



CITY OF CAMPBELL
Community Development Department

COURTESY NOTICE OF NEW PLANNING APPLICATION

June 30, 2022

Dear Campbell Resident,

The following provides a brief description of a proposed project in your neighborhood. As a courtesy notice, this letter is intended to provide members of the public an early opportunity to become engaged in the planning process. If you should have any questions about the project, the contact information of the Project Planner has been provided below. Alternatively, you may visit the Planning Division to view the project plans. Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

Project Address: 1614 W Hacienda Ave

Zoning | Area Plan: R-1-9 | STANP

Neighborhood Association(s): STACC

File No.: PLN-2022-67

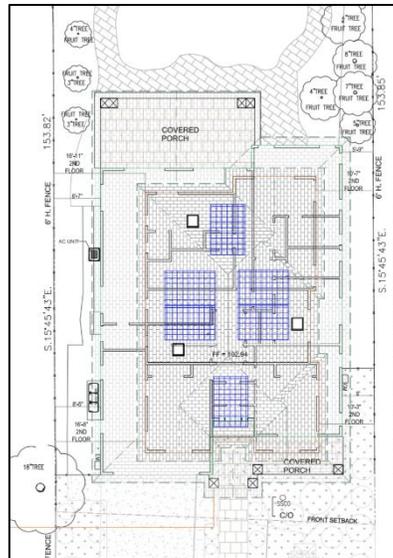
APN: 403-18-073

Applicant: Fahed Habayeb

Property Owner: Venkata Gurajada

Application Type: Site and Architectural Review Permit

Project Description: : A Site and Architectural Review Permit Application to allow the construction of a new 4,012 SF dwelling using portions of the existing house.



Project Planner: Larissa Lomen, Assistant Planner

Email Contact: larissal@campbellca.gov

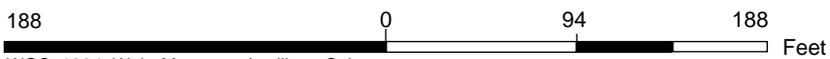
Phone Contact: (408) 866-2144

Note: This is a courtesy notice to all property owners within 300-feet of the project address. Applications may change after initial application submittal. To view the project plans, please scan the QR code:





Location Map for 1614 W Hacienda Ave.



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:1,128

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

FIRE DEPT. NOTES

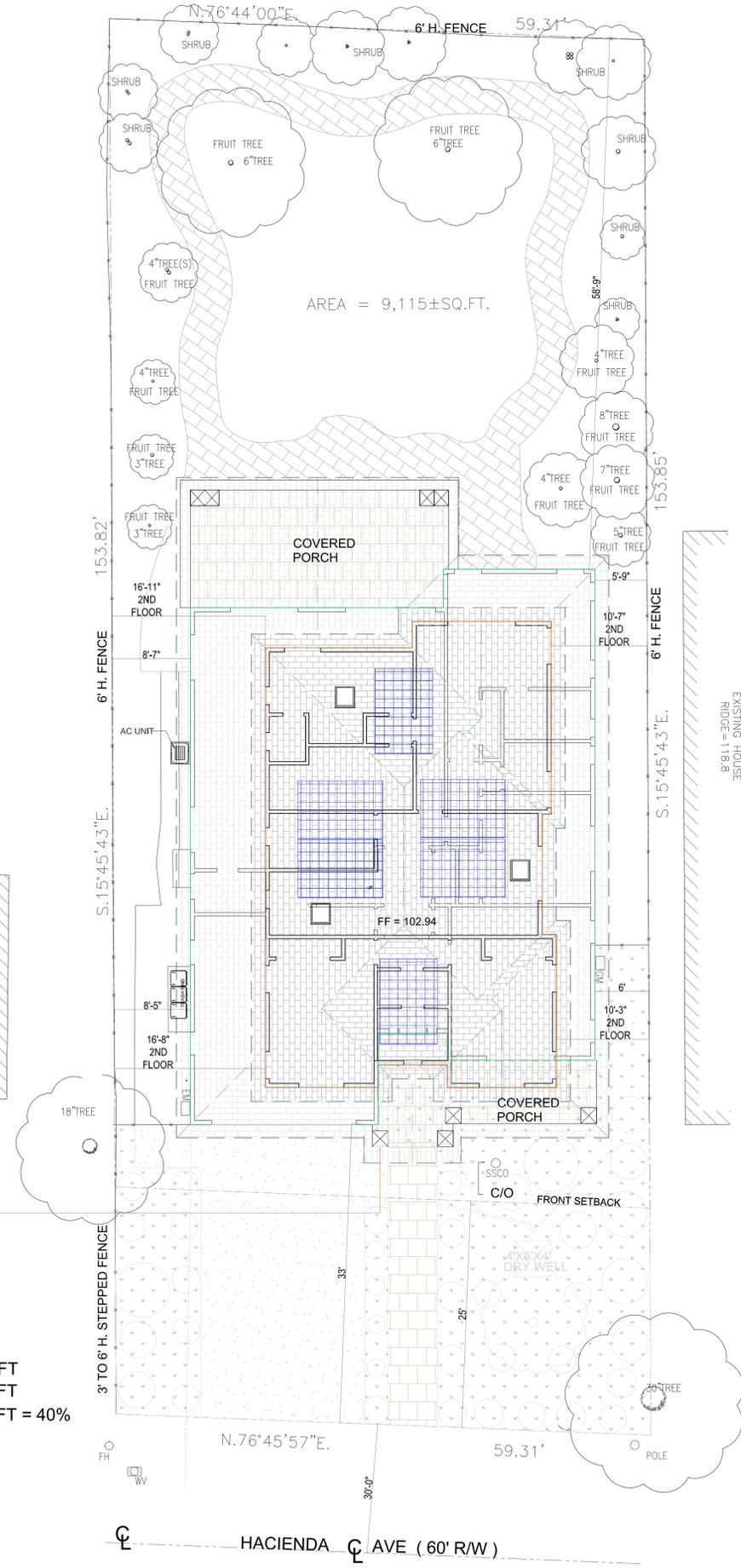
1. THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR (S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED.
NOTE: COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY CBLMC
2. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7
3. ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7.



