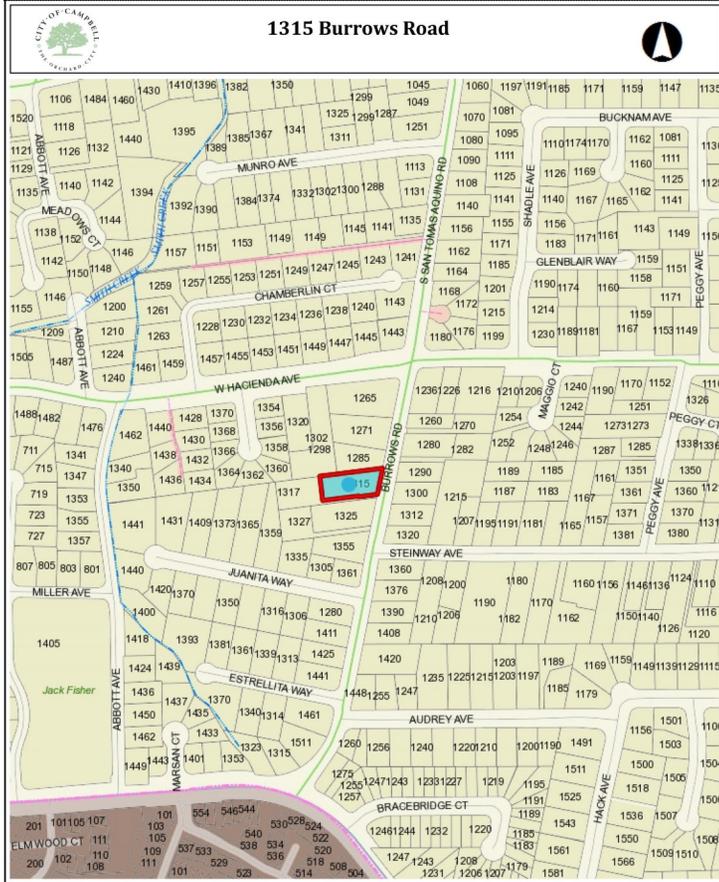


Location of Proposed Project



Project Image



City of Campbell
 70 North First Street
 Campbell, CA 95008 -1423

Courtesy Notice

Dear Campbell Resident,

August 31, 2022

We are notifying you that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project:

Project Address: 1315 Burrows Road

Zoning | Area Plan: R-1-10 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2022-91

APN: 403-16-109

Applicant: Serge Sobor

Property Owner: Hao Wang

Application Type: Administrative Site and Architectural Review Permit

Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

Phone Contact: (408) 866-2144

Project Description:

To allow the construction of an approximately 1,818 square foot addition to an existing single-family residence.

If you would like to find out more information regarding the proposed project, please view the project plans using the QR code below or contact the Project Planner. The City will send you another notice before the City makes a decision regarding approval of the project.

Before a decision is reached you will receive a formal notice providing another opportunity for public comment.



- City of Campbell -
Community Development Department
70 N. First Street, Campbell Ca 95008
(408)866-2140 | planning@campbellca.gov

Note: Applications may change after initial application submittal. To view the project plans, please scan the QR code.

**Asistencia en Español disponible,
Simplemente marque (408) 866-2140 y pida traduccion en Español



ADDITION

1315 BURROWS RD CAMPBELL, CA 95008

PROJECT DATA

PROJECT ADDRESS	1315 BURROWS RD, CAMPBELL CITY, CA 95008
APN	403-161-09
PROPERTY OWNER	HAO WANG, (408) 480-35-19
DESIGNER	CONSTRUCTO INC., YURI GALEEV, (415) 812-2367
TYPE OF CONSTRUCTION	Y-B
OCCUPANCY GROUP	R-3
FLOOD ZONE DESIGNATION	NO
ZONING	RH-1-10
FIRE SPRINKLERS	YES
BUILDING HEIGHT	14'-8 1/2" AT THE TOP RIDGE
EASEMENTS	NO RECORDS OF EASEMENTS
SQUARE FOOTAGE OF ALL PROPOSED STRUCTURES	1818 SQ FT

PROJECT ANALYSIS

LOT SIZE	16117 SQ FT
GROSS FLOOR AREA (E)	1740 SQ FT
GROSS FLOOR AREA (N)	3558 SQ FT
FAR (E)	11%
FAR (N)	22%

SCOPE OF WORK (N) ADDITION 1818 SQ FT (N) BEDROOM WINDOW

PROJECT TO COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CA ENERGY CODE, 2019 CA GREEN BUILDING STANDARDS CODE AND LOCAL MUNICIPAL CODE

CLEAN BAY BLUEPRINT
Stormwater Pollution Prevention

Share your pollution prevention plan with your neighbors. It's a good idea to let them know what you're doing and why. This helps them understand the project and how it will affect their property. It also helps you get their input and feedback. This is especially important if you're doing any work that might affect their property, like digging or grading. You can share your plan with them in person, or you can mail them a copy. You can also post a sign on your property to let them know what you're doing. The goal is to make sure everyone is on the same page and that you're all working together to keep the area clean and safe.



Useful Phone Numbers

San Jose Regional Water Treatment Plant	(408) 253-3088
San Jose Regional Wastewater Treatment Plant	(408) 253-3088
City of San Jose Environmental Services Department	(408) 253-3088
San Jose Regional Water Treatment Plant	(408) 253-3088
San Jose Regional Wastewater Treatment Plant	(408) 253-3088
City of San Jose	(408) 253-3088
Department of Public Works and Planning, Building and Code Enforcement	(408) 253-3088
City of San Jose	(408) 253-3088
Department of Public Works and Planning, Building and Code Enforcement	(408) 253-3088
City of San Jose	(408) 253-3088

TABLE OF CONTENT

Label	Title	Description	Comments
A-00	PROJECT OVERVIEW		AS NOTED
A-1-01	PLOT PLAN AND LANDSCAPE PLAN		1/12" = 1'
A-1-02	FLOOR PLAN	EXISTING/AS-BUILT	1/4" = 1'
A-1-03	DEMOLITION PLAN	EXISTING/AS-BUILT	1/4" = 1'
A-1-04	ELEVATIONS	EXISTING/AS-BUILT	1/4" = 1'
A-1-05	ROOF PLAN	EXISTING/AS-BUILT	1/4" = 1'
A-2-01	FLOOR PLAN	PROPOSED	1/4" = 1'
A-2-02	ELEVATIONS	PROPOSED	1/4" = 1'
A-2-03	ELEVATIONS	PROPOSED	1/4" = 1'
A-2-04	CROSS SECTIONS	PROPOSED	1/4" = 1'
A-2-05	AREA DIAGRAM	PROPOSED	1/4" = 1'
A-2-06	ROOF PLAN	PROPOSED	1/4" = 1'
A-2-07	ATTIC AREA VENTILATION	PROPOSED	AS NOTED
A-2-08	VENTILATION	PROPOSED	AS NOTED
A-2-09	MFP PLAN	PROPOSED	1/4" = 1'
A-2-10	RENDERS	PROPOSED	NO SCALE
S1-00	GENERAL STRUCTURAL NOTES		AS NOTED
S2-00	FOUNDATION PLAN		AS NOTED
S2-01	ROOF FRAMING PLAN		AS NOTED
S4-00	DETAILS		AS NOTED
S4-01	DETAILS		AS NOTED
T24-1	TITLE 24 REPORT		PAGE 1 - 4
T24-2	TITLE 24 REPORT		PAGE 7 - 12
T24-3	TITLE 24 REPORT		PAGE 13 - 18
T24-4	TITLE 24 REPORT		PAGE 19 - 24
A-2-11	DEMOLITION PLAN		1/4" = 1'
A-1-06	TREE PLAN		1/12" = 1'

FIRE/RINKLER SYSTEM IS A SUBJECT TO DEFERRED SUBMITTAL

ZONING COMPLIANCE		
LOT COVERAGE	(E) 11%	(N) 22%
HEIGHT	13'-1 1/2"	14'-8 1/2"

SQUARE FOOTAGE BREAKDOWN		
HABITABLE LIVING AREA	(E) 1244 SQ FT	(N) 3062 SQ FT
NON-HABITABLE AREA	(E) 496 SQ FT	(N) 496 SQ FT

Material Storage and Spill Clean Up

- Store materials in a secure area of the site, away from the street and other public areas. Use proper storage methods to prevent leaks, spills, or other incidents. Store materials in a secure area of the site, away from the street and other public areas. Use proper storage methods to prevent leaks, spills, or other incidents.
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Earth-Moving Activities and Erosion Control

- Apply erosion control measures to all exposed soil. Use proper erosion control methods to prevent leaks, spills, or other incidents. Apply erosion control measures to all exposed soil. Use proper erosion control methods to prevent leaks, spills, or other incidents.
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Roadwork and Pavement Construction

- Use proper roadwork and pavement construction methods to prevent leaks, spills, or other incidents. Use proper roadwork and pavement construction methods to prevent leaks, spills, or other incidents.
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Vehicle and Equipment Maintenance

- Maintain all vehicles and heavy equipment in good working order. Use proper maintenance methods to prevent leaks, spills, or other incidents. Maintain all vehicles and heavy equipment in good working order. Use proper maintenance methods to prevent leaks, spills, or other incidents.
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Paints, Solvents and Adhesives

- Use proper paint, solvent, and adhesive handling methods to prevent leaks, spills, or other incidents. Use proper paint, solvent, and adhesive handling methods to prevent leaks, spills, or other incidents.
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Waste Disposal

- Use proper waste disposal methods to prevent leaks, spills, or other incidents. Use proper waste disposal methods to prevent leaks, spills, or other incidents.
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Concrete, Cement and Mortars

- Use proper concrete, cement, and mortar handling methods to prevent leaks, spills, or other incidents. Use proper concrete, cement, and mortar handling methods to prevent leaks, spills, or other incidents.
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CLEAN BAY BLUEPRINT



VICINITY MAP
NO SCALE

ASSESSOR MAP
NO SCALE

GENERAL NOTES
CONTRACTOR/OWNER SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD/ON THE JOB SITE ACCORDING TO THE PLANS, NOTES AND DIMENSIONS ON THE PLANS SHALL BE CHECKED AND VERIFIED WITH STRUCTURAL, MECHANICAL, PLUMBING AND ANY OTHER DRAWINGS. ANY DISCREPANCIES IN NOTES AND OR DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CONSTRUCTO INC. IN WRITING PRIOR TO COMMENCING WORK. SO THAT ANY REQUIRED REMEDIAL WORK CAN BE PERFORMED. ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS PROJECT AND SHALL TAKE PRECEDENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE SAME ARE AT VARIANCE. ANY ATTACHED ENGINEERING OR LOCAL BUILDING AUTHORITY NOTATIONS SUPERSEDE AND OVERRIDE THE PLANS, INCLUDING (BUT NOT LIMITED) MATERIALS, FASTENING, NAILING SCHEDULES AND CONSTRUCTION PROCEDURES.

ALL DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE DESIGNER AND HIS CONSULTANTS FOR THIS PROJECT ARE INSTRUMENTS OF THE DESIGNERS SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE DESIGNER SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHTS. COPIES OF DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR INFORMATION AND REFERENCE ARE PROHIBITED UNLESS EXPRESSLY AUTHORIZED BY CONSTRUCTO INC. IN WRITING.

R302.10 - Flame spread index and smoke-developed index for insulation.
Insulation materials shall have a flame spread index not to exceed 25 and a smoke-developed index not to exceed 450 when tested in accordance with ASTM E84 or UL 723.

R302.8.1 - Interior finish materials.
Wall and ceiling finishes shall have a flame spread index of not greater than 200 and a smoke-developed index of not greater than 450.

R302.9.5 - Interior finish materials.
Interior finish materials shall be installed in a way that prevents them from becoming detached when subjected to room temperatures of 200°F for at least 30 minutes.

R303.1 - Natural light and ventilation.
Daylight shall be provided to habitable rooms through windows and doors amounting to at least 8 percent of the floor area of such rooms. Outdoor air shall be provided through windows and doors. The openings shall amount to at least 4 percent of the floor area requiring ventilation. If a whole-house mechanical ventilation system and artificial light is provided at an average illumination of 6 foot candles over the area of all rooms at 30 inches above floor level, glazed areas need not be installed (except in attics). Windows, not less than one-half of the area of a common wall is open and unobstructed between two rooms, provides an opening of not less than one-tenth of the floor area of the interior room, and is not less than 20 square feet, it can be considered one large area for the purposes of calculating lighting and ventilation.

R303.3 - Bathroom lighting.
Bathrooms shall be provided with at least 3 square feet of glazing unless artificial light is provided.

R303.4 - Bathroom ventilation.
Bathrooms containing a bathtub or shower shall be provided with a vent fan capable of at least 50 cubic feet per minute for purposes of humidity control. In powder rooms, a vent fan is required if there is 112 square feet of glazing or provided.

R303.4.2 - Exterior Stairway Illumination.
Exterior stairways shall be provided with artificial light source located at the top landing of the stair. Exterior stairways providing access to a basement from the exterior grade level shall be provided with an artificial light source located at the bottom landing of the stairway.

R303.9 - Habitable space.
Provide a heating system capable of maintaining a minimum indoor temperature of 68 degrees F at a level 3'-0" above the floor.

R303.1 - Minimum ceiling height.
Habitable spaces shall have a ceiling height of at least 7 feet. Bathroom and laundry room ceiling heights may be reduced to 6 feet 6 inches. Portions of basements that do not contain habitable space or hallways shall have a ceiling height of not less than 6 feet 8 inches. Attic beams, girders, ducts or other obstructions, the ceiling height in habitable spaces shall not be less than 6 feet 6 inches, and in basements shall be not less than 7 feet 0 inches.

R303.2 - Bathroom and shower spaces.
Bathroom and shower spaces shall be finished with a nonslip surface to at least 6 feet above the floor.

R310.1 - Emergency egress and rescue opening required.
Basements, habitable attics and enclosed areas. Egress openings shall provide access to a public way. Grade floor or below grade egress openings shall have a net clear opening of not less than 5 square feet. Other egress openings shall have a net clear opening of not less than 5.7 square feet. The net clear opening height shall be not less than 20 inches and the net clear width shall be not less than 20 inches. Egress windows shall have the height of the clear opening not greater than 44 inches measured from the floor, where the sill height is below grade, it shall be provided with a window well in accordance with Section R310.2.3.

R311 - Means of egress.
Each dwelling shall be provided with a means of egress that provides a continuous and unobstructed path to a public way.

R311.2 - Egress door.
At least one egress door providing 32 inches clear width and 78 inches height shall be provided for each dwelling unit. Egress doors shall be readily operable from inside the dwelling without the use of a key.

R311.3 - Floors and Landings at Exterior Doors.
There shall be a landing or floor on each side of each exterior door. The width of each landing shall be not less than the door served. Every landing shall have a dimension of not less than 36 inches (914 mm) measured in the direction of travel. The slope at exterior landings shall not exceed 1/4 inch vertical in 12 inches horizontal (2 percent).

R311.3.1 - Egress door landing.
A landing or floor is required on each side of each exterior door. The landing above the required egress door shall be not more than 1 1/2 inches lower than the top of the threshold. If the door swings inward, the landing outside shall be not less than 3/4 inches below the threshold.

R311.6 - Hallways.
The width of a hallway shall be at least 3 feet.

R311.5.1 - Risers.
The riser height shall be not more than 8 1/4 inches (209 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

R311.7.2 - Landings for Stairways.
Landings shall be located at the top and bottom of each stairway. The width perpendicular to the direction of travel shall be not less than the width of the flight served. Landings of stairs other than square or rectangular shall be permitted provided the depth at the wide end of the stair is not less than the depth of a quarter circle with a radius equal to the required landing width. Where the stairway has a straight run, the depth in the direction of travel shall be not less than 36 inches (914 mm).

R311.7.7 - Stairway Walking Surface.
The walking surface of treads and landings of stairways shall be sloped not steeper than one unit vertical in 48 inches horizontal (2 percent slope).

R311.7.8 - Automatic fire sprinkler system.
Any new dwelling shall be provided with an automatic residential fire sprinkler system shall be designed and installed in accordance with CRC Section R313.3 or NFPA 13D. Existing structures converted to dwellings do not require a sprinkler system.

R314.1.1 - Alarm lights.
Smoke alarms shall be listed in accordance with UL 217. Carbon monoxide alarms shall be listed in accordance with UL 2034. Combination smoke and carbon monoxide alarms shall be listed in accordance with both UL 217 and UL 2034.

R314.2.2 - Smoke alarm.
Dwellings shall be equipped with smoke alarms located in these locations: 1. In each bedroom. 2. Outside bedrooms in the immediate vicinity. 3. On each story including basements and habitable attics. 4. More than 3 feet from a bathroom with no shower, unless this conflicts with 1, 2 or 3.

R314.4 - Alarm interconnection and audible alarm.
Smoke and carbon monoxide alarms are required to be interconnected such that activation of one alarm will activate all of the alarms and shall receive their primary power from the building wiring. Interconnection is not required where repairs or alterations to existing buildings do not result in the removal of wall ceiling fire-rated and there is no access by means of attic, basement or crawl space.

R314.2.1 - Carbon monoxide alarms.
Carbon monoxide alarms shall be provided in dwelling units with a fuel-fired appliance or fireplace and/or an attached garage with access to the dwelling unit. Alarms shall be installed in these locations: 1. Outside bedrooms in the immediate vicinity. 2. On each story including basements and habitable attics. 3. In any bedroom or bathroom attached to a bedroom where a fuel-burning appliance is located.

R311.1 - Protection of wood against fire.
If the following criteria cannot be met, wood and wood-based products shall be protected by the use of naturally durable wood or wood that is preservative-treated to prevent decay. 1. In crawl spaces, wood joists should be 18 inches above the exposed ground in crawl spaces. Wood joists can be 12 inches above the exposed ground. 2. Wood siding, sheathing and wall framing on the exterior of a building should be more than 6 inches from the ground or less than 2 inches measured vertically from a paved surface.

R401.3 - Drainage.
Surface drainage shall be diverted to a storm sewer or other approved point of collection, such as a dry well. Lots shall be provided with a flat minimum of 0.2 inches within the first 10 feet away from foundation walls. Where lot lines, walls, slopes or other physical barriers prohibit 0.2 inches of fall within 10 feet, drains or weales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

R401.2 - Openings for Under-Floor Ventilation.
The minimum net area of ventilation openings shall not be less than 1 square foot (0.0929 m²) for each 300 square feet (27.8 m²) of under-floor area. Required openings shall be evenly spaced to provide cross ventilation of the space except one side of the building shall be permitted to have no ventilation openings. Ventilation openings shall be covered for their height and width with any of the following materials provided that the lead dimension of the covering shall not exceed 1/4 inch (6.4 mm):
1. Perforated sheet metal plates not less than 0.070 inch (1.8 mm) thick.
2. Expanded sheet metal plates not less than 0.047 inch (1.2 mm) thick.
3. Cast iron or galvanized iron.
4. Extruded closed-cell foam insulation.
5. Corrosion-resistant wire mesh, with the lead dimension being 1/8 inch (3.2 mm).

R608.4 - Access.
Access shall be provided to all under-floor spaces. Access openings through the floor shall be a minimum of 18 inches by 24 inches (457 mm by 610 mm). Openings through a perimeter wall shall be not less than 16 inches by 40 inches (406 mm by 1016 mm). Where any portion of the through-wall access is below grade, an airway not less than 16 inches by 24 inches (407 mm by 610 mm) shall be provided. The bottom of the airway shall be below the threshold of the access opening. Through wall access openings shall not be located under a door to the residence. See Section M105.1.4 for access requirements where mechanical equipment is located under floors.

R608.2.3 - Vapor Retarder.
A vapor retarder shall be installed in accordance with the California Building Standards Code, Chapter 4, Division 4.5. 206. Ceiling break. A ceiling break (4-inch-thick base of 1/2 inch or larger clean aggregate) with a vapor retarder shall be provided in direct contact with the concrete when pouring a slab-on-grade floor.

R700.1 - Roof ventilation.
Attics shall be cross ventilated using vents that protect against the entrance of rain. Ventilation openings through the roof shall be a minimum of 1/16 inch minimum and 14 inch maximum. 2/15. Minimum roof vent area. The minimum net free ventilating area shall be 1/150 of the area of the vented space. If 40 to 50 percent of the ventilating area is provided within 3 feet of the ridge and the balance provided by eave vents, the minimum net free ventilating area may be reduced to 1/100. 2/16. Vent and insulation clearance. Where eave or cornice vents are installed, insulation shall not block the free flow of air. Not less than a 1-inch space shall be provided between the insulation and the roof sheathing and/or the location of the vent.

R700.2.1 - Water-Resistive Barriers.
Water-resistive barriers shall be installed as required in Section R702.2 and, where applied over wood-based sheathing, shall include a water-resistive vapor-permeable barrier with a performance at least equivalent to the barrier materials listed in Table R702.2. Individual layers shall be installed independently such that each layer provides a separate continuous plane and any fasteners (installed in accordance with Section R702.4) intended to drain to the water-resistive barrier is directed between the layers. The minimum net free ventilating area shall be 1/150 of the area of the vented space.

R807.1 - Attic Access.
Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that have a vertical height of 30 inches (762 mm) or greater over an area of not less than 30 square feet (2.8 m²). The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members.

Detail (A)(10)
210 (B)(1) - Bathroom Recreators.
Recreators in bathrooms must be supplied by at least one 20-amp circuit that shall have no other outlet. Bathroom lighting shall not be on an outlet circuit.
210 (B)(2) - New Recreators.
All branch circuits supplying outlets installed in bedrooms are required to be protected by a listed arc-fault circuit interrupter.
All installed receptacles shall be listed tamper-resistant and shall have a listed combination-type arc-fault circuit interrupter (AFCI) either at the sub-panel or the first receptacle outlet of the receiving branch circuit.
210 (2)(A)(1) - Receptacle Outlet.
Receptacles must be installed every 6 feet along wall sections unbroken by doorways, openings, fireplaces and fixed cabinets.
210 (2)(B)(1) - Outdoor receptacles.
A receptacle shall be provided at both the front and back of a new dwelling unit. Each balcony, deck or porch that is accessible from inside should be provided with a receptacle.
210 (A)(1)(1) - Bathroom receptacles.
At least one receptacle shall be provided within 3 feet of the outside edge of each sink and not more than 12 inches below the countertop. Receptacles installed within 6 feet of the outside edge of a sink, bathtub or shower shall be GFCI protected.

Flashing Code (FD)
402.5 - Toilet clearance.
Clear space around a toilet shall measure a minimum 15" from centerline of toilet to wall or barrier on each side, and a minimum 24" in front of the toilet.
408.3 - Mixing valves.
Clear space around a toilet shall measure a minimum 15" from centerline of toilet to wall or barrier on each side, and a minimum 24" in front of the toilet. Clear space around a toilet shall measure a minimum 15" from centerline of toilet to wall or barrier on each side, and a minimum 24" in front of the toilet. Clear space around a toilet shall measure a minimum 15" from centerline of toilet to wall or barrier on each side, and a minimum 24" in front of the toilet.

408.5 - Shower dams or breakers.
Shower dams and thresholds shall be between 2 inches and 9 inches in depth where measured from the top of the dam or threshold to the top of the drain. The shower floor shall slope no more than 1/4 inch per foot, and not less than 1/8 inch per foot. Control valves and shower heads shall be located on the sidewall of shower compartments or be otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment. Shower doors shall open outward with a minimum 22 inch unobstructed opening to egress. Shower pan dimensions must be a minimum area of 1024 square inches and a minimum finish dimension of 30 inches in any direction.

Indoor water heater vent.
Water heaters in closets or other enclosed areas shall be provided with adequate make-up air. One vent shall be within 12 inches of the top of the enclosed area, and one vent within 12 inches of the bottom. Each vent shall have a free area of not less than 1 square inch per 1,000 Btu/h of the total rated input of the appliances within the space. Water heater sizing. The new water heater(s) shall be sized to comply with the first hour rating required by CPC Table 501.1(1), 210. Water heater strapping. Water heaters with tanks shall be anchored and strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at joints within the upper one-third and lower one-third of its vertical dimensions. At the lower point, a minimum dimension of four inches shall be maintained above the controls with the strapping. Water heater installation in garage. Appliances in garages shall be installed in the living space of a dwelling unit or in the living space of a garage and are not part of the living space of a dwelling unit shall be installed so that burners and burner-joint covers are located not less than 18 inches above the floor unless listed as flammable vapor ignition resistant.

