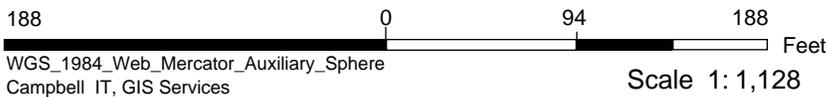


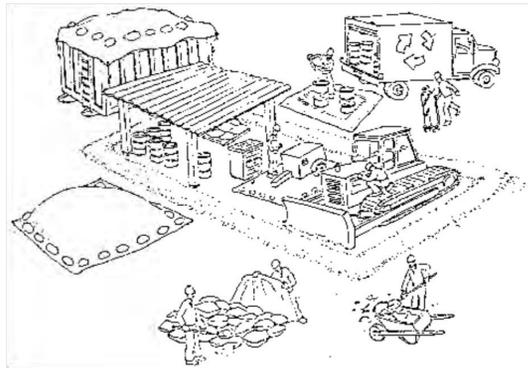


Location Map - 1679 Silacci Dr.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

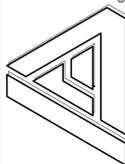
Paving/asphalt work

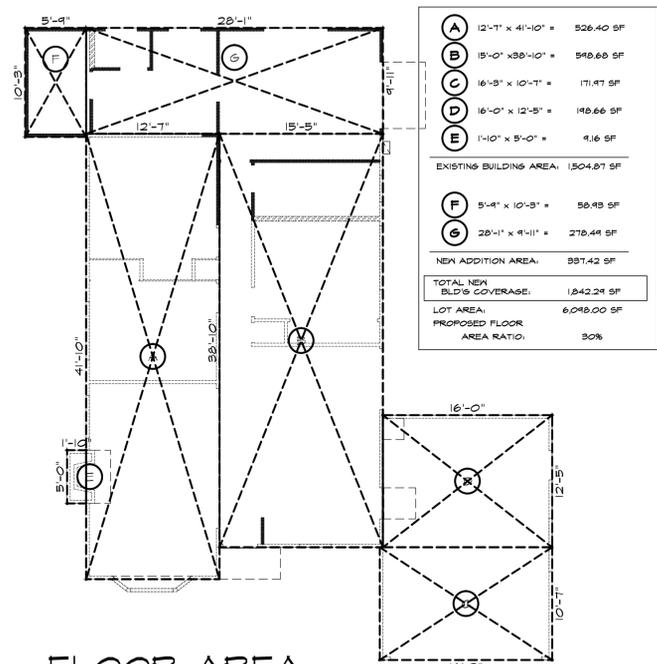
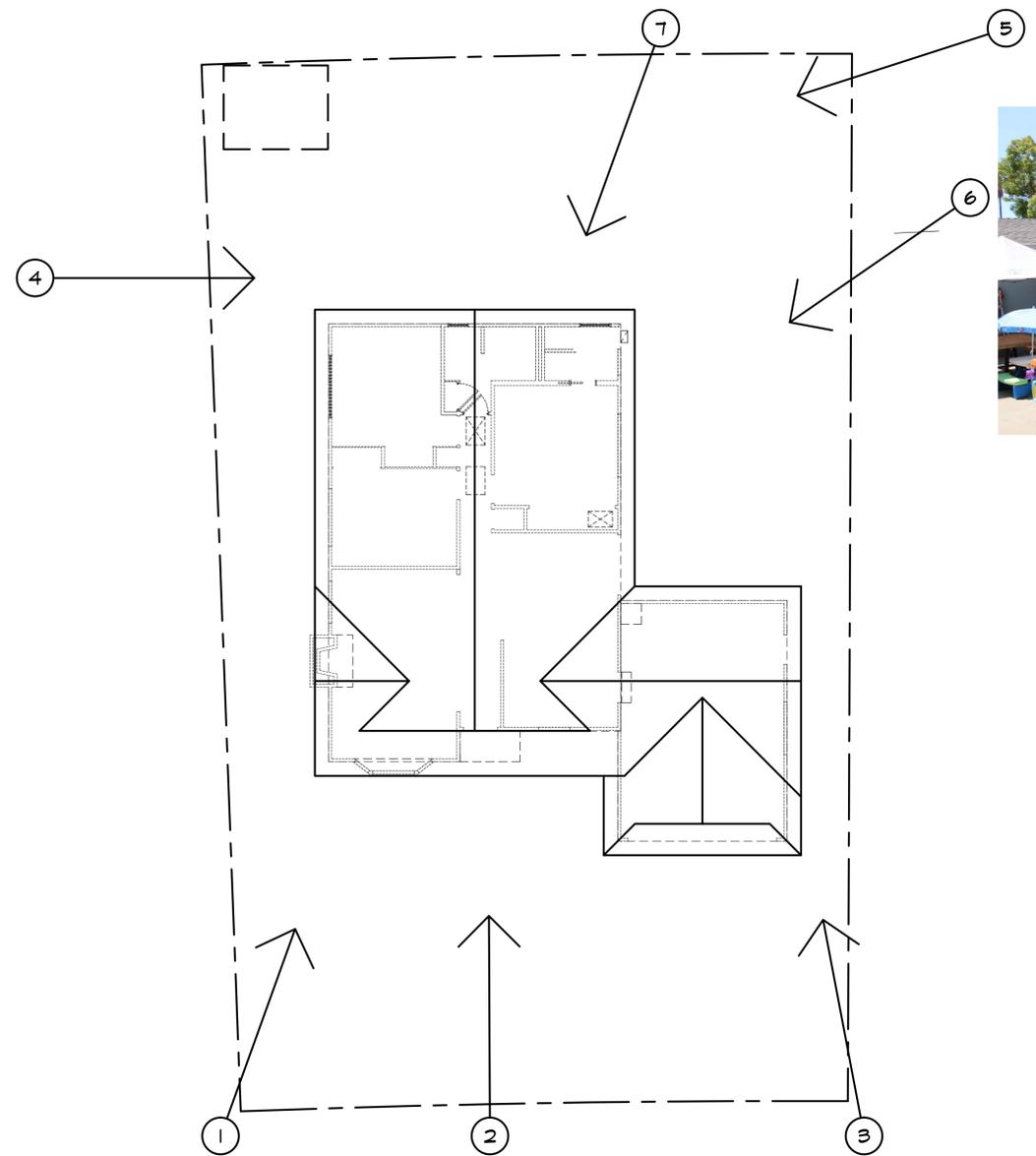
- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



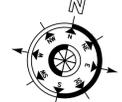
Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.





FLOOR AREA CALCULATION DIAGRAM
SCALE 1/8" = 1'-0"

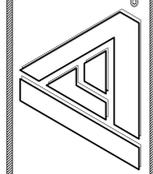


ARCHITECTURAL SITE PLAN
SCALE 1/16" = 1'-0"

NO.	REVISIONS

NOTICE
These drawings represent ideas, designs, and concepts. They are not to be used for construction without the written consent of Atelier Designs. All work is proprietary to Atelier Designs. All work is to be done in accordance with the specifications and details indicated in these drawings. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

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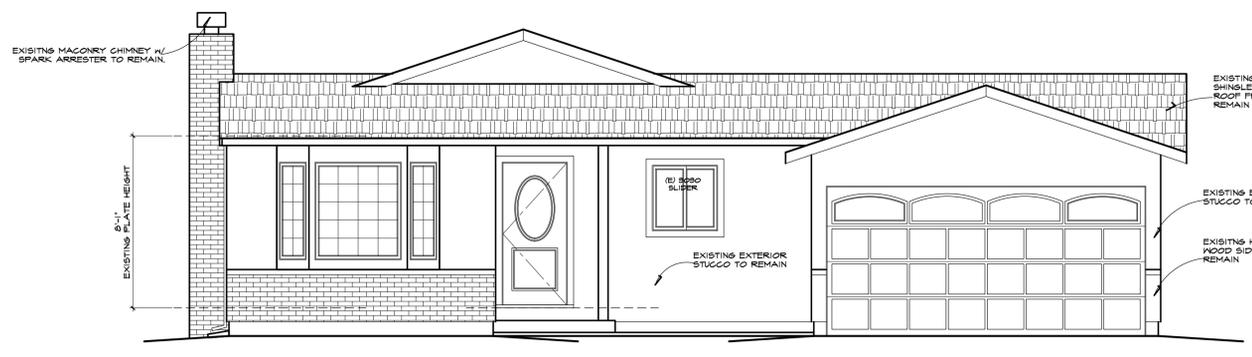
RESIDENTIAL ADDITION and REMODEL for:
ALIREZA E. MOFRAD
and JACQUELYN BICKAR
1679 SILACCI DRIVE
CAMPBELL, CA 95008

JOB NO:
MOFRAD
DATE:
JUNE 24 2022
DRAWN BY:
FT KUS

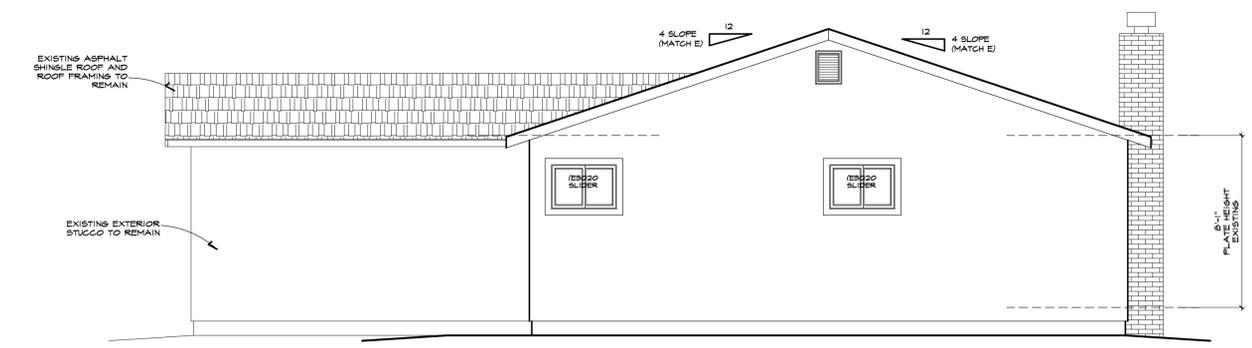
SCALE:
1/4" = 1'-0"
A-10

ABBREVIATIONS:

