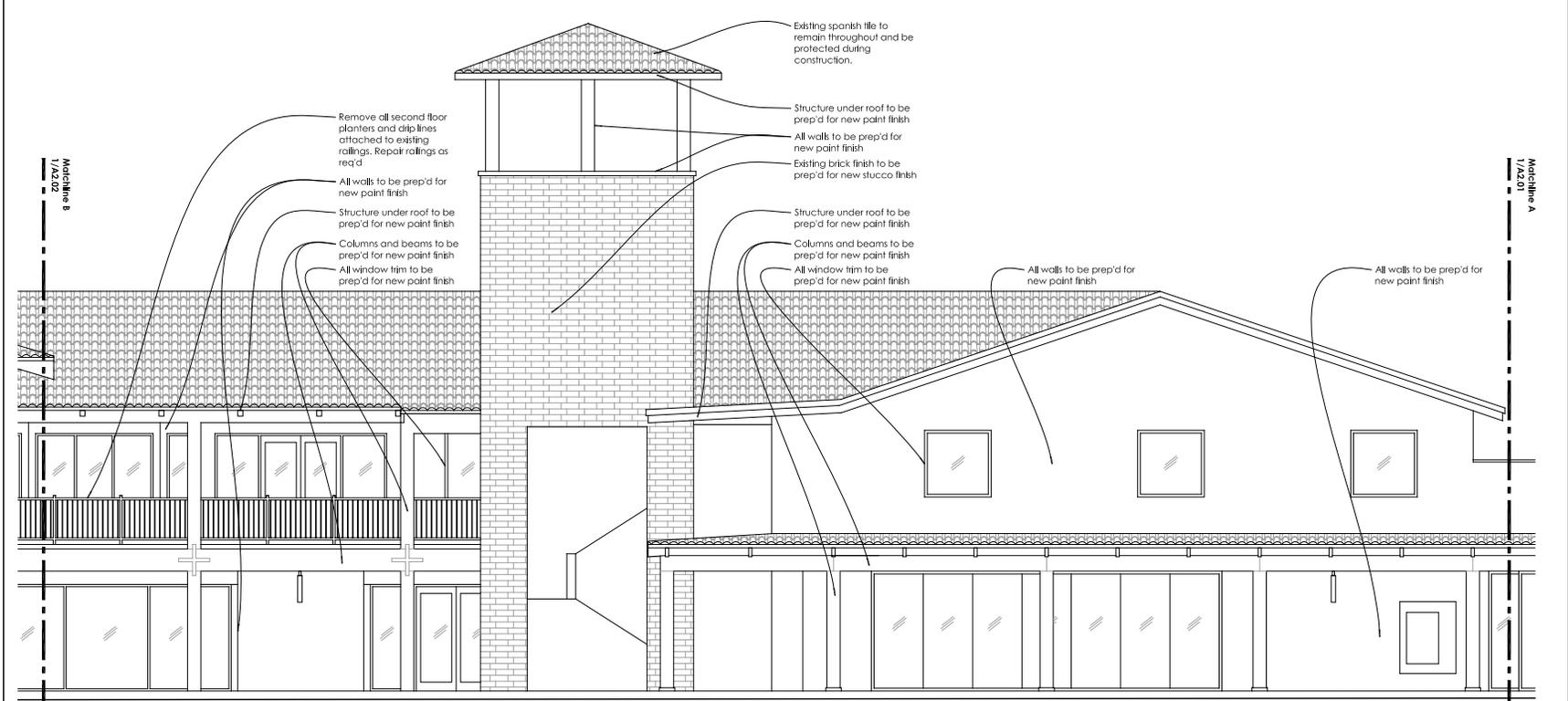
2 Notes

3 Legend

Project No.	13	Rev. No.	00000
Client	13 Bascom Blvd, Campbell, CA 95008	Date	11/19/02, 01/18/06, 7/19/02, 02/12/04
Architect			
Scale	As Shown	Drawn By	SD
Date	02/12/02	Checked By	SD
Project	13-02-02	Project No.	13-02-02
Drawing No.	Enlarged Site Plan		
Scale	As Shown	Drawn By	SD
Date	02/12/02	Checked By	SD
Project	13-02-02	Project No.	13-02-02
Drawing No.	Enlarged Site Plan		



1 Typical Existing Elevation
1/4"=1'-0"



2 Typical Existing Elevation
1/4"=1'-0"



Registration No. 002597 13 First St., Mendocino, CA 95621
Tel: 707.837.8866 Fax: 707.837.1040

Revised/Issued	
Rev.	Description
1	08-24-13 Reprint Set
2	08-24-13 Reprint Set - Reprint #1

Drawing Title

Typical Existing Elevations

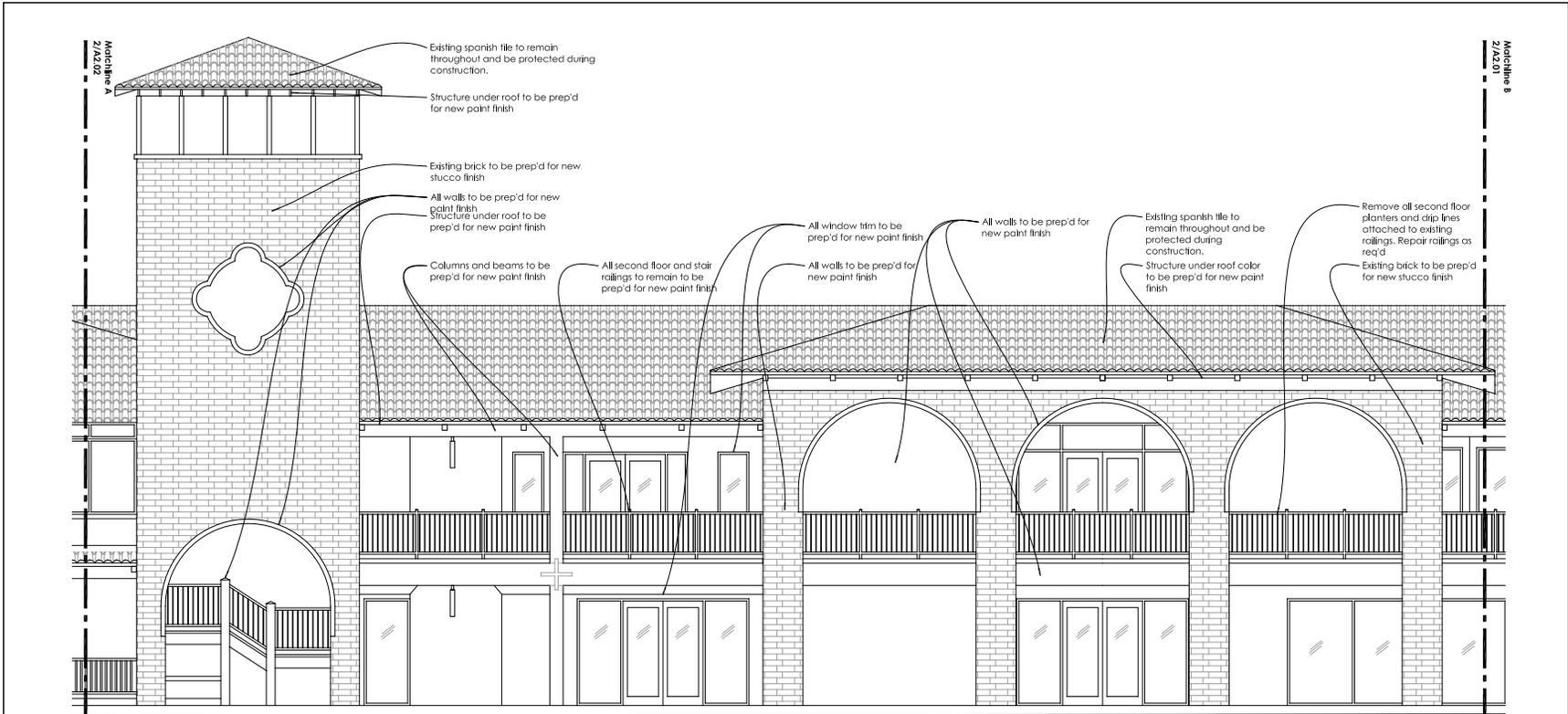
Scale	As Shown
Date	07/24/13
Drawn By	SSD
Checked By	SSD
Drawn By (in)	
Checked By (in)	

A2.01

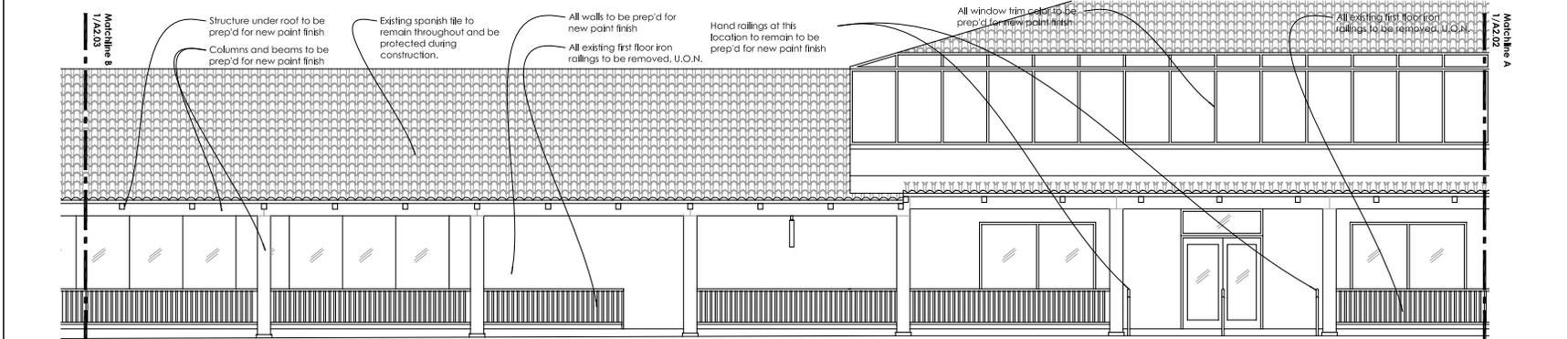
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Typical Existing Elevation
1/4"=1'-0"



2 Typical Existing Elevation
1/4"=1'-0"

Reduction Set
04/20/17
13 Star City Street, Campbell, CA 95008
Tel: 415.992.5071 FAX: 415.992.5071

Rev.	Date	Description
1	04-20-17	Revised Set
2	04-25-17	Revised Set - Revisions

Drawing Title
Typical Existing Elevations

Scale: 1/4"=1'-0"

Date: 04/20/17

Drawn By: JES

Reviewed By: JES

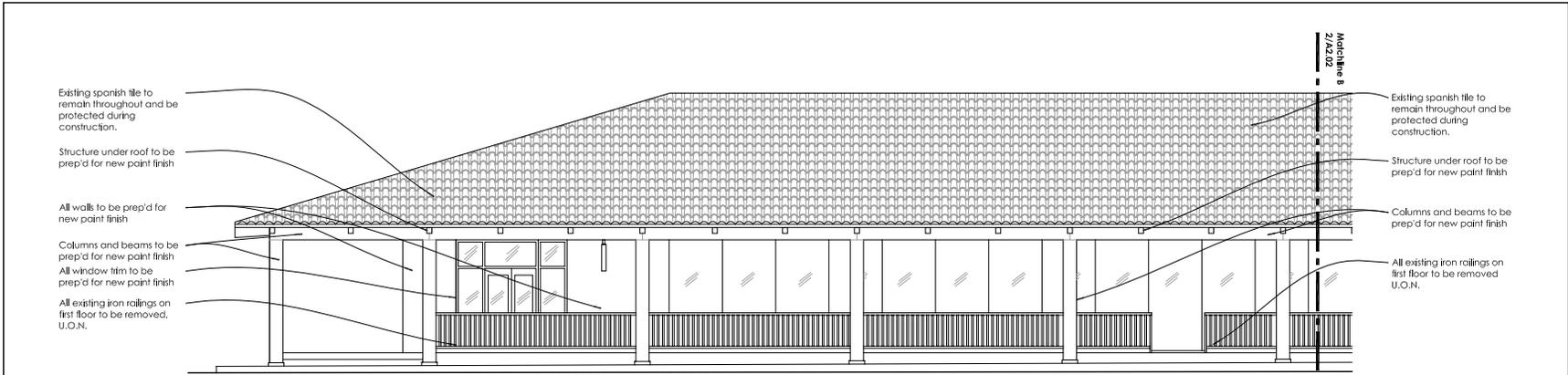
Drawing No.: A2.02

A2.02

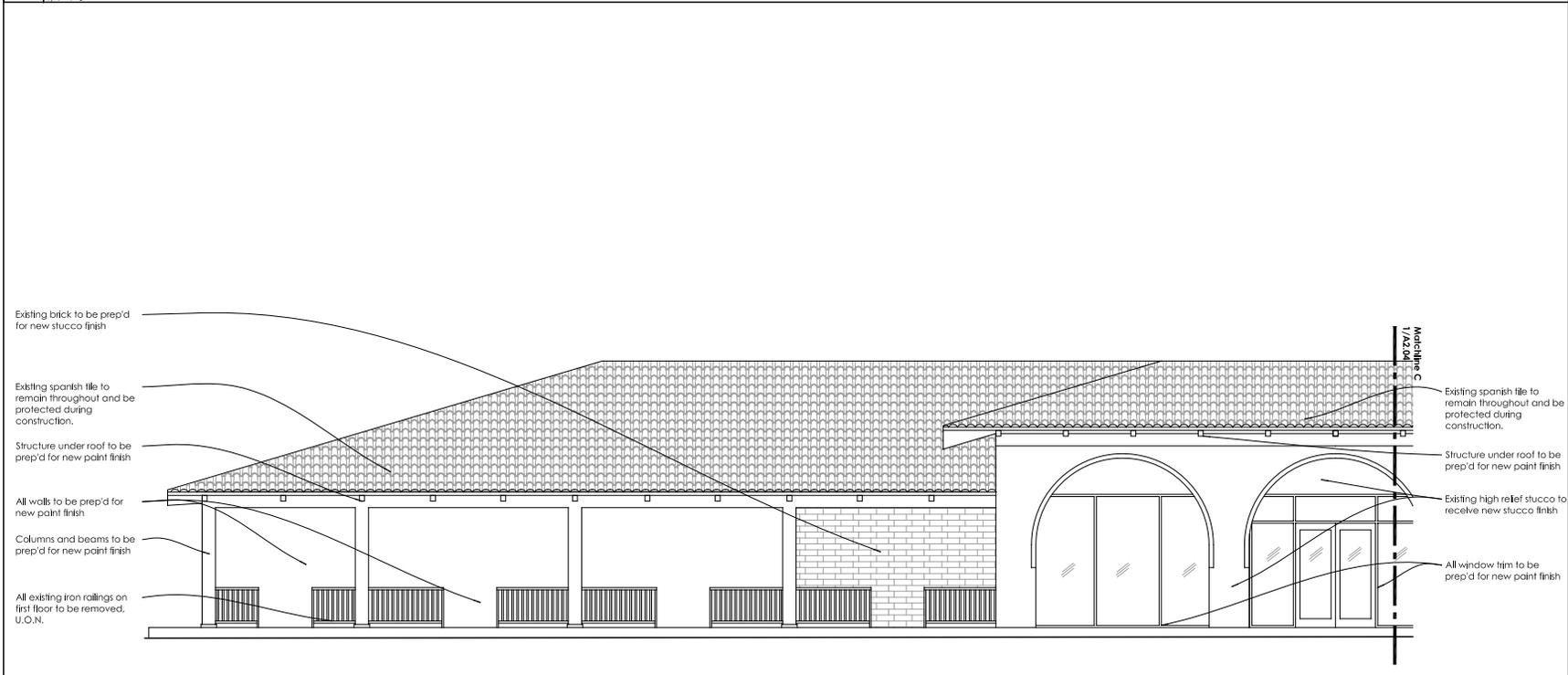
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Typical Existing Elevation
1/4"=1'-0"