609.1 - Pipe for cooling system.
Insulation of domestic hot water piping shall be in accordance with Section 609.1.1 and Section 609.1.1.1. Insulation Requirements.
Domestic hot water piping shall be insulated.
609.1.2 Pipe Insulation Wall Thickness.
Hot water pipe insulation shall have a minimum wall thickness of not less than the diameter of the pipe for a pipe up to 2 inches (50 mm) in diameter. Insulation wall thickness shall be not less than 2 inches (51 mm) for a pipe of 2 inches (50 mm) or more in diameter.

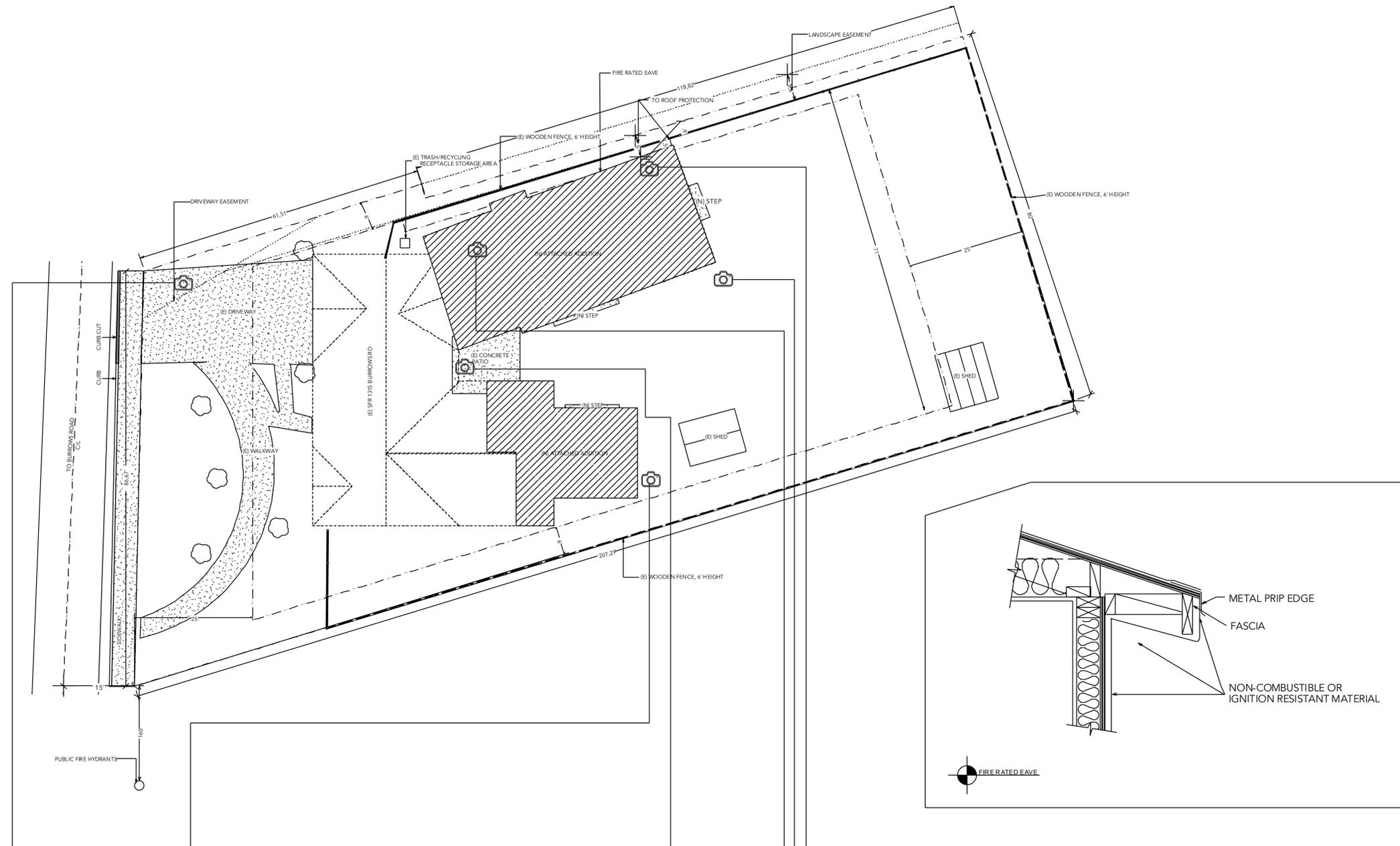
Nearest (A)(10)
402 - Ventilation Air.
Occupiable spaces listed in CMC Table 402.1 shall be designed to have ventilation (outdoor) air for occupants. Provide 5 cfm outdoor air per bedroom, 50 cfm exhaust per kitchen.
402.4 - Air vents.
Air vents shall be covered with a screen having openings between 1/4 inch and 1/2 inch, and shall be designed to prevent rain intrusion.
502.2.1 - Environmental air vents.
Termination of all environmental air ducts (e.g., bath fan, dryer vent, range hood, etc.) shall be at least 3 feet from a property line and from openings into the building, and 10 feet from a forced air intake.

Energy Code (EC)
150 (A) - Insulation.
Edges of exterior floor and ceiling framing spaces located during the course of remodel shall be insulated. R-13 (2x4 wall), R-19 (2x6 wall), R-19 (floor), and R-22 (attic/roof) insulation.
150 (B)(2) Water System Piping and Insulation for Piping, Tanks, and Cooling System Lines.
Water piping and cooling system insulation shall be installed in accordance with Section 150.1.1.1. Insulation Requirements.
Piping shall be insulated to the thicknesses as follows:
A. All domestic hot water system piping conditions listed below, whether buried or unburied, must be insulated and the insulation thickness shall be selected based on the conductivity rates in TABLE 150.1.1.1. The insulation level shall be selected from the flat temperature range based on the thickness requirements in TABLE 120.3-A.1.1.1.
i. The first 5 feet (1.5 meters) of hot and cold water pipes from the storage tank.
ii. All piping associated with a domestic hot water recirculation system regardless of the pipe diameter.
iii. Piping from the heating source to the storage tank or between tanks.
iv. Piping buried below grade.
v. Piping in attics.
B. In addition to insulation requirements, all domestic hot water pipes that are buried below grade must be installed in a water proof and non-leakable casing or sleeve.
C. Pipe for cooling system lines shall be insulated as specified in Subsection A. Distribution piping for steam and hydronic heating systems shall meet the requirements in TABLE 120.3-A.1.1.1.1.
150 (B)(2) - Bathroom exhaust fans.
Exhaust fans shall be switched separately from lighting system and controlled by a humidistat which shall be readily accessible. Fans shall be Energy Star compliant and ducted to terminate outside the building.
150 (B)(2) - Lighting.
Recessed Downlight luminaires in Ceilings.
Luminaires recessed into ceilings shall meet all of the following requirements:
i. Be listed, as defined in Section 100.1, for zero clearance insulation contact (C) by Underwriters Laboratories or other nationally recognized testing laboratory; and
ii. Have a label that certifies the luminaire is airtight with an leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283. An exhaust fan housing shall not be certified airtight, and
iii. Be sealed with a gasket or caulk between the luminaire housing and ceiling, and shall have all air leak paths between conditioned and unconditioned spaces sealed with a gasket or caulk. and
iv. For luminaires with hardware ballasts or drivers, allow ballast or driver maintenance and replacement to be readily accessible to building occupants from below the ceiling without the cutting of the ceiling or the ceiling; and
v. Shall contain light sources that comply with References Joint Appendix JA8, including the elevated temperature requirements, and that are marked "A80-016" or "A80-016" as specified in Reference Joint Appendix JA8.
All added or replacement lighting shall be high efficacy in accordance with CA Energy Code, Table 150.0-A.
150 (B)(2) - Vacuum systems.
In bathrooms and laundry rooms, at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.
In addition to meeting the requirements of Section 150.0(A)(1), luminaires providing residential outdoor lighting shall meet the following requirements, as applicable:
A. For single family residential buildings, outdoor lighting permanently mounted to a residential building or other buildings on the same lot, shall meet the requirement in item i and the requirements in item ii or item iii.
i. Controlled by a motion sensor and OFF switch that does not override to ON the automatic controls of the items i or ii below; and
ii. Controlled by photocell and motion sensor. Controls that override to ON shall not be allowed unless the override automatically deactivates the motion sensor within 6 hours; or
iii. Controlled by one of the following methods:
a. Photocell and automatic time switch control. Controls that override to ON shall not be allowed unless the override shall automatically return the photocell and automatic time switch control to its normal operation within 6 hours; or
b. Astronomical time clock. Controls that override to ON shall not be allowed unless the override shall automatically return the astronomical clock to its normal operation within 6 hours and which is programmed to automatically turn the outdoor lighting OFF during daylight hours; or
c. Energy management control system which meets all of the following requirements:
i. The minimum operating time of an astronomical time clock in accordance with Section 100.10 meets the installation certification requirements in Section 130.4, does not have an override or bypass switch that allows the luminaire to be always ON; and, is programmed to automatically turn the outdoor lighting OFF during daylight hours.

Water Heater Sizing.
Water heaters in closets or other enclosed areas shall be provided with adequate make-up air. One vent shall be within 12 inches of the top of the enclosed area, and one vent within 12 inches of the bottom. Each vent shall have a free area of not less than 1 square inch per 1,000 Btu/h of the total rated input of the appliances within the space. Water heater sizing. The new water heater(s) shall be sized to comply with the first hour rating required by CPC Table 501.1(1), 210. Water heater strapping. Water heaters with tanks shall be anchored and strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at joints within the upper one-third and lower one-third of its vertical dimensions. At the lower point, a minimum dimension of four inches shall be maintained above the controls with the strapping. Water heater installation in garage. Appliances in garages shall be installed in the living space of a dwelling unit or in the living space of a garage and are not part of the living space of a dwelling unit shall be installed so that burners and burner-joint covers are located not less than 18 inches above the floor unless listed as flammable vapor ignition resistant.

Nearest (A)(10)
402 - Ventilation Air.
Occupiable spaces listed in CMC Table 402.1 shall be designed to have ventilation (outdoor) air for occupants. Provide 5 cfm outdoor air per bedroom, 50 cfm exhaust per kitchen.
402.4 - Air vents.
Air vents shall be covered with a screen having openings between 1/4 inch and 1/2 inch, and shall be designed to prevent rain intrusion.
502.2.1 - Environmental air vents.
Termination of all environmental air ducts (e.g., bath fan, dryer vent, range hood, etc.) shall be at least 3 feet from a property line and from openings into the building, and 10 feet from a forced air intake.

Energy Code (EC)
150 (A) - Insulation.
Edges of exterior floor and ceiling framing spaces located during the course of remodel shall be insulated. R-13 (2x4 wall), R-19 (2x6 wall), R-19 (floor), and R-22 (attic/roof) insulation.
150 (B)(2) Water System Piping and Insulation for Piping, Tanks, and Cooling System Lines.
Water piping and cooling system insulation shall be installed in accordance with Section 150.1.1.1. Insulation Requirements.
Piping shall be insulated to the thicknesses as follows:
A. All domestic hot water system piping conditions listed below, whether buried or unburied, must be insulated and the insulation thickness shall be selected based on the conductivity rates in TABLE 150.1.1.1. The insulation level shall be selected from the flat temperature range based on the thickness requirements in TABLE 120.3-A.1.1.1.
i. The first 5 feet (1.5 meters) of hot and cold water pipes from the storage tank.
ii. All piping associated with a domestic hot water recirculation system regardless of the pipe diameter.
iii. Piping from the heating source to the storage tank or between tanks.
iv. Piping buried below grade.
v. Piping in attics.
B. In addition to insulation requirements, all domestic hot water pipes that are buried below grade must be installed in a water proof and non-leakable casing or sleeve.
C. Pipe for cooling system lines shall be insulated as specified in Subsection A. Distribution piping for steam and hydronic heating systems shall meet the requirements in TABLE 120.3-A.1.1.1.
150 (B)(2) - Bathroom exhaust fans.
Exhaust fans shall be switched separately from lighting system and controlled by a humidistat which shall be readily accessible. Fans shall be Energy Star compliant and ducted to terminate outside the building.
150 (B)(2) - Lighting.
Recessed Downlight luminaires in Ceilings.
Luminaires recessed into ceilings shall meet all of the following requirements:
i.



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

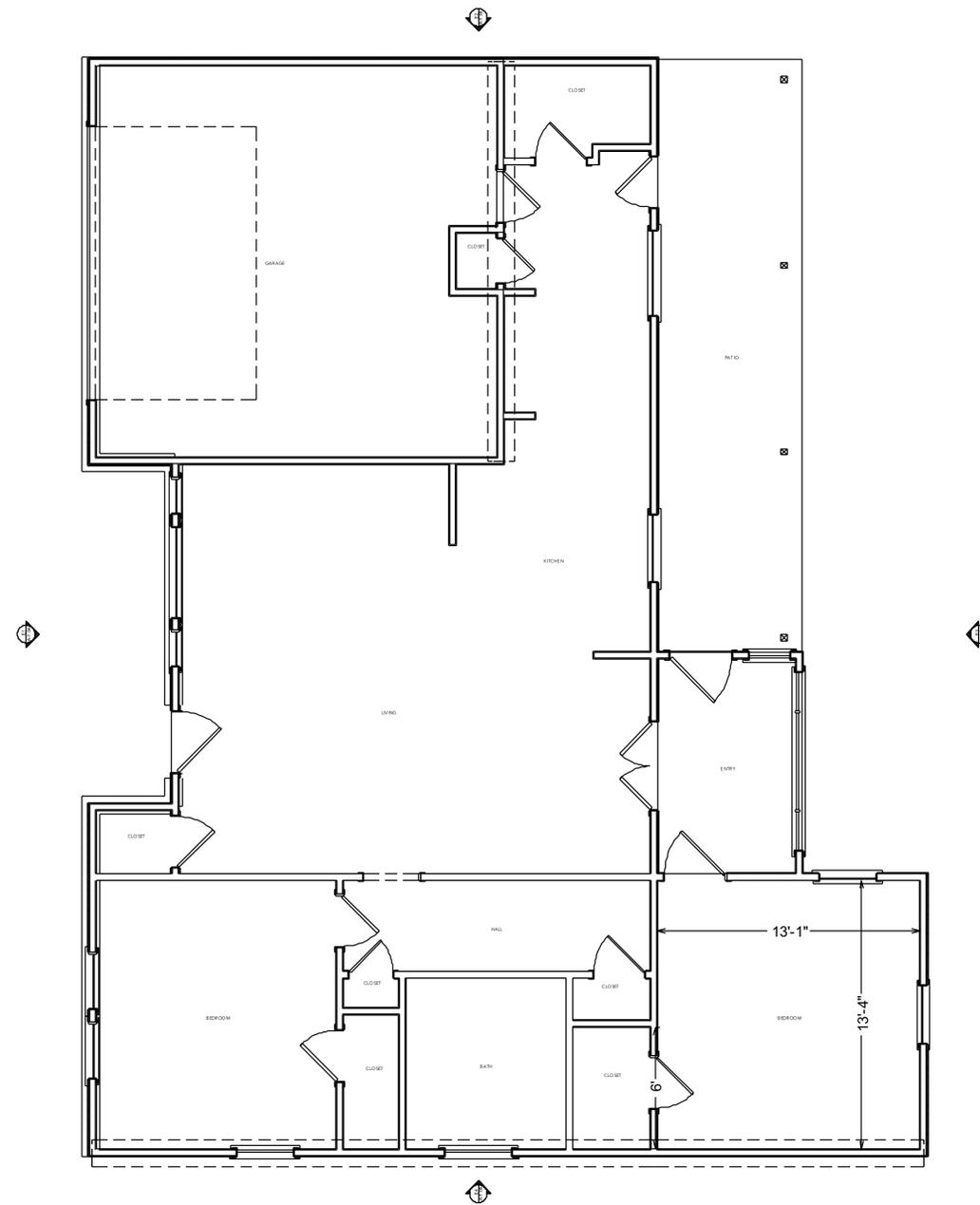
CLIENT
HAO WANG

TITLE
PLOT PLAN
AND
LANDSCAPE
PLAN

DATE
11.07.22

SCALE
1/12" = 1'





PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

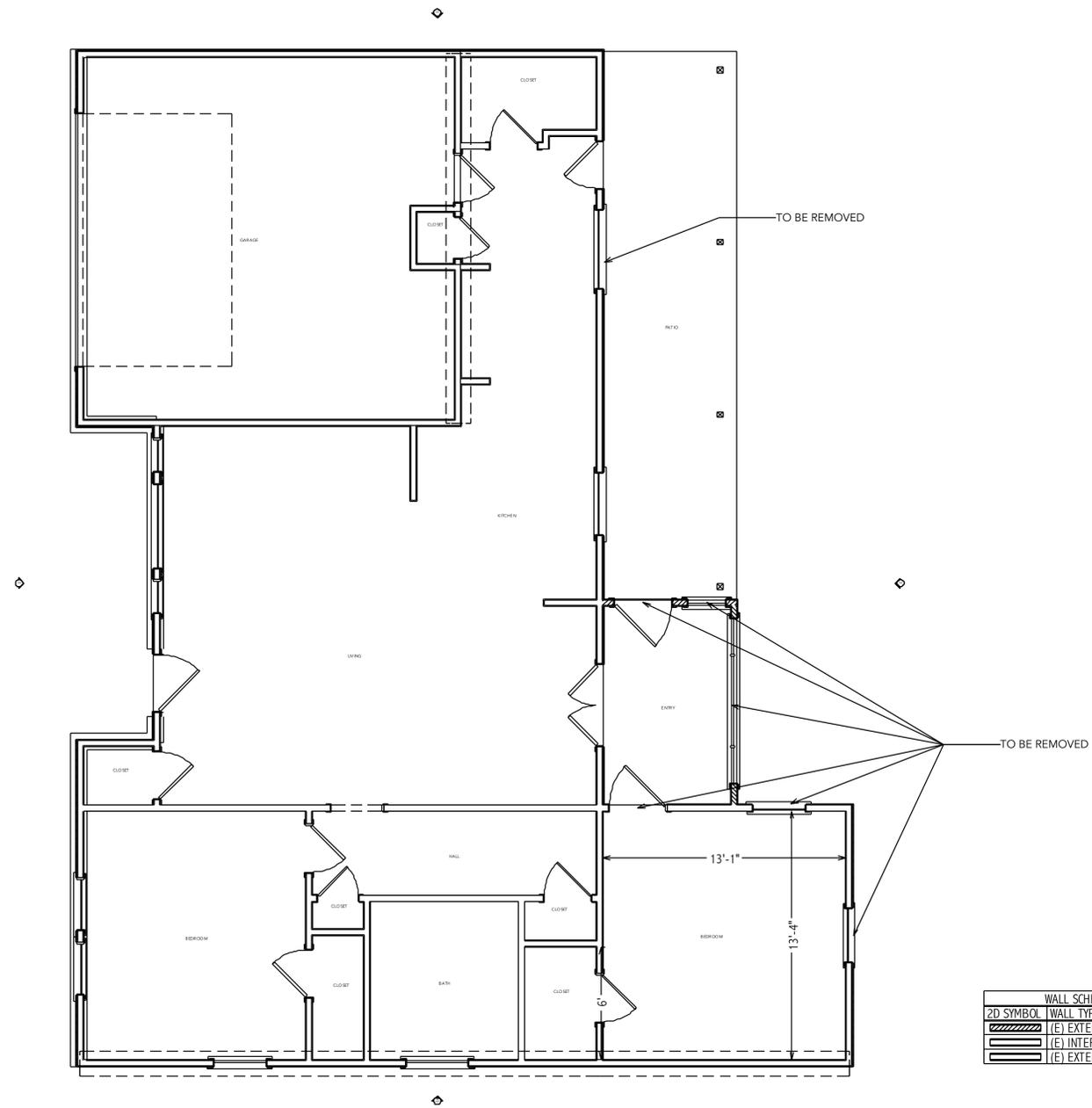
TITLE
FLOOR PLAN

EXISTING/AS-
BUILT

DATE
11.07.22

SCALE
1/4"=1'

A-1.02



WALL SCHEDULE	
2D SYMBOL	WALL TYPE
	(E) EXTERIOR, DMLTN
	(E) INTERIOR 4"
	(E) EXTERIOR 4"

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

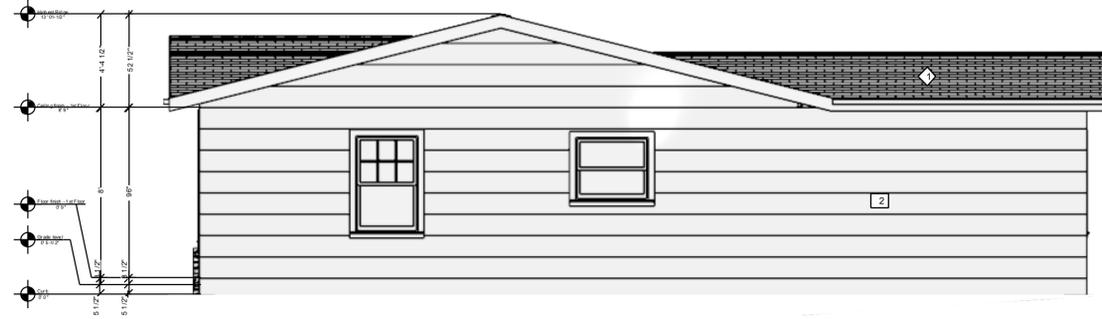
TITLE
DEMOLITION
PLAN

EXISTING/AS-BUILT

DATE
11.07.22

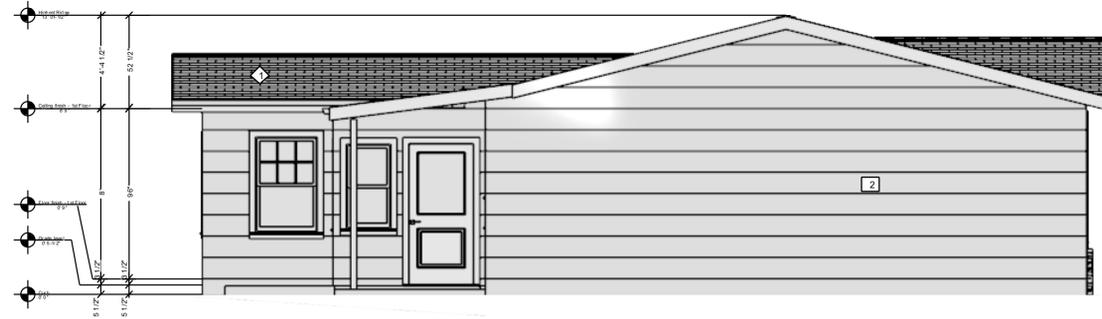
SCALE
1/4"=1'

ELEVATION 4
1/4" = 1'



- ◇ (E) ASPHALT ROOF SHINGLE
- (E) SIDING - WHITE

ELEVATION 2
1/4" = 1'



- ◇ (E) ASPHALT ROOF SHINGLE
- (E) SIDING - WHITE

ELEVATION 1
1/4" = 1'



- ◇ (E) ASPHALT ROOF SHINGLE
- (E) SIDING - WHITE
- ⊙ (E) PONY WALL - STONE

ELEVATION 3
1/4" = 1'



- ◇ (E) ASPHALT ROOF SHINGLE
- (E) SIDING - WHITE

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
ELEVATIONS

EXISTING/AS-
BUILT

DATE
11.07.22

SCALE
1/4"=1'