ADDITION DIAGRAM

BUILDING ADDRESS NOTE:
BUILDING SHALL HAVE ADDRESS NUMBERS PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH BACKGROUND, BE ARABIC OR ALPHABETICAL LETTERS AND BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2".

- TOTAL FRONT SETBACK AREA = 1,482 SQFT
- TOTAL LANDSCAPE AREA = 889 SQFT
- TOTAL HARDSCAPE AREA = 593 SQFT = 40%



NEW SITE PLAN
1/8" = 1'-0"

NEW DWELLING USING PORTIONS OF THE ORIGINAL STRUCTURE
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008



PROJECT LOCATION

PROJECT DATA

- A.P.N. #	403-18-073
- LOT SIZE GROSS	10,895 SQ. FT.
- LOT SIZE NET	9,115 SQ. FT.
- ZONING	R1-9
- OCCUPANCY	R/3-U
- TYPE OF CONSTRUCTION	V-B
- BUILDING FULLY SPRINKLERED	YES
EXISTING F.A.R.	
- EXISTING HOUSE	1,440 SQ. FT.
- EXISTING GARAGE	552 SQ. FT.
- 3 SIDE WALL COVERED PORCHES	72 SQ. FT.
- TOTAL	2,064 SQ. FT.
	= 22 %
NEW F.A.R.	
- (E) 1ST FLOOR :	2,064 SQ. FT.
- 1ST FLOOR ADDITIONS	367 SQ. FT.
- 3 SIDE WALL COVERED PORCH	23 SQ. FT.
- NEW 2ND FLOOR	1,558 SQ. FT.
- TOTAL HOUSE	4,012 SQ. FT.
	= 44%
NEW LOT COVERAGE	
- TOTAL NEW 1ST FLOOR	2,454 SQ. FT.
- NEW FRONT COVERED ENTRY PORCH	190 SQ. FT.
- NEW REAR COVERED PORCH	370 SQ. FT.
- TOTAL	3,014 SQ. FT.
	= 33 %

DRAWING INDEX

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A2	NEW EXTERIOR ELEVATIONS
A3	CROSS SECTIONS
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BP	EXIST 4 SIDE BUILDING PHOTOS

CODES

CALIFORNIA RESIDENTIAL CODE (CRC)	2019
CALIFORNIA BUILDING CODE (CBC)	2019
CALIFORNIA ELECTRICAL CODE (CEC)	2019
CALIFORNIA MECH. CODE (CMC)	2019
CALIFORNIA PLUMBING CODE (CPC)	2019
CALIFORNIA ENERGY CODE	2019
CALIFORNIA FIRE CODE (CFC)	2019
CALIFORNIA GREEN BUILDING STANDARD CODE	2019
CAMPBELL MUNICIPAL CODE	

SCOPE OF WORK

- 1- DEMOLITION WORK
 - EXISTING EXTERIOR & INTERIOR WALLS
 - COMPLETE DEMOLITION OF THE ROOF
- 2- NEW CONSTRUCTION OF 1ST STORY ADDITION & NEW 2ND FLOOR:
 - EXCAVATING & FOUNDATION WORK
 - WOOD FRAMING WORK
 - NEW ROOF
 - PLUMBING & MECHANICAL WORK
 - ELECTRICAL WORK
 - INTERIOR FINISH WORK

FAHED HABAYEB
PLANNING & DESIGN
2640 SENTER CREEK CT.
SAN JOSE, CA. 95111
408 483-0302
habayeb3@aol.com

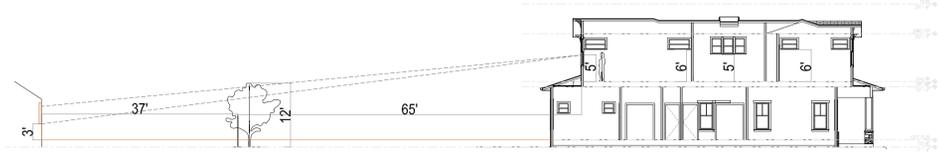
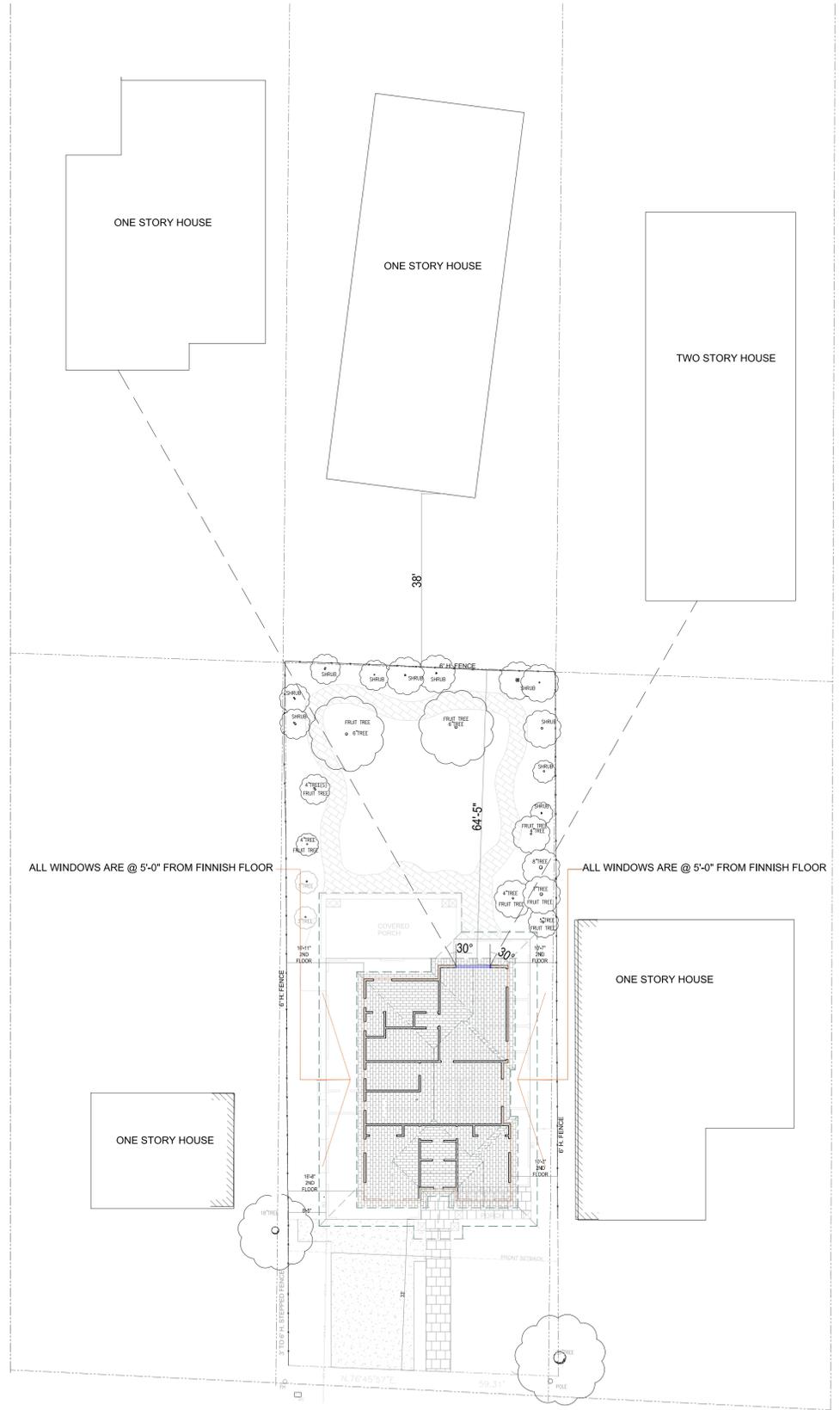
FAHED HABAYEB
ASSOC. AIA
JUNE 1 2022