2 Typical Existing Elevation
1/4"=1'-0"



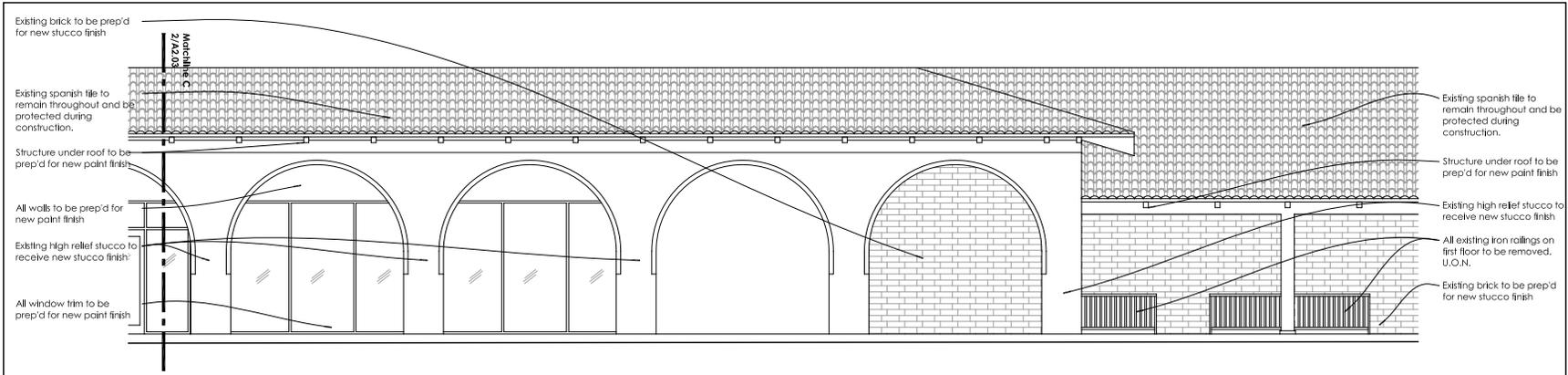
Project No.	1875 S. Bascom Avenue, Campbell, CA 95008
Client	1875 S. Bascom Avenue, Campbell, CA 95008
Architect	González Architects Commercial
Date	08-25-13
Revision	08-25-13 Rev. 01 - Final

Typical Existing Elevations	
Scale	As Shown
Date	08/25/13
Drawn By	JSD
Reviewed By	JSD
Drawing No.	A2.03

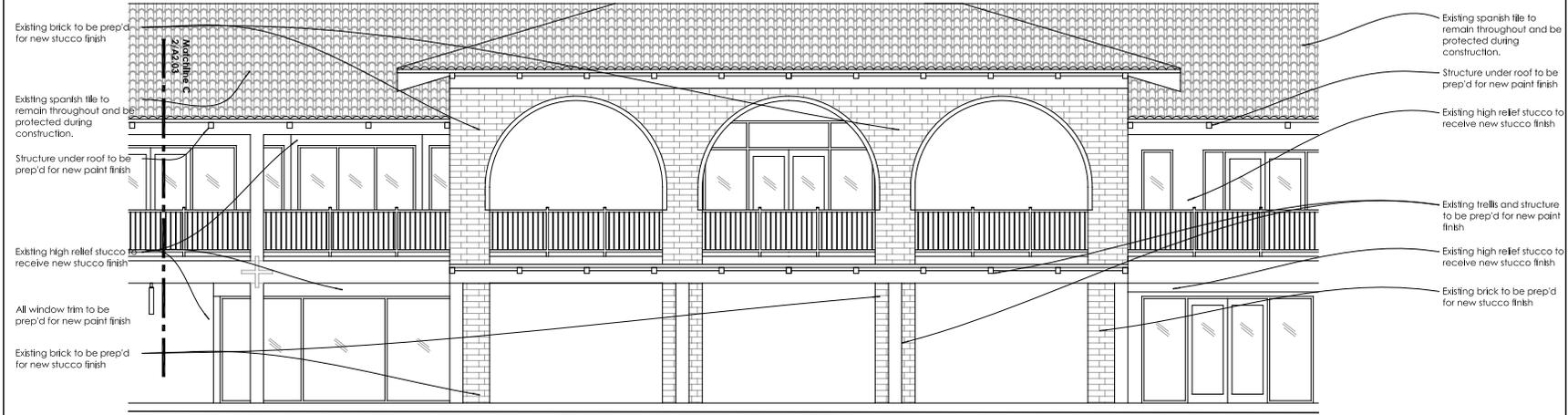
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Typical Existing Elevation
1/4"=1'-0"



2 Typical Existing Elevation
1/4"=1'-0"



Redrawn by: [Name] 10/10/01
Checked by: [Name] 11/11/01

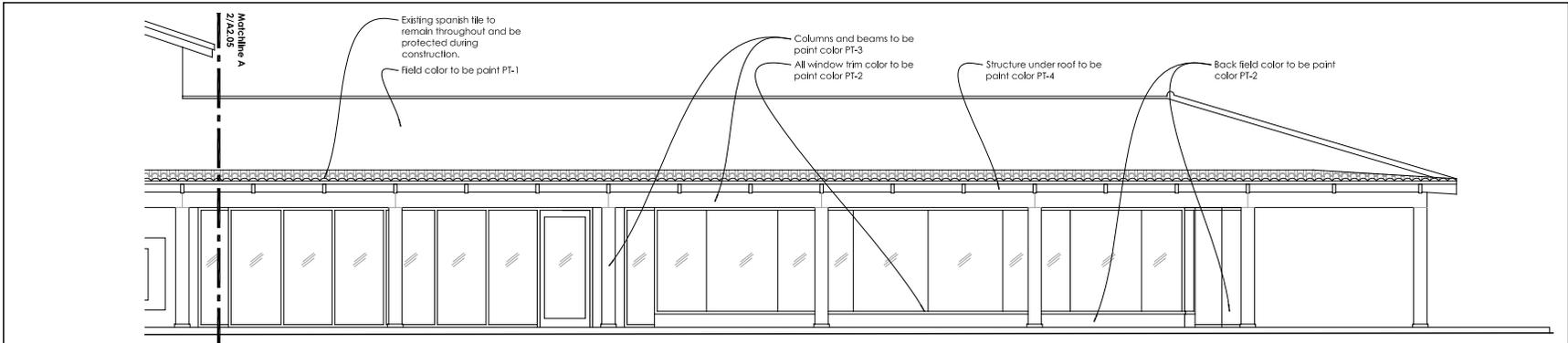
Rev.	Date	Description
1	08-25-01	Revised
2	08-25-01	Revised

Drawing Title	
Typical Existing Elevations	
Scale	As Shown
Date	07/01/01
Drawn by	[Name]
Checked by	[Name]
Drawn by	[Name]
Checked by	[Name]
Drawing No.	A2.04

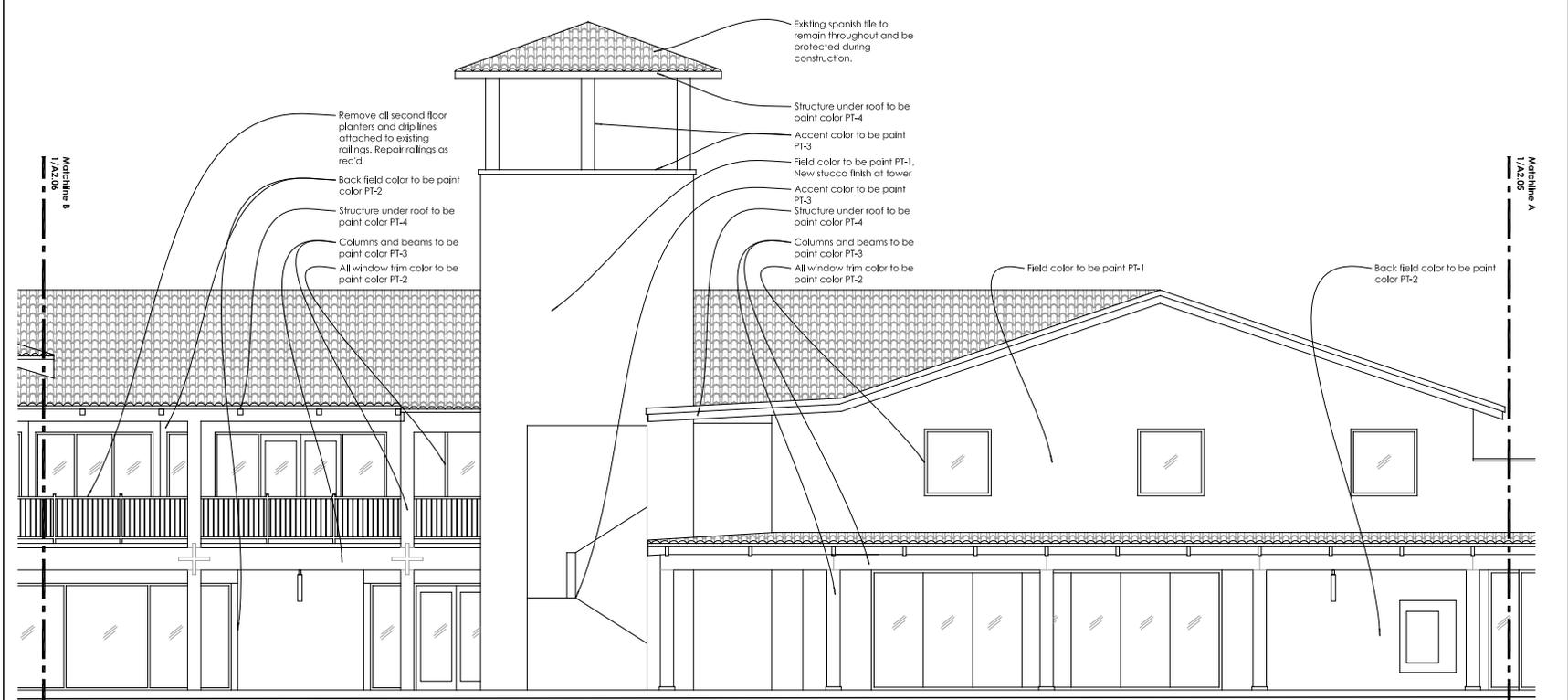
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Partial Typical Elevation
1/4"=1'-0"



2 Partial Typical Elevation
1/4"=1'-0"



Registration No. 002597 13 San Jose, (United States), CA, 95128
Tel: 1 415 351 7886 F: 1 415 351 1240