A-1.04

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

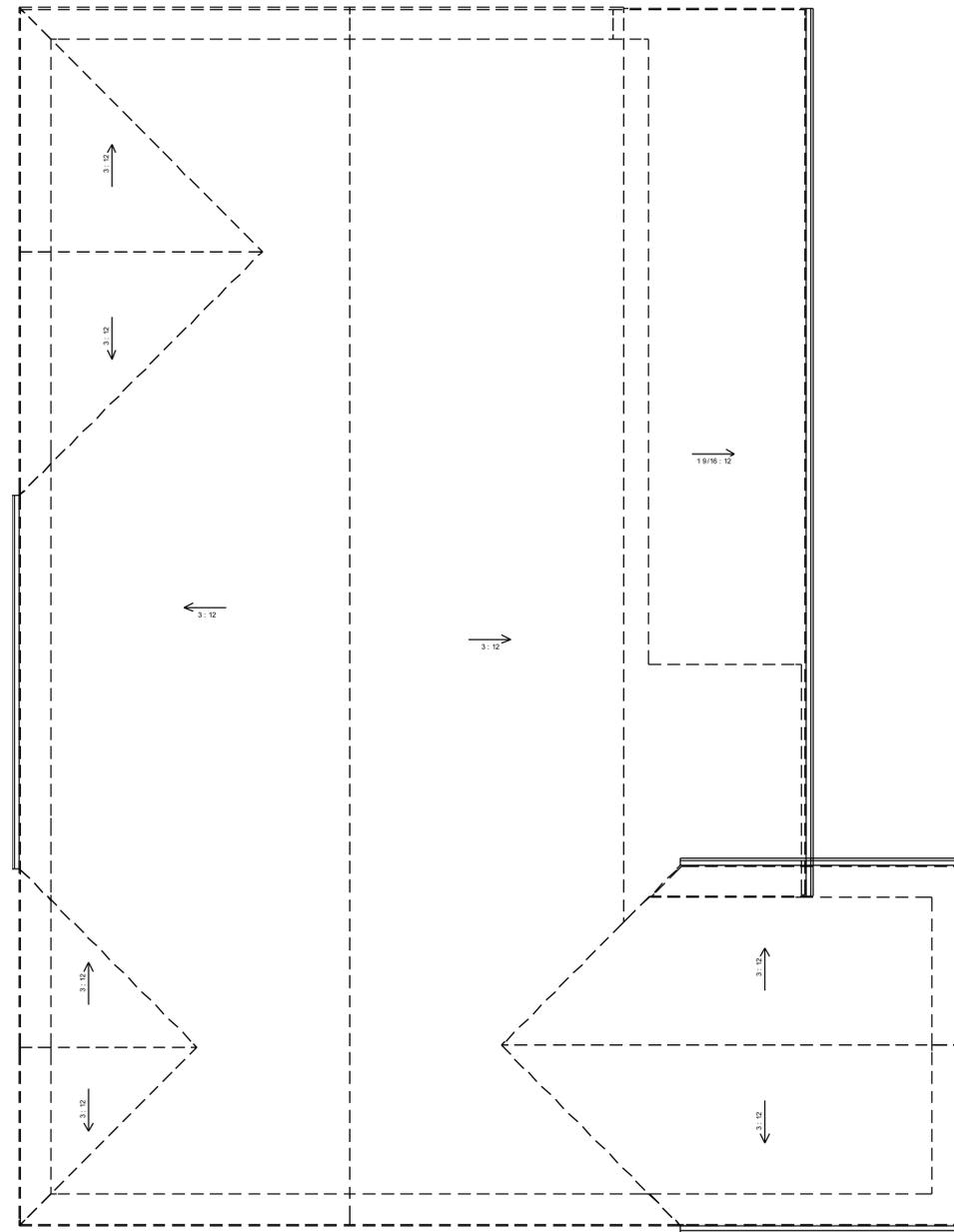
CLIENT
HAO WANG

TITLE
ROOF PLAN

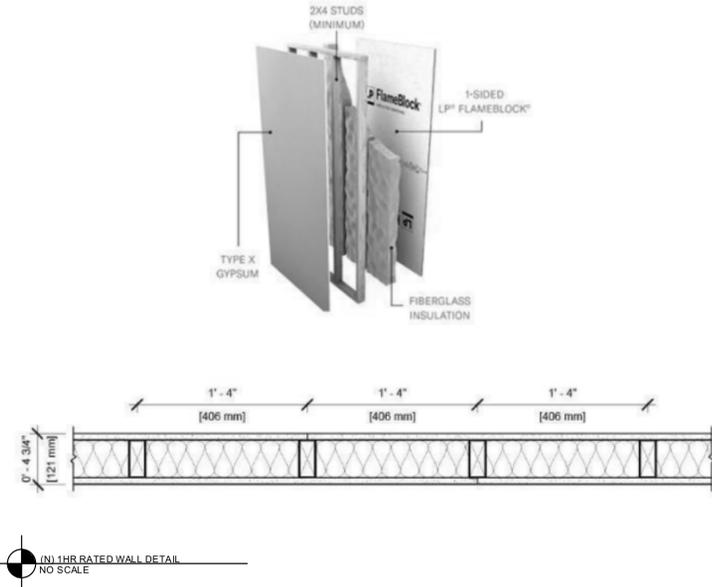
EXISTING/AS-BUILT

DATE
11.07.22

SCALE
1/4" = 1'



NOTE:
UL U305 Interior Partitions - Wood Stud (Load-Bearing)
FIBERGLASS INSULATION USED FOR 1 HR RATED WALL BETWEEN
(N) ATTACHED ADU AND (E) SFR WILL PROVIDE ENOUGH NOISE ATTENUATION.

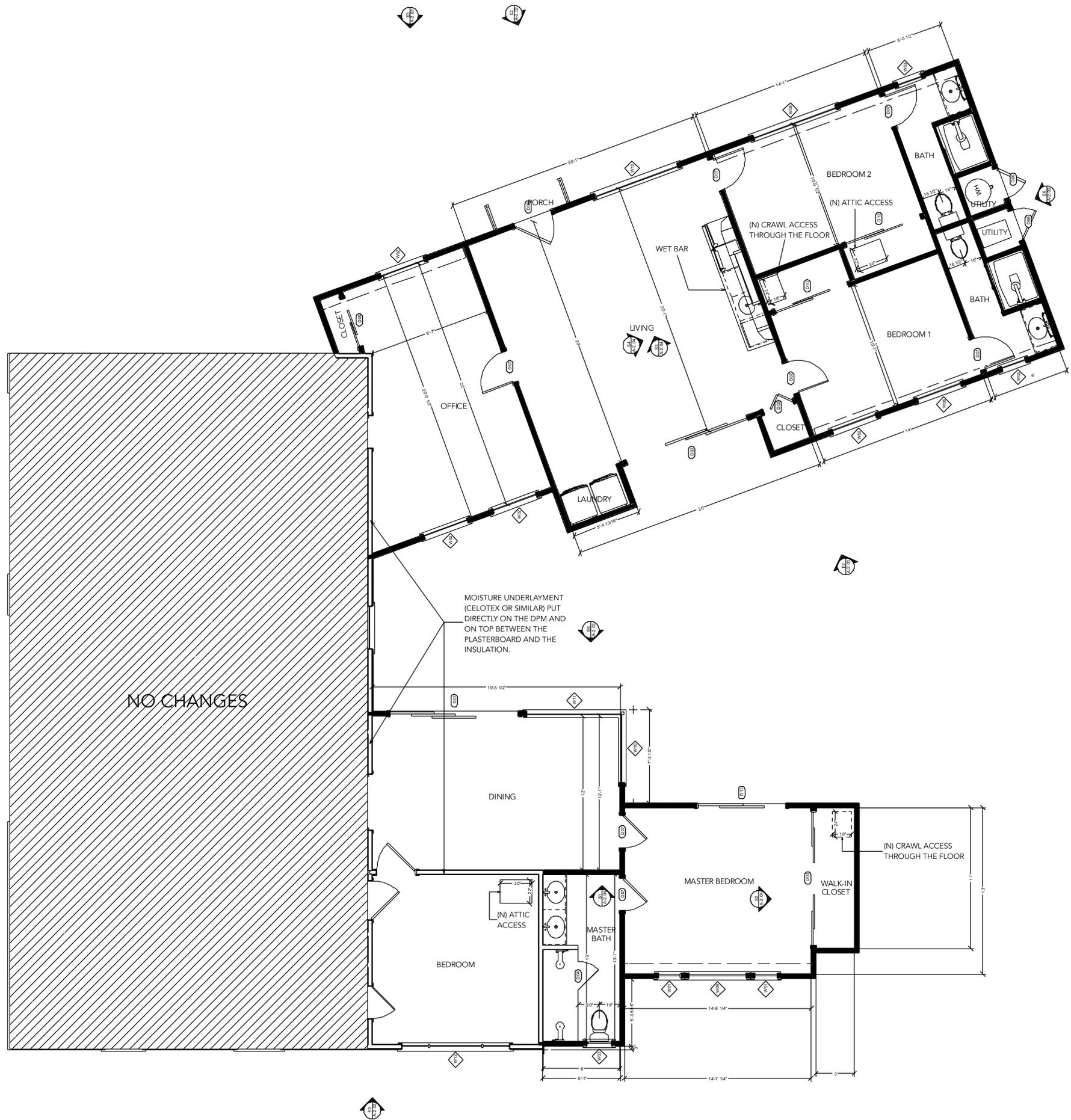


DOOR SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION
D01	1	1	120"	80"	122"X83"	EXT. 0+3-PANEL SLIDER-GLASS PANEL
D02	1	1	120"	80"	122"X83"	0+3-PANEL SLIDER-DOOR F01
D03	1	1	125"	80"	127"X82 1/2"	QUAD SLIDER-LOUVERED
D04	1	1	27"	80"	27"X80"	SHOWER-GLASS SLAB
D05	1	1	29"	80"	31"X82 1/2"	2 DR. BIFOLD-LOUVERED
D06	2	1	29"	80"	31"X83"	EXT. HINGED-SLAB
D07	7	1	30"	80"	32"X82 1/2"	HINGED-DOOR P01
D08	1	1	36"	80"	38"X83"	EXT. HINGED-DOOR E26
D09	1	1	47"	80"	49"X82 1/2"	SLIDER-DOOR P04
D10	1	1	72"	80"	74"X82 1/2"	SLIDER-DOOR P04
D11	1	1	82"	80"	84"X83"	EXT. SLIDER-GLASS PANEL
D12	1	1	74"	80"	76"X82 1/2"	SLIDER-DOOR P04

WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	WIDTH	HEIGHT	R/O	DESCRIPTION
W01	2	1	22"	59"	23"X60"	EGRESS DOUBLE HUNG
W02	4	1	44"	59"	45"X60"	DOUBLE HUNG
W03	3	1	24"	35"	25"X36"	DOUBLE HUNG
W04	2	2	12"	12"	13"X13"	LOUVERED
W05	1	1	44"	59"	45"X60"	YES DOUBLE HUNG
W06	1	2	18"	24"	19"X25"	LOUVERED
W07	2	2	12"	18"	13"X19"	LOUVERED
W08	1	1	83"	59"	84"X60"	YES DOUBLE HUNG
W09	1	1	55"	59"	56"X60"	YES SINGLE CASEMENT-HR
W10	1	1	65"	54"	66"X55"	SINGLE HUNG
W11	1	1	90"	54"	91"X55"	SINGLE HUNG
W12	1	1	83"	59"	84"X60"	DOUBLE HUNG
W13	1	1	102"	44"	103"X45"	TRIPLE CASEMENT-LHL/RHR

WALL SCHEDULE		
2D SYMBOL	WALL TYPE	
	(N) 1HR RATED WALL	
	(N) INTERIOR WALL	
	(E) INTERIOR WALL	
	(N) EXTERIOR WALL	
	(E) EXTERIOR WALL	

ROOM AREA CALCULATION		
NUMBER	ROOM NAME	AREA, INTERIOR (SQ FT)
R01	BATH	56
R02	CLOSET	7
R03	CLOSET	9
R04	DINING	232
R05	LAUNDRY	16
R06	MASTER BATH	77
R07	MASTER BEDROOM	189
R08	PORCH	13
R09	UNSPECIFIED	139
R10	UNSPECIFIED	140
R11	UNSPECIFIED	18
R12	UNSPECIFIED	233
R13	UNSPECIFIED	37
R14	UNSPECIFIED	401
R15	UTILITY	9
R16	WALK-IN CLOSET	33
TOTALS:		1692



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

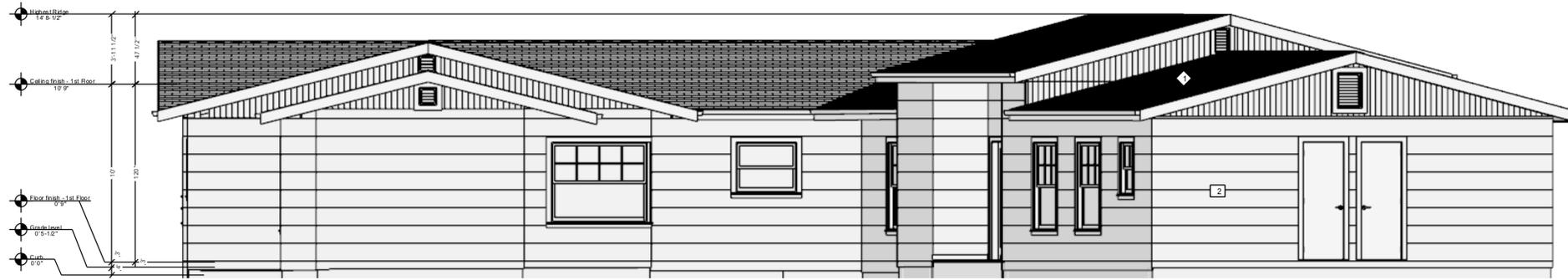
TITLE
FLOOR PLAN

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

A-2.01



ELEVATION 1



ELEVATION 2



ELEVATION 3



ELEVATION 4

PROJECT
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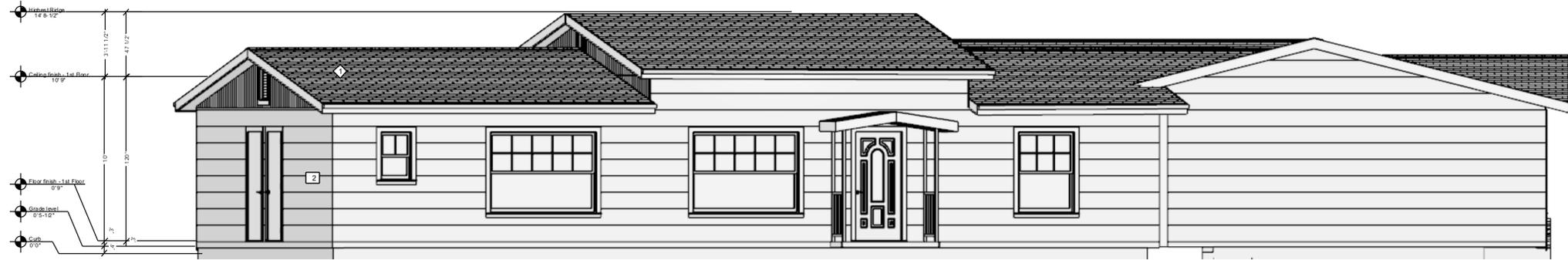
TITLE
ELEVATIONS

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

A-2.02



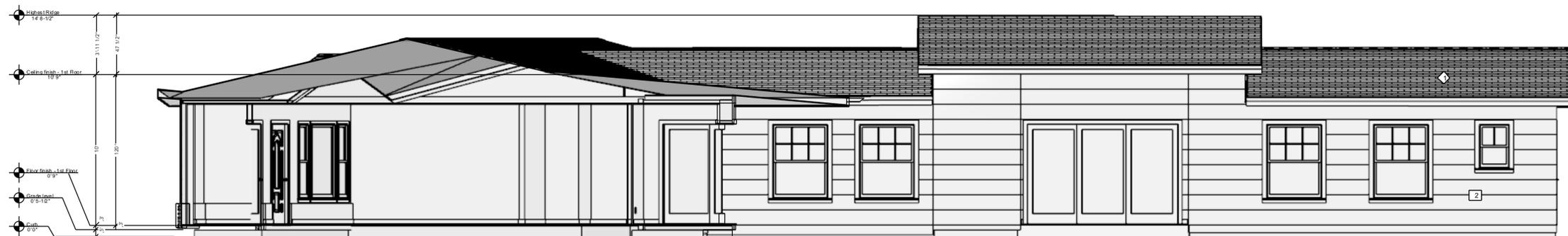
ELEVATION 5

- (N) ASPHALT ROOF SHINGLE TO MATCH UNDERLAYMENT - ROOFING FELT PAPER
- (N) SIDING - TO MATCH UNDERLAYMENT STANDARD BLACK STUCCO PAPER



ELEVATION 6

- (N) ASPHALT ROOF SHINGLE TO MATCH UNDERLAYMENT - ROOFING FELT PAPER
- (N) SIDING - TO MATCH UNDERLAYMENT STANDARD BLACK STUCCO PAPER



ELEVATION 7

- (N) ASPHALT ROOF SHINGLE TO MATCH UNDERLAYMENT - ROOFING FELT PAPER
- (N) SIDING - TO MATCH UNDERLAYMENT STANDARD BLACK STUCCO PAPER



ELEVATION 8

- (N) ASPHALT ROOF SHINGLE TO MATCH UNDERLAYMENT - ROOFING FELT PAPER
- (N) SIDING - TO MATCH UNDERLAYMENT STANDARD BLACK STUCCO PAPER

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
ELEVATIONS

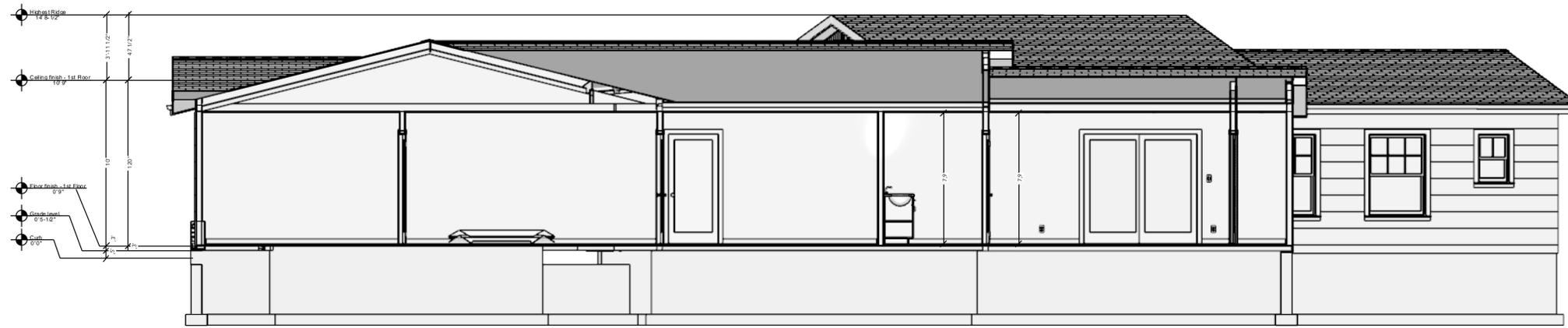
PROPOSED

DATE
11.07.22

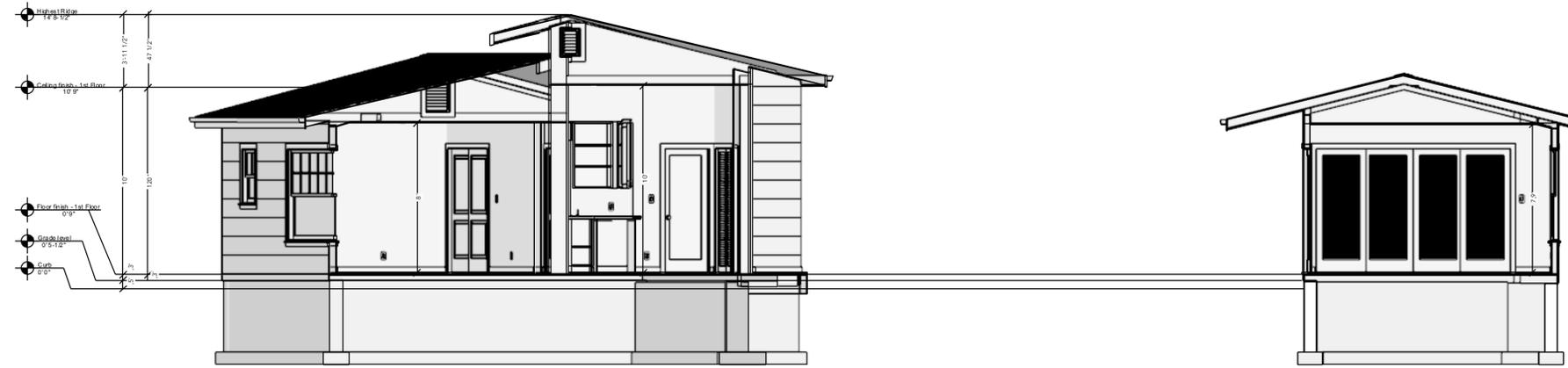
SCALE
1/4" = 1'