NEW DWELLING USING PORTIONS OF THE ORIGINAL STRUCTURE
2 STORY ADDITION
1614 W HACIENDA AVE.
CAMPBELL, CA. 95008

NO.	DATE	ISSUE

JOB NO. 0222
SCALE AS NOTED
DRAWN BY FH
SHEET NO.





 **PRIVACY PLAN**
1/16" = 1'-0"

NEW DWELLING USING PORTIONS
OF THE ORIGINAL STRUCTURE
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PRIVACY PLAN

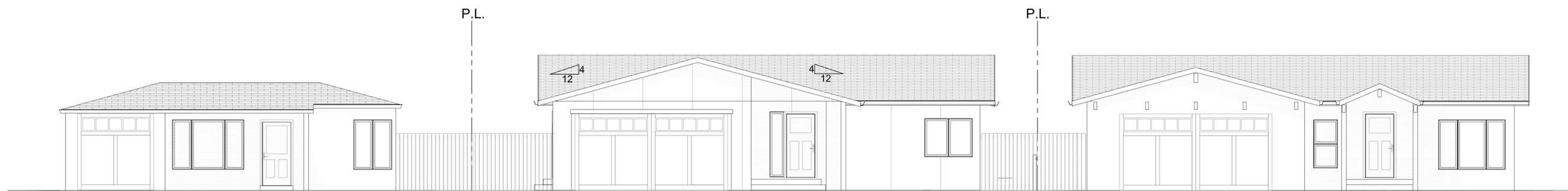
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SCALE	AS NOTED
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1612

PROPOSED FRONT ELEVATION

1630



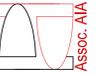
1612

EXISTING FRONT ELEVATION

1630

STREETSCAPE

3/16" = 1'-0"