Project/Sheet	
No.	Date
1	08-24-13
2	08-24-13

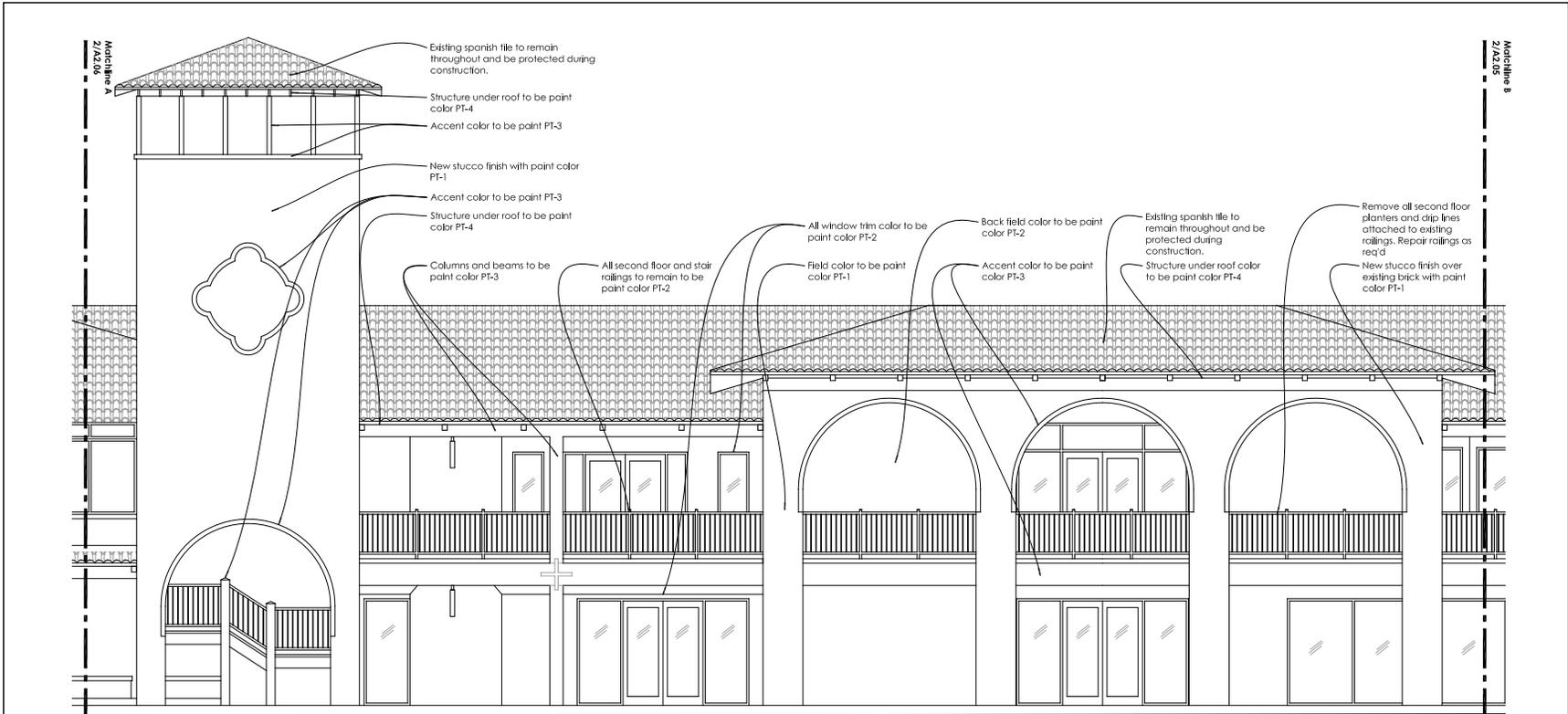
Drawing Title	
Typical Proposed Elevation	
Scale	As Shown
Date	07/04/13
Drawn By	SSD
Checked By	SSD
Drawn By	SSD
Checked By	SSD
Drawn By	SSD

A2.05

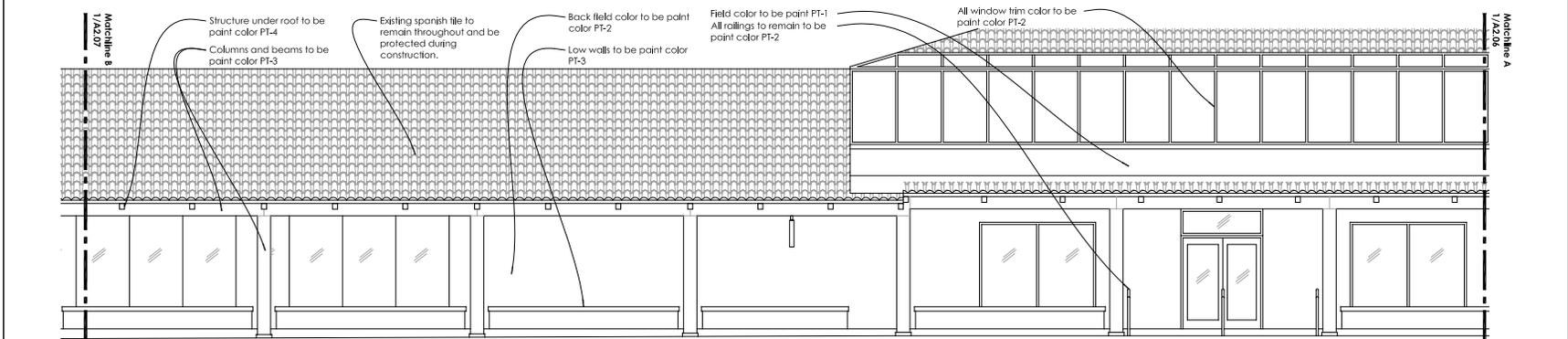
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Partial Typical Elevation
1/4"=1'-0"



2 Partial Typical Elevation
1/4"=1'-0"

Reduction Set
04/20/07

13 Star City Street, Campbell, CA 95008
Tel: 415.221.8866 Fax: 415.221.0240

Rev.	Date	Description
1	04-25-07	Revised Set
2	08-24-07	Revised Set - Revisions

Drawing Title
Typical Proposed Elevation

Scale: 1/4"=1'-0"

Date: 07/12/06

Drawn By: JES

Reviewed: JES

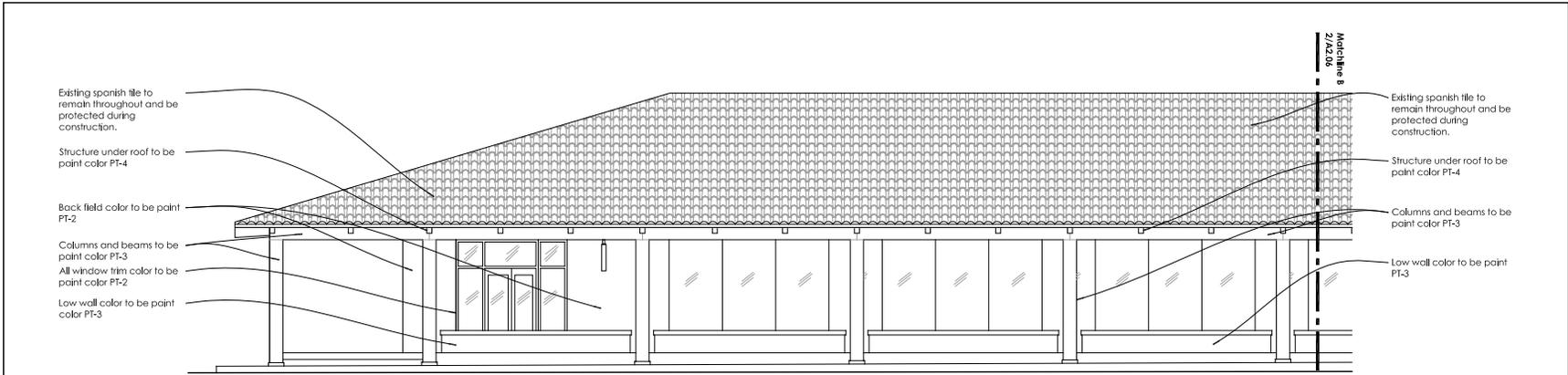
Drawing No: A2.06

A2.06

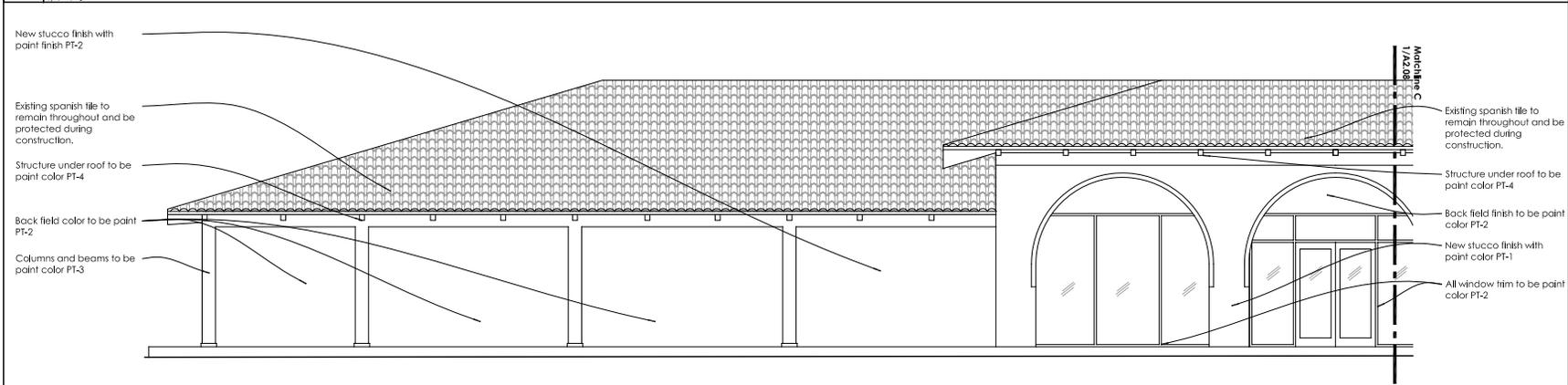
The Pruneyard Shopping Center

Site Improvements

1875 S. Bascom Avenue
Campbell, CA, 95008



1 Partial Typical Elevation
1/4"=1'-0"



2 Partial Typical Elevation
1/4"=1'-0"

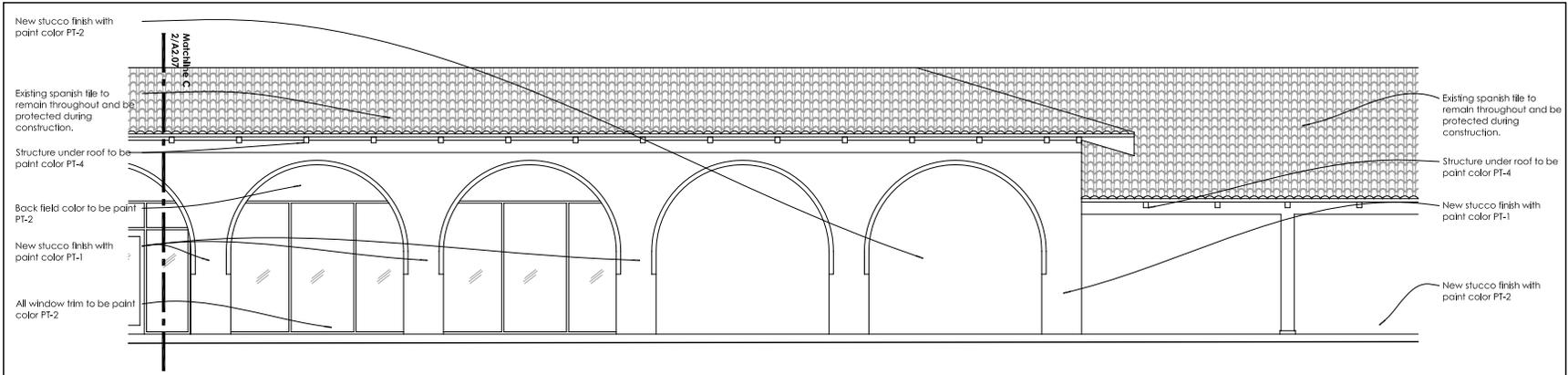


Project No.	13
Client	1875 S. Bascom Avenue, Campbell, CA 95008
Architect	González Architects Commercial
Scale	1/4"=1'-0"
Date	08-25-13
Drawn by	PT
Checked by	PT
Project No.	13

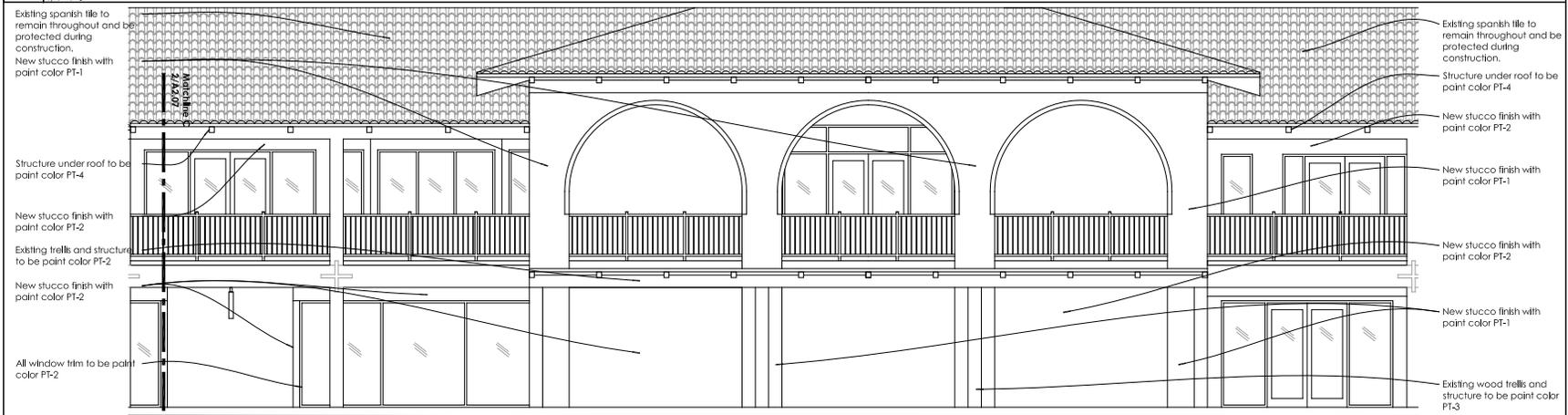
Typical Proposed Elevation

Scale	1/4"=1'-0"
Date	08-25-13
Drawn by	PT
Checked by	PT
Project No.	13

A2.07



1 Typical Partial Elevation
1/4"=1'-0"



2 Typical Partial Elevation
1/4"=1'-0"

TAG	ITEM	MANUFACTURER	DESCRIPTION
PT-1	Field Paint	Benjamin Moore	Prime: 023 Fresh Start Acrylic Primer, 2 Coats - Moonlight White 2143-60
PT-2	Trim & Rolling Paint	Benjamin Moore	Prime: 023 Fresh Start Acrylic Primer, 2 Coats - Ashwood OC-47
PT-3	Accent Paint	Benjamin Moore	Prime: 023 Fresh Start Acrylic Primer, 2 Coats - Senora Gray 1530
PT-4	Roof Structure Paint	Benjamin Moore	Prime: 023 Fresh Start Acrylic Primer, 2 Coats - Ice Mist - OC-67
SF-1	Concrete Bench	Wausau	TF5027 6' Bench with Smooth Finish And Buff Color