A-2.03

CROSS SECTION 1



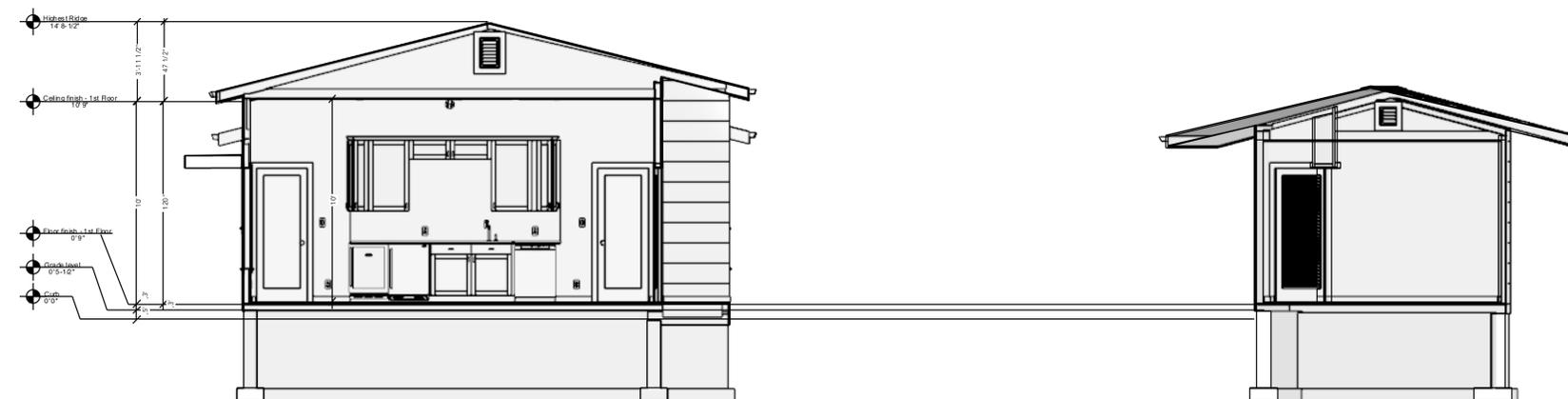
CROSS SECTION 2



CROSS SECTION 3



CROSS SECTION 4



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

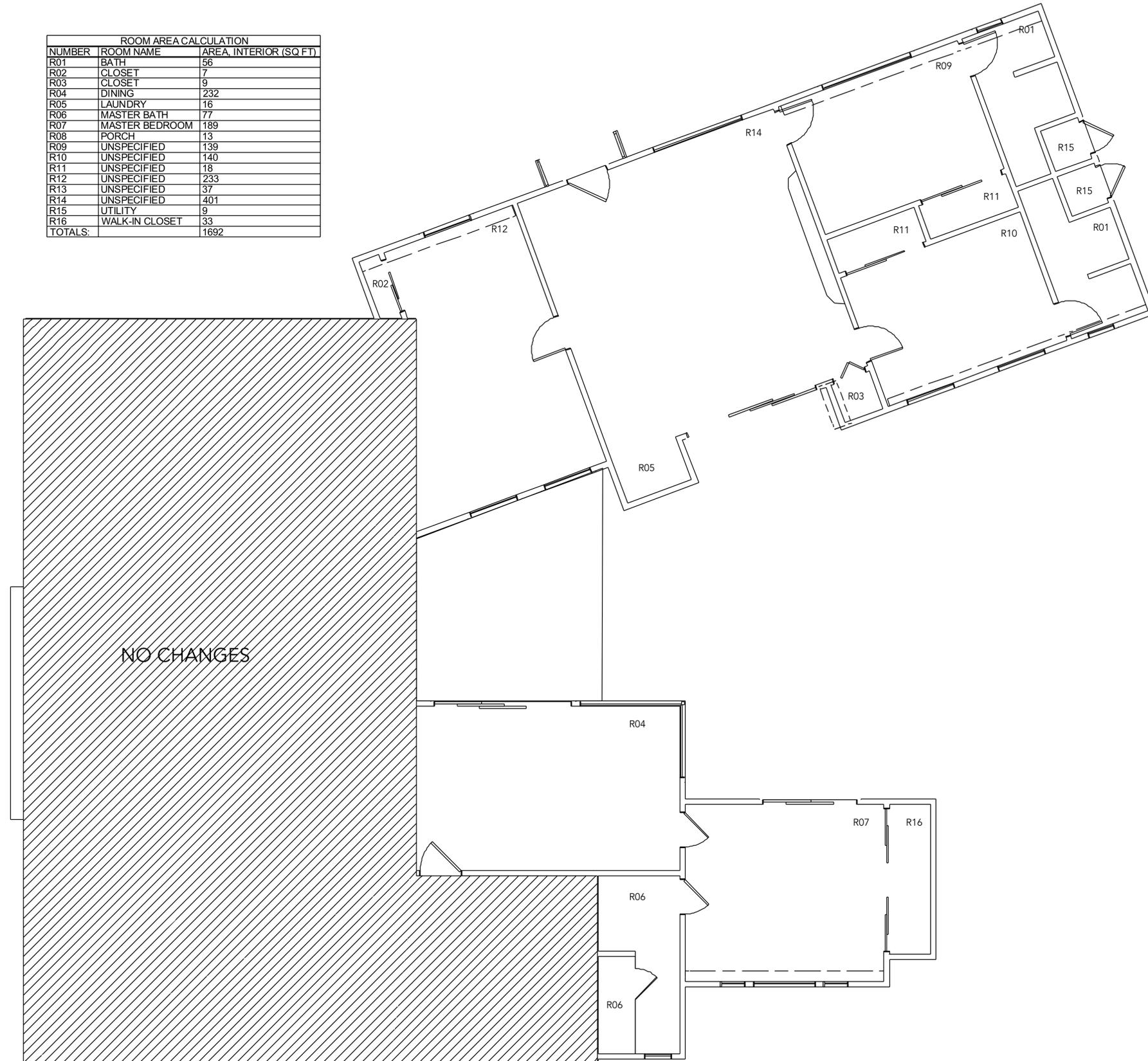
TITLE
CROSS
SECTIONS

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

ROOM AREA CALCULATION		
NUMBER	ROOM NAME	AREA, INTERIOR (SQ FT)
R01	BATH	56
R02	CLOSET	7
R03	CLOSET	9
R04	DINING	232
R05	LAUNDRY	16
R06	MASTER BATH	77
R07	MASTER BEDROOM	189
R08	PORCH	13
R09	UNSPECIFIED	139
R10	UNSPECIFIED	140
R11	UNSPECIFIED	18
R12	UNSPECIFIED	233
R13	UNSPECIFIED	37
R14	UNSPECIFIED	401
R15	UTILITY	9
R16	WALK-IN CLOSET	33
TOTALS:		1692



PROJECT
ADDITION

ADDRESS
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CA 95008

CLIENT
HAO WANG

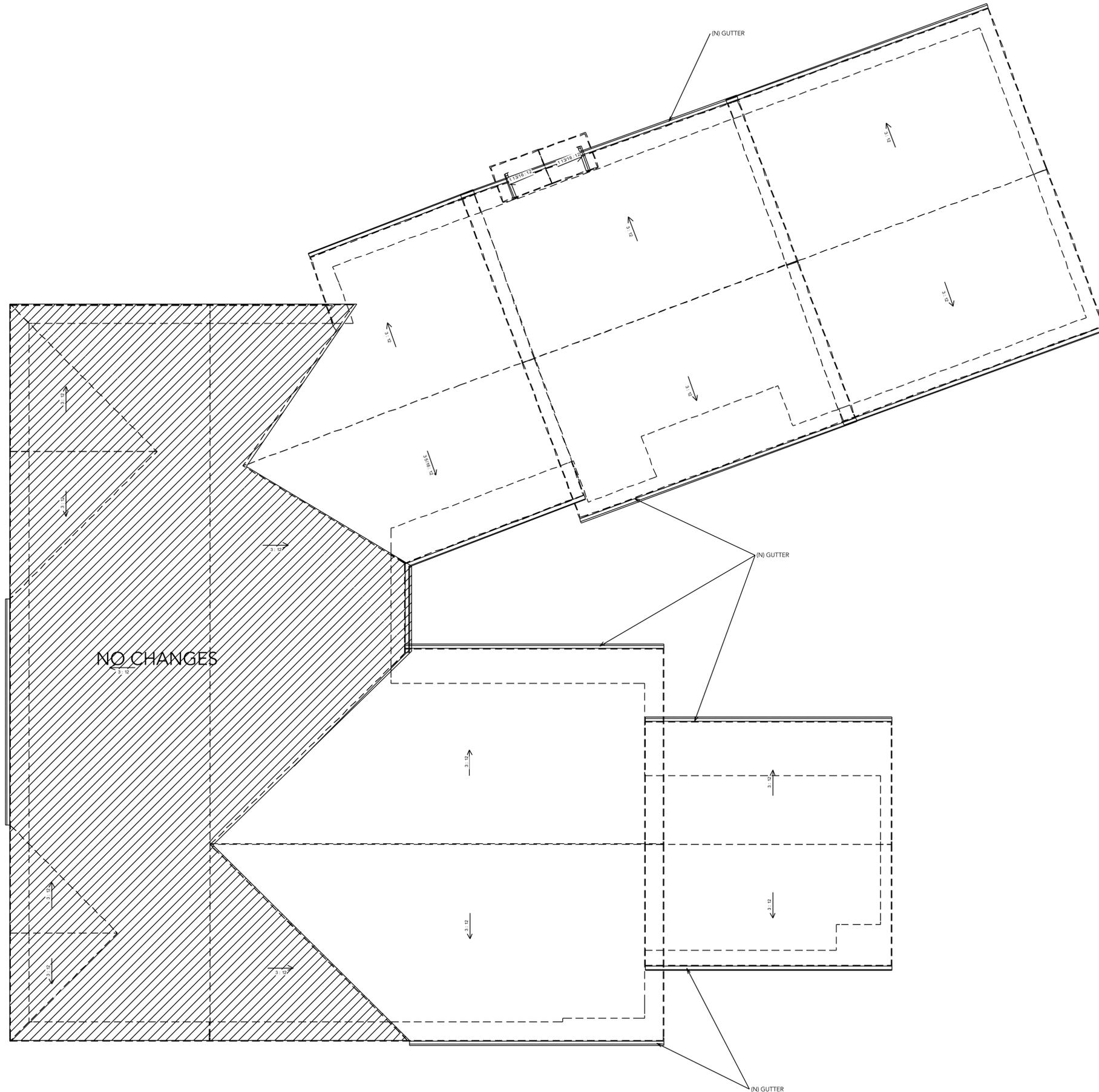
TITLE
AREA DIAGRAM

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

A-2.05



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
ROOF PLAN

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

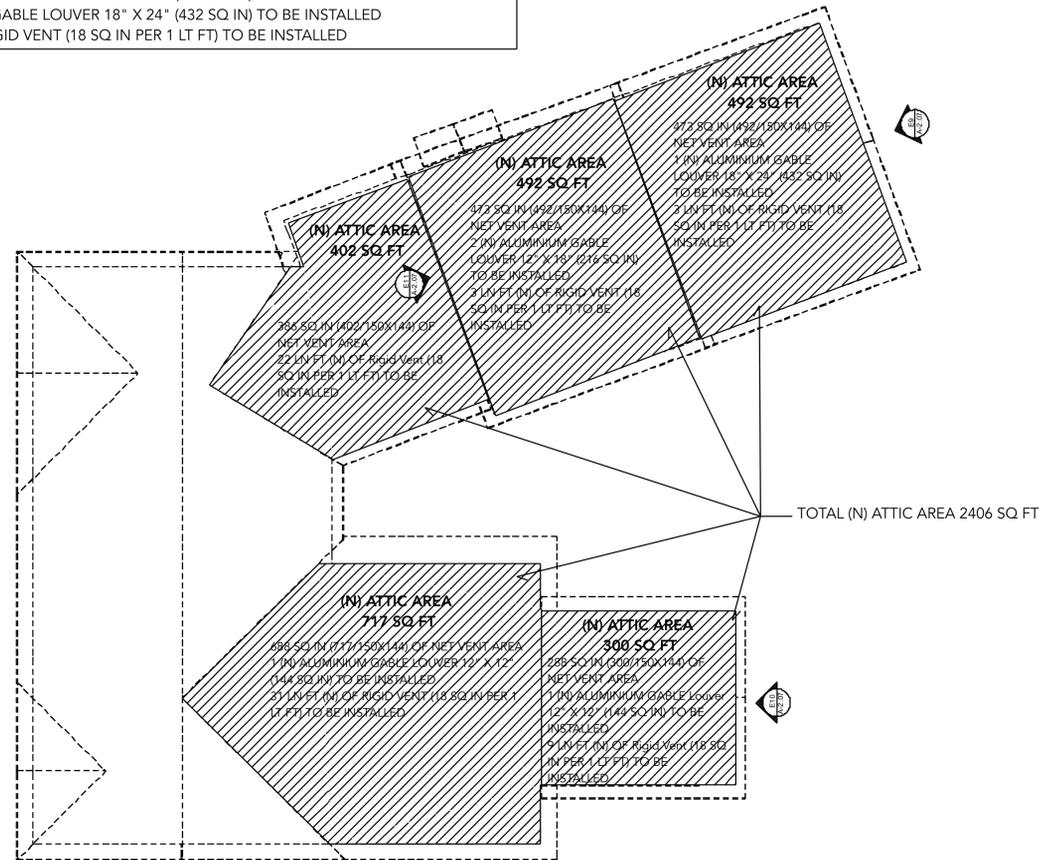
A-2.06

ATTIC VENTILATION CALCULATION

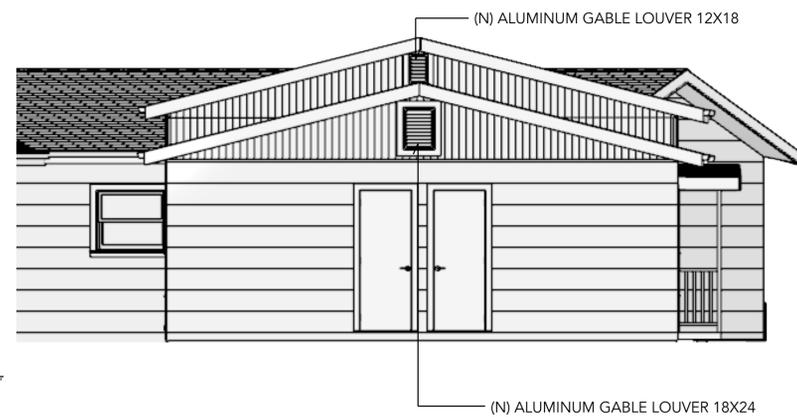
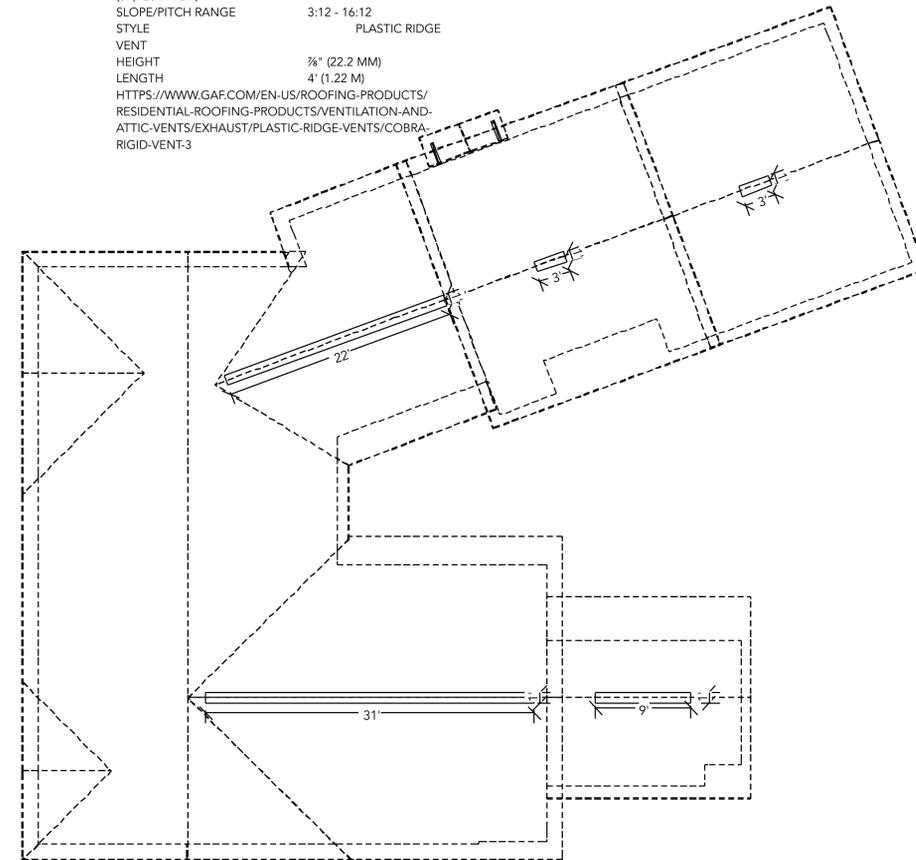
CRC R806.2 REQUIRES 1/150 OF THE AREA OF THE VENTED SPACE
(N) ATTIC SPACE AREA 2406 SQ FT
2310 MINIMUM SQ. IN. (2406/150X144) OF NET FREE AREA OF EXHAUST NEEDED AT OR NEAR THE RIDGE
2 (N) ALUMINIUM GABLE LOUVER 12" X 18" (144 SQ IN) TO BE INSTALLED
2 (N) ALUMINIUM GABLE LOUVER 12" X 18" (216 SQ IN) TO BE INSTALLED
1 (N) ALUMINIUM GABLE LOUVER 18" X 24" (432 SQ IN) TO BE INSTALLED
68 LN FT (N) OF RIGID VENT (18 SQ IN PER 1 LT FT) TO BE INSTALLED

NOTE:

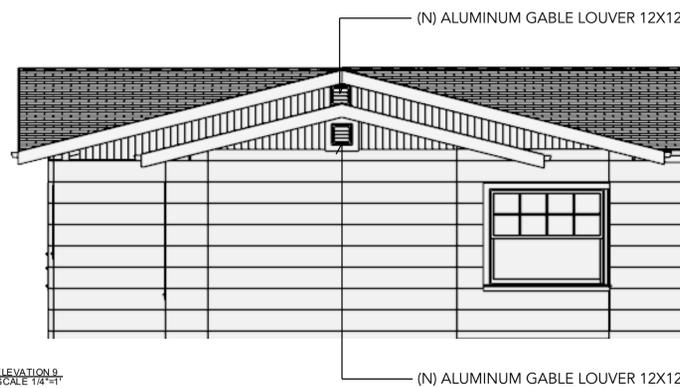
<p>  RIGID VENT (18 SQ IN PER 1 LT FT) MANUFACTURER GAF CONSTRUCTION POLYPROPYLENE EASY TEAR 3" INCREMENTS INSTALLATION METHOD HAND NAIL NET FREE AREA (NFA) 18 SQ. IN./LIN. FT. (67,720 M²/LM) SLOPE/PITCH RANGE 3:12 - 16:12 STYLE PLASTIC RIDGE VENT HEIGHT 7/8" (22.2 MM) LENGTH 4' (1.22 M) HTTPS://WWW.GAF.COM/EN-US/ROOFING-PRODUCTS/RESIDENTIAL-ROOFING-PRODUCTS/VENTILATION-AND-ATTIC-VENTS/EXHAUST/PLASTIC-RIDGE-VENTS/COBRA-RIGID-VENT-3 </p>
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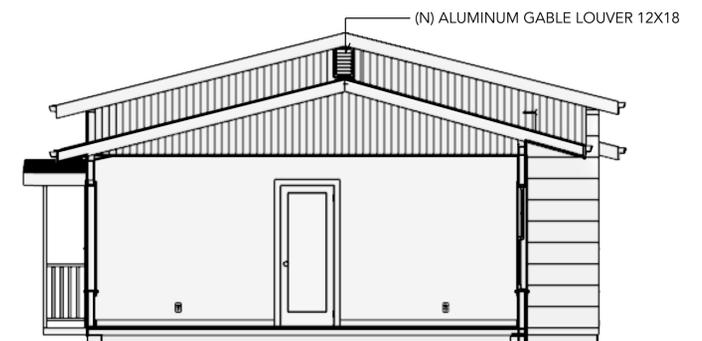
(N) ATTIC AREA LAYOUT
SCALE 1/8"=1'



ELEVATION 8
SCALE 1/4"=1'



ELEVATION 9
SCALE 1/4"=1'



ELEVATION 8
SCALE 1/4"=1'

NOTE:

<p> MASTER FLOW® ALUMINIUM GABLE LOUVERS MANUFACTURER GAF COLORS WHITE, MILL CONSTRUCTION ALUMINUM MOUNT FLUSH OR RECESSED HTTPS://WWW.GAF.COM/EN-US/ROOFING-PRODUCTS/RESIDENTIAL-ROOFING-PRODUCTS/VENTILATION-AND-ATTIC-VENTS/LOUVERS/INTAKE-EXHAUST-GABLE-LOUVERS/MASTER-FLOW-ALUMINIUM-GABLE-LOUVERS </p>

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
ATTIC AREA
VENTILATION

PROPOSED

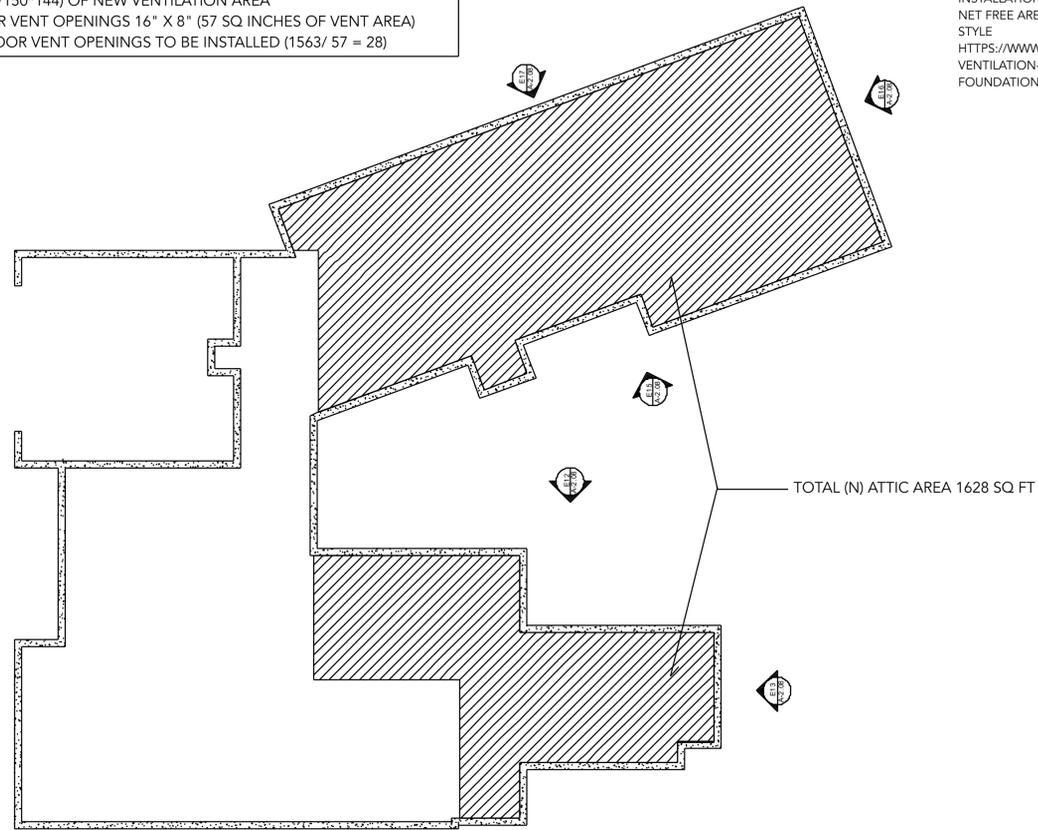
DATE
11.07.22

SCALE
AS NOTED

UNDER FLOOR VENTILATION CALCULATION

ACCORDING TO CRC R408.2
 UNDER FLOOR AREA OF 1628 SQ. FT. REQUIRES
 1563 SQ. IN. (1628/150*144) OF NEW VENTILATION AREA
 (N) UNDER FLOOR VENT OPENINGS 16" X 8" (57 SQ. INCHES OF VENT AREA)
 28 (N) UNDER FLOOR VENT OPENINGS TO BE INSTALLED (1563/ 57 = 28)

NOTE:
 MASTER FLOW® AUTOMATIC FOUNDATION VENT - FVRABL
 MANUFACTURER GAF
 COLORS BLACK
 CONSTRUCTION HI-DENSITY POLYETHYLENE
 INSTALLATION METHOD SNAP-IN
 NET FREE AREA (NFA) 57 SQ. IN. NFA
 STYLE AUTOMATIC OPERATION
[HTTPS://WWW.GAF.COM/EN-US/ROOFING-PRODUCTS/RESIDENTIAL-ROOFING-PRODUCTS/VENTILATION-AND-ATTIC-VENTS/FOUNDATION-VENTS/MASTER-FLOW-AUTOMATIC-FOUNDATION-VENT-FVRABL/SPECIFICATIONS](https://www.gaf.com/en-us/roofing-products/residential-roofing-products/ventilation-and-attic-vents/foundation-vents/master-flow-automatic-foundation-vent-fvrabl/specifications)



ELEVATION 12
SCALE 1/4"=1'-0"

ELEVATION 13
SCALE 1/4"=1'-0"



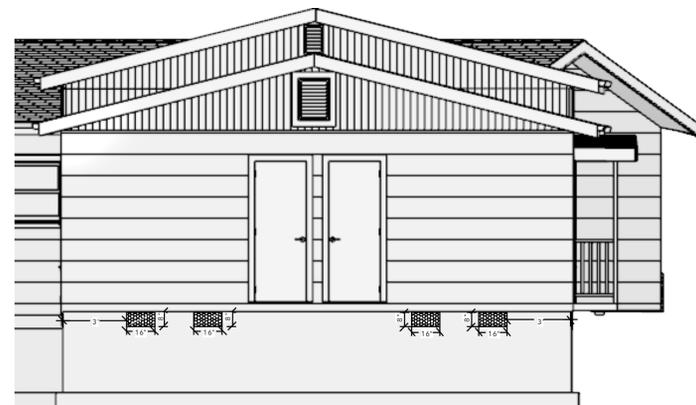
ELEVATION 14
SCALE 1/4"=1'-0"

ELEVATION 15
SCALE 1/4"=1'-0"



ELEVATION 16
SCALE 1/4"=1'-0"

ELEVATION 17
SCALE 1/4"=1'-0"