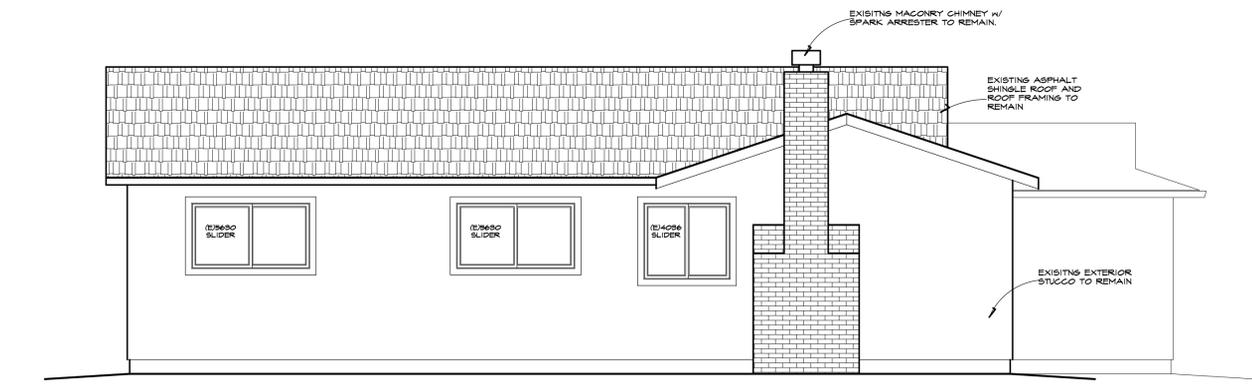
- A/C..... AIR CONDITIONER
- AL..... ALUMINUM
- A.B..... ANCHOR BOLT
- A.P.A..... AMERICAN FLYWOOD ASSOCIATION
- A.P.N..... ASSESSOR PARCEL NUMBER
- BM..... BEAM
- BLK'G..... BLOCKING
- BLDG..... BUILDING
- BOTT..... BOTTOM
- CAB..... CABINET
- CLO..... CLOSET
- C.J..... CEILING JOIST
- COL..... COLUMN
- CONC..... CONCRETE
- CONT..... CONTINUOUS
- D..... DRYING MACHINE
- DET..... DETAIL
- DIA..... DIAMETER
- DIAG..... DIAGRAM
- D.W..... DISH WASHER
- DBL..... DOUBLE
- DR..... DOOR
- D.S..... DOWN SPOUT
- D.F..... DOUGLAS FIR
- D.H..... DOUBLE HUNG WINDOW
- EA..... EACH
- ELECT..... ELECTRICITY
- ELEV..... ELEVATION
- ENCL..... ENCLOSED
- EQ..... EQUAL
- EXT..... EXTERIOR
- (E) EX..... EXISTING
- F/..... FOR
- F.F..... FACE FRAMED
- FIN. FLR..... FINISH FLOOR
- F.O.C..... FACE OF CURB or FACE OF CONCRETE
- F.O.S..... FACE OF STUD
- F.S..... FIBERGLASS
- FIX..... FIXTURE
- FLASH..... FLASHING
- FLOUR..... FLOURESCENT
- FLR..... FLOOR
- FTG..... FOOTING
- F.A.U..... FORCED AIR UNIT
- G.I..... GALVANIZE IRON
- GAUGE..... GAUGE
- GLS..... GLASS
- GLU. LAM..... GLUE LAMINATED
- GLZ..... GLAZING
- G.P.F..... GALLONS PER FLUSH
- GR..... GRADE
- GYP. BD..... GYPSUM BOARD
- HDR..... HEADER
- H.V..... HEAT VENT
- H.D..... HOLD DOWN
- I.C.B.O..... INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
- INSUL..... INSULATION
- JST..... JOIST
- LINO..... LINOLEUM
- M.B..... MACHINE BOLT
- MFR..... MANUFACTURER
- M.C..... MEDICINE CABINET
- MTL..... METAL
- MIN..... MINIMUM
- (N)..... NEXT
- N.T.S..... NOT TO SCALE
- O.V..... OVEN
- O.C..... ON CENTER
- O/..... OVER
- O.H..... OVER HANG
- PR..... PAIR
- P.C..... PHOTO CELL
- P.G..... PAINT GRADE
- P.L.P.W..... PLYWOOD
- P.K.T..... POCKET
- P.B..... PUSH BUTTON
- P.T..... PRESSURE TREATED
- REF..... REFRIGERATOR
- RDWD..... REDWOOD
- REQ'D..... REQUIRED
- R.S..... RESAWN
- REV..... REVERSE
- R.O..... ROUGH OPENING
- SEL..... SELECT STRUCTURAL
- STR..... STRENGTH
- S.H..... SINGLE HUNG
- SL. GLS..... SLIDING GLASS
- DR..... DOOR
- SHTG..... SHEATING
- SHT..... SHEET
- S & P..... SHELF & POLE
- SHWR..... SHOWER
- S.C..... SOLID CORE
- S/CLO..... SELF CLOSER
- S.G..... STAIN GRADE
- SPEC'S..... SPECIFICATIONS
- SQ..... SQUARE
- STD..... STANDARD
- SURR..... SURROUND
- SIM..... SIMILAR
- TEMP..... TEMPERED
- GLS..... GLASS
- T & G..... TONGUE & GROOVE
- THK..... THICK
- TYP..... TYPICAL
- U.N.O..... UNLESS NOTED OTHERWISE
- U.B.C..... UNIFORM BUILDING CODE
- U.P.C..... UNIFORM PLUMBING CODE
- U.M.C..... UNIFORM MECHANICAL CODE
- VERT..... VERTICAL
- W..... WASHING MACHINE
- W/C..... WATER CLOSET
- W.H..... WATER HEATER
- W/..... WITH
- WD..... WOOD
- W.I..... WROUGHT IRON
- WIND, WDW..... WINDOW
- W.P..... WATER PROOF
- W.S..... WEATHER STRIP
- W.W.M..... WELDED WIRE MESH



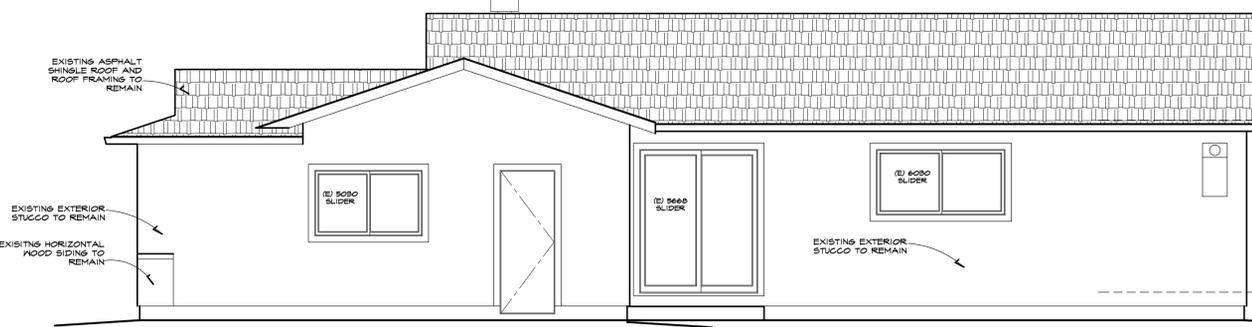
FRONT ELEVATION
SCALE 1/4" = 1'-0" SOUTH



REAR ELEVATION
SCALE 1/4" = 1'-0" NORTH



LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0" WEST



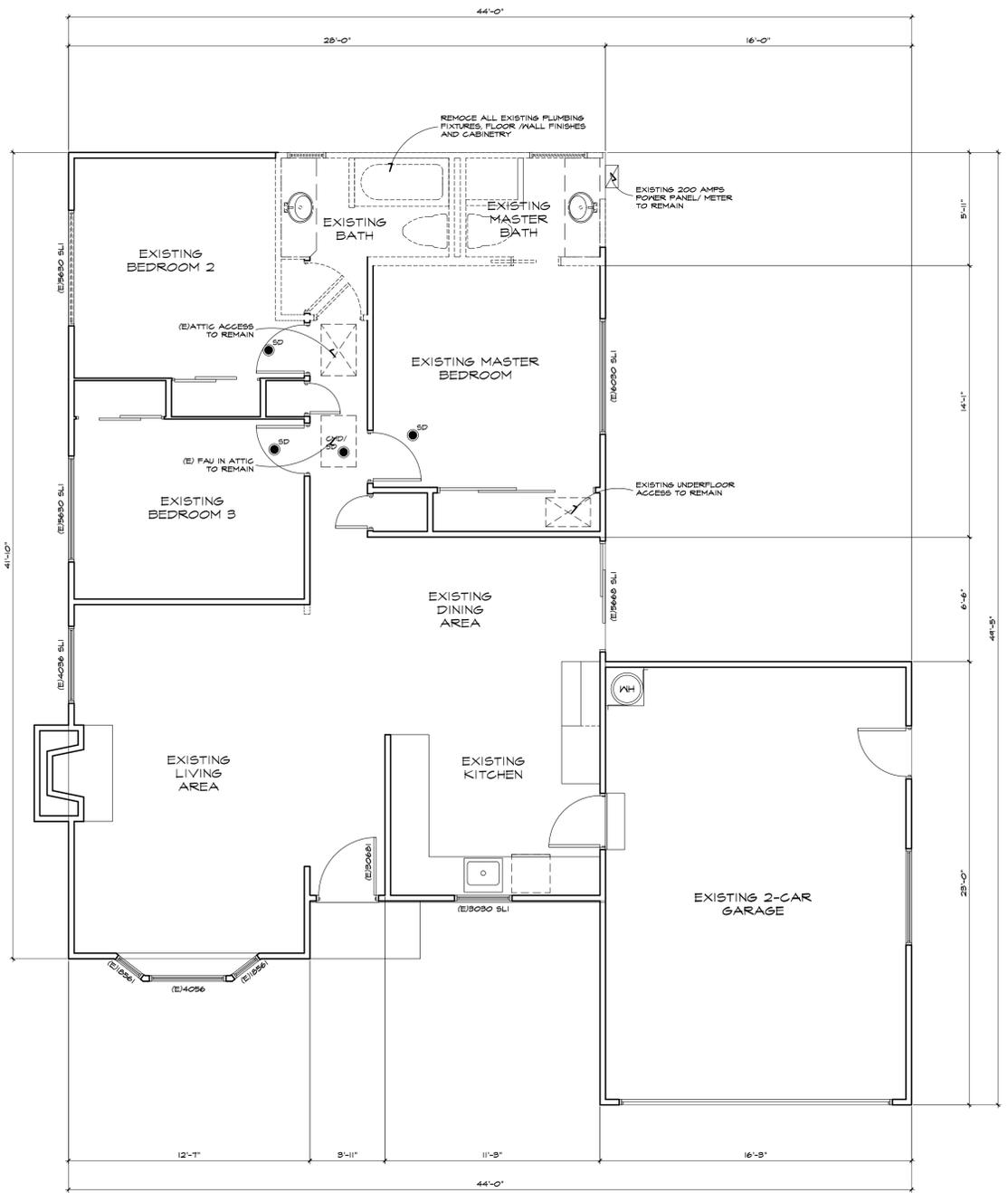
RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0" EAST

NOTES and LEGEND:

==== INDICATES EXISTING WALLS TO REMAIN

--- INDICATES EXISTING WALLS AND STRUCTURE(S) TO BE DEMOLISHED, REMOVED OR REPLACE (AS NOTED ON THE PLANS)

DIMENSIONS SHOWN ARE MEASURED TO APPROXIMATE FACE OF STUDS (F.O.S.) FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.