3 Paint And Site Furniture Schedule
NTS

Reduction Set
C-0259 13 East 18th Street, Campbell, CA 95008
Tel: 415.951.5071 FAX: 415.951.5040

Rev.	Date	Description
1	08-24-13	Revised
2	08-26-13	Revised

Drawing No: **Typical Proposed Elevation**

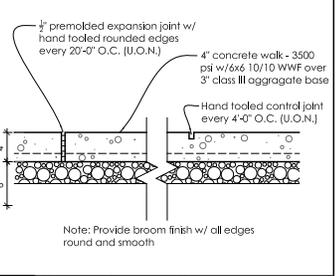
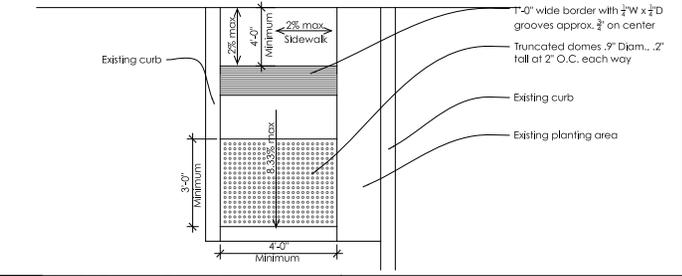
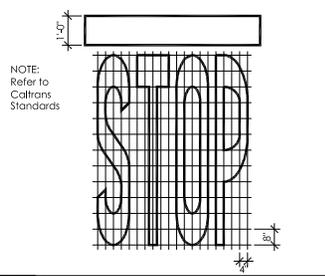
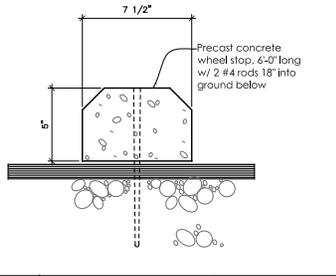
Scale: _____

Date: _____

Drawn By: _____

Project No: _____

Drawing No: _____

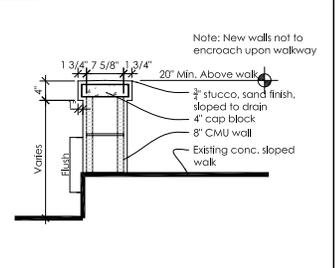
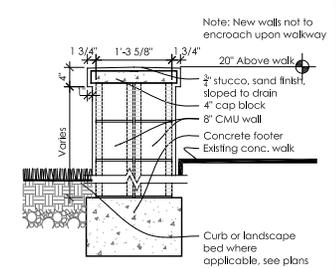
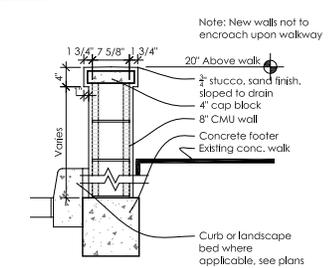
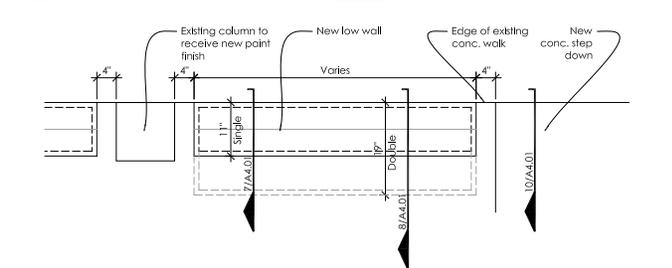


1 Wheel Stop Detail
1 1/2"=1'-0"

2 Stop Pavement Marking
1/2"=1'-0"

3 Curb Ramp Type 'F'
1 1/2"=1'-0"

5 Sidewalk Detail
1 1/2"=1'-0"

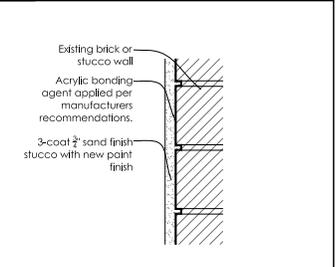
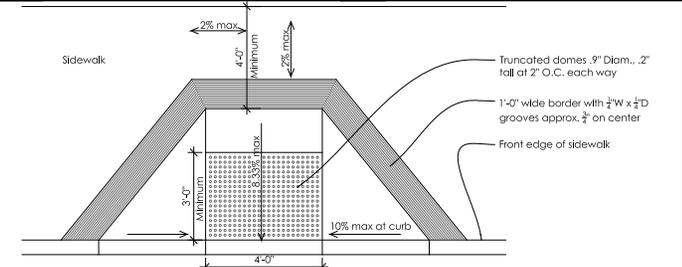
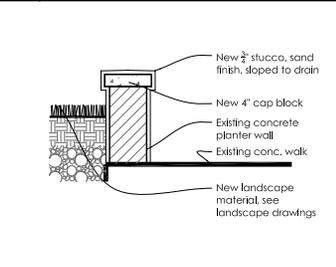


6 Low Wall Plan
1"=1'-0"

7 Single Wide Low Wall
1"=1'-0"

8 Double Wide Low Wall
1"=1'-0"

9 Low Wall at Sloped Edge
1"=1'-0"

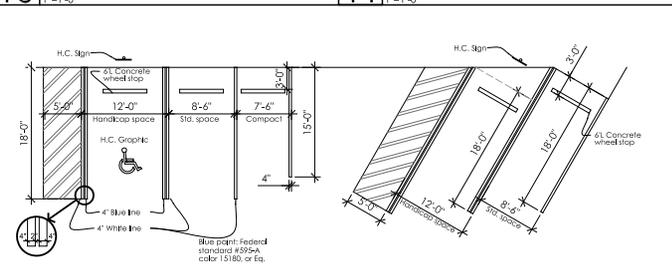


10 Stone Cap @ Planter
1"=1'-0"

11 Not Used
1"=1'-0"

12 Curb Ramp Type 'A'
1 1/2"=1'-0"

13 Stucco Over Existing Wall
3/4"=1'-0"



14 Typical Parking Striping Details
1/8"=1'-0"

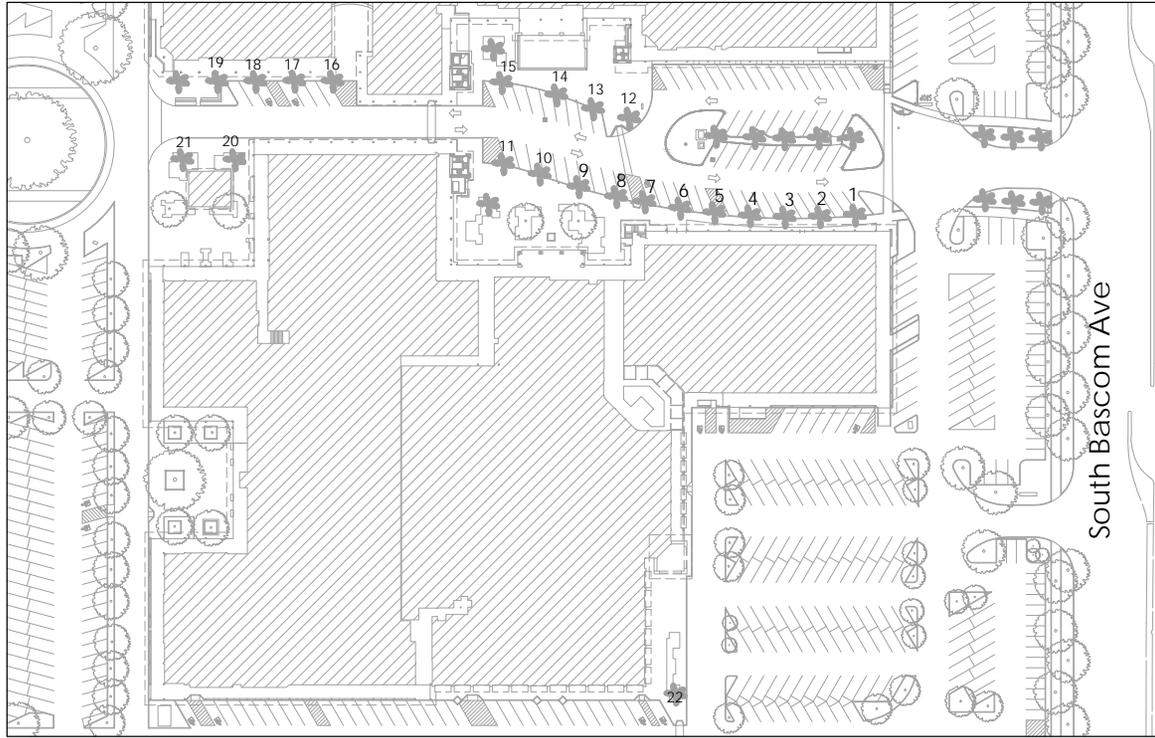


Revised 04/03/09
11/19/02, 05/18/06, 11/19/05, 05/12/04

Rev.	Date	Description
1	05-25-05	Revised
2	08-25-05	Revised per design input

Drawing Title	
Scale	
Date	05/24/11
Drawn by	SSD
Checked by	SSD
Design No.	0200

Details



YENDE DESIGN
LANDSCAPE ARCHITECTURE
3000 N. SHAW BLVD. SUITE 100
SAN JOSE, CA 95131
TEL: 415.435.1234
WWW.YENDEDESIGN.COM

REGISTERED LANDSCAPE ARCHITECT
No. 4399
EXPIRES ON MAY 31, 2015
STATE OF CALIFORNIA

STAMP

CONSULTANT

SHEET TITLE
TREE REMOVAL PLAN PLAN

PROJECT NAME
THE PRUNYARD SHOPPING CENTER

PROJECT ADDRESS
**1875 S. BASCOM AVE.
CAMPBELL, CA
95008**

SUBMITTAL	DATE
PLANNING SUBMITTAL	07/11/13
PLANNING RESUBMITTAL	08/21/13

NO.	REVISIONS	DATE

DRAWN BY NP	CHECKED BY MB
DATE ISSUED 8/21/13	SCALE NTS
PROJ. NO. 1304900-1286	SHEET NO. L.O.0

OF SHEETS



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CONSULTANT

SHEET TITLE
PLANTING PLAN

PROJECT NAME
THE PRUNYARD SHOPPING CENTER

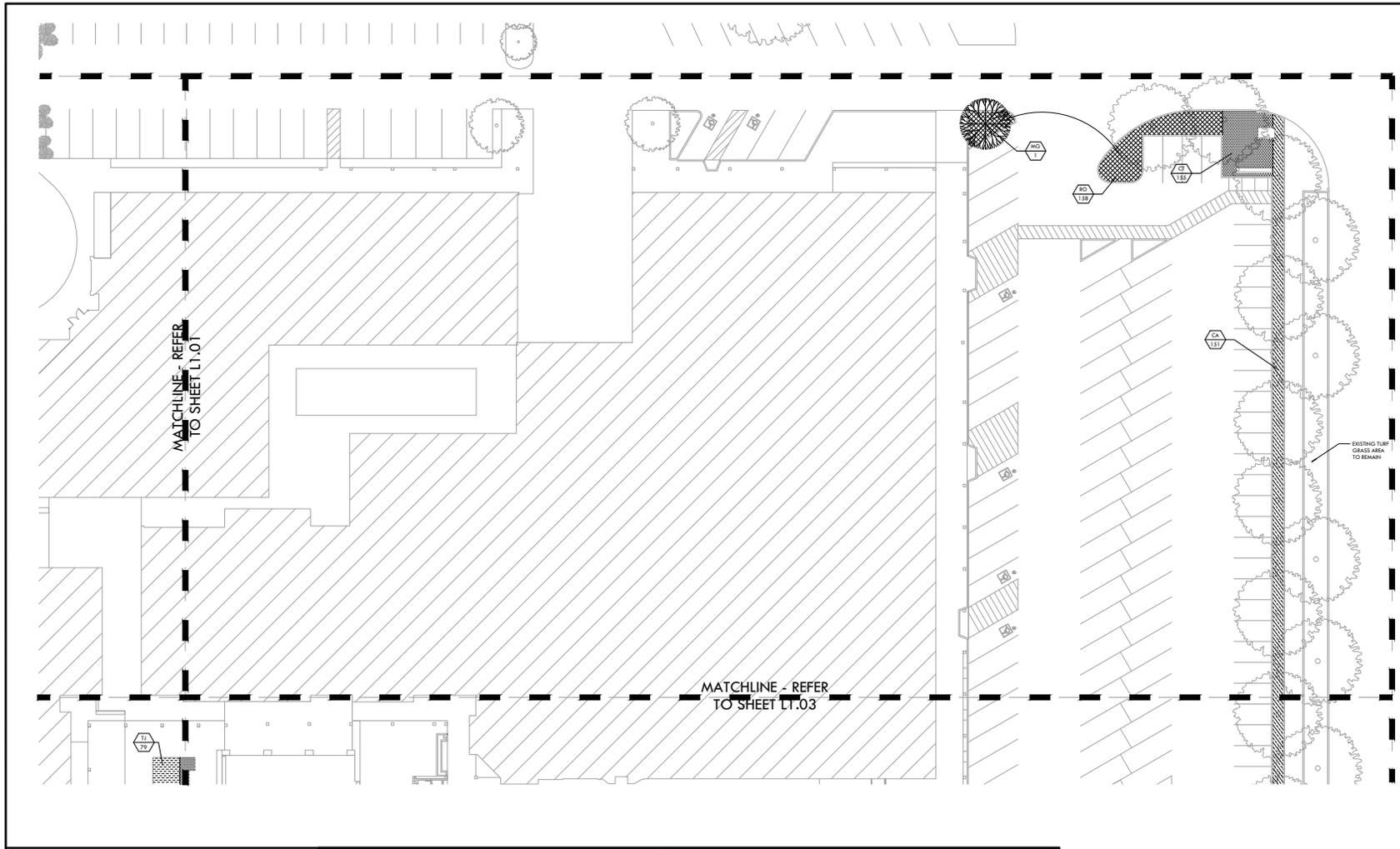
PROJECT ADDRESS
1875 S. BASCOM AVE.
CAMPBELL, CA
95008