PROJECT
ADDITION

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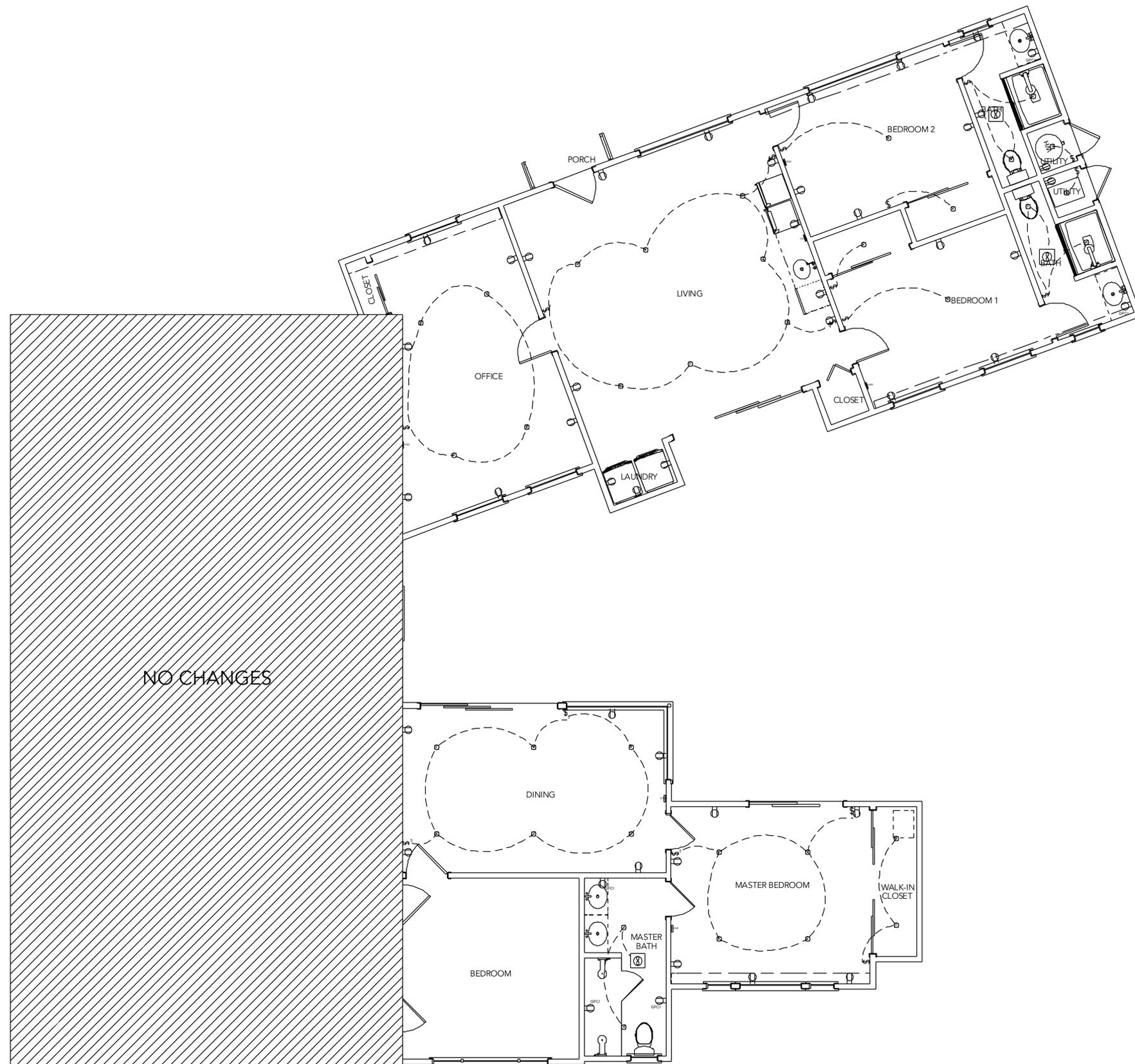
CLIENT
HAO WANG

TITLE
VENTILATION

PROPOSED

DATE
11.07.22

SCALE
AS NOTED



Description of Load	Quantity	Volt-Amps on Nameplate Rating	Units	(Watts) Volt-Amps Used
General Lighting/Power Load				
Total Square Footage of building times 3	9186	3	volt-amps/ft	27558
Kitchen Small Appliance Branch	1	1,500	volt-amps	1500
Laundry Circuit (min. 1)	1	1,500	Volt-Amps	1500
Appliances and Equipment Except Air Conditioning				
Microwave	1	1,400	watts	2800
Trash Compactor	0	1,000	watts	0
Dishwasher	2	1,500	watts	3000
Chopser	1	1,000	watts	2000
Electric Oven	0	2,000	watts	0
Electric Range	0	5,000	watts	0
Induction Range	0	10,000	watts	0
Electric Clothes Dryer	1	4,000	watts	8000
Electric Clothes Washer	2	500	watts	1000
Electric Tankless Water Heater	0	15,000	watts	0
Electric Water Heater	1	4,000	watts	8000
Electric Heat Pump Water Heater	0	550	watts	0
Electric Vehicle Supply Equipment	0	7,000	watts	0
Exhaustive Cooler	0	500	watts	0
Pool or Spa	0	2,000	watts	0
Other				
				0
				0
				0
Sub-Total Volt-Amps Used (add up VA used for everything checked)				58358
				30,000 V.A
				48358
				x 40
				19343.2
				+10,000 V.A
				29343.2
Heating and Air Conditioning (include the largest of the following):				
1. Air conditioning and cooling (100% of nameplate (NP) rating) + 20 amp x 240 volts = 4800 VA, Heat load 15,000 VA x .85 = 9750 VA (Bargata load)				
				9750
2. Heat pump without supplemental heating (100% NP Rating)				
				0
3. Heat pump with supplemental electric heat (100% NP plus 65%)				
				0
4. Electrical space heating - 4 separate units (65% NP rating)				
				0
5. Electrical space heating - 4 separate units (100% NP rating)				
				0
6. Electrical thermal storage and other 100% NP rating				
				0
Total Current Demand (Volt-Amps) =				39093.2
Divided by 240 Volts =				162.9
Total Amps Required for Service Conductors and Panel =				163 Amps
Rating of Existing/Proposed Electrical Service or Subpanel (Amps) =				200
Now Panel of Panel Upgrade Required?				Upgrade

ELECTRICAL PANEL LOAD CALCULATION

LIVING AREA
3093 S.G.F.T.

ELECTRICAL SCHEDULE					
2D SYMBOL	NUMBER	QTY	HEIGHT	ATTACHED TO	DESCRIPTION
	E01	3	1 1/2"	CEILING	EXHAUST FAN 11
	E02	6	5"	WALL	CO/SMOKE DETECTOR
	E03	10	5"	WALL	DECORATOR SWITCH
	E04	4	5"	WALL	DECORATOR SWITCH 3
	E05	3	5"	WALL	DECORATOR SWITCH 4
	E06	2	5"	WALL	220V
	E07	39	5"	WALL	DUPLEX
	E08	35	3/16"	CEILING	RECESSED DOWN LIGH
HVAC NOTES: HVAC = (N) SYSTEM WATER HEATER = (N) SYSTEM			13"	WALL	GRAN TENOS

PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

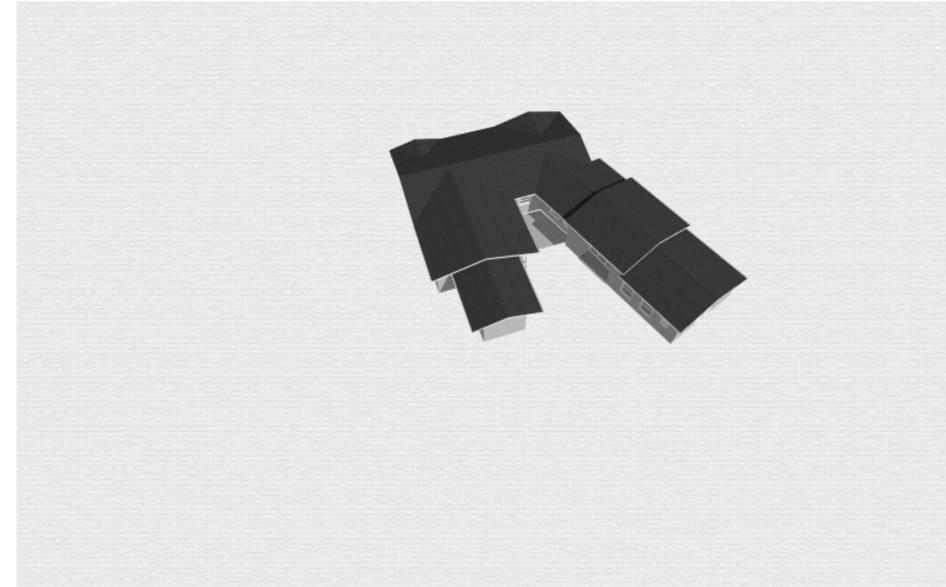
TITLE
MEP PLAN

PROPOSED

DATE
11.07.22

SCALE
1/4" = 1'

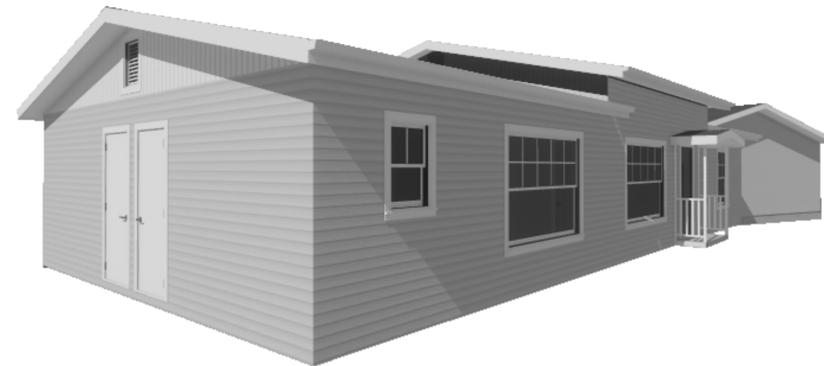
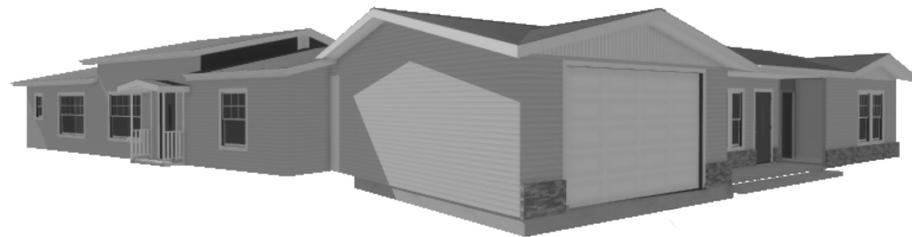
A-2.09



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG



TITLE
RENDERS

PROPOSED



DATE
11.07.22

SCALE
NO SCALE

GENERAL STRUCTURAL NOTES

STRUCTURAL DRAWINGS ARE A PORTION OF THE CONTRACT DOCUMENTS AND ARE INTENDED TO BE USED WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS FROM THESE DRAWINGS INTO THEIR SHOP DRAWINGS AND WORK.

THESE GENERAL NOTES SUPPLEMENT THE PROJECT SPECIFICATIONS. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. NOTES AND DETAILS ON THE STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE GIVEN. CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.

CODE REQUIREMENTS: CONFORM TO THE 2019 CALIFORNIA BUILDING CODE (CBC), BASED ON THE 2018 INTERNATIONAL BUILDING CODE (IBC).

TEMPORARY CONDITIONS: THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL TEMPORARY BRACING AND/OR SUPPORT THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S CONSTRUCTION METHODS AND/OR SEQUENCES. CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.

DESIGN CRITERIA: DESIGN WAS BASED ON THE STRENGTH AND DEFLECTION CRITERIA OF THE CBC IN ADDITION TO THE DEAD LOADS, THE FOLLOWING LOADS AND ALLOWABLES WERE USED FOR DESIGN, WITH LIVE LOADS (LL) REDUCED PER CBC:

DESIGN CRITERIA		
GRAVITY SYSTEM CRITERIA		
ROOF LIVE LOAD	20 PSF LL	
FLOOR LIVE LOADS:	UNIFORM LOAD	CONCENTRATED LOAD
RESIDENTIAL	40 PSF LL	-
VERTICAL FLOOR DEFLECTION (INTERIOR)	L/360 LIVE LOAD PER CBC TABLE 1604.3	
NOTES:	1. LIVE LOADS REDUCED PER CBC WHERE APPLICABLE. 2. MEMBER DESIGNED FOR MORE CRITICAL OF UNIFORM OR CONCENTRATED LOAD.	

GEOTECHNICAL CRITERIA		
DESIGN BASED ON:	PRESUMPTIVE LOAD-BEARING VALUES FROM CRC TABLE R401.4.1	
ALLOWABLE SOIL PRESSURE:	1500 PSF	

WIND CRITERIA		
RISK CATEGORY	II	
MAIN WIND FORCE RESISTING SYSTEM	V _{ult} = 90 MPH ULTIMATE DESIGN WIND SPEED (3-SECOND GUST)	
COMPONENTS AND CLADDING	V _{ult} = 90 MPH ULTIMATE DESIGN WIND SPEED (3-SECOND GUST)	
EXPOSURE CATEGORY	C	
GUST/INTERNAL PRESSURE COEFFICIENT	GC _p = +/- 0.18	

SEISMIC CRITERIA		
RISK CATEGORY	II	
SEISMIC DESIGN CATEGORY	E	
SITE CLASS	D	
IMPORTANCE FACTOR	I _e = 1.0	
MCE SPECTRAL ACCELERATION	S _s = 1.5	S ₁ = 0.6
SITE FACTOR	F _a = 1.0	F _v = 1.7
DESIGN SPECTRAL ACCELERATION	S _{DS} = 1.00	S _{D1} = 0.680
ANALYSIS PROCEDURE	EQUIVALENT LATERAL FORCE PER ASCE 7-16 SECTION 12.8	
	X DIRECTION (E/W)	Y DIRECTION (N/S)
SEISMIC FLOOR RESISTING SYSTEM (SFRS)	LIGHT FRAMED WOOD SHEAR WALLS	LIGHT FRAMED WOOD SHEAR WALLS
RESPONSE MODIFICATION FACTOR	R = 6.5	R = 6.5
SEISMIC RESPONSE COEFFICIENT	C _s = 0.154	C _s = 0.154
DESIGN BASE SHEAR	1.5 KIPS	1.5 KIPS
REDUNDANCY FACTOR	p = 1.0	p = 1.0
SYSTEM OVERSTRENGTH FACTOR	Q _s = 3.0	Q _s = 3.0
DEFLECTION AMPLIFICATION FACTOR	C _d = 4.0	C _d = 4.0
DESIGN INELASTIC DISPLACEMENT/DRIFT	δ _u = 1.72"/Δ = 0.013	δ _u = 1.30"/Δ = 0.010

STRUCTURAL OBSERVATION: THE STRUCTURAL ENGINEER OF RECORD (SEOR) WILL PERFORM STRUCTURAL OBSERVATION BASED ON THE REQUIREMENTS OF THE CBC AT THE STAGES OF CONSTRUCTION LISTED BELOW. CONTRACTOR SHALL PROVIDE SUFFICIENT NOTICE AND ACCESS FOR THE SEOR TO PERFORM THESE OBSERVATIONS.

STRUCTURAL OBSERVATIONS			
ITEM	OBSERVED BY (2)		COMMENTS
	AOR	EOR	
AS REQUIRED TO ADDRESS STRUCTURAL ISSUES	X	X	REF. NOTES 1,3,4

FOOTNOTES:

- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE EOR IN ADVANCE.
- AOR- ARCHITECT/DESIGNER OF RECORD, EOR - ENGINEER OF RECORD.
- A FIELD REPORT WILL BE SUBMITTED TO THE BUILDING DEPARTMENT FOLLOWING EACH SITE VISIT.
- STRUCTURAL OBSERVATION IS FOR THE GENERAL PERFORMANCE OF THE STRUCTURAL DRAWING, SPECIAL INSPECTION IS STILL REQUIRED.
- AFTER REINFORCING STEEL HAS BEEN INSTALLED.

SUBMITTALS: SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND CONSTRUCTION OF ALL STRUCTURAL ITEMS, INCLUDING THE FOLLOWING:

ITEM	SUBMITTAL (1,4)	DEFERRED SUBMITTAL (2,4)	COMMENTS
CONCRETE MIX DESIGNS	X		
CONCRETE REINFORCEMENT	X		
CONCRETE ANCHORAGES	X		
EMBEDDED STEEL ITEMS	X		
ROOF DECK RAILING SYSTEM		X	
M/E/P EQUIPMENT ANCHORAGE AND BRACING		X	REF. NOTE 3

FOOTNOTES:

- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION AND CONSTRUCTION OF STRUCTURAL ITEMS. IF THE SHOP DRAWINGS DIFFER FROM OR ADD TO THE DESIGN OF THE STRUCTURAL DRAWINGS, THEY SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA. ANY CHANGES TO THE STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT AND ARE SUBJECT TO REVIEW AND ACCEPTANCE OF THE ENGINEER OF RECORD.
- DESIGN DRAWINGS, SHOP DRAWINGS, AND CALCULATIONS FOR THE DESIGN AND FABRICATION OF ITEMS THAT ARE DESIGNED BY OTHERS SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA, AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION. CALCULATIONS SHALL BE INCLUDED FOR ALL CONNECTIONS TO THE STRUCTURE, CONSIDERING LOCALIZED EFFECTS ON STRUCTURAL ELEMENTS INDUCED BY THE CONNECTION LOADS. DESIGN SHALL BE BASED ON THE REQUIREMENTS OF THE CBC AND AS NOTED UNDER "DESIGN CRITERIA".
- THE CONTRACTOR SHALL COORDINATE SEISMIC RESTRAINTS OF MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT, MACHINERY, AND ASSOCIATED PIPING WITH THE STRUCTURE. CONNECTIONS TO STRUCTURE SHALL CONFORM TO ASCE 7-16 CHAPTER 13. BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF CALIFORNIA, AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FABRICATION.
- FIELD ENGINEERED DETAILS DEVELOPED BY THE CONTRACTOR THAT DIFFER FROM OR ADD TO THE STRUCTURAL DRAWINGS SHALL BEAR THE SEAL AND SIGNATURE OF A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF CALIFORNIA AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO CONSTRUCTION.
- THE USE OF REPRODUCTIONS OR PHOTOCOPIES OF THE CONTRACT DRAWINGS SHALL NOT BE PERMITTED. THE CONTRACT DRAWINGS SHALL NOT BE SCALED. WHEN COMPUTER AIDED DESIGN (CAD) FILES ARE PROVIDED TO THE CONTRACTOR OR SUBCONTRACTORS, IT IS THE RESPONSIBILITY OF THE DETAILERS TO REMOVE ALL INFORMATION NOT DIRECTLY RELEVANT TO THE CREATION OF THE PLACING DRAWINGS AS WELL AS ALL REFERENCES TO THE OUTSIDE SOURCE FILES. CAD DRAWINGS SHALL NOT BE RELIED ON TO LAY OUT STRUCTURAL MEMBERS OR FOUNDATIONS.

CONCRETE: CONCRETE WORK SHALL CONFORM TO CHAPTER 19 OF THE CBC. CONCRETE STRENGTHS SHALL BE VERIFIED BY STANDARD CYLINDER TESTS PER ASTM C39. MIX DESIGNS SHALL BE AS FOLLOWS:

CONCRETE MIX DESIGNS				
USE	f _c (PSI)	TEST AGE (DAYS)	MAX. W/CM RATIO (NOTE 1)	MAX. AGGREGATE SIZE
MISC. CONCRETE, THICKENED EDGES, CURBS, INTERIOR SLAB ON GRADE, ETC.	3,000	28	0.50	1"

FOOTNOTES:

- VERIFY WATER-CEMENTITIOUS MATERIAL RATIO WITH FLOOR COVERING MANUFACTURER FOR CONCRETE FLOORS WITH MOISTURE SENSITIVE FLOOR COVERINGS.
- ESTABLISH WATER-CEMENTITIOUS MATERIAL RATIO PER ACI 318-14 CHAPTER 19.

PORTLAND CEMENT CONTENT MAY BE REPLACED UP TO 20% WITH FLY ASH CONFORMING TO ASTM C618 (INCLUDING TABLE 2A) TYPE F OR TYPE C OR UP TO 50% WITH SLAG CEMENT CONFORMING TO ASTM C989, PROVIDED THAT THE MIX STRENGTH IS SUBSTANTIATED BY TEST DATA. FOR MIX DESIGNS WITH f_c = 5,000 PSI OR LESS, SLAG CEMENT MAY BE SUBSTITUTED FOR FLY ASH AT A 1:1 RATIO WITHOUT TEST DATA. WHEN SLAG CEMENT IS SUBSTITUTED IN HIGHER STRENGTH MIXES OR AT DIFFERENT RATIO, THE MIX STRENGTH MUST BE SUBSTANTIATED BY TEST DATA.

A WATER-REDUCING ADMIXTURE CONFORMING TO ASTM C494 USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS SHALL BE INCORPORATED IN CONCRETE DESIGN MIXES. A HIGH-RANGE WATER-REDUCING (HRWR) ADMIXTURE CONFORMING TO ASTM C494 TYPE F OR G MAY BE USED IN CONCRETE MIXES PROVIDING THAT THE SLUMP DOES NOT EXCEED 10". AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260 SHALL BE USED IN CONCRETE MIXES FOR ALL CONCRETE EXPOSED TO WEATHER. THE AMOUNT OF ENTRAINED AIR BY VOLUME SHALL BE AS FOLLOWS: 1.5%.

CONCRETE MIX AIR CONTENT	
MAX. AGGREGATE SIZE	CONCRETE SUBJECT TO FREQUENT MOISTURE
3/4"	6.0%
1"	6.0%

CONCRETE ELEMENTS SUBJECT TO FREQUENT MOISTURE INCLUDE ALL EXTERIOR CONCRETE SLABS.

THE CONTRACTOR SHALL SUBMIT CONCRETE MIX DESIGNS ALONG WITH TEST DATA COMPLIANT WITH ACI 318-14 CBC SECTION 1905 A MINIMUM OF TWO WEEKS PRIOR TO PLACING CONCRETE. NO WATER MAY BE ADDED TO CONCRETE IN THE FIELD UNLESS SPECIFICALLY APPROVED IN WRITING BY THE CONCRETE SUPPLIER IN CONJUNCTION WITH THE CONCRETE MIX DESIGN.

SLEEVES, OPENINGS, CONDUIT, AND OTHER EMBEDDED ITEMS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER BEFORE PLACING CONCRETE. CONDUITS EMBEDDED IN SLABS SHALL NOT BE LARGER IN OUTSIDE DIMENSION THAN ONE THIRD OF THE THICKNESS OF THE SLAB AND SHALL NOT BE SPACED CLOSER THAN THREE DIAMETERS ON CENTER.

WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE, THE EXISTING CONCRETE SURFACE SHALL BE CLEANED AND ROUGHENED TO A MINIMUM 1/4" AMPLITUDE PER ACI 318. PROVIDE 3/4" CHAMFERS ON ALL EXPOSED CONCRETE EDGES, UNLESS NOTED OTHERWISE.

VERIFY ALL BLOCK OUTS WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS.

REINFORCING STEEL: ALL DEFORMED BAR REINFORCEMENT SHALL BE ASTM A615 GRADE 60 OR ASTM A706 GRADE 60. ASTM A615 REINFORCEMENT MAY BE SUBSTITUTED FOR ASTM A706 REINFORCEMENT PROVIDED THAT THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED 78,000 PSI AND THE RATIO OF ACTUAL TENSILE STRENGTH TO ACTUAL YIELD STRENGTH IS NOT LESS THAN 1.25 AND THE ELONGATION REQUIREMENTS OF ACI 318-14 ARE MET. MILL TESTS CERTIFICATIONS FOR SUBSTITUTED BARS SHALL BE SUBMITTED TO THE SPECIAL INSPECTOR AND SEOR PRIOR TO PLACEMENT.