FAHED HABAYEB
 JUNE 1 2022

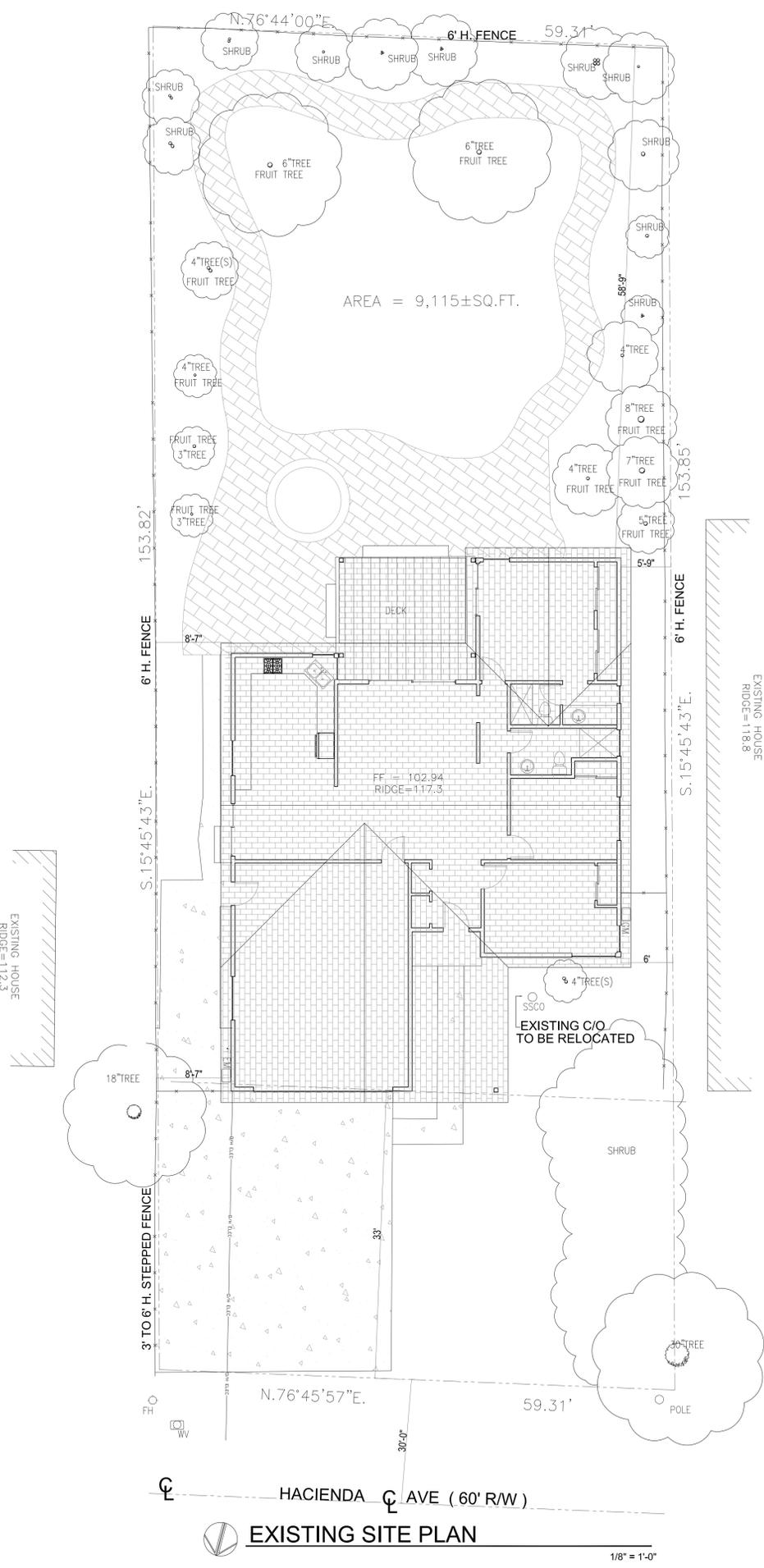
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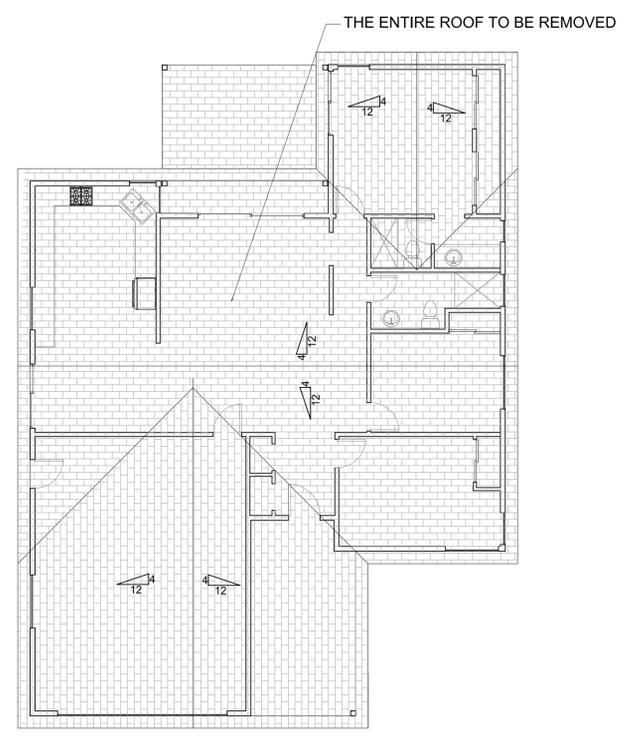
STREETSCAPE

JOB NO. 0222
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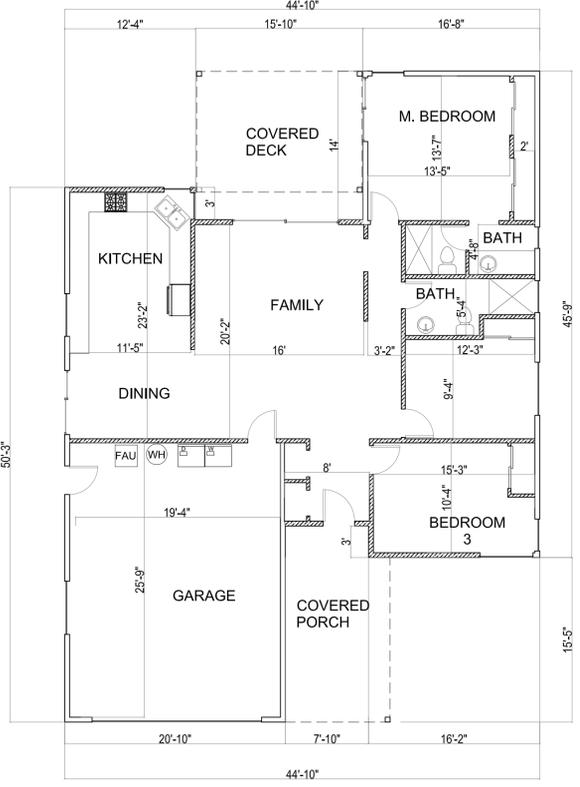




EXISTING SITE PLAN
1/8" = 1'-0"



EXISTING & DEMO ROOF PLAN
1/8" = 1'-0"