SUBMITTAL	DATE
PLANNING SUBMITTAL	07/11/13
PLANNING RESUBMITTAL	08/21/13

NO.	REVISIONS	DATE

DRAWN BY NP	CHECKED BY MB
DATE ISSUED 8/21/13	SCALE NTS
PROJ. NO. 1304900-1286	SHEET NO. L1.02

PLANTING PLAN



PLANTING NOTES

- PLANT COUNTS SHOWN ARE FOR BIDDING REFERENCE ONLY. CONTRACTOR SHALL SUPPLY ALL PLANTS REQUIRED TO MEET DESIGN INTENT AS SHOWN.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM THE TIME OF DELIVERY TO THE TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
- CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEM OR PERMIT REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN INTENT IS NOT COMPROMISED. CONTRACTOR SHALL SET OUT PLANT MATERIAL AS PER PLAN AND RECEIVE ACCEPTANCE FROM OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE MINIMUM 2 WORKING DAYS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS REQUESTED BY OWNER'S REPRESENTATIVE.
- ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATION.
- WHEN WORKING HAS TO OCCUR UNDER THE CROWN OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES PARALLEL TO THE EXISTING TREES BATHING THAN TRANVERSE. ALL PARTIAL CUTS OF BRANCH THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER OCCURRENCE, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
- ALL TURF, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO IMPLEMENT BMPs FOR SOIL MANAGEMENT AND EROSION CONTROL.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

IRRIGATION NOTES

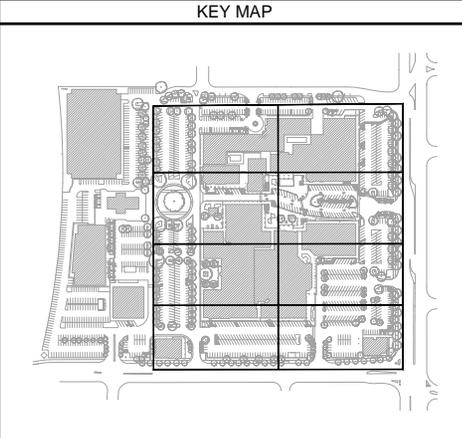
- CONTRACTOR TO ADAPT EXISTING IRRIGATION SYSTEM IN A DESIGN BUILD MANNER TO OPERATE AS A DRIP IRRIGATION SYSTEM UTILIZING EXISTING MAINLINE AND CONTROL WIRING, NEW TORO DRIP ZONE VALVE KITS TO BE INSTALLED AS NEEDED. REFER TO DETAIL SHEET 02.03 FOR HYDROLOGIES.
- CONTRACTOR TO INSTALL DRIP IRRIGATION. REFER TO DETAIL SHEETS 02.0 AND 02.0.
- ALL SHRUB AREAS SHALL BE TORO OR NETAFUN TECHNIQUE CY WITH 24 GPH AND 12" SPACING FOR EMITTERS. TURNING IS TO BE LAD DOWN PER DETAIL ON SHEET 01.01 INSTALL AS PER MANUFACTURERS RECOMMENDATIONS, DETAILS AND SPECIFICATIONS.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

PLANTING LEGEND

TREES	SYM	QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	DBH REF
	MG	26	24" BOX	MAIGNOLIA GRANDIFLORA 'ST. MARY' MAIGNOLIA 'ST. MARY'	PER PLAN	CA 10.0
GROUND COVER	AA	511	1 GALLON	ADONIS-ANOUS AFRICANUS 'ALMIST' WHITE LILY OF THE NILE	18" O.C.	CA 10.0
	CA	478	5 GALLON	CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER' KARL FORSTER FEATHER REED GRASS	3' O.C.	CA 10.0
	CT	2571	1 GALLON	CAREX TUMBUKOLA BERKELEY SEDGE	18" O.C.	CA 10.0
	OJ	360	1 GALLON	OPHROROGON JAPONICUS MONDO GRASS	1' O.C.	CA 10.0
	RO	948	1 GALLON	ROSA SP. WHITE CAMPEL ROSE	2' O.C.	CA 10.0
	RJ	203	5 GALLON	RHAPHISCEPIS LIMBELLATA 'MINOR' DWARF YEDOO HAWTHORN	3' O.C.	CA 10.0
	TJ	2424	1 GALLON	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	18" O.C.	CA 10.0

PROJECT INFORMATION

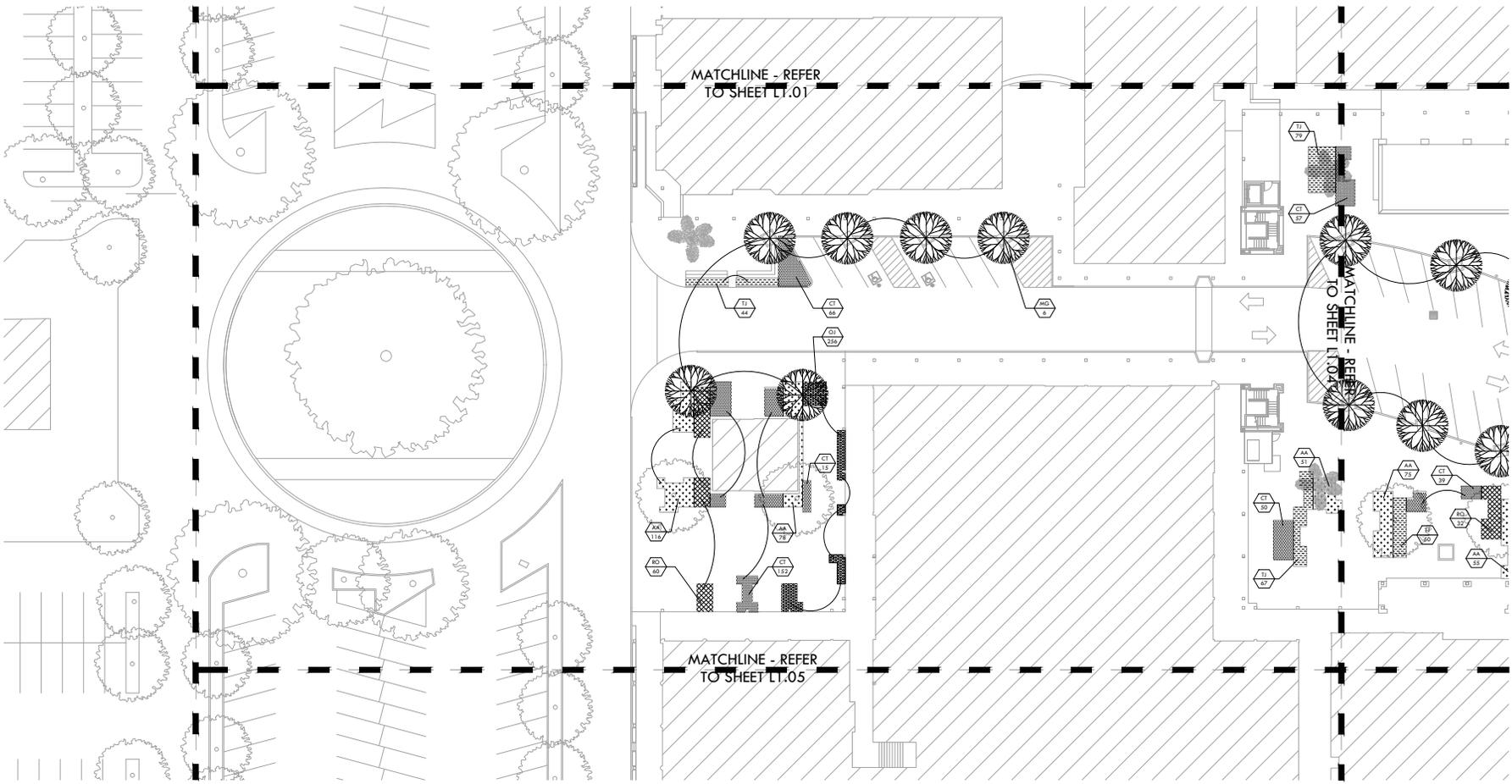
TOTAL LANDSCAPE AREA: 22,698 SQUARE FEET
PROJECT TYPE: REHABILITATED
WATER SUPPLY TYPE: POTABLE



ALL SCALE, DIMENSIONS, AND MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE DESIGNER DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREON. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREON. THE DESIGNER DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREON.



STAMP
 CONSULTANT
 PROJECT NAME
THE PRUNYARD SHOPPING CENTER
 PROJECT ADDRESS
**1875 S. BASCOM AVE.
 CAMPBELL, CA
 95008**
 SUBMITTAL DATE: 07/11/13
 PLANNING SUBMITTAL DATE: 08/21/13
 NO. REVISIONS
 DRAWN BY: NP
 CHECKED BY: MB
 DATE ISSUED: 8/21/13
 SCALE: NTS
 PROJ. NO.: 1304900-1286
 SHEET NO.: **L1.03** OF SHEETS
PLANTING PLAN

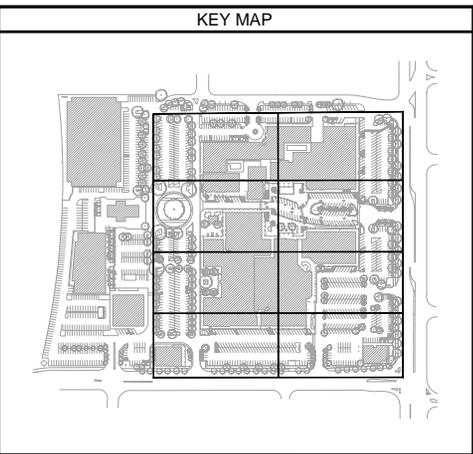
PLANTING NOTES

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- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM TIME OF DELIVERY TO TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
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- ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATION.
- WHEN WORKING TO OCCUR UNDER THE CANOPY OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES PARALLEL TO THE EXISTING TREES BATHING THAN TANGENTIAL. ALL PARTIAL CUTS OF BRANCH THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER OCCURRENCE, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
- ALL TURF, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO IMPLEMENT BMPs FOR SOIL MANAGEMENT AND EROSION CONTROL.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

IRRIGATION NOTES

- CONTRACTOR TO ADAPT EXISTING IRRIGATION SYSTEM IN A DESIGN BUILD MANNER TO OPERATE AS A DRIP IRRIGATION SYSTEM UTILIZING EXISTING MAINLINE AND CONTROL WIRING, NEW TORO DRIP ZONE VALVE KITS TO BE INSTALLED AS NEEDED. REFER TO DETAIL SHEET 02.03 FOR HYDROLOGIES.
- CONTRACTOR TO INSTALL DRIP IRRIGATION. REFER TO DETAIL SHEETS 01.0 AND 02.0.
- ALL SHRUB AREAS SHALL BE TORO OR NETAFUN TECHNIQUE CY SITE WITH 2.0 GPH AND 12" SPACING FOR EMITTERS. TOROING IS TO BE LAD DOWN PER DETAIL ON SHEET 01.1 INSTALL AS PER MANUFACTURERS RECOMMENDATIONS, DETAILS AND SPECIFICATIONS.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

SYM		QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	DBP REF
TREES						
	MG	26	24" BOX	MAIGNOLIA GRANDIFLORA 'S. MARY' MAIGNOLIA 'S. MARY'	PER PLAN	AA (10)
GROUNDCOVER						
	AA	511	1 GALLON	ADONISPLUS AFRICANUS 'ALMIST' WHITE LILY OF THE NILE	18" O.C.	CA (10)
	CA	478	5 GALLON	CALAMAGROSTIS X ACUTIFLORA 'KARI FORSTER' KARI FORSTER FEATHER REED GRASS	3' O.C.	CA (10)
	CT	2571	1 GALLON	CAREX TUMULOSA BERKELEY SEDGE	18" O.C.	CA (10)
	OJ	360	1 GALLON	OPHRORHOGON JAPONICUS MONDO GRASS	1' O.C.	CA (10)
	RO	948	1 GALLON	ROSA SP. WHITE CAMPEL ROSE	2' O.C.	CA (10)
	RU	203	5 GALLON	RHAPHISOPUS LIMBELLATA 'MINOR' DWARF YEDOO HAWTHORN	3' O.C.	CA (10)
	TJ	2424	1 GALLON	TRACHYSPERMIUM JASMINOIDES STAR JASMINE	18" O.C.	CA (10)
PROJECT INFORMATION						
TOTAL LANDSCAPE AREA: 22,076 SQUARE FEET						
PROJECT TYPE: REHABILITATED						
WATER SUPPLY TYPE: POTABLE						



CONSULTANT

SHEET TITLE

PLANTING PLAN

PROJECT NAME

THE PRUNEYARD SHOPPING CENTER

PROJECT ADDRESS

1875 S. BASCOM AVE.
 CAMPBELL, CA
 95008

SUBMITTAL

DATE

PLANNING SUBMITTAL

07/11/13

PLANNING RESUBMITTAL

08/21/13

NO. REVISIONS

DATE

DRAWN BY

CHECKED BY

NP

MB

DATE ISSUED

SCALE

8/21/13

NTS

PROJ. NO.