BAR IN FOOTINGS AND SLABS SHALL BE SUPPORTED ON WELL-CURED CONCRETE BLOCKS OR APPROVED METAL OR PLASTIC CHAIRS, AS SPECIFIED BY THE CRSI MANUAL OF STANDARD PRACTICE, MSP-1. REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH THE "ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315. SHOP DRAWINGS SHALL INCLUDE ELEVATIONS OF ALL BEAMS, WALLS AND COLUMNS SHOWING BAR LOCATIONS. LAP ALL REINFORCING BARS PER THE TYPICAL LAP SPLICE LENGTH SCHEDULES, EXCEPT AS NOTED ON DRAWINGS. USE LAP LENGTH FOR SMALLER BAR WHEN SPLICING DIFFERENT BAR SIZES. BARS SPLICED WITH NONCONTACT LAPS SHALL BE SPACED NO FARTHER THAN 1/5TH THE LAP LENGTH OR 6 INCHES. MECHANICAL SPLICES NOTED ON THE PLANS SHALL BE DAYTON SUPERIOR BAR-LOCK (ICC ESR-2495) OR TAPER-LOCK COUPLERS (APMO ES-0319) OR APPROVED WITH A CURRENT EVALUATION APPROVAL REPORT.

TYP. WALL AND SLAB LAP SPLICE LENGTH SCHEDULE (IN.)		
BAR SIZE	WALL VERTICAL AND SLAB BOTTOM BARS (NOTE 7)	WALL HORIZONTAL AND SLAB TOP BARS (NOTE 7)
	f _c = 3,000 PSI	
#3	18	24
#4	30	38
#5	36	48
#6	44	58
#7	70	92

TYP. FOUNDATION LAP SPLICE LENGTH SCHEDULE (IN.)		
BAR SIZE	WALL VERTICAL AND SLAB BOTTOM BARS (NOTE 7)	WALL HORIZONTAL AND SLAB TOP BARS (NOTE 7)
	f _c = 3,000 PSI	
#3	18	22
#4	22	28
#5	28	36
#6	34	42
#7	48	62

FOOTNOTES:

- MINIMUM LAP SPLICES NOTED ARE FOR NON-LATERAL LOAD RESISTING ELEMENTS.
- ASTM A615 OR ASTM A706, GRADE 60 DEFORMED REINFORCING BARS.
- MINIMUM CLEAR COVER AND BAR SPACING OF 4db TO BE PROVIDED.
- NORMAL WEIGHT CONCRETE. FOR LIGHT-WEIGHT CONCRETE MULTIPLY TABLE VALUES BY 1.3.
- UNCOATED BARS, FOR EPOXY-COATED BARS MULTIPLY TABLE VALUES BY 1.5.
- COMBINATIONS OF EFFECTS DUE TO CONCRETE STRENGTH, CONCRETE WEIGHT, AND EPOXY COATING ARE CUMULATIVE.
- SLAB AND FOUNDATION TOP BARS ARE BARS CAST ABOVE MORE THAN 12" OF FRESH CONCRETE. ALL OTHER SLAB BARS MAY BE CONSIDERED BOTTOM BARS.

REINFORCING STEEL SHALL HAVE PROTECTION AS FOLLOWS:

USE	CLEAR COVER
SLABS	3/4"
EXPOSED TO EARTH OR WEATHER	1-1/2" (#5 AND SMALLER) 2" (#6 AND LARGER)
CONCRETE CAST AGAINST AND EXPOSED TO EARTH	3"

POST INSTALLED ANCHORS SHALL BE OF THE TYPE AND PRODUCT SPECIFIED ON THE DRAWINGS OR AS FOLLOWS:

TYPE	APPROVED ANCHORS
EXPANSION	HILTI KWIK BOLT T2 (ICC ESR-1917) SIMPSON STRONG-BOLT 2 (ICC ESR-3037)
CONCRETE SCREW	HILTI KWIK HUS-EZ (ICC ESR-3027) SIMPSON TITEN HD (ICC ESR-2713)
EPOXY ADHESIVE	HILTI HIT-HY 200 (ICC ESR-3187) HILTI HIT-RE 500 V3 (ICC ESR-3814) SIMPSON SET-XP (ICC ESR-2508)

ALL ANCHORS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND PRODUCT EVALUATION REPORTS. EMBEDMENTS SPECIFIED ON DRAWINGS ARE "EFFECTIVE" EMBEDMENTS. REFERENCE MANUFACTURER LITERATURE FOR CORRESPONDING ACTUAL EMBEDMENT DEPTHS.

REQUESTS FOR ANCHOR SUBSTITUTIONS SHALL BE SUBMITTED TO THE EOR IN WRITING ALONG WITH EVIDENCE OF EQUAL OR GREATER CAPACITY TO THE SPECIFIED CONNECTION. DO NOT CUT REINFORCING IN NEW OR EXISTING CONCRETE DURING INSTALLATION.

INSTALLATION OF ADHESIVE ANCHORS HORIZONTALLY OR UPWARDLY INCLINED SHALL BE PERFORMED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER AS CERTIFIED THROUGH ACICRSI AND IN ACCORDANCE WITH ACI 318-14 17.8.2.2. PROOF OF CURRENT CERTIFICATION SHALL BE SUBMITTED TO THE EOR PRIOR TO INSTALLATION.

ANCHORS EXPOSED TO EARTH OR WEATHER SHALL BE PROTECTED FROM CORROSION BY HOT-DIP GALVANIZING OR USE OF STAINLESS STEEL. PERMANENTLY EXPOSED EMBEDDED PLATES AND ANGLES SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION, UNLESS NOTED OTHERWISE.

NO LOADS OR WELDS SHALL BE PLACED ON EMBEDDED PLATES OR ANGLES FOR A MINIMUM OF 7 DAYS AFTER CASTING. IN ACCORDANCE WITH ACI 318-14 SECTION 17.8.2.1 ADHESIVE ANCHORS SHALL NOT BE INSTALLED FOR A MINIMUM OF 21 DAYS AFTER CASTING.

CRACK INJECTION EPOXY REPAIR ADHESIVE: EPOXY REPAIR ADHESIVE SHALL CONFORM TO ASTM C827 AND SHALL BE A TWO-COMPONENT, LIQUID EPOXY WITH NON-SAG CONSISTENCY AND A LONG POT LIFE. THE EPOXY ADHESIVE SHALL BE SUITABLE FOR USE ON DRY OR DAMP SURFACES. EPOXY SHALL MEET REQUIREMENTS OF A "TYPE IV" BONDING SYSTEM WITH A MINIMUM TENSILE STRENGTH OF 7,000 PSI. HOLE SIZES AND INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH THE APPROVED EVALUATION REPORT REQUIREMENTS. DO NOT CUT REINFORCING IN NEW OR EXISTING CONCRETE DURING INSTALLATION.

SAWN LUMBER: SAWN LUMBER SHALL CONFORM TO THE REQUIREMENTS AS INDICATED IN THE CURRENTLY ACCEPTED NATIONAL DESIGN SPECIFICATION (NDS) DESIGN VALUES FOR WOOD CONSTRUCTION AND CONFORMING TO THE WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. LUMBER SHALL BE THE SPECIES, GRADE, AND MOISTURE CONTENT NOTED BELOW.

SAWN LUMBER		
USE	SPECIES AND GRADE	MOISTURE CONTENT
LUMBER 2" TO 4" THICK x 5" OR WIDER (JOISTS/RAFTERS)	DOUGLAS FIR-LARCH NO. 2 & BTR	MCKD 15
LUMBER 2" TO 3" THICK x 4" TO 6" WIDE (STUDS)	DOUGLAS FIR-LARCH STUD	MCKD 15
LUMBER 5x5 AND GREATER (BEAMS)	DOUGLAS FIR-LARCH NO. 1	S-DRY
LUMBER 5x5 AND GREATER (POSTS)	DOUGLAS FIR-LARCH NO. 1	S-DRY

ALL LUMBER IN CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED, UNLESS AN APPROVED MOISTURE BARRIER IS PROVIDED.

FRAMING ACCESSORIES SHALL BE MANUFACTURED BY SIMPSON STRONG TIE (OR APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. ALL NAIL HOLES SHALL BE FILLED WITH STRUCTURAL FASTENERS, UNLESS NOTED OTHERWISE ON THE DRAWINGS AND FASTENERS SHALL BE INSTALLED FOLLOWING ALL MANUFACTURERS REQUIREMENTS. IF A SUBSTITUTION IS MADE, A DOCUMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL OUTLINING THE FRAMING ACCESSORIES BEING REPLACED AND THE SUBSTITUTED FRAMING ACCESSORIES. ALLOWABLE LOADS FOR THE SIMPSON ACCESSORIES SHALL BE TABULATED ALONG WITH ALLOWABLE LOADS FOR THE SUBSTITUTED ACCESSORIES, WHICH CLEARLY INDICATE THE SUBSTITUTED ACCESSORIES HAVING AN EQUAL OR GREATER CAPACITY.

ALL FRAMING NAILS SHALL BE OF THE SIZE AND QUANTITY INDICATED ON THE DRAWINGS AND CONFORM TO ASTM F 1687, "STANDARD SPECIFICATION OF DRIVEN FASTENERS: NAILS, SPIKES, AND STAPLES AND ICC-ES REPORT ESR-1539 "POWER-DRIVEN STAPLES AND NAILS". NAILS SHALL BE IDENTIFIED BY LABELS (ATTACHED TO THEIR CONTAINERS) THAT SHOW THE MANUFACTURER'S NAME AND ICC-ES REPORT NUMBER, NAIL SHANK DIAMETER, AND LENGTH AND SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO FRAMING. NAILING NOT SHOWN SHALL BE AS INDICATED ON CBC TABLE 2304.9.1 OR ESR-1539. THE FOLLOWING NAIL SIZES SHALL BE USED WITH THE NAIL LENGTH DETERMINED BY MINIMUM PENETRATION INTO FRAMING MEMBER:

FRAMING NAILS			
NAIL TYPE	SHANK DIAMETER (IN.)	MINIMUM PENETRATION INTO FRAMING MEMBER (IN.)	
6d	0.113	1.125	
8d	0.131	1.375	
10d	0.148	1.5	
12d	0.148	1.5	
16d	0.148	1.5	

BOLTS AND LAG SCREWS SHALL CONFORM TO ANS/ASME STANDARD B18.2.1. ALL BOLTS AND LAG SCREWS SHALL BE INSTALLED WITH STANDARD CUT WASHERS.

CUTTING AND NOTCHING OF JOISTS AND STUDS SHALL CONFORM TO THE TYPICAL WOOD DETAILS PROVIDED OR CBC SECTIONS 2308.4.2.4, 2308.5.9 AND 2308.7.4 WHERE NO DETAILS ARE SPECIFIED.

WOOD STRUCTURAL PANELS: THE TERM "WOOD STRUCTURAL PANEL" REFERS TO A WOOD-BASED PANEL PRODUCT BONDED WITH A WATERPROOF ADHESIVE. INCLUDED UNDER THIS DESIGNATION ARE BOTH PLYWOOD AND ORIENTED STRAND BOARD (OSB). WOOD STRUCTURAL PANELS SHALL CONFORM TO U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARDS PS1 OR PS2 FOR WOOD-BASED STRUCTURAL USE PANELS, OR APA PERFORMANCE STANDARD PRP-108 (ICC-ES ESR-2586). PANELS SHALL BE APA RATED SHEATHING OR APA RATED STURD-FLOOR, EXTERIOR OR EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PANELS SHALL BE STAMPED WITH THE APA TRADEMARK.

WOOD STRUCTURAL PANEL INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND FLOOR SHEATHING SHALL BE INSTALLED WITH FACE GRAIN OR STRENGTH AXIS PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE LOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY CLIPS, WHERE CLIPPING IS SPECIFICALLY INDICATED ON THE DRAWINGS. T&G EDGES OR PLYCLIPS MAY NOT BE SUBSTITUTED. SHEATHING SHALL BE UNLOCKED, EXCEPT AS INDICATED ON DRAWINGS. FLOOR SHEATHING SHALL BE FIELD GLUED TO THE FRAMING USING ADHESIVES MEETING APA SPECIFICATION AF-311 OR ASTM D3496. TONGUE AND GROOVE PANELS SHALL ALSO BE GLUED AT THE T&G JOINT.

SHEAR WALL SHEATHING SHALL BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY AND BE BLOCKED WITH 2x FRAMING AT ALL PANEL EDGES. NAILING NOT SHOWN SHALL BE AS INDICATED ON CBC TABLE 2304.9.1.

SHEAR WALL SHEATHING SHALL BE INSTALLED EITHER HORIZONTALLY OR VERTICALLY AND BE BLOCKED WITH 2x FRAMING AT ALL PANEL EDGES. NAILING NOT SHOWN SHALL BE AS INDICATED ON CBC TABLE 2304.9.1.

WOOD STRUCTURAL PANEL SHEAR WALLS: SHEAR WALL WOOD STRUCTURAL PANELS SHALL BE PLYWOOD OR OSB PANELS CONFORMING TO THE REQUIREMENTS FOR ITS TYPE SPECIFIED IN U.S. DOC PS1 OR PS2. SHEATHING SHALL BE APPLIED EITHER HORIZONTALLY OR VERTICALLY. SHEET SIZES SHALL BE 4x8 UNLESS AT BOUNDARIES OR FRAMING CHANGES.

NAIL HEADS SHALL BE DRIVEN FLUSH WITH SHEATHING. DO NOT PENETRATE SURFACE PLY WITH NAIL HEADS. IF NAIL HEADS ARE NOT FLUSH NOTIFY EOR. CONTRACTOR IS RESPONSIBLE FOR ANY REPAIRS NECESSARY DUE TO OVER-PENETRATION OF NAILS.

ALL SHEAR WALL PANEL SHEATHING EDGES SHALL BE BLOCKED. EDGE NAILS SHALL BE AT LEAST 3/8" FROM EDGES AND ENDS OF PANELS. STAGGER NAILING ON EDGES.

STRUCTURAL COMPOSITE LUMBER: STRUCTURAL COMPOSITE LUMBER PRODUCTS SUCH AS LAMINATED VENEER LUMBER (LVL), PARALLEL STRAND LUMBER (PSL) AND LAMINATED STRAND LUMBER (LSL) SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. ALL STRUCTURAL COMPOSITE LUMBER PRODUCTS NOTED HERE SHALL HAVE A CURRENT ICC-ES REPORT.

MEMBERS SHALL HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES:

STRUCTURAL COMPOSITE LUMBER MINIMUM PROPERTIES		
LUMBER TYPE	FLEXURAL STRESS, F _b (PSI)	MODULUS OF ELASTICITY (PSI)
PSL	2,900	2,200,000
LVL	2,600	2,000,000
LSL HEADERS	2,325	1,550,000
LSL STUDS	1,700	1,300,000
LSL RIM BOARD	1,700	1,300,000
LSL SILL PLATE (TREATED)	1,900	1,300,000

FLEXURAL STRESS NOTED ABOVE ARE FOR A 12-INCH MEMBER. DEEPER MEMBERS SHALL BE DESIGNED FOR REDUCED STRESSES PER THE MANUFACTURER'S REQUIREMENTS.

kennedyassociates21@gmail.com

DO NOT SCALE THESE DRAWINGS

1315 BURROWS ROAD
CAMPBELL, CA 95008
RESIDENTIAL ADDITION

OWNER: HAO WANG



SHEET NAME:
GENERAL STRUCTURAL NOTES

REVISIONS:

PROJECT NUMBER:
20107

ISSUE DATE:
SEPTEMBER 14, 2020

SCALE:
AS NOTED

DRAWN BY:
NEK

ENGINEERED:
AJH

CHECKED:
NEK

SHEET:

S1.00

SHEAR WALL SCHEDULE

SHEAR WALL DESIGNATION (PER PLAN)	PANEL	NAILS	EDGES	FASTENING AT PLATFORM FRAMING BLOCKING	SOLE PLATE NAILING	ANCHOR BOLT AT FOUNDATION	NOTES	ASD SHEAR CAPACITY (PLF)
1	15/32"	10d COM	6" o.c.	A35 @ 24" o.c.	16d @ 6" o.c.	5/8" x 10" MIN. @ 36" o.c.		320
2	15/32"	10d COM	4" o.c.	A35 @ 16" o.c.	16d @ 4" o.c.	5/8" x 10" MIN. @ 24" o.c.		510
3	15/32"	10d COM	3" o.c.	A35 @ 12" o.c.	SDS x 6" @ 8" o.c.	5/8" x 10" MIN. @ 16" o.c.	SEE SPECIAL SHEAR WALL NOTES	665
4	15/32"	10d COM	2" o.c.	A35 @ 8" o.c.	SDS x 6" @ 6" o.c.	5/8" x 10" MIN. @ 12" o.c.	SEE SPECIAL SHEAR WALL NOTES	870

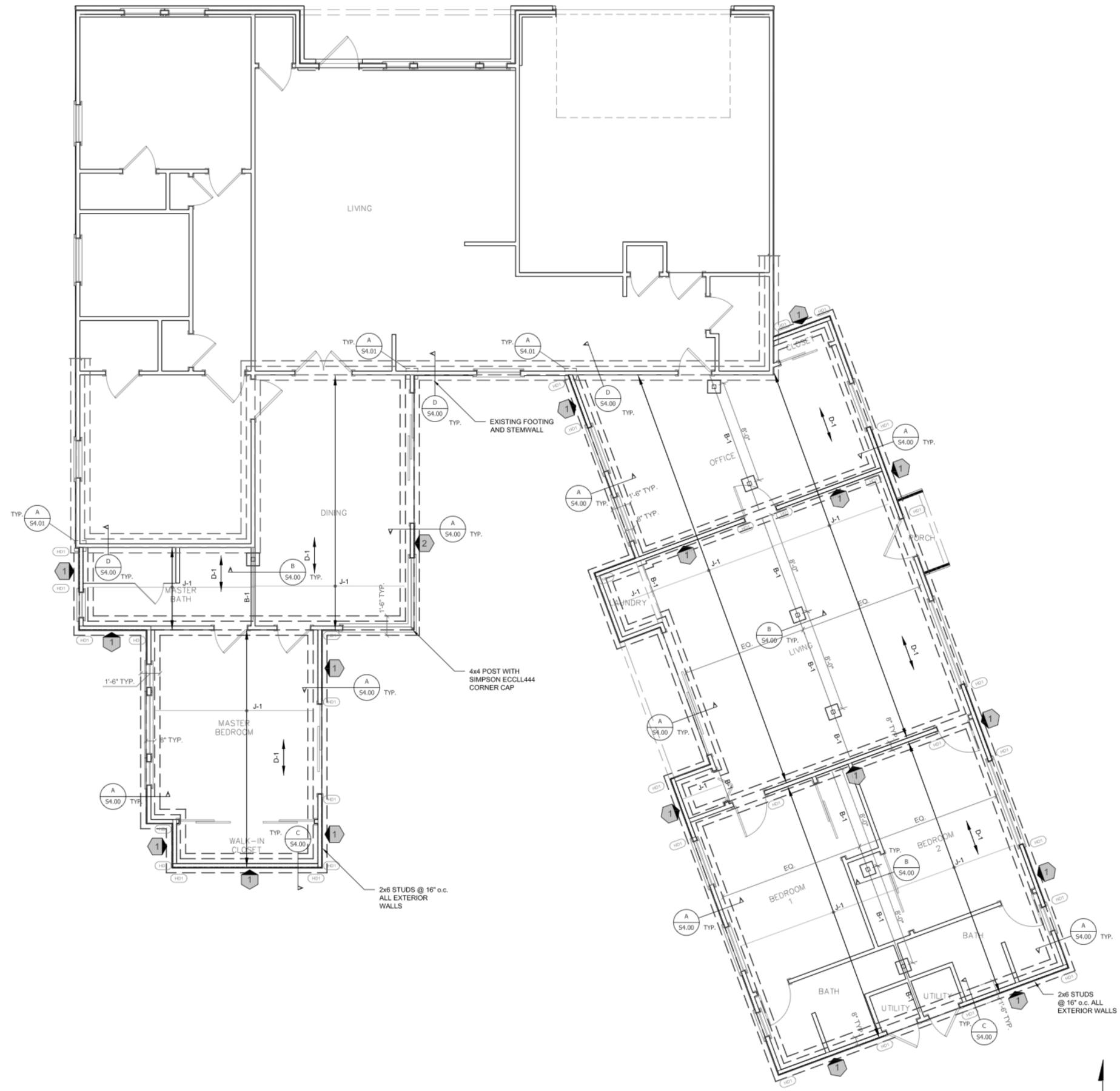
- SHEAR WALL NOTES:**
- ALL EXTERIOR WALLS TO BE SHEATHED WITH SHEAR WALL 1 MIN. UNO.
 - STRUCTURAL WALL SHEATHING SHALL BE NAILED WITH COMMON NAILS OR HOT-DIPPED (OR TUMBLED) GALVANIZED BOX NAILS. PROVIDE 1-3/8" MIN. PENETRATION INTO FRAMING MEMBERS FOR 8d NAILS & 1-1/2" MIN. PENETRATION FOR 10d NAILS.
 - STUDS SHALL BE SPACED AT 16" O.C. MAX.
 - FIELD NAILING FOR ALL SHEAR WALLS SHALL BE 12" O.C.
 - PROVIDE BLOCKING & EDGE NAILING AT ALL SHEAR PANEL EDGES.
 - LTP4 MAY BE SUBSTITUTED FOR A35 AT FULL DEPTH RIM BLOCKING.
 - REF. B/S4.01 FOR TYPICAL SHEAR WALL ELEVATION.

- SPECIAL SHEAR WALL NOTES:**
- USE 3X OR (2) 2X FRAMING AT SHEATHING JOINTS.
 - ALL PANEL EDGE NAILING SHALL BE STAGGERED.

HOLDOWN SCHEDULE

MARK	DESCRIPTION	POST	NOTES
HD1	SIMP. HDU2-SDS2.5' HOLDOWN	4x MIN.	USE 3/4" PAB-6 ANCHOR BOLT W/ 10" MINIMUM EMBEDMENT

NOTE: INSTALL ALL HOLDOWNS PER MFR. INSTRUCTIONS.