AS-BUILD/ DEMOLITION PLAN
SCALE 1/4" = 1'-0"

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RESIDENTIAL ADDITION and REMODEL FOR:
ALIREZA E. MOFRAD
and JACQUELYN BICKAR
 1679 SILACCI DRIVE
 CAMPBELL, CA 95008

JOB NO: MOFRAD
 DATE: APRIL 21 2022
 DRAWN BY: FT KUS
 SCALE: 1/4" = 1'-0"

A-N

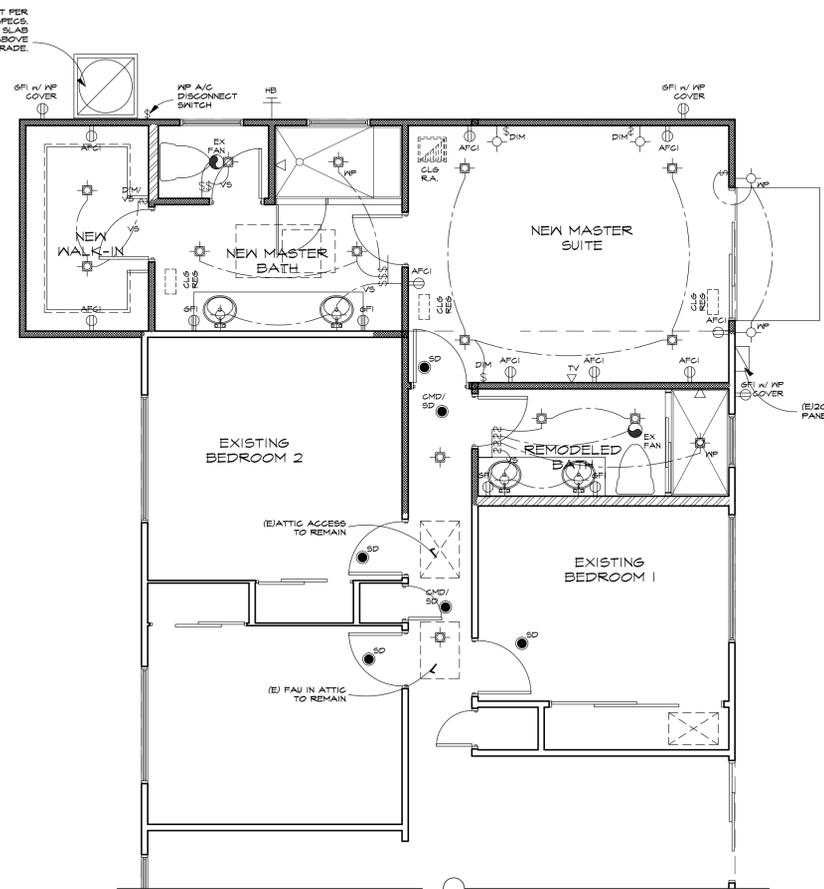
ELECTRICAL/MECHANICAL SYMBOLS:

- EXTERIOR SECURITY LIGHT WITH MOTION SENSOR SWITCH
- 110 AFCI DUPLEX OUTLET W/ ARC FAULT INTERRUPTER CIRCUIT
- 110V DUPLEX OUTLET
- 110V DUPLEX OUTLET W/ HALF-HOT
- 110V DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER CIRCUIT
- 110V DUPLEX FLOOR OUTLET
- 220V OUTLET
- *SMOKE DETECTOR (HARD-WIRED AND INTER-CONNECTED W/ BATTERY BACK-UP)
- SURFACE MOUNT CEILING FIXTURE
- WALL MOUNT LIGHT FIXTURE
- RECESSED LIGHT FIXTURE (I.C. RATED)
- RECESSED 'LOW VOLT' LIGHT FIXTURE
- RECESSED 'DIRECTIONAL' LIGHT FIXTURE
- CHANDELIER LIGHT FIXTURE (OWNER SELECT)
- RECESSED FLOURESCENT LIGHT FIXTURE (I.C. RATED)
- CEILING FAN
- SURFACE MOUNT FLOURESCENT LIGHT FIXTURE
- UNDER-CABINET MOUNT FLOURESCENT LIGHT FIXTURE
- *EXHAUST FAN W/ DAMPER AND FAN
- PHONE JACK
- TELEVISION JACK
- TOGGLE LIGHT SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- PUSH BUTTON SWITCH (CHIME, GARAGE DOOR, ETC...)
- THERMOSTAT
- WALL MOUNT AIR REGISTER
- TOE KICK MOUNT AIR REGISTER
- FLOOR MOUNT REGISTERS
- CEILING MOUNT AIR REGISTER
- CEILING MOUNT AIR RETURN REGISTER
- WALL MOUNT AIR RETURN REGISTER
- HOSE BIB
- GAS COCK
- FIRE PLACE GAS TURN KEY
- MAIN POWER PANEL (110V-115V WITH 200 AMPS MIN.)
- MAIN GAS METER VALVE
- *EXHAUST UNIT W/ FLOURESCENT LIGHT COMBINATION UNIT
- DOOR CHIME (OWNER SELECT)
- DAMP PROOF
- *CARBON MONOXIDE DETECTOR
- CEILING LIGHT JUNCTION
- LIGHT EMITTING DIODE
- OUTLET W/ WEATHER PROOF COVER
- GARBAGE DISPOSAL UNIT
- SECURITY CAMERA

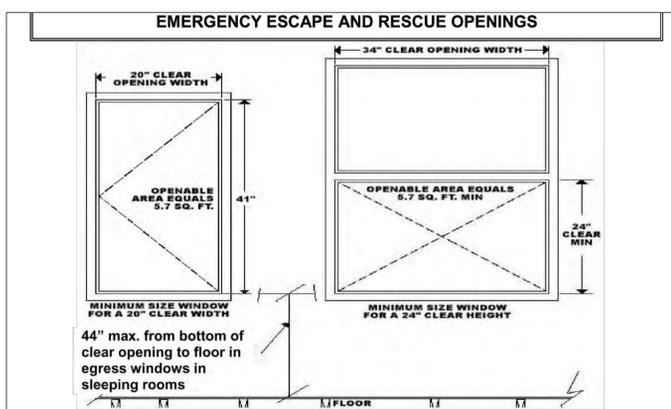
- *NOTES:**
1. MULTIPLE PURPOSE ALARMS (SMOKE PLUS C.O.) SHALL COMPLY TO CRC SECTION R315.3.1
 2. ALL NEW RECEPTACLES TO BE RATED 'TR' (TAMPER RESISTANT)
 3. WHERE CONTINUOUS OPERATING BATHROOM FAN IS INSTALLED, FAN SHALL OPERATE AT A MINIMUM OF 20 CFM AND CONTINUOUS OPERATING KITCHEN FANS MUST OPERATE AT 5 AIR EXCHANGES PER HOUR. ASHRAE 62.2-2007 SECTION 4.6.4.
 4. AT INTERMITTENT LOCAL EXHAUST, THE MINIMUM BATHROOM INTERMITTENT VENTILATION AIRFLOW SHALL BE 50 CFM AND FOR KITCHEN HOOD EXHAUST SHALL BE 100 CFM (OR AS AN ALTERNATE, PROVIDE CEILING OR WALL MOUNTED EXHAUST FAN OR DUCTED VENTILATION SYSTEM THAT PROVIDES AT LEAST 5 AIR CHANGES OF THE KITCHEN VOLUME PER HOUR). ASHRAE 62.2-2007 SECTION 4.6.4.
 5. ALL LIGHT FIXTURES TO BE LIGHT EMITTING DIODE (LED) TYPE (TYPICAL, U.O.N.). SEE 'ELECTRICAL NOTES', 'd. LIGHTING'.

ELECTRICAL NOTES

- a) **PANEL LOCATIONS:**
Panels shall not be located in the vicinity of easily ignitable material, such as clothes closets. Panels shall not be located in bathrooms.
- b) **NON-METALLIC SHEATHED CABLE**
Non-metallic sheathed cable shall be:
 1. Protected by conduit, electrical metallic tubing, schedule 80 PVC rigid non-metallic conduit, pipe, guard strips, listed surface metal or non-metallic raceway, or other means when cable is exposed or subject to physical damage.
 2. Protected by a 1/16 inch steel plate or sleeve, or be not less than 1-1/4 inch from the nearest edge of the framing member, when installed through framing members. Steel plates or sleeves are required on all double shear walls when cable is installed either through or parallel to framing members.
 3. Protected by guard-strips within 6 feet of an attic access when no permanent stairs or ladders are provided.
 4. Protected by guard-strips in the entire attic when permanent stairs or ladders are provided. Access panels or doors from the second floor into the attic are considered permanent access and guard-strips are required in the entire attic.
 5. Have a bending radius not less than 5 times the diameter of the cable.
 6. Supported at intervals not exceeding 4-1/2 feet.
- c) **CIRCUITS AND RECEPTACLES**
 1. Receptacles shall be installed so that no point along the floor line in any wall space is more than 6 ft. from an outlet, including any wall space 2 ft. wide or greater. *Note: A fixed panel of a sliding glass door is considered wall space.*
 2. In kitchens, breakfast rooms, pantries and dining rooms a minimum of 2-20A circuits shall be provided. Counter space receptacles shall be GFCI and installed:
 - At each wall counter space that is 12 in. or greater;
 - No more than 48 in. o.c.;
 - Maximum 24 in. from the end of the counter;
 - Maximum 20 in. above counter surface;
 - On island counter spaces (one receptacle min.) not more than 12 in. below counter surface;
 - On peninsula counter spaces (one receptacle min.) not more than 12 in. below counter surface.
 3. Bathrooms shall have a separate 20A circuit with at least one GFCI wall receptacle within 36 in. of each basin.
 4. Laundry rooms shall have a separate 20A circuit with at least one receptacle shall be provided.
 5. In garages, at least one GFCI receptacle shall be provided. All other garage receptacles except those dedicated to an appliance shall be GFCI.
 6. In hallways of 10 ft. or more in length, at least one receptacle shall be provided.
 7. Outdoor outlets shall be GFCI. One outlet shall be installed at the front of the dwelling and one at the rear of the dwelling. Receptacles shall be accessible at grade level and not more than 6-1/2 ft. above grade.
 8. All receptacles within 6 ft. of a wet bar shall be GFCI.
 9. All receptacles on 15A or 20A branch circuits that supply dwelling unit receptacles shall be protected by Arc-Fault Circuit Interrupters, including switched outlets.
 10. All receptacles serving appliances or motors with a rating of 1 HP or 6 Amps shall be on a separate circuit.
 11. For HVAC equipment, a separate 15A or 20A circuit with an accessible receptacle at the equipment shall be provided. If located in an under-floor area, the receptacle shall be GFCI.
- d) **LIGHTING**
 1. Switched lighting shall be installed in:
 - All habitable rooms.
 - Bathrooms.
 - Hallways.
 - Stairways, at each level.
 - Garages.
 - At all outdoor entrances and exits.
 - Near HVAC equipment in attic or under-floor, with a switch at the access point.
 2. LIGHTS INSTALLED INSIDE A CLOSET SHALL BE HIGH EFFICIENCY (i.e. PIN-BASED CFL, PULSE START MH, HPS, GU-24 SOCKETS OTHER THAN LEDs, LED LUMINAIRES WITH INTEGRAL SOURCE, ETC.)
 3. SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAS COMPLIANT LAMPS. JAS COMPLIANT LIGHT SOURCES MUST BE MARKED AS JAS-2016 OR JAS-2016-E (JAS-2016-E LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES)
 4. ALL JAS COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION CLOSETS LESS THAN 70 SF AND HALLWAYS).
 - i. CEILING RECESSED DOWNLIGHT LUMINAIRES.
 - ii. LED BASED LUMINAIRES WITH INTEGRAL SOURCES.
 - iii. PIN-BASED LED LAMPS (i.e. MR16, AR-111, ETC)
 - iv. GU-24 BASED LED LIGHT SOURCES.
- e) **FANS**
In bathrooms containing tubs or showers:
 1. A fan capable of providing 5 air changes per hour shall be installed when exterior openings for natural ventilation are provided.
 2. A fan capable of providing 7.5 air changes per hour shall be installed when no exterior openings for natural ventilation are provided.
- f) **SMOKE ALARMS**
In new construction, smoke alarms shall receive their primary power from the building wiring. The wiring shall be permanent and installed without a disconnecting switch other than those required for over-current protection.