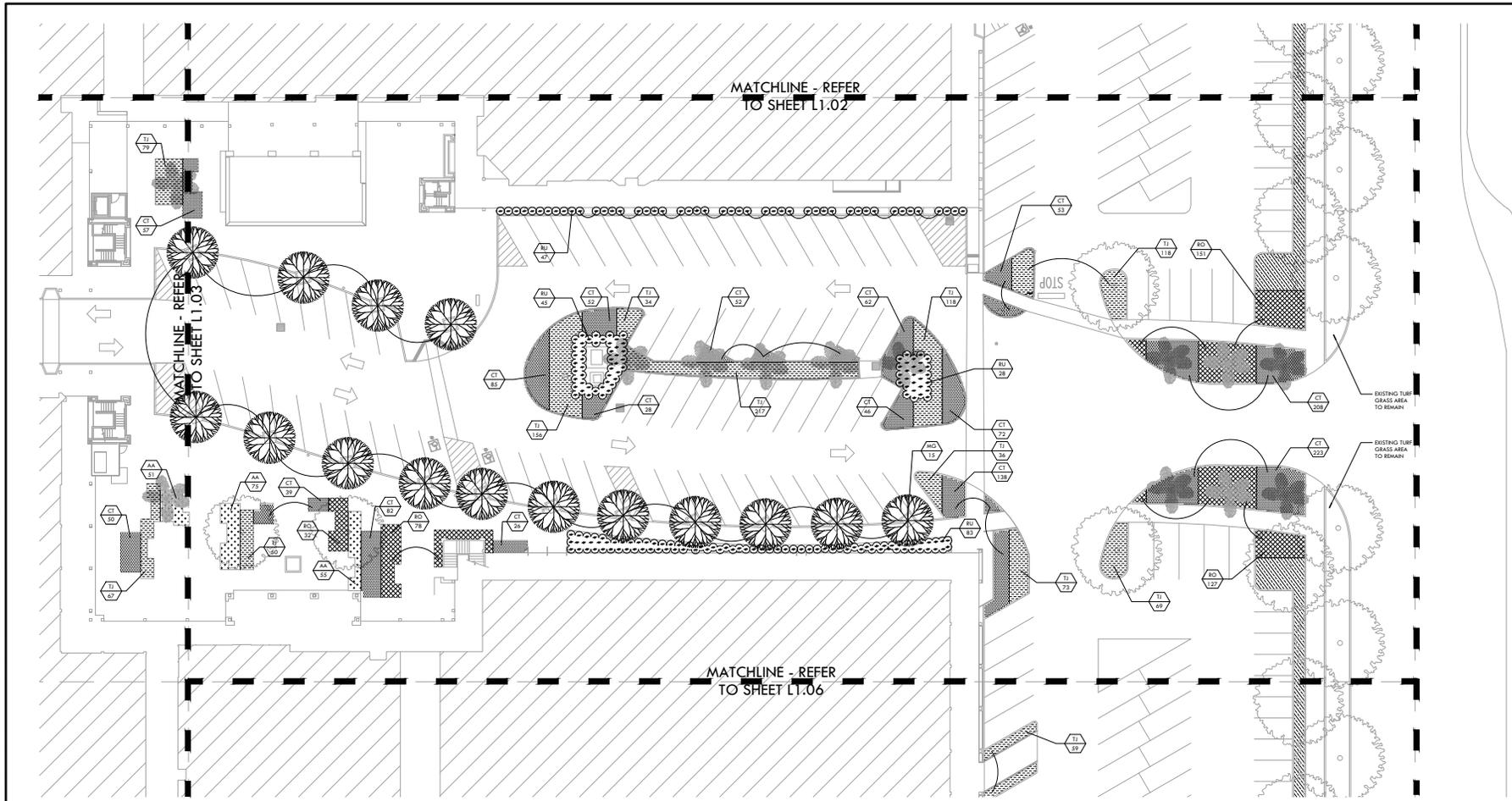
1304900-1286

SHEET NO.

L1.04

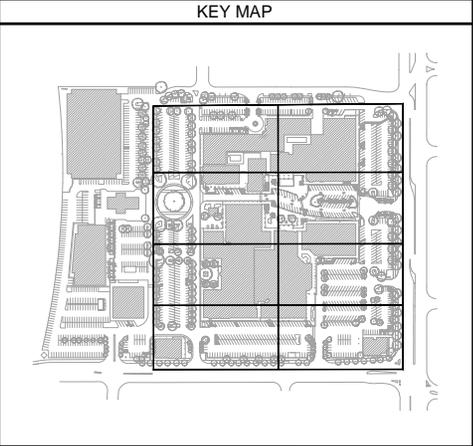
OF SHEETS

PLANTING PLAN



PLANTING NOTES	
1.	PLANT COUNTS SHOWN ARE FOR BIDDING REFERENCE ONLY. CONTRACTOR SHALL SUPPLY ALL PLANTS REQUIRED TO MEET DESIGN INTENT AS SHOWN.
2.	CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM TIME OF DELIVERY TO TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
3.	CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEM OR PERMIT REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN INTENT IS NOT COMPROMISED. CONTRACTOR SHALL SET OUT PLANT MATERIAL AS PER PLAN AND RECEIVE ACCEPTANCE FROM OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE MINIMUM 2 WEEKS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS REQUESTED BY OWNER'S REPRESENTATIVE.
4.	ALL NON-TREE PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATIONS.
5.	WHEN WORKING HAS TO OCCUR UNDER THE CANOPY OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES NEARBY TO THE EXISTING TREES BATHER THAN TANGENTIAL. ALL PARTIAL CUTS OF BRANCH THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER OCCURRENCE, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
6.	ALL TREE MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
7.	CONTRACTOR TO IMPLEMENT BMPs FOR SOIL MANAGEMENT AND EROSION CONTROL.
8.	REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

PLANTING LEGEND					
SYM	QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	DBH
TREES					
	MG	26	24" BOX	MAGNOLIA GRANDIFLORA 'ST. MARK'	PER PLAN
GROUNDCOVER					
	AA	511	1 GALLON	ADONISPLUS AFRICANUS 'ALMIST'	18" O.C.
	CA	478	5 GALLON	CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER'	3' O.C.
	CT	2571	1 GALLON	CAREX TUMESCULA BERKELEY SEDGE	18" O.C.
	OJ	360	1 GALLON	OPHROROGON JAPONICUS MONDO GRASS	1' O.C.
	RO	948	1 GALLON	ROSA SPP. WHITE CAMPEL ROSE	2' O.C.
	RU	203	5 GALLON	RHAPHISOPUS LIMBELLATA 'MINOR'	3' O.C.
	TJ	2424	1 GALLON	TRACHELOSPERMUM JASMINOIDES STAR JARDINE	18" O.C.



DATE: 08/21/13
 DRAWN BY: NP
 CHECKED BY: MB
 PROJECT: THE PRUNEYARD SHOPPING CENTER
 SHEET: L1.04 OF 02





CONSULTANT

SHEET TITLE
PLANTING PLAN

PROJECT NAME
THE PRUNEYARD SHOPPING CENTER

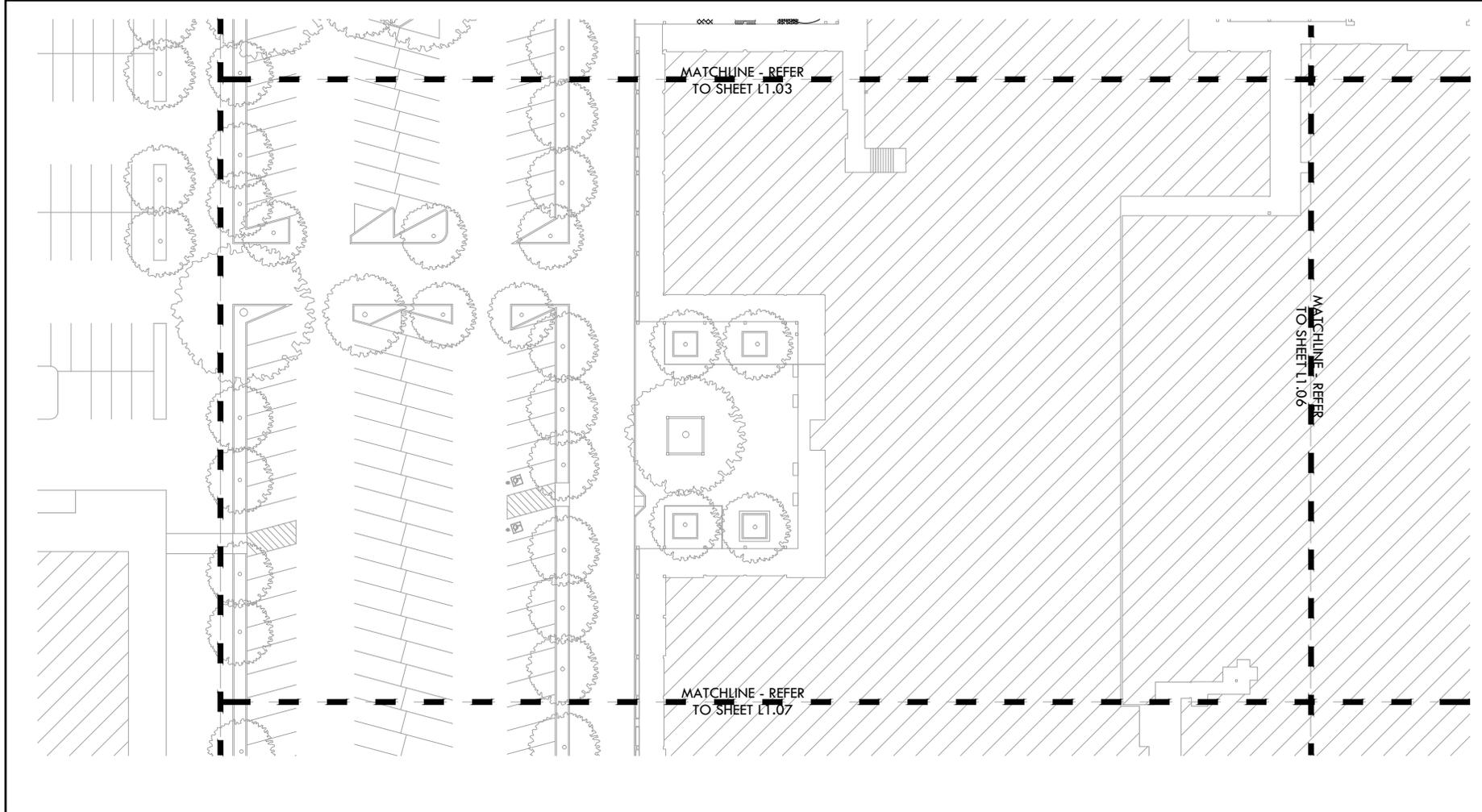
PROJECT ADDRESS
**1875 S. BASCOM AVE.
CAMPBELL, CA
95008**

SUBMITTAL	DATE
PLANNING SUBMITTAL	07/11/13
PLANNING RESUBMITTAL	08/21/13

NO.	REVISIONS	DATE

DRAWN BY NP	CHECKED BY MB
DATE ISSUED 8/21/13	SCALE NTS
PROJ. NO. 1304900-1286	SHEET NO. L1.05

OF SHEETS
PLANTING PLAN



PLANTING NOTES

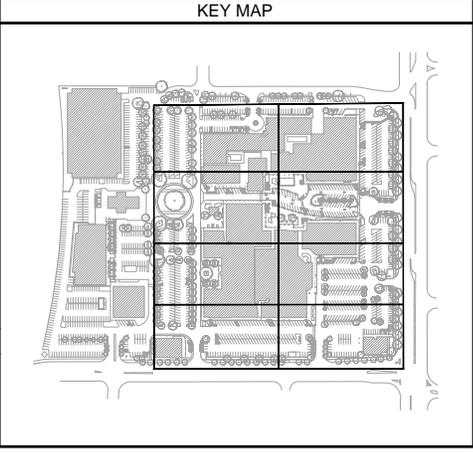
- PLANT COUNTS SHOWN ARE FOR RECORDING PURPOSES ONLY. CONTRACTOR SHALL SUPPLY ALL PLANTS REQUIRED TO FULFILL DESIGN INTENT AS SHOWN.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM TIME OF DELIVERY TO TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHERING.
- CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEM OR (IF APPLICABLE) REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN INTENT IS NOT COMPROMISED. CONTRACTOR SHALL SET OUT PLANT MATERIAL AS PER PLAN AND RECEIVE ACCEPTANCE FROM OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL COVER ANY EXISTING WORKING SAVERS PRIOR TO OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS REQUESTED BY OWNER'S REPRESENTATIVE.
- ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATIONS.
- WHEN WORKING HAS TO OCCUR UNDER THE CANOPY OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES BATTER THAN TANGENTIAL. ALL PARTIAL CUTS OR TRUNK THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SOLE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
- ALL TREES, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO IMPLEMENT BMPs FOR SOIL MANAGEMENT AND EROSION CONTROL.
- REFER TO SHEET D2.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

PLANTING LEGEND

TREES	SYM	QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	NO.
	MG	26	24" BOX	MAGNOLIA GRANDIFLORA 'ST. ARMY' MAGNOLIA 'ST. ARMY'	PER PLAN	(CA) (10)
GROUNDCOVER						
	AA	511	1 GALLON	ADAPANTHUS AFRICANUS 'ALMIST' WHITE LILY OF THE NILE	18" O.C.	(CA) (10)
	CA	476	5 GALLON	CALAMAGROSTIS X ACURIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	3' O.C.	(CA) (10)
	CT	2511	1 GALLON	CAREX TUMULOSA BERKLEY SEDGE	18" O.C.	(CA) (10)
	QI	360	1 GALLON	OPHROGON JAPONICUS MONDO GRASS	1' O.C.	(CA) (10)
	RO	948	1 GALLON	ROSA SPP. WHITE CAMPEL ROSE	2' O.C.	(CA) (10)
	RU	203	5 GALLON	RHAPHIOCEPIS UMBELLATA 'MINOR' DWARF YERDO HAWTHORN	3' O.C.	(CA) (10)
	TJ	2424	1 GALLON	TRACHELOSPERMUM JASMINODES STAR JASMINE	18" O.C.	(CA) (10)

PROJECT INFORMATION

TOTAL LANDSCAPE AREA: 22,498 SQUARE FEET
PROJECT TYPE: REHABILITATED
WATER SUPPLY TYPE: POTABLE



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YEAPE DESIGN
 LANDSCAPE ARCHITECTURE
 1875 S. BASCOM AVE., SUITE 200
 CAMPBELL, CA 95008
 (408) 438-8888
 www.yeapedesign.com