FOUNDATION PLAN

kennedyassociates21@gmail.com

DO NOT SCALE THESE DRAWINGS

1315 BURROWS ROAD
CAMPBELL, CA 95008
RESIDENTIAL ADDITION

OWNER: HAO WANG



SHEET NAME:

FOUNDATION PLAN

REVISIONS:

PROJECT NUMBER:
20107

ISSUE DATE:
SEPTEMBER 14, 2020

SCALE:
AS NOTED

DRAWN BY:
NEK

ENGINEERED:
AJH

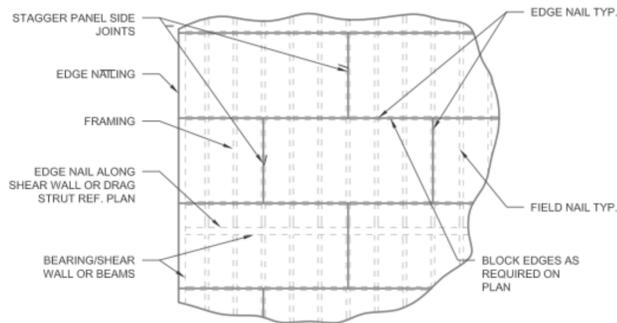
CHECKED:
NEK

SHEET:

S2.00



WOOD DIAPHRAGM SCHEDULE					
TYPE	THICKNESS (SPAN RATING)	EDGE NAILING	FIELD NAILING	BLOCKING	NOTES
D-1	23/32"(48/24)	10d @ 6"o.c.	10d @ 12"o.c.	NONE	PROVIDE RING SHANK NAILS OR SCREWS AT FLOOR.
D-2	19/32"(40/20)	10d @ 6"o.c.	10d @ 12"o.c.	NONE	TYPICAL ROOF SHEATHING DIAPHRAGM

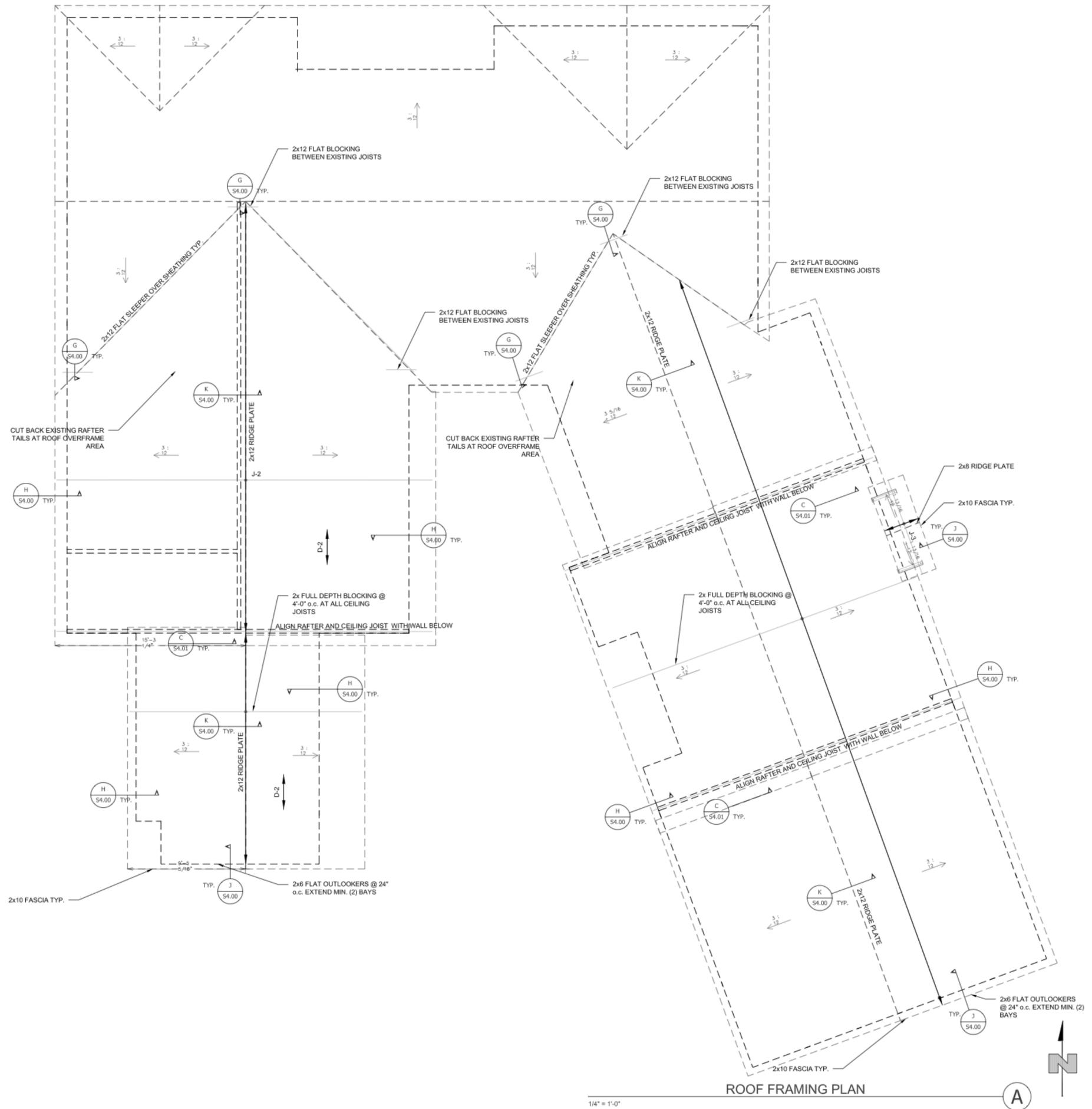


- NOTES:
1. PROVIDE 1/8" GAP AT ALL PANEL JOINTS. REF. GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
 2. PANELS SHALL NOT BE LESS THAN 4'-0"x8'-0" EXCEPT AT BOUNDARIES AND CHANGES IN FRAMING WHERE MINIMUM PANEL DIMENSION SHALL BE 24" UNLESS ALL EDGES OF UNDERSIZED PANELS ARE SUPPORTED BY AND FASTENED TO FRAMING MEMBERS OR BLOCKING.
 3. NAILS SHALL BE LOCATED AT LEAST 3/8" FROM THE EDGES OF PANELS.
 4. OSB IS PERMITTED TO BE USED ON FLOORS. EXCESSIVE SWELLING SHALL REQUIRE REPAIR AT CONTRACTOR'S EXPENSE.
 5. OSB IS NOT PERMITTED TO BE USED FOR ROOFS.

STRUCTURAL SCHEDULE

MARK	DESCRIPTION/NOTES	TOP FLANGE HANGER	FACE MOUNT HANGER
B-1	4x10 DF NO. 2 OR BETTER	N/A	N/A
J-1	2x10 DF NO. 2 OR BETTER @ 16" o.c. MAX.	N/A	N/A
J-2	2x10 DF NO. 2 CEILING JOISTS @ 16" o.c. ALIGNED WITH 2x8 RAFTERS @ 16" o.c.	N/A	N/A
J-3	2x8 DF NO. 2 CEILING JOISTS @ 24" o.c. ALIGNED WITH 2x6 NO. 2 RAFTERS @ 24" o.c.	N/A	N/A
ALL 2x JOISTS OR BLKG	NO. 2 OR BETTER. PROVIDE TREATED MEMBERS AT EXTERIOR APPLICATIONS.	LB SERIES	LUS SERIES

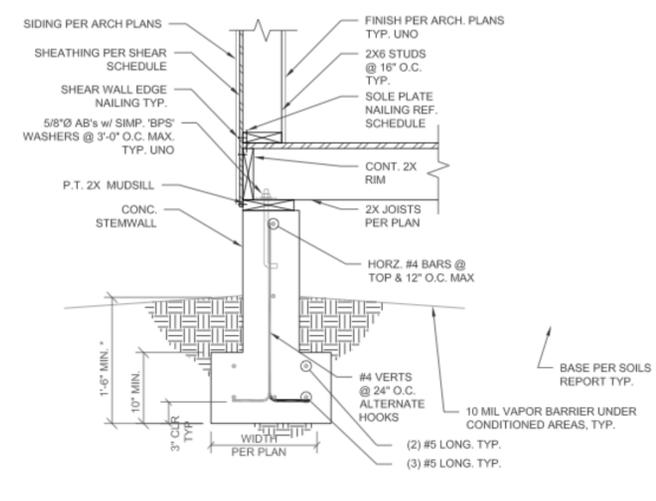
- NOTES:
1. FOR HEADER FRAMING DETAIL, REF. M/S4.00.



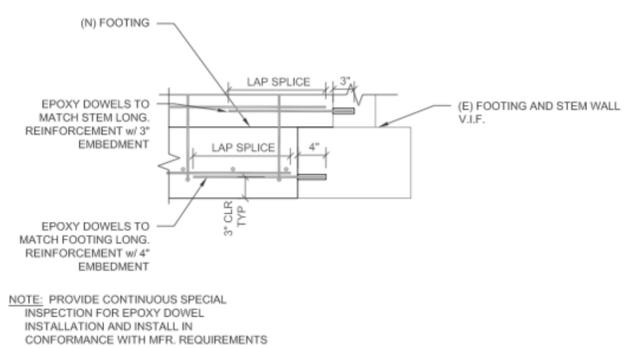
ROOF FRAMING PLAN

1/4" = 1'-0"

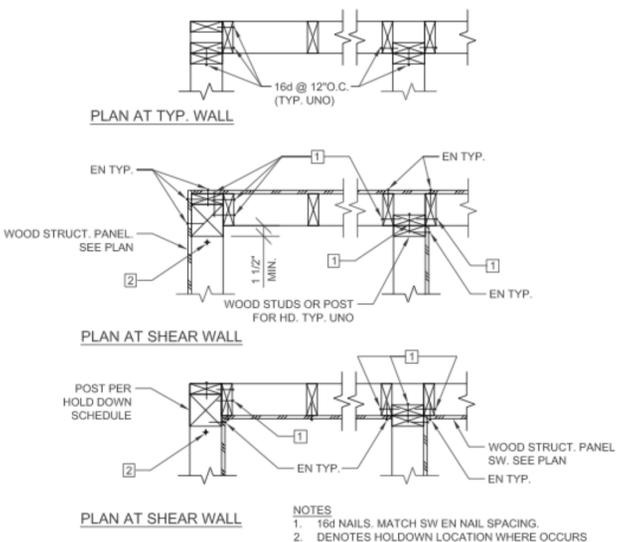
A



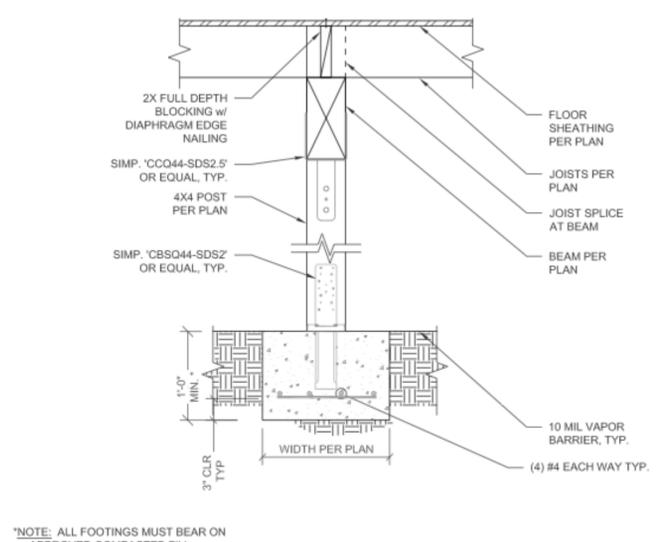
TYPICAL PERIMETER FOOTING (A)
SCALE: 1" = 1'-0"



CONNECTION OF (N) FOOTING TO (E) (D)
SCALE: 1" = 1'-0"

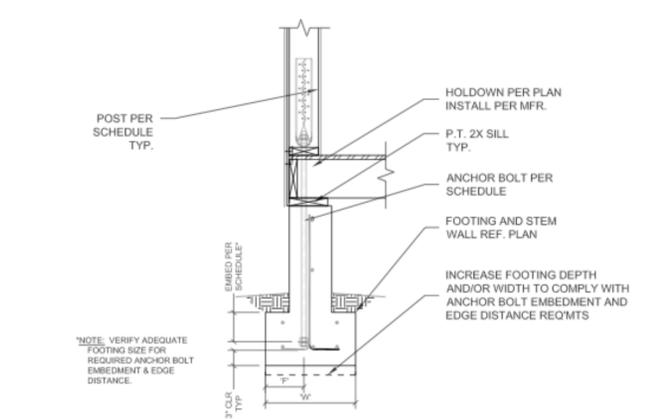


TYPICAL FRAMING DETAILS (E)
SCALE: 3/4" = 1'-0"

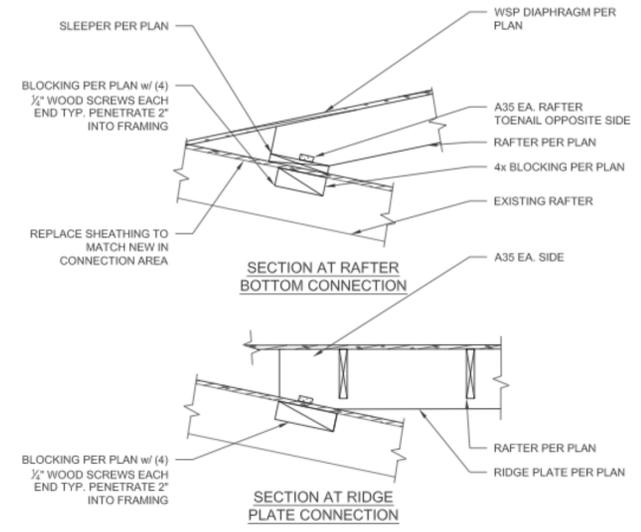


TYP. FTG. AT INTERIOR POST (B)
SCALE: 1" = 1'-0"

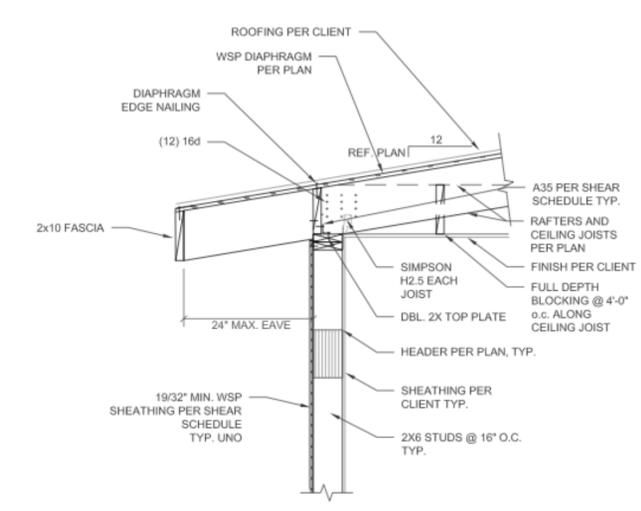
HOLDOWN MARK	SIMP. A.B.	ALTERNATE ANCHOR	MIN. POST	MIN. A.B. EMBED	MIN. FOOTING EDGE DIST. 3"	MIN. FOOTING WIDTH 3"
HD1	PAB5	5/8"Ø ALL-THREAD w/ NUT-WASHER-NUT	(2) 2x6	6"	9"	1'-0"



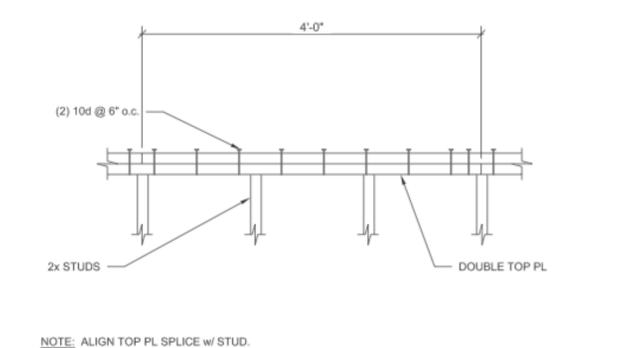
HOLDOWN INSTALLATION (C)
SCALE: 3/4" = 1'-0"



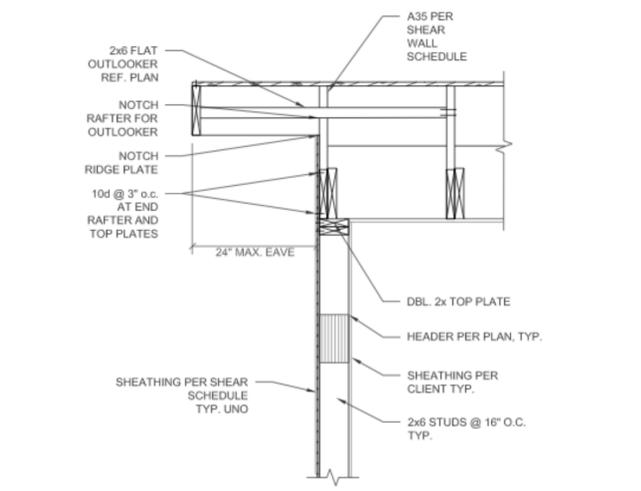
RIDGE PLATE CONNECTION (G)
SCALE: 3/4" = 1'-0"



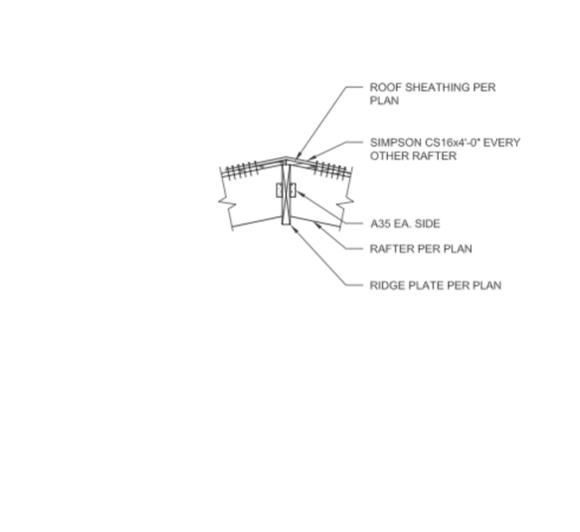
TYPICAL EAVE DETAIL (H)
SCALE: 3/4" = 1'-0"



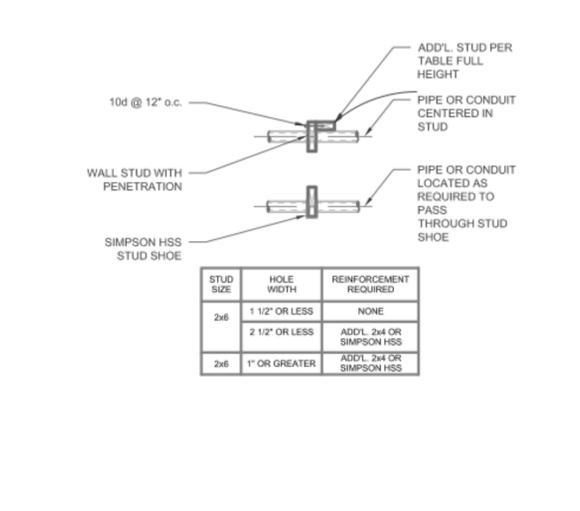
TYP. TOP PLATE SPLICE (F)
SCALE: 1" = 1'-0"



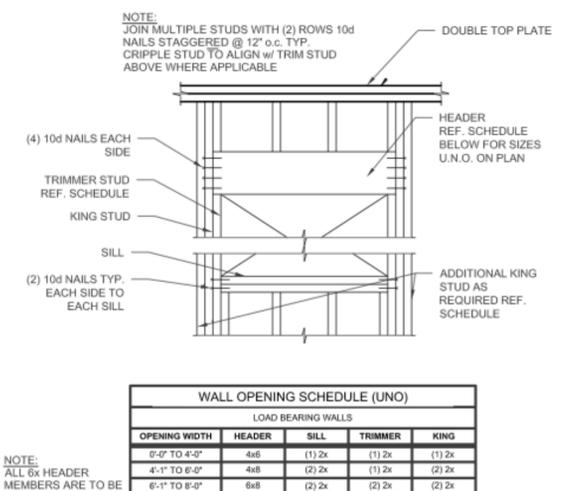
TYPICAL GABLE DETAIL (J)
SCALE: 3/4" = 1'-0"



RIDGE PLATE CONNECTION (K)
SCALE: 3/4" = 1'-0"



TYPICAL STUD PENETRATION DETAIL (L)
SCALE: 3/4" = 1'-0"



TYP. WALL OPENINGS (M)
SCALE: 3/4" = 1'-0"



SHEET NAME:

DETAILS

REVISIONS:

PROJECT NUMBER:
20107

ISSUE DATE:
SEPTEMBER 14, 2020

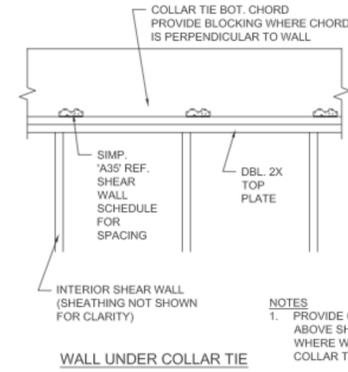
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DRAWN BY:
NEK

ENGINEERED:
AJH

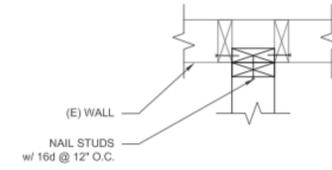
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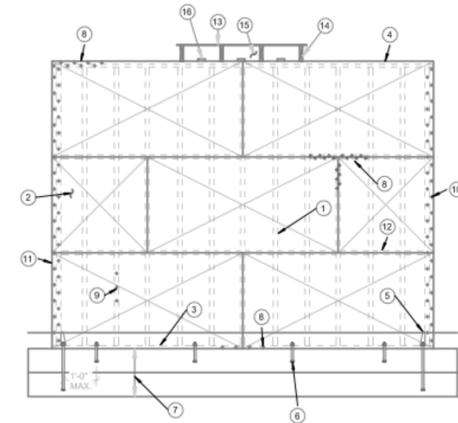


- NOTES**
1. PROVIDE COLLAR TIE DIRECTLY ABOVE SHEAR WALL LOCATIONS WHERE WALLS RUN PARALLEL TO COLLAR TIE SPAN.

COLLAR TIE SHEAR WALL CONNECTION (C)
SCALE: 3/4" = 1'-0"



WALL CONNECTION TO (E) WALL (A)
SCALE: 1" = 1'-0"



SHEAR WALL ELEVATION NOTES:

1. TYPICAL WALL STUDS.
2. WOOD STRUCTURAL PANEL SHEATHING. LAY HORIZONTALLY OR VERTICALLY. REF. SHEAR WALL SCHEDULE ON PLAN FOR ADDITIONAL REQUIREMENTS.
3. P.T. SILL PLATE.
4. DOUBLE TOP PLATE, REF. F154.00 FOR CHORD SPLICE DETAIL.
5. HOLDOWN ANCHOR, REF. SCHEDULE ON PLAN.
6. ANCHOR BOLTS REF. SHEAR WALL SCHEDULE AT SHEAR WALLS AND 3'-0" MAXIMUM AT ALL OTHER WALLS.
7. FOUNDATION, STEMWALL OR THICKENED SLAB.
8. EDGE NAILING REF. SHEAR WALL SCHEDULE.
9. FIELD NAILING REF. SHEAR WALL SCHEDULE.
10. PROVIDE EDGE NAILING TO EACH HOLDOWN POST. WHERE HOLDOWN POST CONSISTS OF BUILT-UP MEMBERS, PROVIDE STAGGERED NAILING TO EACH PIECE.
11. HOLDOWN POST.
12. ALL SHEATHING EDGES ARE TO BE BLOCKED. REF. SHEAR WALL SCHEDULE FOR FRAMING THICKNESS AT ADJOINING PANEL EDGES.
13. ROOF SHEATHING.
14. ROOF RAFTER OR TRUSS.
15. BLOCKING.
16. *SHEAR CLIP* PER SHEAR WALL SCHEDULE.

TYPICAL SHEAR WALL ELEVATION (B)
SCALE: NTS

BUILDING ENERGY ANALYSIS REPORT

PROJECT:
Burrows Road Addition
1315 Burrows Rd
Campbell, CA 95008

Project Designer:

Report Prepared by:
Timothy Carstairs CEA, HERS, GPR
Carstairs Energy Inc.
2238 Bayview Heights Drive Suite E
Los Osos, CA 93402
(805) 904-9048



Job Number:
21-050430

Date:
5/5/2021

The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with both the Residential and Nonresidential 2019 Building Energy Efficiency Standards. This program developed by EnergySoft Software - www.energysoft.com.