ELECTRICAL-MECHANICAL PLAN
SCALE 1/4" = 1'-0"



Because so many fire deaths occur when occupants of residential buildings are asleep at the time of a fire, the 2019 California Residential Code (CRC), Section R310.1 requires that:

- Habitable Attics
- Basements contain one or more sleeping rooms and
- Every sleeping room below the fourth story

Shall have at least one operable window or exterior door opening approved for emergency escape and rescue (egress windows/doors). Such openings shall open directly into a public way or to a yard or court that opens to a public way.

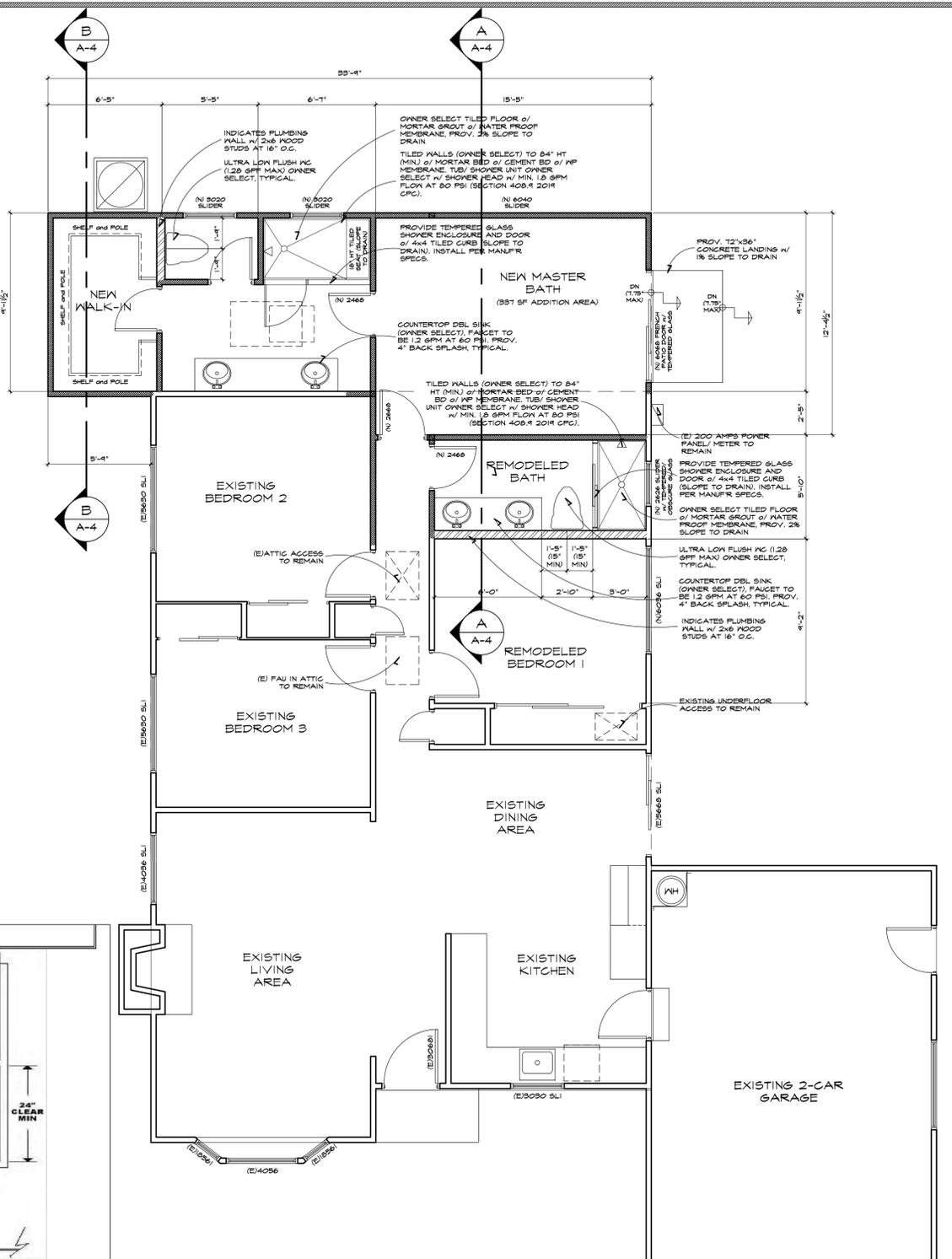
- The net clear operable area shall be no less than 5.7 square feet (5 square feet for grade floor openings from exterior grade and basement window wells).
- In addition to the above requirement, the net clear operable height dimension shall be a minimum of 24 inches. The net clear operable width dimension shall be a minimum of 20 inches (Note: using both minimum figures will not obtain the required 5.7 square feet.)

The chart below summarizes the minimum window dimensions that will achieve a 5.7 square-foot opening.

Minimum Clear Opening Width/Height of Emergency Escape and Rescue Windows (inches)															
Width	20	20.5	21	21.5	22	22.5	23	23.5	24	24.5	25	25.5	26	26.5	27
Height	41	40	39.1	38.2	37.3	36.5	35.7	34.9	34.2	33.5	32.8	32.2	31.6	31	30.4
Width	27.5	28	28.5	29	29.5	30	30.5	31	31.5	32	32.5	33	33.5	34	34.2
Height	29.8	29.3	28.8	28.3	27.8	27.4	26.9	26.5	26.1	25.7	25.3	24.9	24.5	24.1	24

Exception: Where residential dwelling/townhouse is equipped with automatic fire sprinkler system, sleeping rooms in basement are not required to have egress openings provided that the basement has one of the following:

- One means of egress per CRC R311 and one emergency escape and rescue opening (does not have to be in the bedroom), or
- Two means of egress per CRC R311.



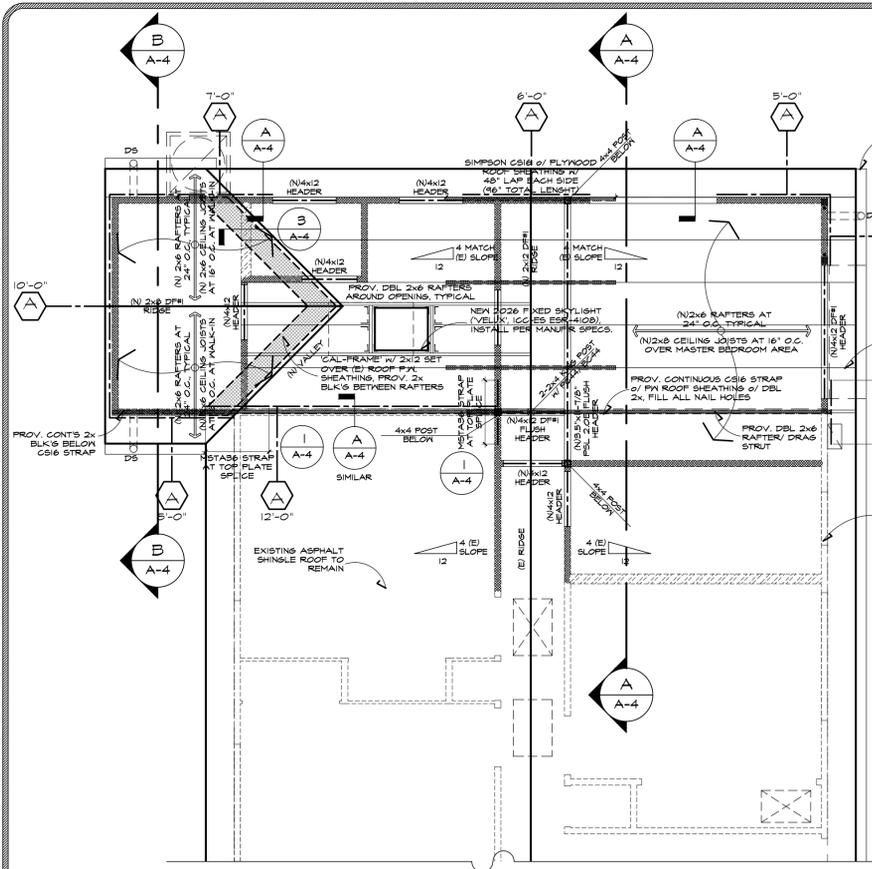
NEW FLOOR PLAN
SCALE 1/4" = 1'-0"

- NOTES and LEGEND:**
- INDICATES NEW 2x WOOD STUDS AT 16" O.C. WALLS (TYPICAL U.O.N.)
 - INDICATES EXISTING WALLS TO REMAIN
 - INDICATES (N) 14x6 UNDERFLOOR VENTS W/ INSECT MESH. UNDERFLOOR VENTS TO EQUAL 1/10th OF NEW UNDERFLOOR SPACE. 41 USC SECT. 2306.7
 - WALL LENGTH REQUIRED
 - BRACE/NALL TYPE
- DIMENSIONS SHOWN ARE MEASURED TO APPROXIMATE FACE OF STUDS (F.O.S.). FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.