STAMP
 REGISTERED LANDSCAPE ARCHITECT
 No. 4399
 expires on 01/31/13
 STATE OF CALIFORNIA

CONSULTANT

PROJECT NAME
THE PRUNEYARD SHOPPING CENTER

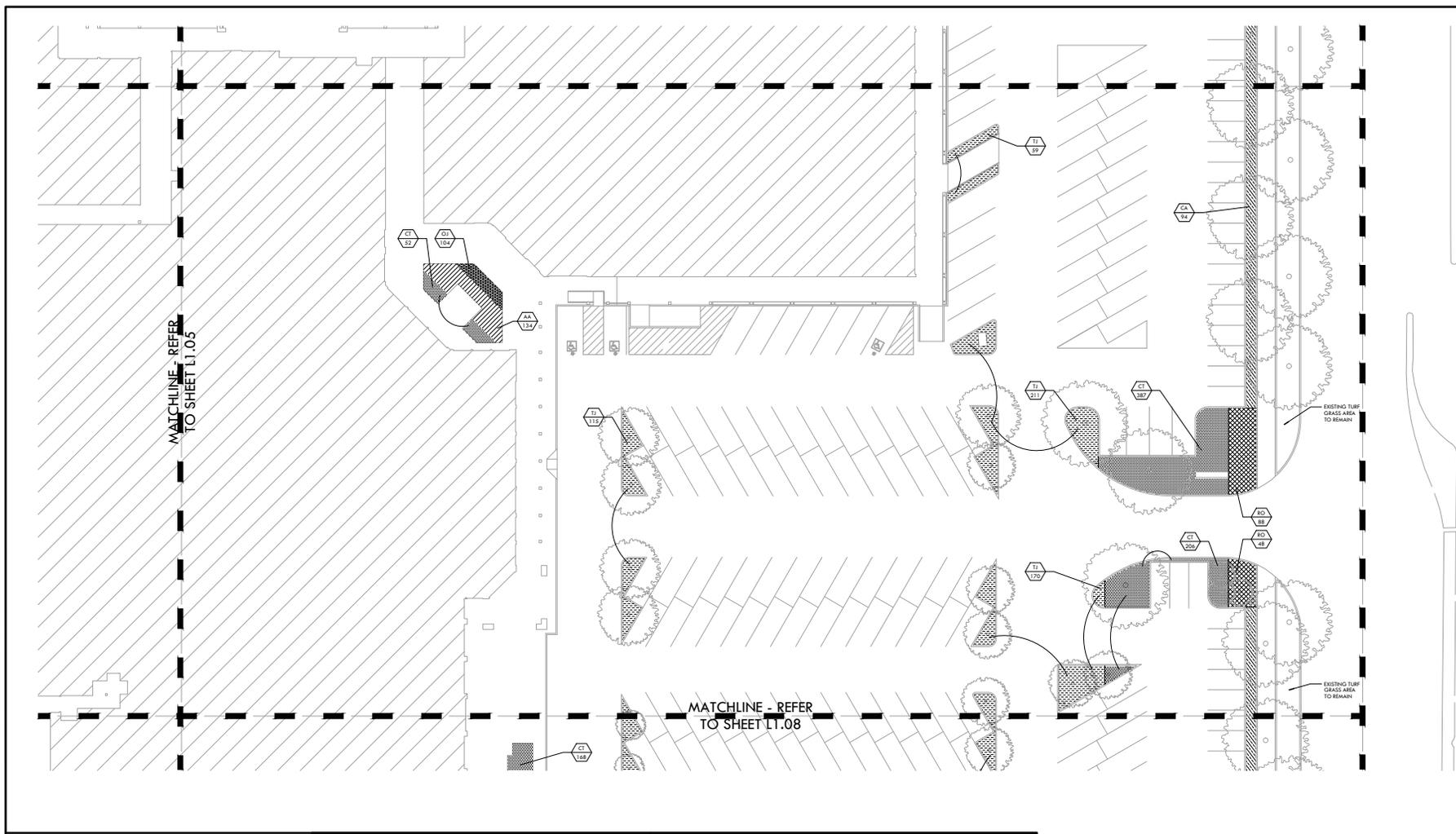
SHEET TITLE
PLANTING PLAN

PROJECT ADDRESS
**1875 S. BASCOM AVE.
 CAMPBELL, CA
 95008**

SUBMITTAL	DATE
PLANNING SUBMITTAL	07/11/13
PLANNING RESUBMITTAL	08/21/13

NO.	REVISIONS	DATE

DRAWN BY NP	CHECKED BY MB
DATE ISSUED 8/21/13	SCALE NTS
PROJ. NO. 1304900-1286	SHEET NO. L1.06
OF SHEETS	



PLANTING NOTES

- PLANT COUNTS SHOWN ARE FOR BIDDING REFERENCE ONLY. CONTRACTOR SHALL SUPPLY ALL PLANTS REQUIRED TO MEET DESIGN INTENT AS SHOWN.
- CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM THE TIME OF DELIVERY TO THE TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
- CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEM OR PERMIT REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN INTENT IS NOT COMPROMISED. CONTRACTOR SHALL SET OUT PLANT MATERIAL AS PER PLAN AND RECEIVE ACCEPTANCE FROM OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE ANNUAL WORKING DAYS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS REQUESTED BY OWNER'S REPRESENTATIVE.
- ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE). REFER TO SPECIFICATION.
- WHEN WORKING HAS TO OCCUR UNDER THE CROWN OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID HARM TO THE TREES AND TREE ROOTS. GRADE IN TREES NEAR TO THE EXISTING TREES BATHES THAT TRANSDUCE. ALL PARTIAL CUTS OF BRANCH THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHEs ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER OCCUPATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.
- ALL TURF, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO IMPLEMENT BMPs FOR SOIL MANAGEMENT AND EROSION CONTROL.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

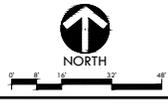
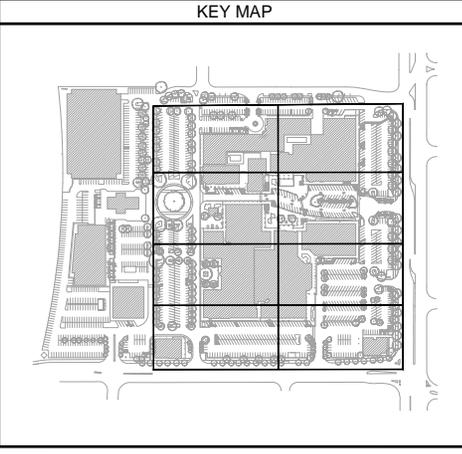
IRRIGATION NOTES

- CONTRACTOR TO ADAPT EXISTING IRRIGATION SYSTEM IN A DESIGN BUILD MANNER TO OPERATE AS A DRIP IRRIGATION SYSTEM UTILIZING EXISTING MAINLINE AND CONTROL WIRING, NEW TORO DRIP ZONE VALVE KITS TO BE INSTALLED AS NEEDED. REFER TO DETAIL SHEET 02.0 FOR HYDROLOGIES.
- CONTRACTOR TO INSTALL DRIP IRRIGATION. REFER TO DETAIL SHEETS 01.0 AND 02.0.
- ALL SHRUB AREAS SHALL BE TORO OR NETAFUN TECHNIQUE CY SITE WITH 24 GPH AND 12" SPACING FOR EMITTERS. TURNING IS TO BE LAD DOWN PER DETAIL ON SHEET 01.0. INSTALL AS PER MANUFACTURERS RECOMMENDATIONS, DETAILS AND SPECIFICATIONS.
- REFER TO SHEET 02.0 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

SYMBOL		QTY	SIZE	BOTANICAL/COMMON NAME	SPACING/ COMMENTS	DB HGT
TREES						
MG	26	24" BOX		MAGNOLIA GRANDIFLORA 'ST. MARY' MAGNOLIA 'ST. MARY'	PER PLAN	18" O.C.
GROUNDCOVER						
AA	511	1 GALLON		ADONISPLUS AFRICANUS 'ALMIST' WHITE LILY OF THE NILE	18" O.C.	18" O.C.
CA	478	5 GALLON		CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER' KARL FORSTER FEATHER REED GRASS	3' O.C.	18" O.C.
CT	2571	1 GALLON		CAREX TUMBUKOLA BERKELEY SEDGE	18" O.C.	18" O.C.
OJ	360	1 GALLON		OPHROROGON JAPONICUS MONDO GRASS	1' O.C.	18" O.C.
RO	948	1 GALLON		ROSA SP. WHITE CAMPEL ROSE	2' O.C.	18" O.C.
RJ	203	5 GALLON		RHAPHISOPUS LIMBELLATA 'MINOR' DWARF YEDOO HAWTHORN	3' O.C.	18" O.C.
TJ	2424	1 GALLON		TRACHELOSPERMUM JASMINOIDES STAR JASMINE	18" O.C.	18" O.C.

PROJECT INFORMATION

TOTAL LANDSCAPE AREA: 22,678 SQUARE FEET
 PROJECT TYPE: REHABILITATED
 WATER SUPPLY TYPE: POTABLE





CONSULTANT

SHEET TITLE

PLANTING PLAN

PROJECT NAME

THE PRUNEYARD SHOPPING CENTER

PROJECT ADDRESS

1875 S. BASCOM AVE.
CAMPBELL, CA
95008

SUBMITTAL

DATE

PLANNING SUBMITTAL

07/11/13

PLANNING RESUBMITTAL

08/21/13

NO. REVISIONS

DATE

DRAWN BY

CHECKED BY

NP

MB

DATE ISSUED

SCALE

8/21/13

NTS

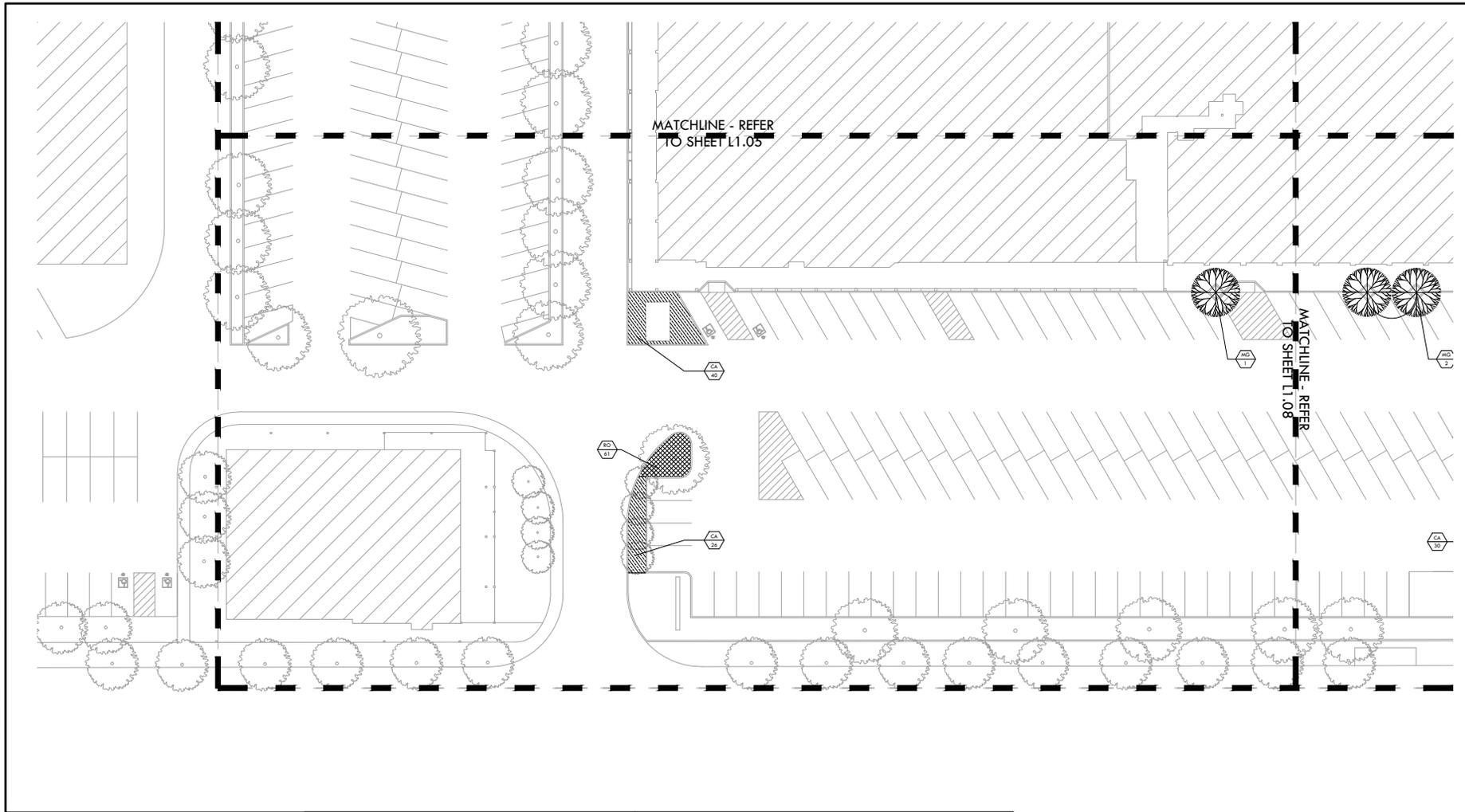
PROJ. NO.

1304900-1284

SHEET NO.