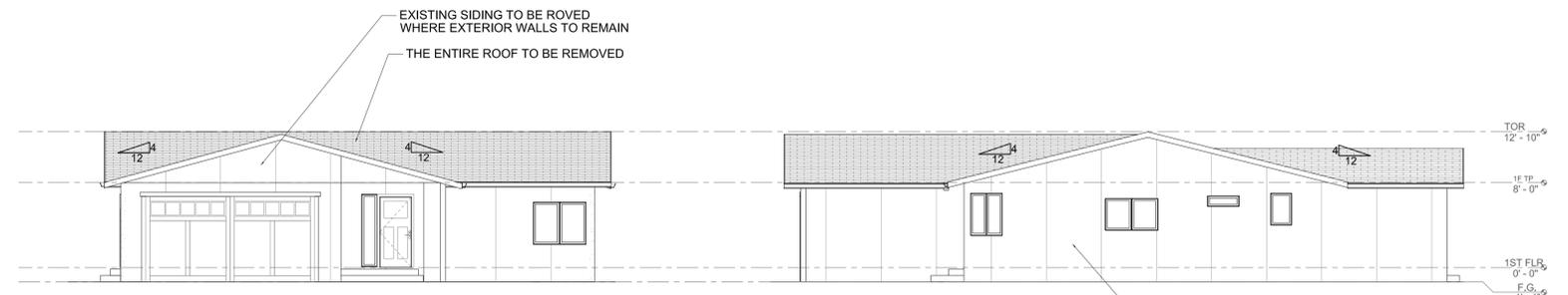


EXISTING & DEMO FLOOR PLAN
1/8" = 1'-0"

WALL LEGEND

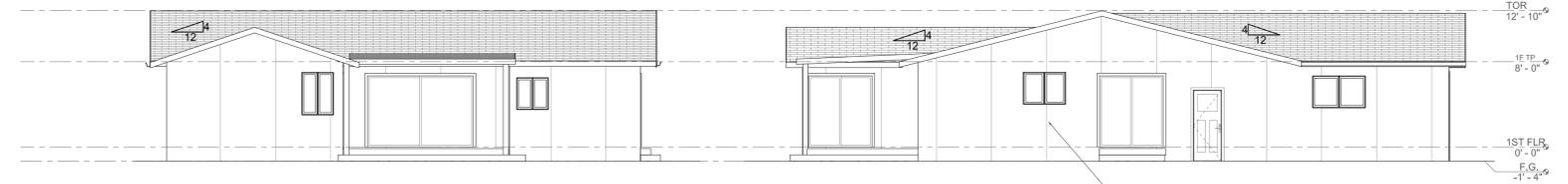
WALLS TO REMAIN	
WALLS TO BE REMOVED	

- DEMOLITION NOTES**
- 1- EXISTING WINDOWS AND DOORS TO BE ROVED
 - 2- EXISTING KITCHEN AND BATH FIXTURES TO BE ROVED
 - 3- EXISTING WASHER AND DRYER TO BE ROVED
 - 4- EXISTING FURNACE AND WATER HEATER TO BE ROVED



EXISTING FRONT ELEVATION
1/8" = 1'-0"

EXISTING RIGHT SIDE ELEVATION
1/8" = 1'-0"



EXISTING REAR ELEVATION
1/8" = 1'-0"

EXISTING LEFT SIDE ELEVATION
1/8" = 1'-0"

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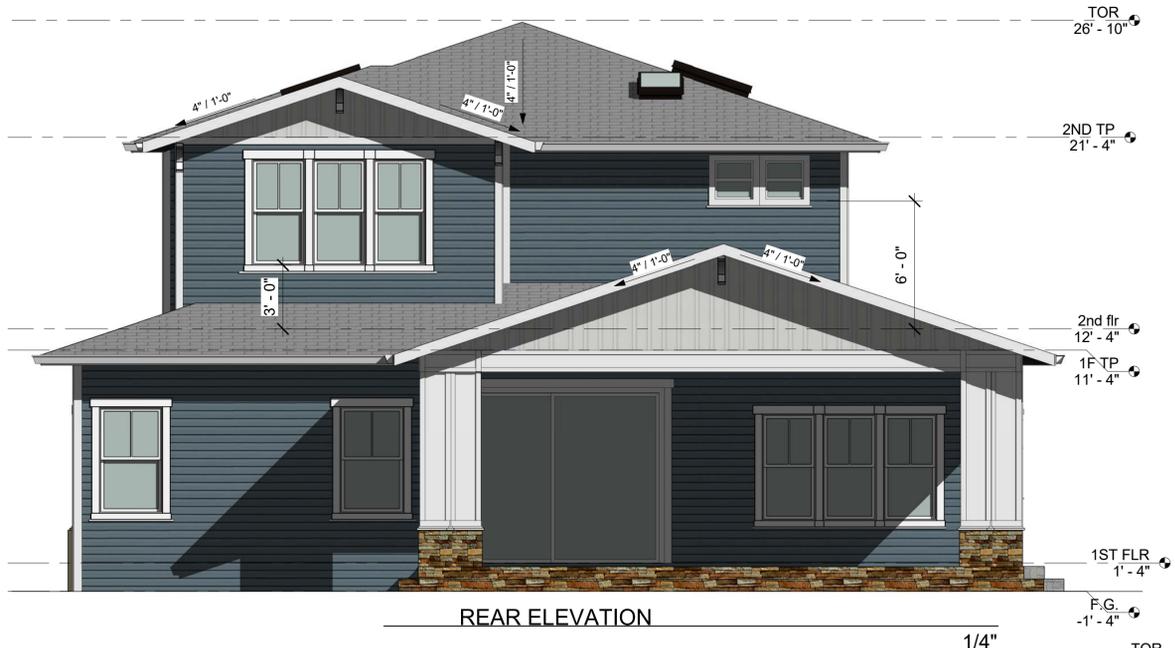
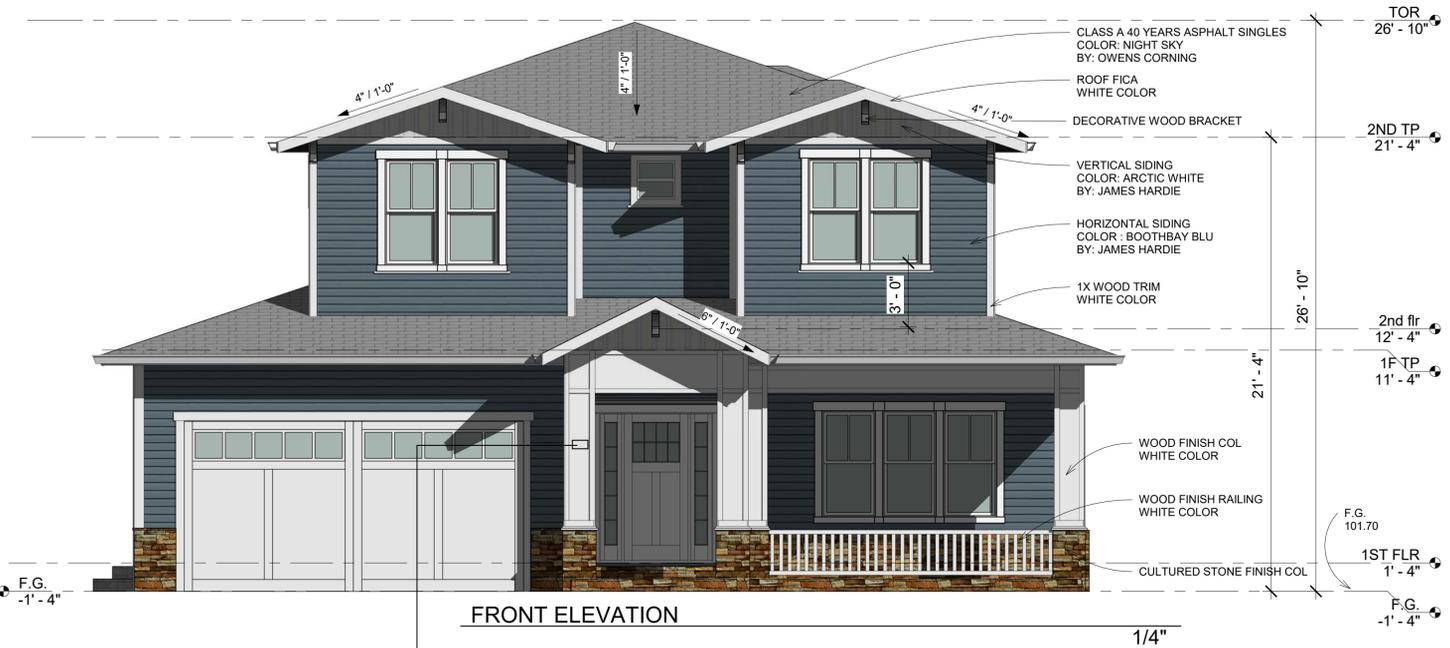
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FAHED HABAYEB
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2640 SENTER CREEK CT.
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habayeb3@aol.com