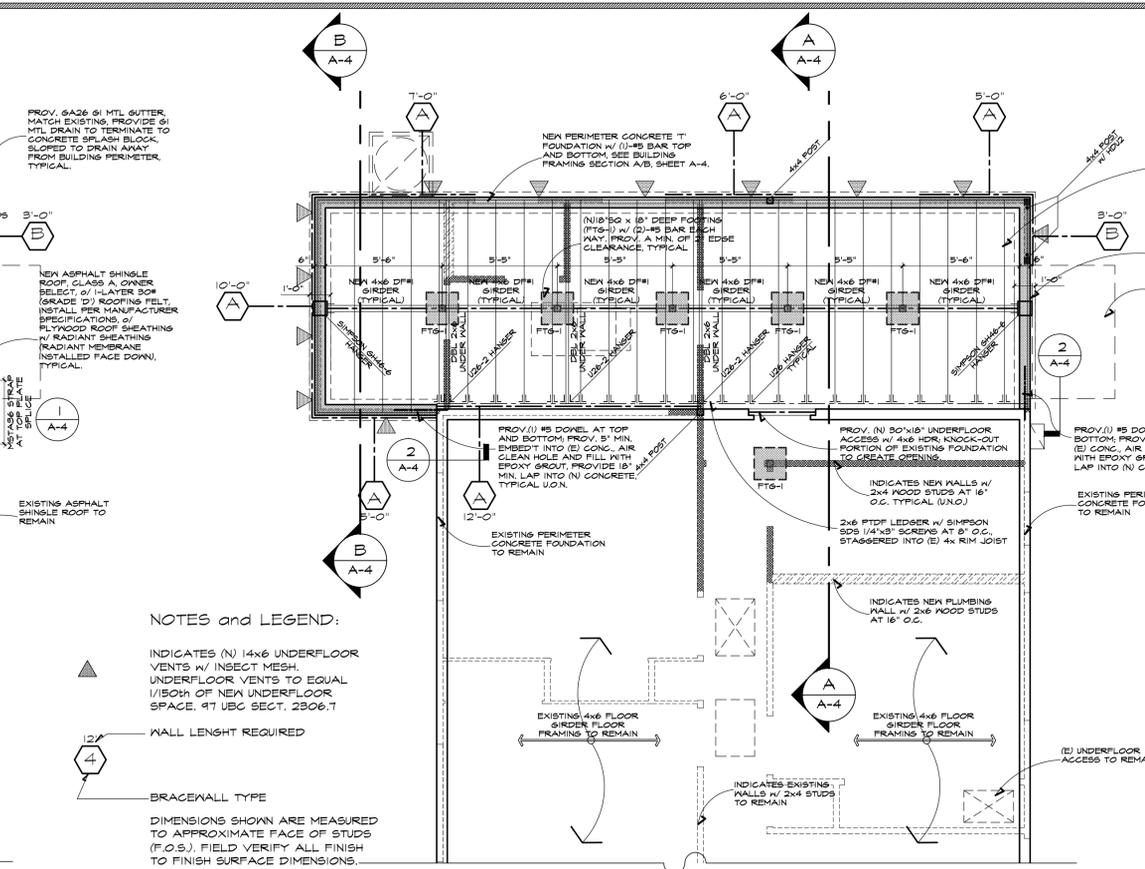
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RESIDENTIAL ADDITION and REMODEL FOR:
ALIREZA E. MOFRAD
and JACQUELYN BICKAR
 1679 SILACCI DRIVE
 CAMPBELL, CA 95008

JOB NO: MOFRAD
 DATE: JUNE 24 2022
 DRAWN BY: PT KUN
 SCALE: 1/4" = 1'-0"
 A-3



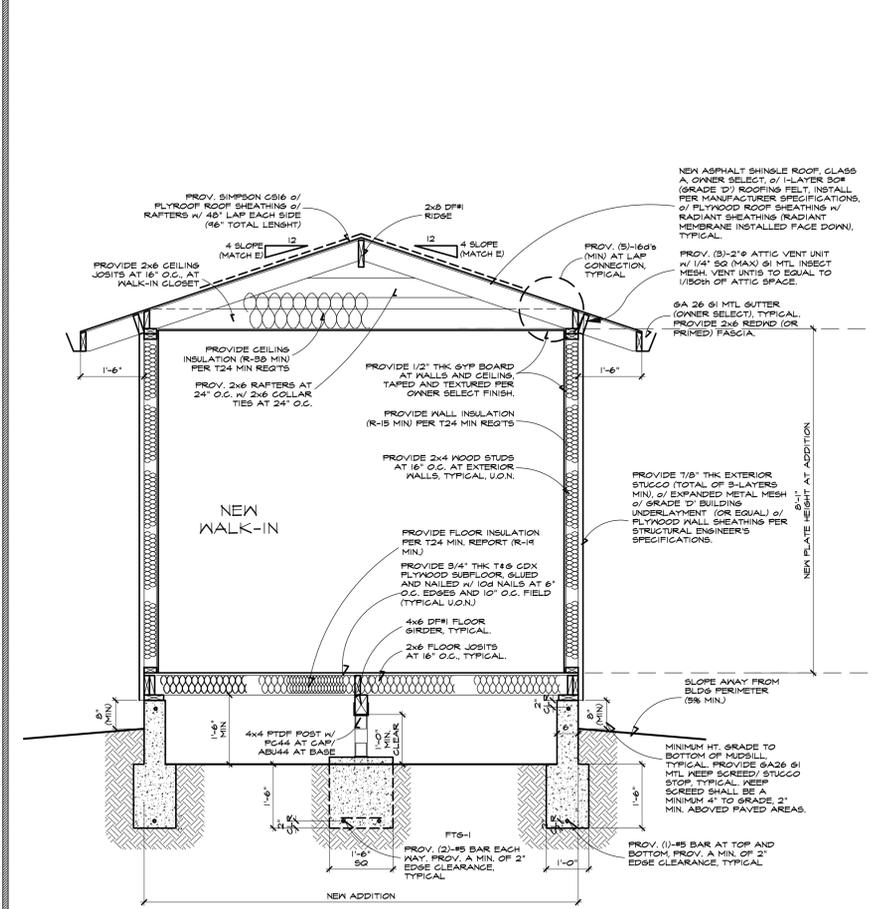
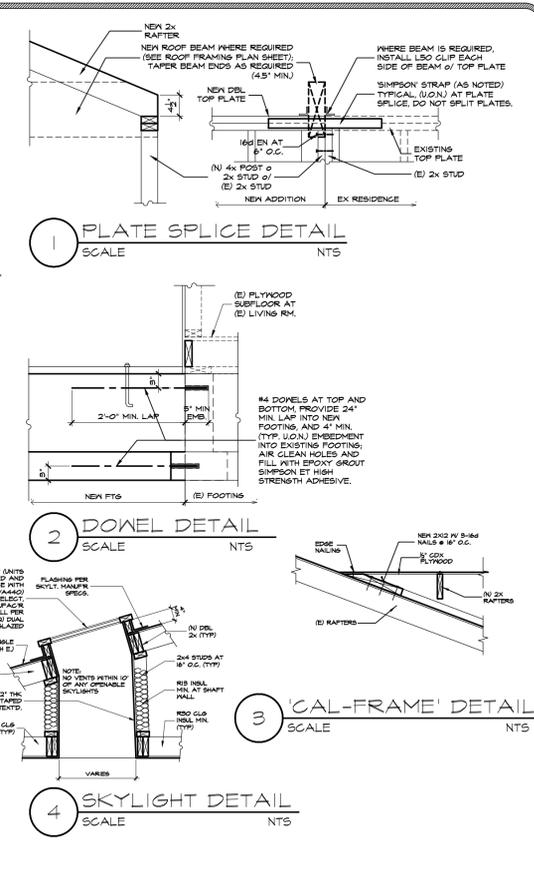
ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



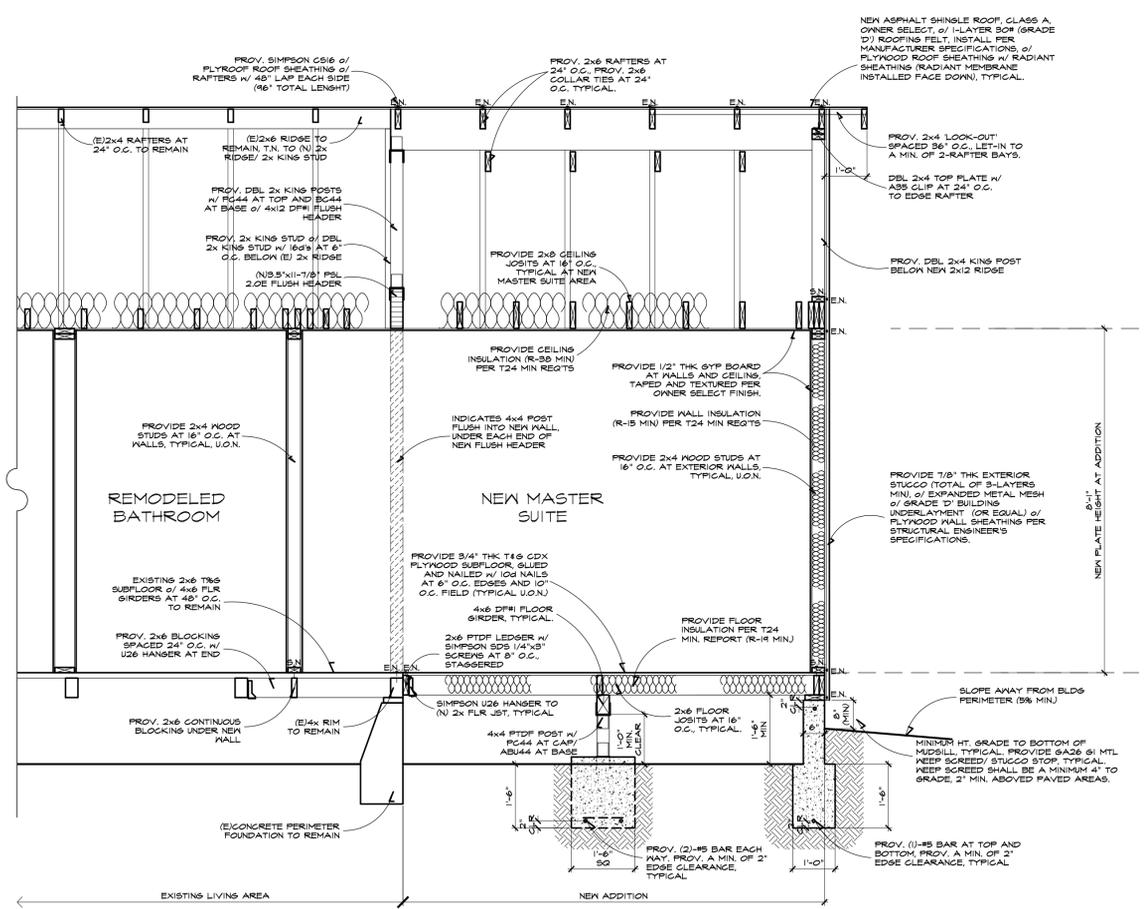
FOUNDATION PLAN
SCALE 1/4" = 1'-0"

NOTES and LEGEND:

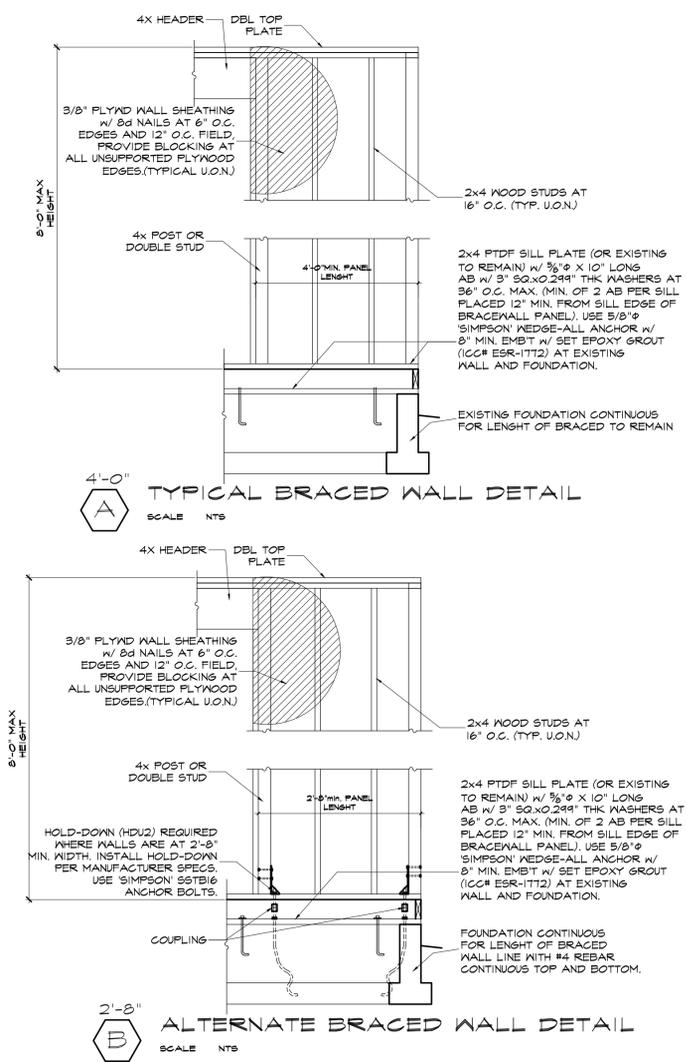
- INDICATES (N) 14x6 UNDERFLOOR VENTS w/ INSECT MESH. UNDERFLOOR VENTS TO EQUAL 1/80th OF NEW UNDERFLOOR SPACE. 9T UBC SECT. 2306.7
- WALL LENSHT REQUIRED
- BRACEMALL TYPE
- DIMENSIONS SHOWN ARE MEASURED TO APPROXIMATE FACE OF STUDS (F.O.S.). FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.