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Form RMS-1 Residential Measures Summary	16
Form MF-1R Mandatory Measures Summary	19
Room Load Summary	23

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Burrows Road Addition **Calculation Date/Time:** 2021-05-04T15:05:46-07:00
Calculation Description: Title 24 Analysis **Input File Name:** Burrows Road Addition (1315).ribd19x (Page 1 of 13)

GENERAL INFORMATION					
01	Project Name	Burrows Road Addition			
02	Run Title	Title 24 Analysis			
03	Project Location	1315 Burrows Rd			
04	City	Campbell	05	Standards Version	2019
06	Zip code	95008	07	Software Version	EnergyPro 8.2
08	Climate Zone	4	09	Front Orientation (deg/ Cardinal)	90
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	Addition/Alteration	13	Number of Bedrooms	5
14	Addition Cond. Floor Area (ft ²)	1856	15	Number of Stories	1
16	Existing Cond. Floor Area (ft ²)	1244	17	Fenestration Average U-factor	0.3
18	Total Cond. Floor Area (ft ²)	3100	19	Glazing Percentage (%)	20.11%
20	ADU Bedroom Count	2	21	ADU Conditioned Floor Area	1276
22	Is Natural Gas Available?	Yes			

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY				
Energy Use (KTDU/ft ² -yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	44.25	39.39	4.86	11
Space Cooling	24.75	28.24	-3.49	-14.1
IAQ Ventilation	1.32	1.8	-0.48	-36.4
Water Heating	16.13	16.68	-0.55	-3.4
Self Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	86.45	86.11	0.34	0.4

Registration Number: 221-PO10086173A-000-000-0000000-0000 Registration Date/Time: 2021-05-05 13:41:36
 CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.1.300
HERS Provider: CalCERTS, Inc.
Schema Version: rev 20200901 Report Generated: 2021-05-04 15:06:35

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E
Project Name: Burrows Road Addition **Calculation Date/Time:** 2021-05-04T15:05:46-07:00
Calculation Description: Title 24 Analysis **Input File Name:** Burrows Road Addition (1315).ribd19x (Page 2 of 13)

REQUIRED SPECIAL FEATURES	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
<ul style="list-style-type: none"> • Indoor air quality, balanced fan • New ductwork added is less than 40 ft. in length 	

HERS FEATURE SUMMARY	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry	
Building-level Verifications: • Indoor air quality ventilation • Kitchen range hood Cooling System Verifications: • -- None -- Heating System Verifications: • -- None -- HVAC Distribution System Verifications: • Duct leakage testing • Duct Sealing required if a duct system component, plenum, or air handling unit is altered Domestic Hot Water System Verifications: • -- None --	

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Burrows Road Addition	3100	1	5	3	0	2

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Existing Living Area	Conditioned	HVAC System1	1244	8	DHW Sys 1	DHW Sys 2
New Living Area	Conditioned	HVAC System1	580	8	DHW Sys 1	DHW Sys 2
ADU Living Area	Conditioned	ADU HVAC System2	1276	8	DHW Sys 1	DHW Sys 2

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Calculation Description: Title 24 Analysis **Input File Name:** Burrows Road Addition (1315).ribd19x (Page 3 of 13)

OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Front Wall	Existing Living Area	R-0 Wall	90	Front	272	95	90	none	Existing	No
Left Wall	Existing Living Area	R-0 Wall	180	Left	72	0	90	none	Existing	No
Rear Wall	Existing Living Area	R-0 Wall	270	Back	96	10	90	none	Existing	No
Right Wall	Existing Living Area	R-0 Wall	0	Right	336	54.2	90	none	Existing	No
Left Wall 2	New Living Area	R-15 Wall	180	Left	304	146.1	90	Extension	New	n/a
Rear Wall 2	New Living Area	R-15 Wall	270	Back	208	24.4	90	Extension	New	n/a
Right Wall 2	New Living Area	R-15 Wall	0	Right	200	77.5	90	Extension	New	n/a
NE Wall	ADU Living Area	R-15 Wall	45	n/a	96	0	90	Extension	New	n/a
SE Wall	ADU Living Area	R-15 Wall	135	n/a	432	111.8	90	Extension	New	n/a
SW Wall	ADU Living Area	R-15 Wall	225	n/a	216	0	90	Extension	New	n/a
NW Wall	ADU Living Area	R-15 Wall	315	n/a	456	144.5	90	Extension	New	n/a
Interior Surface	Existing Living Area>>_Garage_	R-0 Wall1	n/a	n/a	336	16.7	n/a		Existing	No
Interior Surface 2	New Living Area>>Existing Living Area	R-0 Wall1	n/a	n/a	312	0	n/a		New	n/a
Interior Surface 3	ADU Living Area>>Existing Living Area	R-0 Wall1	n/a	n/a	152	0	n/a		New	n/a
Roof 2	Existing Living Area	R-11 Roof Attic	n/a	n/a	1244	n/a	n/a		Existing	No
Roof 3	New Living Area	R-38 Roof Attic	n/a	n/a	580	n/a	n/a		New	n/a
Roof 4	ADU Living Area	R-38 Roof Attic	n/a	n/a	1276	n/a	n/a		New	n/a

Registration Number: 221-PO10086173A-000-000-0000000-0000 Registration Date/Time: 2021-05-05 13:41:36
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OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Raised Floor	Existing Living Area	R-0 Floor Crawlspace	n/a	n/a	1244	n/a	n/a		Existing	No
Raised Floor 2	New Living Area	R-19 Floor Crawlspace	n/a	n/a	580	n/a	n/a		New	n/a
Raised Floor 3	ADU Living Area	R-19 Floor Crawlspace	n/a	n/a	580	n/a	n/a		New	n/a
Front Wall 2	_Garage_	R-0 Wall	90	Front	160	0	90	none	Existing	No
Left Wall 3	_Garage_	R-0 Wall	180	Left	160	0	90	none	Existing	No
Rear Wall 3	_Garage_	R-0 Wall	270	Back	160	0	90	none	Existing	No
Right Wall 3	_Garage_	R-0 Wall	0	Right	160	0	90	none	Existing	No

OPAQUE SURFACES - CATHEDRAL CEILINGS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roof	Status	Verified Existing Condition	Existing Construction
Roof	_Garage_	R-0 Roof No Attic	0	Right	401	0	3	0.1	0.85	No	Existing	No	

ATTIC									
01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic Existing Living Area	Attic RoofExisting Living Area	Ventilated	3	0.1	0.85	No	No	Existing	No
Attic New Living Area	Attic RoofNew Living Area	Ventilated	3	0.1	0.85	Yes	No	New	n/a
Attic ADU Living Area	Attic RoofADU Living Area	Ventilated	3	0.1	0.85	Yes	No	New	n/a

Registration Number: 221-PO10086173A-000-000-0000000-0000 Registration Date/Time: 2021-05-05 13:41:36
 CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.1.300
HERS Provider: CalCERTS, Inc.
Schema Version: rev 20200901 Report Generated: 2021-05-04 15:06:35

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Window	Window	Front Wall	Front	90			1	15	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	Front Wall	Front	90			1	15	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 3	Window	Front Wall	Front	90			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 4	Window	Front Wall	Front	90			1	25	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 5	Window	Front Wall	Front	90			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 6	Window	Rear Wall	Back	270			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
W13	Window	Right Wall	Right	0			1	31.2	0.3	NFRC	0.23	NFRC	Bug Screen	Altered	No
Window 7	Window	Right Wall	Right	0			1	10	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Window 8	Window	Right Wall	Right	0			1	13	1.19	Table 110.6-A	0.83	Table 110.6-B	Bug Screen	Existing	No
Door D01	Window	Left Wall 2	Left	180			1	66.7	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W11	Window	Left Wall 2	Left	180			1	33.8	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
Door D11	Window	Left Wall 2	Left	180			1	45.6	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W10	Window	Rear Wall 2	Back	270			1	24.4	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W01	Window	Right Wall 2	Right	0			1	9	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W09	Window	Right Wall 2	Right	0			1	22.5	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W01 2	Window	Right Wall 2	Right	0			1	9	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W03	Window	Right Wall 2	Right	0			1	5.8	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W13 2	Window	Right Wall 2	Right	0			1	31.2	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W02	Window	SE Wall			135		1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition	
W12	Window	SE Wall			135			1	34	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W08	Window	SE Wall			135			1	34	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W03 2	Window	SE Wall			135			1	5.8	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W03 3	Window	NW Wall			315			1	5.8	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W05	Window	NW Wall			315			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W02 2	Window	NW Wall			315			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
Door D02	Window	NW Wall			315			1	66.7	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W02 3	Window	NW Wall			315			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
W02 4	Window	NW Wall			315			1	18	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a

01	02	03	04	05	06
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition
Door	Front Wall	20	0.5	Existing	No
D08	SE Wall	20	0.2	New	n/a
Door 2	Interior Surface	16.7	0.5	Existing	No

01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab	__Garage__	401	80	none	0	0%	No	Existing	No

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-0 Roof No Attic	Cathedral Ceilings	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-0	None / None	0.484	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4 Inside Finish: Gypsum Board
R-0 Wall1	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.277	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Other Side Finish: Gypsum Board
Attic RoofExisting Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofNew Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4
Attic RoofADU Living Area	Attic Roofs	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x4

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-0 Floor Crawspace	Floors Over Crawspace	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.216	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12
R-19 Floor Crawspace	Floors Over Crawspace	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.046	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x10
R-11 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-11	None / None	0.081	Over Ceiling Joists: R-1.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board
R-38 Roof Attic	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 24 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-38.9 Insul. Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

01	02	03	04	05	06	07	08	09	10
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	New	NA	
DHW Sys 2	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 2 (1)	n/a	None	n/a	New	NA	

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff.	1st HE Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Consumer Instantaneous	1	0	0.93-UEF	<= 200 kBtu/hr	0	n/a	n/a	n/a	n/a	New	
DHW Heater 2	Gas	Consumer Instantaneous	1	0	0.93-UEF	<= 200 kBtu/hr	0	n/a	n/a	n/a	n/a	New	

01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required
DHW Sys 2 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC System1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	1	1
ADU HVAC System2	Heating and cooling system other	Heating Component 2	Cooling Component 2	HVAC Fan 2	Air Distribution System 2	Setback	New	No	1	1

01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-80
Heating Component 2	Central gas furnace	1	AFUE-95

01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/CEER	Efficiency SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	No Cooling	1	n/a	n/a	Not Zonal	Single Speed	n/a
Cooling Component 2	No Cooling	1	n/a	n/a	Not Zonal	Single Speed	n/a

HVAC - DISTRIBUTION SYSTEMS															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
Air Distribution System 1	Unconditioned attic	Non-Verified	R-6	R-6	Attic	Attic	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distribution System 1-hers-dist	Existing + New	No	n/a	n/a
Air Distribution System 2	Unconditioned attic	Non-Verified	R-8	R-8	Attic	Attic	n/a	n/a	No Bypass Duct	Sealed and Tested	Air Distribution System 2-hers-dist	New	n/a	n/a	n/a

HVAC DISTRIBUTION - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Air Distribution System 2-hers-dist	Yes	5.0	Not Required	Not Required	Not Required	Credit not taken	Not Required	No

HVAC - FAN SYSTEMS			
01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 2	HVAC Fan	0.45	n/a

IAQ (INDOOR AIR QUALITY) FANS					
01	02	03	04	05	06
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness (%)	IAQ Recovery Effectiveness - SREIAQ Recovery Effectiveness - SRE
Sfam ADU IAQVentRpt 1-1	125	0.184	Balanced HRV	80	n/a

HERS RATER VERIFICATION OF EXISTING CONDITIONS	



DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
I, I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name: Timothy Carstairs	Documentation Author Signature: <i>Timothy Carstairs</i>
Company: Carstairs Energy Inc.	Signature Date: 2021-05-05 08:33:12
Address: 2238 Bayview Heights Drive, Suite E Los Osos, CA 93402	
CEA/HERS Certification Identification (if applicable): r160610042	
Phone: 805-904-9048	
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
I certify the following under penalty of perjury, under the laws of the State of California:	
1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.	
Responsible Designer Name: Nick Romanenko	Responsible Designer Signature: <i>Nick Romanenko</i>
Company: Constructo Inc.	Date Signed: 2021-05-05 13:41:36
Address: 1267 Willis St. Ste 200 Redding, CA 96001	
License: na	
Phone: 408-212-0133	

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.



RESIDENTIAL MEASURES SUMMARY							RMS-1
Project Name Burrows Road Addition		Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input checked="" type="checkbox"/> Existing+ Addition/Alteration			Date 5/5/2021		
Project Address 1315 Burrows Rd Campbell		California Energy Climate Zone CA Climate Zone 04	Total Cond. Floor Area 3,100	Addition 1,856	# of Units 1		
INSULATION		Area (ft ²)		Special Features	Status		
Construction Type	Cavity						
Floor	Wood Framed w/Crawl Space	-no insulation 1,244			Existing		
Wall	Wood Framed	-no insulation 177			Existing		
Door	Opaque Door	-no insulation 20			Existing		
Wall	Wood Framed	-no insulation 72			Existing		
Wall	Wood Framed	-no insulation 86			Existing		
Wall	Wood Framed	-no insulation 282			Existing		
Roof	Wood Framed Attic	R 11 1,244			Existing		
Demising	Wood Framed	-no insulation 319			Existing		
FENESTRATION		Total Area: 624	Glazing Percentage: 20.1%	New/Altered Average U-Factor: 0.30			
Orientation	Area(ft ²)	U-Fac	SHGC	Overhang	Sidedefins	Exterior Shades	Status
Front (E)	75.0	1.190	0.83	none	none	N/A	Existing
Rear (W)	10.0	1.190	0.83	none	none	N/A	Existing
Right (N)	31.2	0.300	0.23	none	none	N/A	Altered
Right (N)	23.0	1.190	0.83	none	none	N/A	Existing
Left (S)	146.1	0.300	0.23	none	none	N/A	New
Rear (W)	24.4	0.300	0.23	none	none	N/A	New
Right (N)	77.5	0.300	0.23	none	none	N/A	New
Front (SE)	91.8	0.300	0.23	none	none	N/A	New
Rear (NW)	144.5	0.300	0.23	none	none	N/A	New
HVAC SYSTEMS							
Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status	
1	Central Furnace	80% AFUE	No Cooling	14.0 SEER	Setback	Existing	
1	Central Furnace	95% AFUE	No Cooling	14.0 SEER	Setback	New	
HVAC DISTRIBUTION							
Location	Heating	Cooling	Duct Location	Duct R-Value	Status		
HVAC System	Ducted	Ducted	Attic	6.0	Altered		
ADU HVAC System	Ducted	Ducted	Attic	8.0	New		
WATER HEATING							
Qty.	Type	Gallons	Min. Eff	Distribution		Status	
1	Small Instantaneous Gas	0	0.93	Standard		New	
1	Small Instantaneous Gas	0	0.93	Standard		New	

RESIDENTIAL MEASURES SUMMARY							RMS-1
Project Name Burrows Road Addition		Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input checked="" type="checkbox"/> Existing+ Addition/Alteration			Date 5/5/2021		
Project Address 1315 Burrows Rd Campbell		California Energy Climate Zone CA Climate Zone 04	Total Cond. Floor Area 3,100	Addition 1,856	# of Units 1		
INSULATION		Area (ft ²)		Special Features	Status		
Construction Type	Cavity						
Floor	Wood Framed w/Crawl Space	R 19 1,160			New		
Wall	Wood Framed	R 15 158			New		
Wall	Wood Framed	R 15 184			New		
Wall	Wood Framed	R 15 123			New		
Roof	Wood Framed Attic	R 38 1,856			New		
Demising	Wood Framed	-no insulation 464			New		
Wall	Wood Framed	R 15 96			New		
Wall	Wood Framed	R 15 320			New		
FENESTRATION		Total Area: 624	Glazing Percentage: 20.1%	New/Altered Average U-Factor: 0.30			
Orientation	Area(ft ²)	U-Fac	SHGC	Overhang	Sidedefins	Exterior Shades	Status
Front (E)	75.0	1.190	0.83	none	none	N/A	Existing
Rear (W)	10.0	1.190	0.83	none	none	N/A	Existing
Right (N)	31.2	0.300	0.23	none	none	N/A	Altered
Right (N)	23.0	1.190	0.83	none	none	N/A	Existing
Left (S)	146.1	0.300	0.23	none	none	N/A	New
Rear (W)	24.4	0.300	0.23	none	none	N/A	New
Right (N)	77.5	0.300	0.23	none	none	N/A	New
Front (SE)	91.8	0.300	0.23	none	none	N/A	New
Rear (NW)	144.5	0.300	0.23	none	none	N/A	New
HVAC SYSTEMS							
Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status	
HVAC DISTRIBUTION							
Location	Heating	Cooling	Duct Location	Duct R-Value	Status		
WATER HEATING							
Qty.	Type	Gallons	Min. Eff	Distribution		Status	

RESIDENTIAL MEASURES SUMMARY							RMS-1
Project Name Burrows Road Addition		Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input checked="" type="checkbox"/> Existing+ Addition/Alteration			Date 5/5/2021		
Project Address 1315 Burrows Rd Campbell		California Energy Climate Zone CA Climate Zone 04	Total Cond. Floor Area 3,100	Addition 1,856	# of Units 1		
INSULATION		Area (ft ²)		Special Features	Status		
Construction Type	Cavity						
Door	Opaque Door	R 5 20			New		
Wall	Wood Framed	R 15 216			New		
Wall	Wood Framed	R 15 312			New		
FENESTRATION		Total Area: 624	Glazing Percentage: 20.1%	New/Altered Average U-Factor: 0.30			
Orientation	Area(ft ²)	U-Fac	SHGC	Overhang	Sidedefins	Exterior Shades	Status
Front (E)	75.0	1.190	0.83	none	none	N/A	Existing
Rear (W)	10.0	1.190	0.83	none	none	N/A	Existing
Right (N)	31.2	0.300	0.23	none	none	N/A	Altered
Right (N)	23.0	1.190	0.83	none	none	N/A	Existing
Left (S)	146.1	0.300	0.23	none	none	N/A	New
Rear (W)	24.4	0.300	0.23	none	none	N/A	New
Right (N)	77.5	0.300	0.23	none	none	N/A	New
Front (SE)	91.8	0.300	0.23	none	none	N/A	New
Rear (NW)	144.5	0.300	0.23	none	none	N/A	New
HVAC SYSTEMS							
Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status	
HVAC DISTRIBUTION							
Location	Heating	Cooling	Duct Location	Duct R-Value	Status		
WATER HEATING							
Qty.	Type	Gallons	Min. Eff	Distribution		Status	



2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.

Table with 2 columns: Measure ID and Measure Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances, and Gas Log Measures, Space Conditioning, Water Heating, and Plumbing System Measures, and Solar Ready Buildings.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Clearances, Liquid Line Drier, Storage Tank Insulation, Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, Recirculating Loops, Solar Water-heating Systems, Wall Insulation, Ducts and Fans Measures, Factory-Fabricated Duct Systems, Field-Fabricated Duct Systems, Backdraft Damper, Gravity Ventilation Dampers, Protection of Insulation, Porous Inner Core Flex Duct, Duct System Sealing and Leakage Test, Air Filtration, and Space Conditioning System Airflow Rate and Fan Efficacy.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, and Lighting Measures.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Measure Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Residential Common Areas, Solar Ready Buildings, and Solar Ready Buildings (continued).

ROOM LOAD SUMMARY

Table with columns: Project Name, Date, System Name, Floor Area, and ROOM LOAD SUMMARY (Zone Name, Room Name, Mult., CFM, Sensible, Latent, COIL COOLING PEAK, COIL HTG. PEAK). Includes a PAGES TOTAL and TOTAL summary row.

ROOM LOAD SUMMARY

Table with columns: Project Name, Date, System Name, Floor Area, and ROOM LOAD SUMMARY (Zone Name, Room Name, Mult., CFM, Sensible, Latent, COIL COOLING PEAK, COIL HTG. PEAK). Includes a PAGES TOTAL and TOTAL summary row.

PROJECT
ADDITION

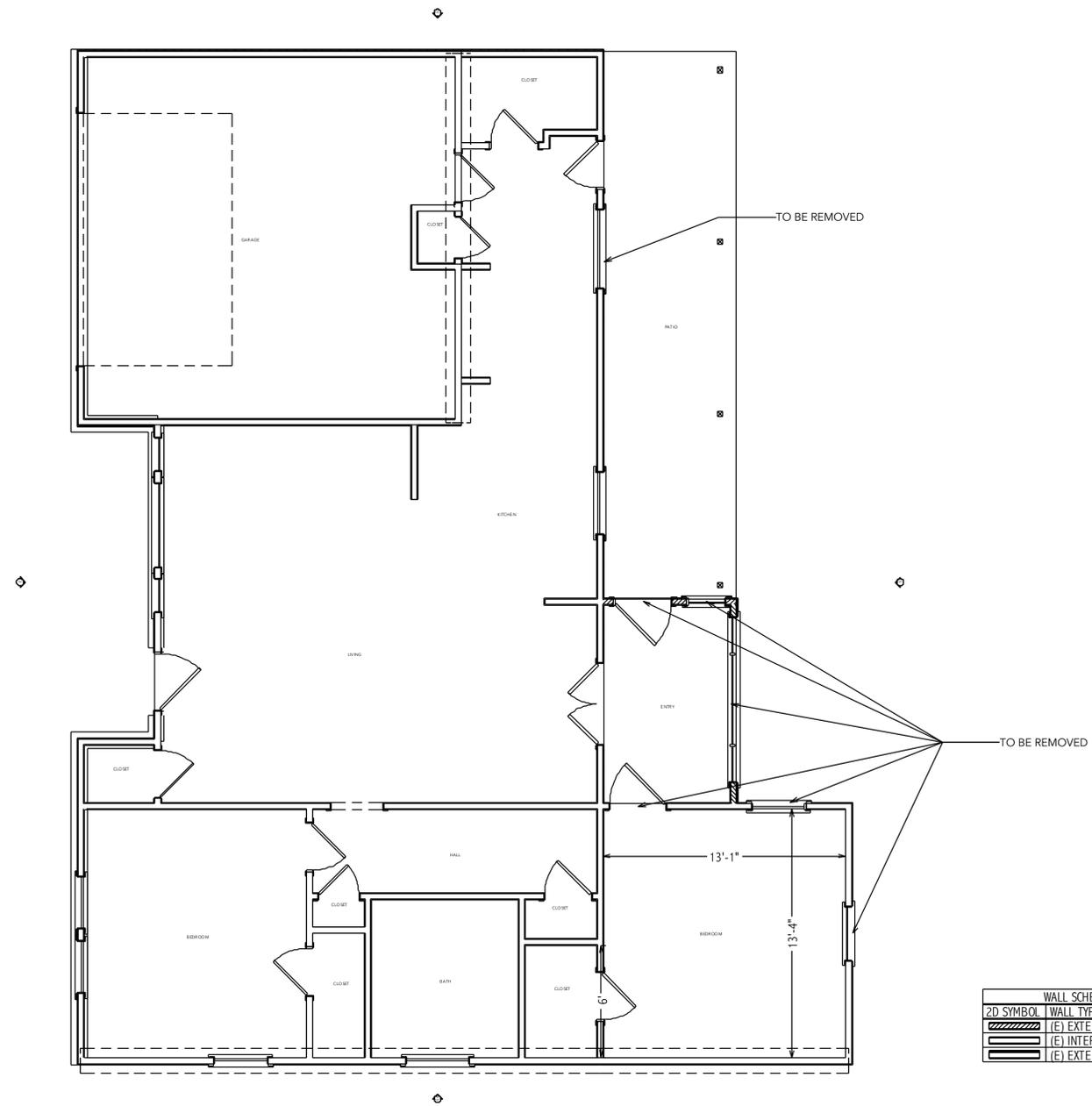
ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
DEMOLITION
PLAN

DATE
11.07.22

SCALE
1/4" = 1'



PROJECT
ADDITION

ADDRESS
1315 BURROWS RD
CAMPBELL
CA 95008

CLIENT
HAO WANG

TITLE
TREE PLAN

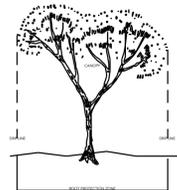
DATE
11.07.22

SCALE
1/12" = 1'

A-1.06

TREE PROTECTION NOTES:

- Tree roots are generally located in the top 12-24 inches of soil and can extend to a distance exceeding the tree's height and/or width. To comply with the tree protection guidelines:
- Any required trenching should be routed in a manner that minimizes root damage.
 - All work conducted in the ground within the root protection area of any protected tree should be accomplished with hand tools.
 - Construction activity should be diverted from the Tree/Root Protection Zone. Cutting of roots should be avoided (i.e., place pipes and cables below uncut roots).
- Additional Protective Measures**
- Protective chain-link fencing with an access gate of minimal width should be installed.
 - The Tree/Root Protection Zone should be irrigated sufficiently with clean, potable water to keep the tree in good health and vigor before, during, and after construction. This may mean deeply soaking the ground periodically.
 - No construction staging or disposal of construction materials or byproducts is allowed within the Tree/Root Protection Zone.



TREE INVENTORY:

- #1 IS A SPECIMEN TREE, WHICH IS PROTECTED.
- TRUNK 12" DBH
- CONDITION GOOD
- PROTECTION ZONE D