FAHED HABAYEB
ASSOC. AIA
MAY 20 2012

A



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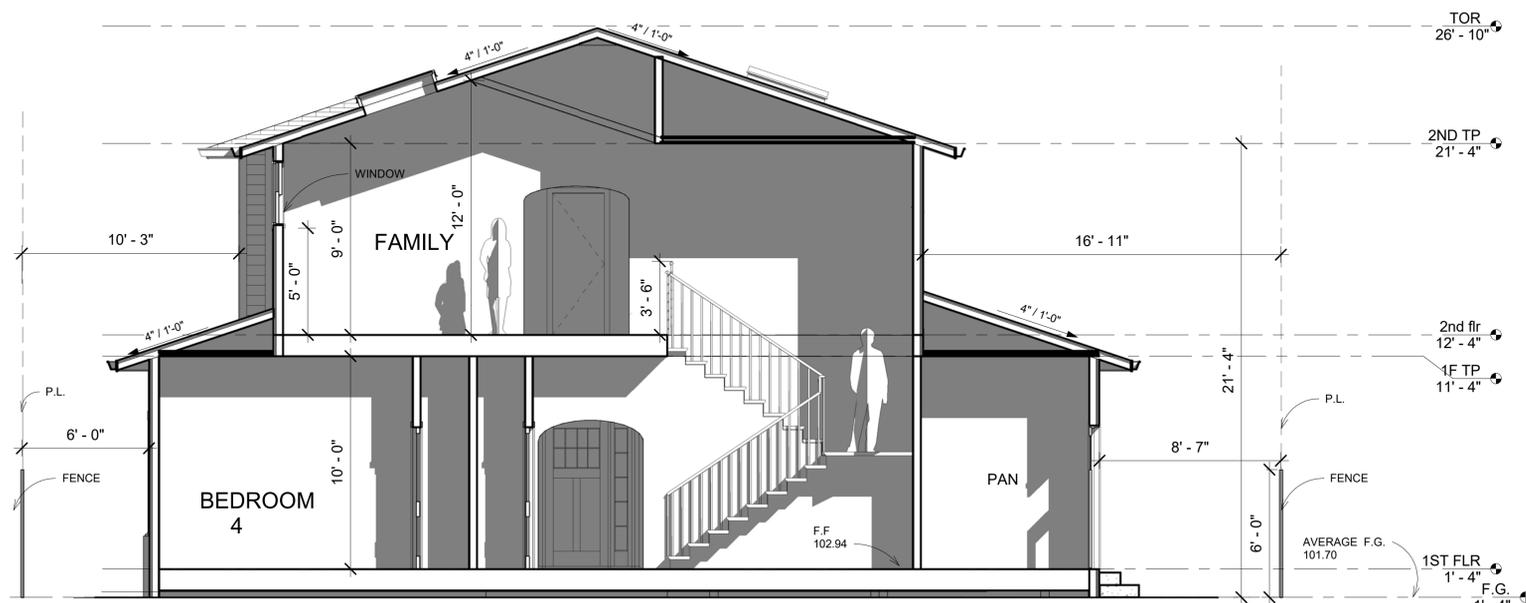
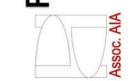
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CAMPBELL, CA.