BUILDING FRAMING SECTION
SCALE 1/2" = 1'-0"



BUILDING FRAMING SECTION
SCALE 1/2" = 1'-0"



ALTERNATE BRACED WALL DETAIL
SCALE NTS

NOTICE

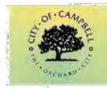
These drawings were prepared by the undersigned in accordance with the provisions of the California Professional Engineers Act, Chapter 10, Section 4900, and the California Board of Professional Engineers, Regulation 10, Section 100000. The undersigned hereby certifies that the undersigned is a duly Licensed Professional Engineer in the State of California, License No. 44888, and that the undersigned is the author of these drawings. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the undersigned.

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RESIDENTIAL ADDITION and REMODEL FOR:
ALIREZA E. MOFRAD
and JACQUELYN BICKAR
1679 SILACCI DRIVE
CAMPBELL, CA 95008

DATE: **JUNE 24 2022**
DRAWN BY: **FT Kun**
SCALE: **1/4" = 1'-0"**

A-4



COMMUNITY DEVELOPMENT DEPARTMENT • BUILDING DIVISION
70 N 1st Street • Campbell, CA 95008
(408) 866-2130 • FAX (408) 871-5101 • building@cityofcampbell.com

Residential VOC Compliance Certification

Address: 1679 SILACCI DRIVE, CAMPBELL, CA 95008 Permit No.:

ADHESIVE	MANUFACTURER	CALGreen Limit ¹	ACTUAL VOCs
LOCTITE PL FAST GRAB	LOCTITE	50	1.7%

SEALANT	MANUFACTURER	CALGreen Limit ¹	ACTUAL VOCs
LOCTITE POLYSEAMSEAL	LOCTITE	250	1.5%

ARCHITECTURAL COATINGS (Paints & Coatings)	MANUFACTURER	CALGreen Limit ¹	ACTUAL VOCs
KELLY MOORE	KELLY MOORE	150	<2 G/L

RESILIENT FLOORING	MANUFACTURER	CALGreen Limit ¹	ACTUAL VOCs
NOT APPLICABLE			

FORMALDEHYDE COMPLIANCE CERTIFICATION

PRODUCT	MANUFACTURER	CURRENT LIMIT	ACTUAL
Hardwood plywood veneer core		0.05	
Hardwood plywood composite core		0.05	
Particleboard		0.09	
Medium density fiberboard		0.11	
Thin medium density fiberboard ²		0.13	

¹See other side of page for VOC limits
²Thin medium density fiberboard has a maximum thickness of 5/16 inch

Division 4.3 - Water Efficiency and Conservation

	Brand	Model	GPM
1. Water Closet(s)	KOHLER	CIMARRON	1.28
2. Shower Head(s)	KOHLER	FORTE	1.75 GPM
3. Faucet(s) (NOT KITCHEN)	KOHLER	DEVONSHIRE	1.2 GPM
4. Kitchen Faucet(s)			
5. Outdoor Water Use/Irrigation Controllers	Brand	Model	Weather Based Soil Moisture Based

Division 4.4 - Material Conservation & Resource Efficiency

This Project Has A Construction Waste Management Plan YES NO

This Project Requires an Operation & Maintenance Manual (New Homes Only)

Note Book CD Disc Other

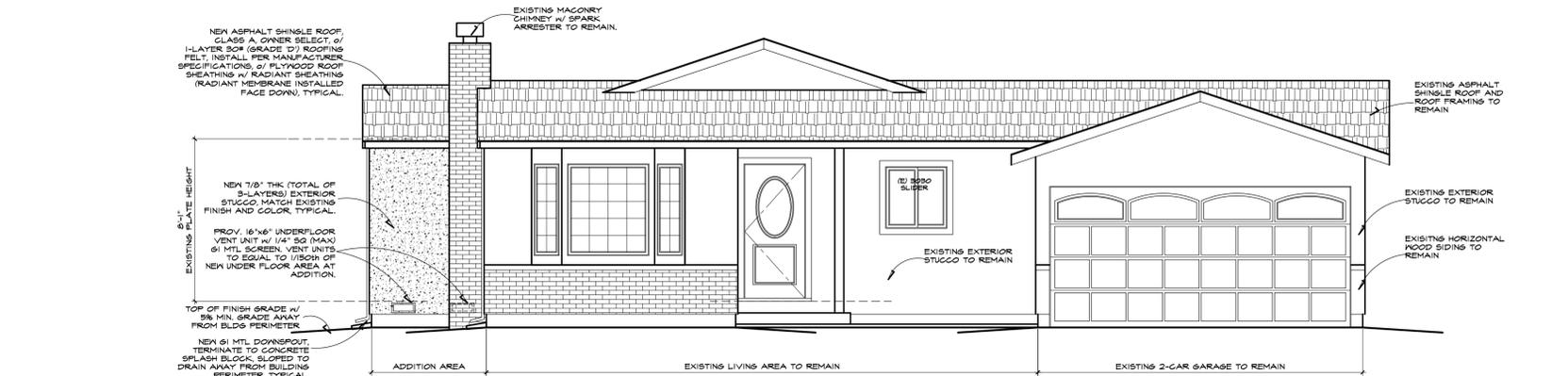
Division 4.5 Environmental Quality

1. Fireplace is Direct Vent Gas NOT APPLICABLE
2. Fireplace is Wood Burning EPA Phase II NOT APPLICABLE

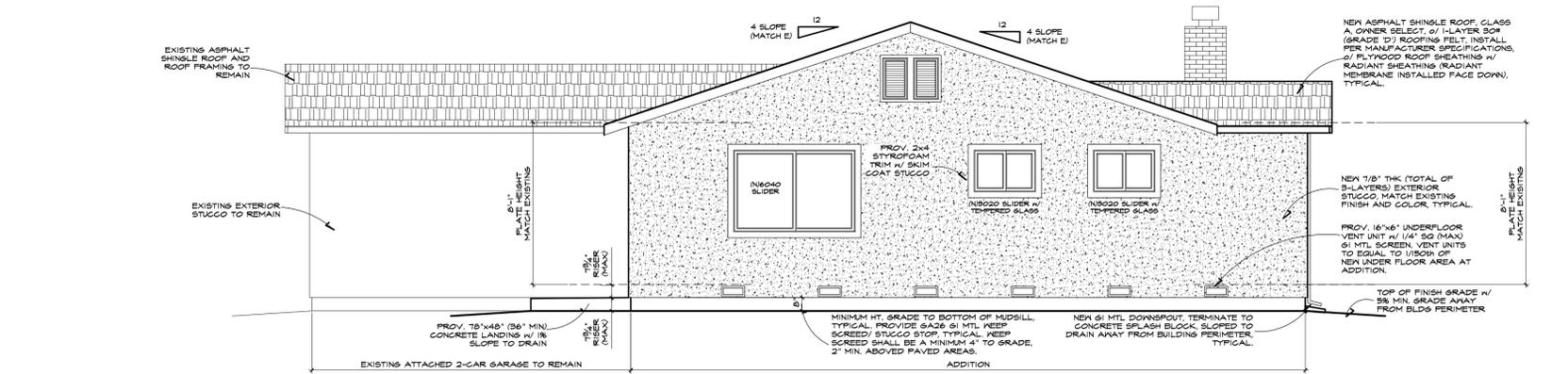
All carpet installed in the building interior meets the testing and product requirements of the following: (check one)
 Carpet and Rug Institute's Green Label
 California Department of Public Health "Standard Method for the Testing of VOCs"
 NSF/ANSI 140 at the Gold level
 Scientific Certifications Systems Indoor Advantage™ Gold
 No carpet installed on this project.

I certify that the information provided on this form is accurate and that the materials used on this project comply with Section 4.504 (Residential) or 5.504 (Non-Residential) of the 2016 California Green Building Standards Code.

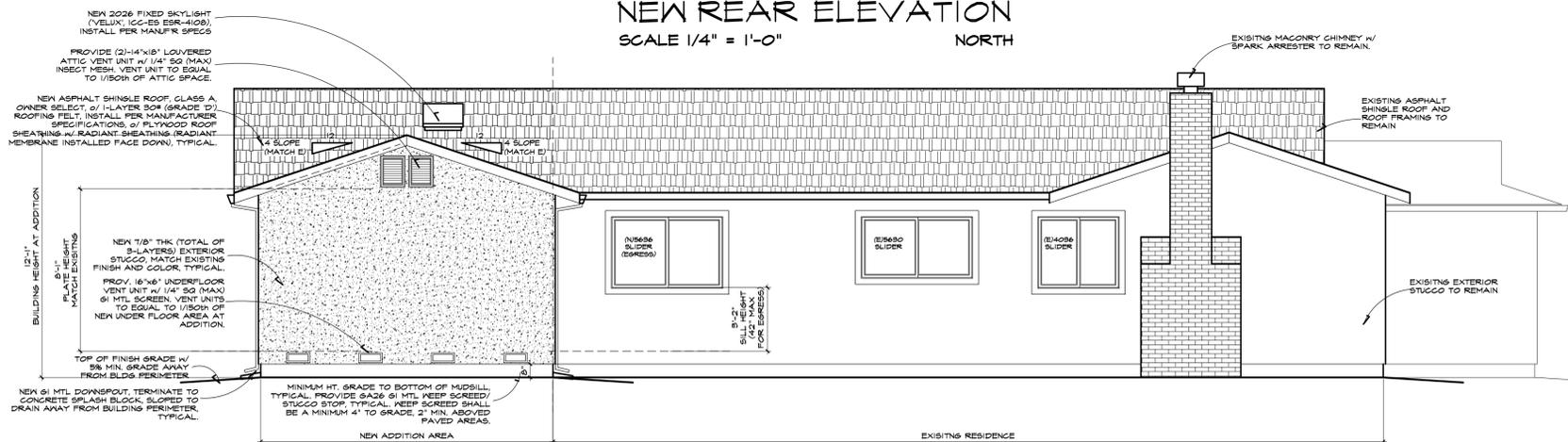
FRANCIS T KUN APRIL 26 2022
Print Name Signature Date