L1.07 OF SHEETS

PLANTING PLAN



PLANTING NOTES

1. PLANT COUNTS SHOWN ARE FOR BIDDING REFERENCE ONLY. CONTRACTOR SHALL SUPPLY ALL PLANTS REQUIRED TO INSTALL DESIGN INTENT AS SHOWN.
2. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL PLANT MATERIAL FROM TIME OF DELIVERY TO TIME OF FINAL ACCEPTANCE. OWNER SHALL NOT BE RESPONSIBLE FOR LOSSES DUE TO VANDALISM, THEFT OR SEVERE WEATHER.
3. CONTRACTOR SHALL PLACE PLANT MATERIALS SO THEY DO NOT INTERFERE WITH IRRIGATION SYSTEMS OR INHERIT REQUIRED COVERAGE. PLANT LOCATIONS MAY BE ADJUSTED AS LONG AS DESIGN INTENT IS NOT COMPROMISED. CONTRACTOR SHALL SET OUT PLANT MATERIALS AS PER PLAN AND RECEIVE ACCEPTANCE FROM OWNER'S REPRESENTATIVE WITH RESPECT TO PLANT HEALTH AND LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL GIVE MINIMUM 72 HOURS NOTICE FOR OBSERVATION AND SHALL HAVE ALL PLANT MATERIAL IN SPECIFIED LOCATIONS FOR REVIEW AT ONE TIME. CONTRACTOR SHALL REPLACE ANY MATERIAL AS REQUESTED BY OWNER'S REPRESENTATIVE.
4. ALL NON-TURF PLANTING AREAS SHALL RECEIVE A 2" LAYER OF BARK MULCH TOP DRESS (UNLESS NOTED OTHERWISE), REFER TO SPECIFICATIONS.
5. WHEN WORK HAS TO OCCUR UNDER THE DROPLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID HARM TO THE TREES AND THEIR ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TRIMS THROUGH ROOTS TWO TIMES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRIMMED ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIZE OF THE TRENCH ADJACENT TO THE TREE AND ANY EXPOSED ROOTS SHALL BE KEPT SHADY AND MOIST WITH DAMPENED BURLAP OR CANVAS.
6. ALL TURF, MULCH AND PLANTERS TO RECEIVE SOIL AMENDMENTS AND SOIL PREPARATION PER SPECIFICATIONS UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO IMPROVE BMP, FOR SOIL MANAGEMENT AND EROSION CONTROL.
8. REFER TO SHEET 02.00 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

IRRIGATION NOTES

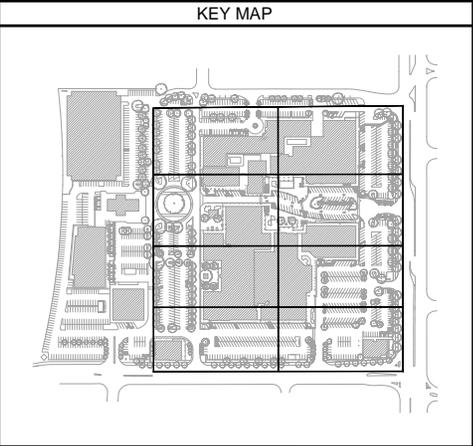
1. CONTRACTOR TO ADAPT EXISTING IRRIGATION SYSTEM IN A DESIGN BUILD MANNER TO CREATE AS A DRP IRRIGATION SYSTEM UTILIZING EXISTING MAINLINE AND CONTROL WIRING, NEW TORO DRIP ZONE VALVE KITS TO BE INSTALLED AS NEEDED. REFER TO DETAIL SHEET 02.03 FOR HYDRONICS.
2. CONTRACTOR TO INSTALL DRP IRRIGATION. REFER TO DETAIL SHEETS 01.0 AND 02.0.
3. ALL DRP/R ABLE AREAS SHALL BE TORO OR NEQUIP TECHNIQUE C/U LITE WITH 24 GPH AND 12" SPACING FOR BOUTERS. TUBING IS TO BE Laid DOWN PER DETAIL ON SHEET 01.0. INSTALL AS PER MANUFACTURERS RECOMMENDATIONS, DETAILS AND SPECIFICATIONS.
8. REFER TO SHEET 02.00 FOR WATER EFFICIENT LANDSCAPE WORKSHEETS AND STATEMENT OF COMPLIANCE.

PLANTING LEGEND

TREES	SYM	QTY	SIZE	BOTANICAL/Common NAME	STACKS/ COMMENTS	DR REF
(Tree Symbol)	MG	26	24" BOX	MAGNOLIA GRANDIFLORA 'ST. MARY' MAGNOLIA 'ST. MARY'	PER PLAN	CA 10.0
(Groundcover Symbol)	AA	511	1 GALLON	ACAPANTHUS BRICCAEUS 'ALBUS' WHITE LILY OF THE NILE	18" O.C.	CA 10.0
	CA	474	5 GALLON	CALAMAGROSTIS X ACUTIFLORA 'KARL FORSTER' KARL FORSTER FEATHER REED GRASS	3' O.C.	CA 10.0
	CT	2511	1 GALLON	CAREX TRINUCIOLOA BERKELEY SEDGE	18" O.C.	CA 10.0
	OJ	360	1 GALLON	OPHIOPOGON JAPONICUS MONDO GRASS	1' O.C.	CA 10.0
	RO	948	1 GALLON	ROSA SPP. WHITE CARPET ROSE	2' O.C.	CA 10.0
	RU	203	5 GALLON	RHAPHIOCEPIS LIMBELATA 'MINOR' DWARF YEDDO HAWTHORN	3' O.C.	CA 10.0
	TJ	2424	1 GALLON	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	18" O.C.	CA 10.0

PROJECT INFORMATION

TOTAL LANDSCAPE AREA: 22,499 SQUARE FEET
PROJECT TYPE: REHABILITATED
WATER SUPPLY TYPE: POTABLE

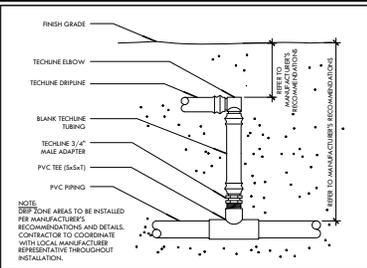


ALL SCALE, DIMENSIONS, AND NOTES ARE TO BE CHECKED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED BY THE ARCHITECT.

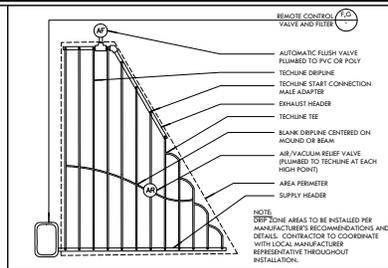


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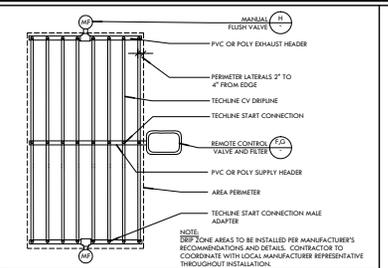
CONSULTANT



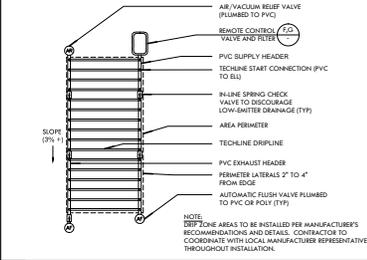
P TECHLINE START CONNECTION (PVC TO ELBOW) NTS



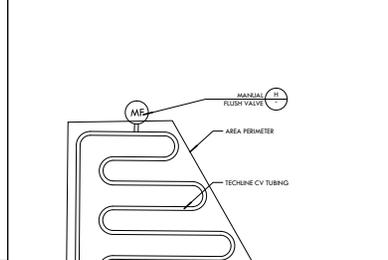
L TECHLINE IRREGULAR AREAS: TRIANGULAR NTS



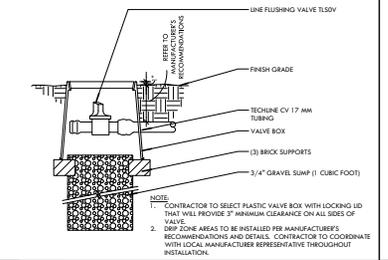
I DRIP TUBING - CENTER FEED LAYOUT NTS



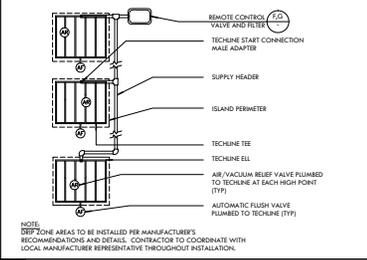
O TECHLINE MEDIAN ISLAND LAYOUT: DOWN SLOPE NTS



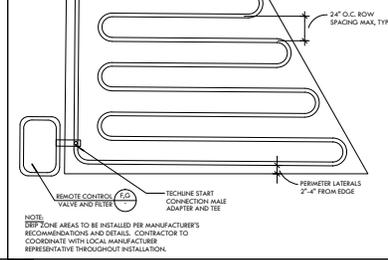
K DRIP TUBING - TRIANGULAR LAYOUT NTS



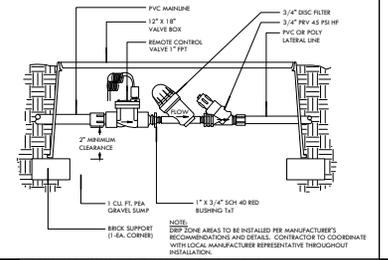
H MANUAL FLUSH VALVE NTS



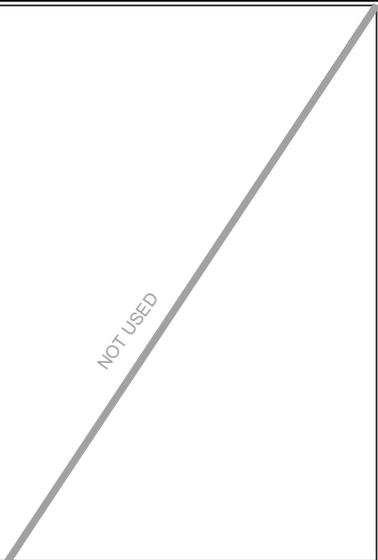
N TECHLINE ISLAND LAYOUT NTS



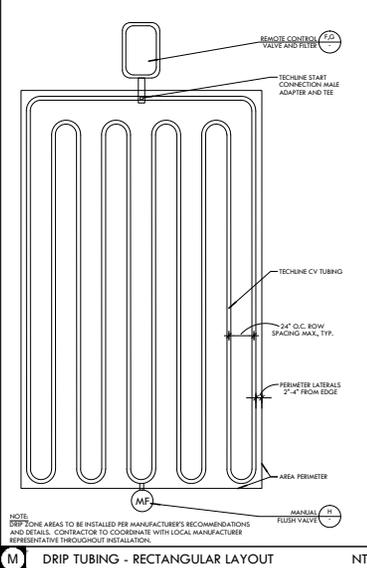
J DRIP TUBING - CURVED AREA LAYOUT NTS



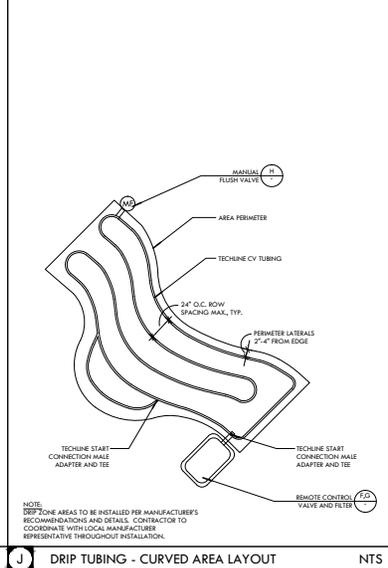
G REMOTE CONTROL VALVE AND FILTER (HIGH FLOW) NTS



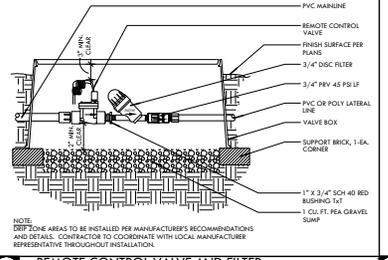
D NOT USED NTS



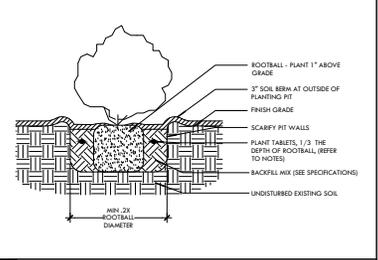
M DRIP TUBING - RECTANGULAR LAYOUT NTS



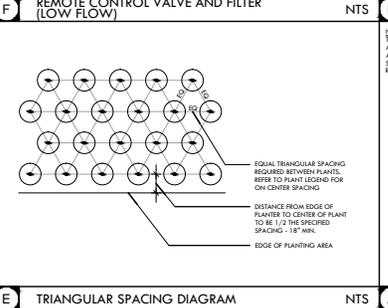
E TRIANGULAR SPACING DIAGRAM NTS



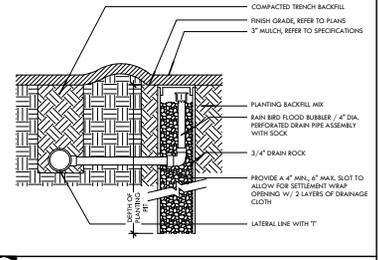
F REMOTE CONTROL VALVE AND FILTER (LOW FLOW) NTS



C SHRUB PLANTING NTS



A TREE PLANTING AND BUBBLER NTS



B TREE BUBBLER WELL NTS

SHEET TITLE

CONSTRUCTION DETAILS

PROJECT NAME
THE PRUNYARD SHOPPING CENTER

PROJECT ADDRESS
1875 S. BASCOM AVE.
CAMPBELL, CA
95008

SUBMITTAL DATE

PLANNING SUBMITTAL 07/11/13

PLANNING RESUBMITTAL 08/21/13

NO. REVISIONS DATE

DRAWN BY TM

CHECKED BY MB

DATE ISSUED 8/21/13

SCALE AS SHOWN

PROJ. NO. 1304900-1286

SHEET NO. D1.0 OF SHEETS

CONSTRUCTION DETAILS

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS AND THE STANDARD PRACTICES OF THE TRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL MANUFACTURER REPRESENTATIVE THROUGHOUT INSTALLATION.