EXTERIOR ELEVATION

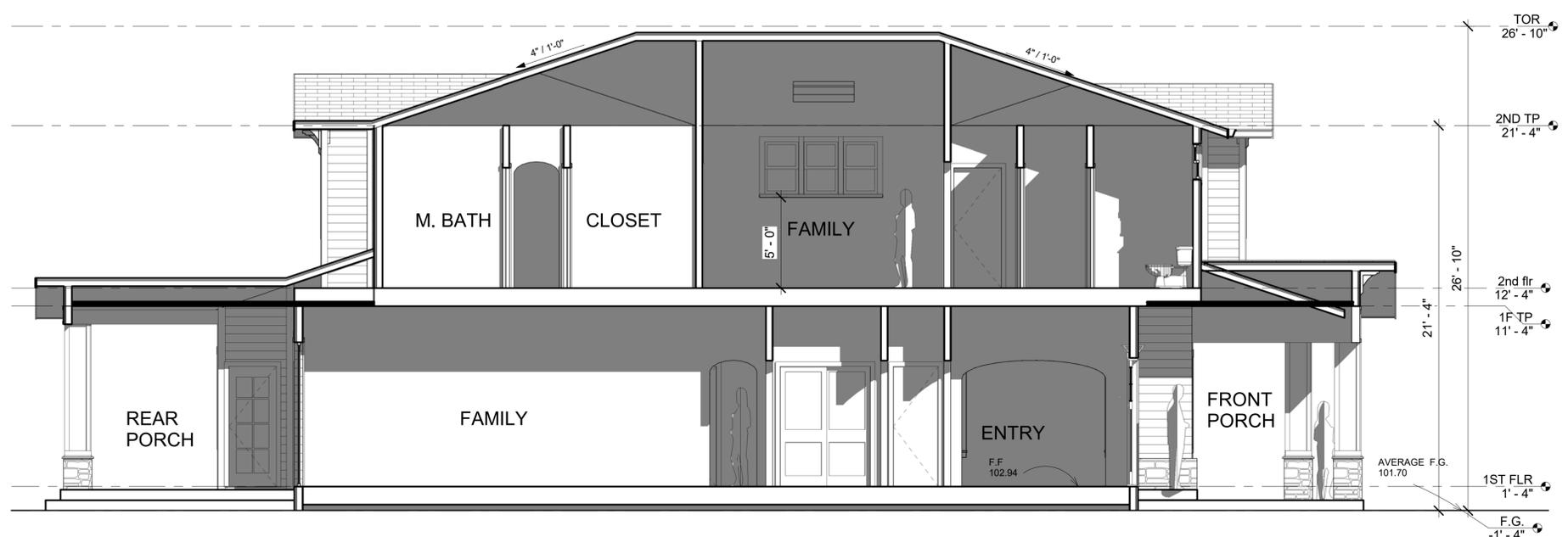
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A2



CROSS SECTION

1/4"



CROSS SECTION

1/4"

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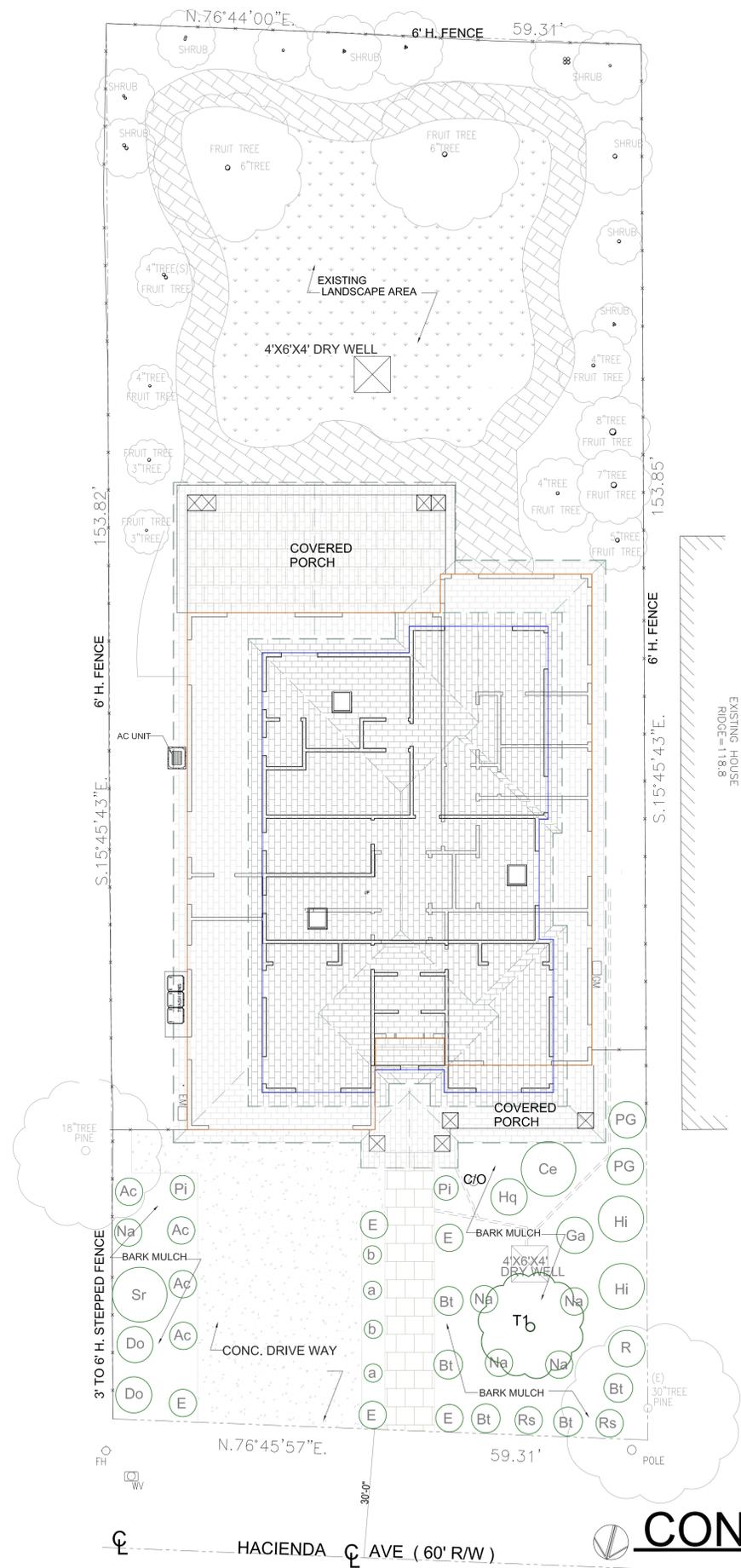
CROSS SECTIONS

JOB NO. 0222
 SCALE AS NOTED
 DRAWN BY FH
 SHEET NO.