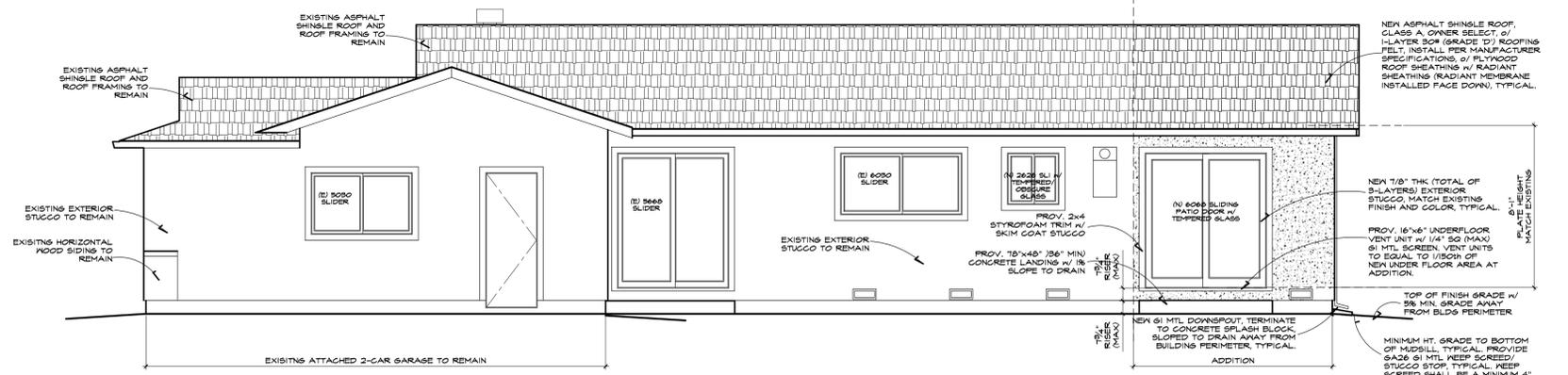
NEW FRONT ELEVATION
SCALE 1/4" = 1'-0" SOUTH



NEW REAR ELEVATION
SCALE 1/4" = 1'-0" NORTH

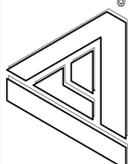


NEW LEFT SIDE ELEVATION
SCALE 1/4" = 1'-0" WEST



NEW RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0" EAST

REVISIONS:
 NOTICE
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Francis T. Kun

RESIDENTIAL ADDITION and REMODEL FOR:
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 1679 SILACCI DRIVE
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JOB NO: MOFRAD
 DATE: JUNE 24 2022
 DRAWN BY: FT KUN
 SCALE: 1/4" = 1'-0"
 A-11



2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
 HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
Chapter 1 – ADMINISTRATION	
Scope	
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.
Chapter 3 – GREEN BUILDING	
Additions and alterations	
301.1.1	<ul style="list-style-type: none"> Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Requirements only apply within the specific area of the addition or alteration.
Low-rise and high-rise residential buildings	
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
Mixed occupancy buildings	
302.1	<p>Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable. Live/work units complying with the California Building Code Section 419 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable.
Chapter 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.1 – PLANNING AND DESIGN	
Storm water drainage and retention during construction	
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
Grading and paving	
4.106.3	<p>Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings.</p> <p>Exception: Additions and alterations which do not alter the existing drainage path.</p>
Electric vehicle (EV) charging for new construction	
4.106.4	<ul style="list-style-type: none"> Comply with Section 4.106.4.1, 4.106.4.2 or 4.106.4.3 for future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. <p>Exceptions:</p> <ol style="list-style-type: none"> On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon 1 of the following: <ol style="list-style-type: none"> Where there is no commercial power supply. Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit. Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities. <p>Note: For definitions of Accessory Dwelling Units and Junior Accessory Units, see CALGreen Chapter 2.</p>
EV charging: 1- & 2-family dwellings/townhouses with attached private garages	
4.106.4.1	<ul style="list-style-type: none"> Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Identification	
4.106.4.1.1	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."

EV charging for multifamily dwellings	
4.106.4.2	<ul style="list-style-type: none"> Applies to all multifamily dwelling units with parking facilities on the site. 10% of the total number of parking spaces provided for all types of parking facilities, but in no case less than 1, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number. <p>Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p>
Single EV space required	
4.106.4.2.3	<ul style="list-style-type: none"> Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Multiple EV spaces required	
4.106.4.2.4	<ul style="list-style-type: none"> Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics, and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction.
Identification	
4.106.4.2.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
EV charging for hotels and motels	
4.106.4.3	<ul style="list-style-type: none"> Applies to all newly constructed hotels and motels. Construction documents shall identify the location of EV spaces. <p>Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p>
Number of required EV spaces	
4.106.4.3.1	Table 4.106.4.3.1 shows the number of required EV spaces based on the total number of parking spaces provided for all types of parking facilities.
EV charging space (EV space) dimensions	
4.106.4.3.2	<p>EV spaces shall be designed to comply with the following:</p> <ul style="list-style-type: none"> Minimum length of each EV space shall be 18 feet. Minimum width of each EV space shall be 9 feet.
Single EV space required (similar to 4.106.4.2.3)	
4.106.4.3.3	<ul style="list-style-type: none"> Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Multiple EV spaces required (similar to 4.106.4.2.4)	
4.106.4.3.4	<ul style="list-style-type: none"> Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction.
Identification (similar to 4.106.4.2.5)	
4.106.4.3.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Accessible EV spaces	
4.106.4.3.6	In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for EV charging stations in the California Building Code, Chapter 11B.
Division 4.2 – ENERGY EFFICIENCY	
Scope	
4.201.1 & 5.201.1	<ul style="list-style-type: none"> Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2019 California Energy Code.
Multiple EV spaces required (similar to 4.106.4.2.4)	
4.106.4.3.4	<ul style="list-style-type: none"> Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction.
Identification (similar to 4.106.4.2.5)	
4.106.4.3.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
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Division 4.3 – WATER EFFICIENCY AND CONSERVATION	
Water conserving plumbing fixtures and fittings	
4.303.1	<p>Plumbing fixtures and fittings shall comply with the following:</p> <ul style="list-style-type: none"> 4.303.1.1 – Water closets: ≤ 1.28 gal/flush. 4.303.1.2 – Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush. 4.303.1.3.1 – Single showerheads: ≤ 1.8 gpm @ 80 psi. 4.303.1.3.2 – Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time. 4.303.1.4.1 – Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi. 4.303.1.4.2 – Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi. 4.303.1.4.3 – Metering faucets: ≤ 0.2 gallons per cycle. 4.303.1.4.4 – Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
Standards for plumbing fixtures and fittings	
4.303.2	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.
Outdoor potable water use in landscape areas	
4.304.1	New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
Division 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY	
Rodent proofing	
4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.
Division 4.3 – WATER EFFICIENCY AND CONSERVATION	
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Construction waste management	
4.408.1	<ul style="list-style-type: none"> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Provide documentation to the enforcing agency per Section 4.408.5. <p>Exceptions:</p> <ol style="list-style-type: none"> Excavated soil and land-clearing debris. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
Construction waste management plan	
4.408.2	Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.
Waste management company	
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.
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REVISIONS:

NO TITLE

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 CAMPBELL, CA 95008

JOB NO: MOFRAD
 DATE: APRIL 21 2021
 DRAWN BY: FT KUS
 SCALE: 1/4" = 1'-0"

CG-1



**2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020**

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
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4.408.1	<ul style="list-style-type: none"> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Provide documentation to the enforcing agency per Section 4.408.5. <p>Exceptions:</p> <ol style="list-style-type: none"> Excavated soil and land-clearing debris. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
Construction waste management plan	
4.408.2	Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.
Waste management company	
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.
Waste stream reduction alternative [LR]	
4.408.4 & 4.408.4.1	<ul style="list-style-type: none"> Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
Operation and maintenance manual	
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.
Recycling by occupants	
4.410.2	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.	
Division 4.5 – ENVIRONMENTAL QUALITY	
Fireplaces - General	
4.503.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and fireplaces shall also comply with all applicable local ordinances.

Protection of mechanical equipment during construction	
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
Adhesives, sealants and caulks	
4.504.4	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: <ol style="list-style-type: none"> Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations (CCR), Title 17, commencing with Section 94507.
Paints and coatings	
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.
Aerosol paints and coatings	
4.504.2.3 & 4.504.2.4	<ul style="list-style-type: none"> Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. Documentation is required per Section 4.504.2.4.
Carpet systems	
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: <ol style="list-style-type: none"> Carpet and Rug Institute's Green Label Plus Program. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). NSF/ANSI 140 at the Gold level. Scientific Certifications Systems Indoor Advantage™ Gold.
Carpet cushion	
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
Carpet adhesive	
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.

Resilient flooring systems	
Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with 1 or more of the following: <ol style="list-style-type: none"> Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). 	
Composite wood products	
4.504.5 & 4.504.5.1	<ul style="list-style-type: none"> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), as shown in Table 4.504.5. Documentation is required per Section 4.504.5.1. Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).
Concrete slab foundations	
4.505.2	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.
Capillary break	
4.505.2.1	A capillary break shall be installed in compliance with at least 1 of the following: <ol style="list-style-type: none"> A 4-inch thick base of ½ inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.
Moisture content of building materials	
4.505.3	Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: <ol style="list-style-type: none"> Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. <p>Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to</p>

Bathroom exhaust fans	
4.506.1	Each bathroom shall be mechanically ventilated and shall comply with the following: <ol style="list-style-type: none"> Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. <ol style="list-style-type: none"> Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of ≤ 50% to a maximum of 80%. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. <p>Note: For CALGreen, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.</p>
Heating and air-conditioning system design	
Heating and air-conditioning systems shall be sized, designed and equipment selected using the following methods: <ol style="list-style-type: none"> The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods. <p>Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.</p>	
CHAPTER 7 – INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS	
Installer training	
702.1	HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include, but are not limited to, the following: <ol style="list-style-type: none"> State certified apprenticeship programs. Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.
Special inspection	
702.2	When required by the enforcing agency, special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
Documentation	
703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

REVISIONS:
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 Website: www.atelier.net

RESIDENTIAL ADDITION and REMODEL for:
ALIREZA E. MOFRAD
and JACQUELYN BICKAR
 1679 SILACCI DRIVE
 CAMPBELL, CA 95008

JOB NO:
MOFRAD
 DATE:
APRIL 21 2021
 DRAWN BY:
PT KUS
 SCALE:
1/4" = 1'-0"

CG-N



2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.

Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Fire Protection, Mechanical, Electrical, and Plumbing.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Clearances, Liquid Line Drains, Storage Tank Insulation, Water Piping, Insulation Protection, Gas or Propane Water Heating Systems, Pool and Spa Systems, and Ducts and Fans Measures.



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Lighting Measures, and Interior Switches and Controls.