A3

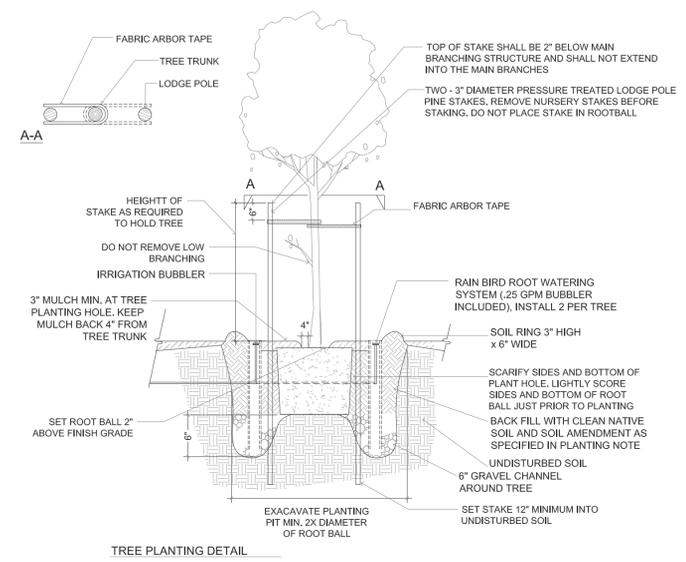
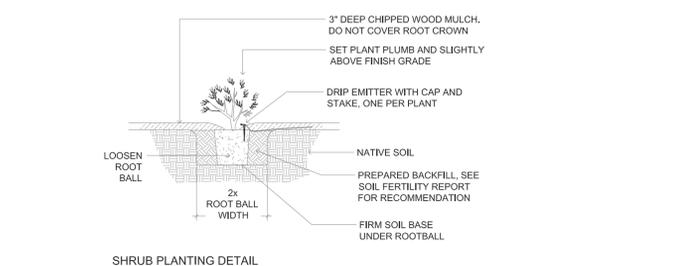


2 STORY ADDITION
1614 HACIENDA AVE
CAMPBELL, CA.



PLANTING LIST

SYMBOL	BOTANICAL NAME - COMMON NAME	SIZE	WUCOLS	Mature Size (HxW)
TREE				
T1	Lagerstroemia 'Muskogee' - Crape Myrtle (Multi-Form)	15 gal	L	25' x 20'
SHRUBS				
Ac	Acacia 'Cousin Itt' - Cousin Itt Acacia	5 gal	L	2'x4'
a	Agapanthus 'Peter Pan' - Dwarf Lily-of-the-Nile	1 gal	M	2'x2'
b	Buxus japonica 'Green Beauty' - Boxwood	1 gal	M	2'x2'
Bt	Berberis thunbergia 'Cherry Bomb' - Berberis	5 gal	M	3'x3'
Ce	Ceanothus 'Anchor Bay' - Wild Lilac	5 gal	L	2'x6'
Ga	Gardenia augusta 'Veitchii' - Gardenia	5 gal	M	3'x3'
Do	Daphne odora 'Marginata' - Winter Daphne	5 gal	L	4'x4'
E	Euonymus j. 'Chollipo' - Chollipo Euonymus	5 gal	L	8'x3'
Hi	Hibiscus syriacus 'Pink Chiffon' - Rose of Sharon	5 gal	M	4'x4'
Hq	Hydrangea quercifolia - Oakleaf Hydrangea	5 gal	M	5'x5'
Na	Nandina domestica 'Gulf Stream' - Nandina	5 gal	L	3'x3'
Pi	Pittosporum tobira 'Cream de Mint' - Tobira	5 gal	L	2'x2'
PG	Pittosporum tenuifolium 'Golf Ball' - Golf Ball Pittosporum	5 gal	M	4'x4'
R	Rose Bush by owner	5 gal	M	3'x3'
Rs	Rosmarinus officinalis 'Arp' - Rosemary	1 gal	L	3'x4'
Sr	Solanum rantonnetii - Blue Potato Vine	5 gal	M	6'x6'



Vision Landscaping, Inc.
17745 Laurel Rd.
Morgan Hill, CA 95037

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CAMPBELL, CA. 95008

NO.	DATE	ISSUE

LANDSCAPE PLAN

SCALE AS NOTED
SHEET NO.

CONCEPTUAL LANDSCAPE PLAN

1/8" = 1'-0"

L1



CLASS A 40 YEARS ASPHALT SINGLES
COLOR: NIGHT SKY
BY: OWENS CORNING



VERTICAL SIDING
COLOR: ARCTIC WHITE
BY: JAMES HARDIE



HORIZONTAL SIDING
COLOR : BOOTHBAY BLU
BY: JAMES HARDIE

1X WOOD TRIM WHITE COLOR



GARAGE DOOR
STYLE: CRAFTSMAN
BY: CLOPAYDOOR



WINDOWS
STYLE: CRAFTSMAN
BY: PELLA WINDOWS



CULTURED STONE



FRONT DOOR
STYLE: CRAFTSMAN
BY: JELD-WEN

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PROJECT
COLOR & MATERIALS

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FRONT



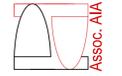
RIGHT SIDE



REAR



LEFT SIDE



FAHED HABAYEB
 MAY 20 2012

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EXIST 4 SIDE BUILDING PHOTOS

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BP