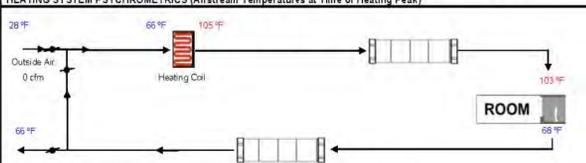
2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Internally Illuminated Address Signs, Residential Garages for Eight or More Vehicles, Interior Common Areas of Low-Rise Multifamily Residential Buildings, and Solar Ready Buildings.

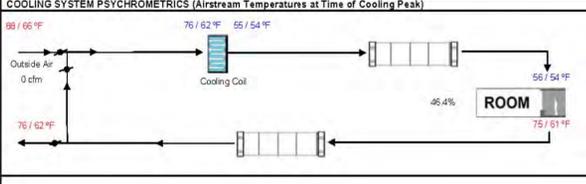
HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Summary table for HVAC loads. Includes Project Name (Silacci Dr Residence), Date (4/22/2022), and tables for Engineering Checks, System Load, and Air System details.

HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)



COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)



FRI Energy Consultants, LLC
21 N. Harrison Avenue, Suite 210
Campbell, Ca. 95008
Phone: 408-866-1620 Fax: 408-866-6832

SILACCI DR RESIDENCE
1679 SILACCI DR
CAMPBELL, CA 95008

GENERAL INFORMATION	
01	Project Name: Silacci Dr Residence
02	Run Title: 24 Analysis
03	Project Location: 1679 Silacci Dr
04	City: Campbell
05	Standards Version: 2019
06	Zip code: 95008
07	Software Version: EnergyPlus 8.3
08	Climate Zone: 08
09	Frost Orientation (deg): Cardinal
10	Building Type: Single-family
11	Number of Dwelling Units: 1
12	Project Scope: Additions/Alterations
13	Number of Bedrooms: 1
14	Addition Cond. Floor Area (ft²): 482
15	Number of Bathrooms: 1
16	Existing Cond. Floor Area (ft²): 1120
17	Foundation Average U-Factor: 0.3
18	Total Cond. Floor Area (ft²): 1608
19	Glazing Percentage (%): 16.3%
20	ADU Bedroom Count: n/a
21	ADU Conditioned Floor Area: n/a
22	Is Natural Gas Available?: Yes

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEI-approved HERS provider.
03	This building incorporates one or more Special Features shown below:

ENERGY USE SUMMARY				
Energy Use (kBtu/ft²-yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	32.25	35.85	-2.7	-8.3
Space Cooling	44.32	41.41	2.91	6.6
MD Ventilation	0	0	0	0
Water Heating	21.92	21.92	0	0
S&T Ventilation/Infiltration Credit	n/a	0	0	0
Compliance Energy Total	99.39	99.18	0.21	0.2

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REQUIRED SPECIAL FEATURES	
The following are features that must be installed as a condition for meeting the modeled energy performance for this computer analysis.	
* New ductwork added is less than 40 ft. in length	

HERS FEATURE SUMMARY	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CP2Rs and CP3Rs are required to be completed in the HERS Registry.	
Building Level Verifications:	
* None	
Fan Efficiency Measure (FEM):	
* None	
Cooling System Verifications:	
* Fan Efficiency Measure (FEM)	
* None	
Heating System Verifications:	
* None	
HVAC Distribution System Verifications:	
* Duct Sealing required if a duct system component, plenum, or air handling unit is altered	
* Domestic Hot Water System Verifications:	
* None	

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
Silacci Dr Residence	1608	1	4	2	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Existing	Conditioned	HVAC System1	1120	8	DHW Sys 1	N/A
Addition	Conditioned	HVAC System1	482	8	DHW Sys 1	N/A

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UNIQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Acimath	Orientation	Gross Area (ft²)	Window and Door Area (ft²)	TIR (deg)	Wall Enclosures	Status	Verified Existing Condition
Front Wall	Existing	R-0 Wall	180	Front	324	85.4	90	none	Existing	No
Left Wall	Existing	R-0 Wall	250	Left	336	47	90	none	Existing	No
Right Wall	Existing	R-0 Wall	70	Right	236	60.95	90	none	Existing	No
Front Wall 2	Addition	R-15 Wall	160	Front	46	0	90	none	New	n/a
Left Wall 2	Addition	R-15 Wall	250	Left	114.7	10	90	none	New	n/a
Rear Wall 2	Addition	R-15 Wall	340	Back	245	24	90	none	New	n/a
Right Wall 2	Addition	R-15 Wall	70	Right	32.4	40	90	Extension	New	n/a
25 Wall	Addition	R-15 Wall	25	n/a	32	12	90	none	New	n/a
Interior Surface	Existing/Existing	R-0 Wall 1	n/a	n/a	10	0	n/a	none	Existing	No
Roof	Existing	R-19 Roof ABC	n/a	n/a	1120	n/a	n/a	n/a	Existing	No
Roof 2	Addition	R-19 Roof ABC	n/a	n/a	482	n/a	n/a	n/a	New	n/a
Basement Floor	Existing	R-0 Floor Crawlspace	n/a	n/a	1375	n/a	n/a	n/a	Existing	No
Basement Floor 2	Addition	R-19 Floor Crawlspace	n/a	n/a	482	n/a	n/a	n/a	New	n/a

ATTC									
01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Slope (ft in 12)	Roof Reflectance	Radiant Barrier	Cool Roof	Heat Reflectance	Heat Reflectance	Verified Existing Condition
ABC Existing	ABC Roof Existing	Ventilated	4	0.1	0.85	No	No	Existing	No
ABC Addition	ABC Roof Addition	Ventilated	4	0.1	0.85	Yes	No	New	n/a

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PENETRATION / GLAZING																
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Name	Type	Surface	Orientation	Admuth	Width (ft)	Height (ft)	Area (ft²)	U-Factor	SHGC	SHGC Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition	
Window	Window	Front Wall	Front	160			1	0.38	Table 110.6.A	0.65	Table 110.6.B	0.65	Bug Screen	Existing	No	
Door	Window	Front Wall	Front	160			1	20	Table 110.6.A	0.65	Table 110.6.B	0.65	Bug Screen	Existing	No	
Window 2	Window	Front Wall	Front	160			1	40.4	Table 110.6.A	0.65	Table 110.6.B	0.65	Bug Screen	Existing	No	
Window 3	Window	Left Wall	Left	250			1	14	Table 110.6.A	0.65	Table 110.6.B	0.65	Bug Screen	Existing	No	
Window 4	Window	Left Wall	Left	250			1	16.5	Table 110.6.A	0.65	Table 110.6.B	0.65	Bug Screen	Existing	No	
Window 5	Window	Left Wall	Left	250			2	36.5	Table 110.6.A	0.65	Table 110.6.B	0.65	Bug Screen	Existing	No	
Window 6	Window	Right Wall	Right	70			1	18	Table 110.6.A	0.65	Table 110.6.B	0.65	Bug Screen	Existing	No	
Door 2	Window	Right Wall	Right	70			1	36.7	Table 110.6.A	0.65	Table 110.6.B	0.65	Bug Screen	Existing	No	
Window 7	Window	Right Wall	Right	70			1	6.25	NFRC	0.21	NFRC	0.21	Bug Screen	New	n/a	
Window 8	Window	Left Wall 2	Left	250			1	10	0.3	NFRC	0.21	NFRC	0.21	Bug Screen	New	n/a
Window 9	Window	Rear Wall	Back	340			1	34	0.3	NFRC	0.21	NFRC	0.21	Bug Screen	New	n/a
Door 3	Window	Right Wall 2	Right	70			1	40	0.3	NFRC	0.21	NFRC	0.21	Bug Screen	New	n/a
Window 10	Window	25 Wall	Back	25			1	12	0.5	NFRC	0.21	NFRC	0.21	Bug Screen	New	n/a

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UNIQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Condensate R-value	U-Factor	Assembly Layers
R-0 Roof ABC	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R-0	None / None	0.361	Inside Finish: System Board Cavity / Frame: n/a Insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-15 Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R-15	None / None	0.095	Inside Finish: System Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco
R-0 Wall	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O.C.	R-0	None / None	0.277	Inside Finish: System Board Cavity / Frame: n/a Insul. / 2x4 Other Side Finish: System Board
ABC Roof Existing	ABC Roofs	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding: Sheathing/Decking Cavity / Frame: n/a Insul. / 2x4
ABC Roof Addition	ABC Roofs	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding: Sheathing/Decking Cavity / Frame: n/a Insul. / 2x4
R-0 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x4 @ 16 in. O.C.	R-0	None / None	0.22	Floor Surface: Carpeted Floor Deck: Wood Siding: Sheathing/Decking Cavity / Frame: n/a Insul. / 2x4
R-19 Floor Crawlspace	Floors Over Crawlspace	Wood Framed Floor	2x4 @ 16 in. O.C.	R-19	None / None	0.049	Floor Surface: Carpeted Floor Deck: Wood Siding: Sheathing/Decking Cavity / Frame: R-19 / 2x4
R-19 Roof ABC	Ceilings Below ABC	Wood Framed Ceiling	2x4 @ 24 in. O.C.	R-19	None / None	0.049	Over Ceiling: n/a R-19 Insul. / 2x4 Inside Finish: System Board

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BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QI)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

WATER HEATING SYSTEMS									
01	02	03	04	05	06	07	08	09	10
Name	System Type	Distribution Type	Water Heater Name (ft)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	Existing	No	

WATER HEATERS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot (Btu/hr)	Tank Insulation R-value (In./ft²)	Stability Loss or Recovery Eff	LE-NO. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	0.6-0.7	<= 75 MBtu/hr	0	78	n/a	n/a	n/a	Existing	No

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WATER HEATING - HERS VERIFICATION							
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

SPACE CONDITIONING SYSTEMS										
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC System1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	Setback	Altered	No	1	1

HVAC - HEATING UNIT TYPES			
01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE: 80

HVAC - COOLING UNIT TYPES							
01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/SEER	Efficiency SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	Central split A/C	1	11.7	14	Not Zonal	Single Speed	Cooling Component 1-hers-cool

Registration Number:	222-P010078154-000-000-000000-0000	Registration Date/Time:	2022-04-22 15:04:35	HERS Provider:	CaCERTS, Inc.
CA Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000	Schema Version: rev 20200901	Report Generated: 2022-04-22 14:56:45		

HVAC COOLING - HERS VERIFICATION					
01	02	03	04	05	06
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge
Cooling Component 1-hers-cool	Not Required	0	Not Required	Not Required	Not Required

HVAC - DISTRIBUTION SYSTEMS																
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Name	Type	Design Type	Supply	Return	Supply	Return	Supply	Return	Supply	Return	Supply	Return	Supply	Return	Supply	Return
Air Distribution System 1	Unconditioned attic	Non-Verified	R-6	R-6	ABC	ABC	n/a	n/a	No Return Duct (as specified)	Existing (not specified)	Air Distribution System 1-hers-dist	Existing	n/a	n/a	n/a	n/a

HVAC - FAN SYSTEMS			
01	02	03	04
Name	Type	Fan Power (Watts/CFM)	Name
HVAC Fan 1	HVAC Fan	0.45	HVAC Fan 1-hers-fan

HVAC FAN SYSTEMS - HERS VERIFICATION		
01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficacy (