



CITY OF CAMPBELL
Community Development Department

June 20, 2022

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 840 Laura Ct.
Zoning | Area Plan: R-1-6 | STANP
Neighborhood Association(s): STACC
File No.: PLN-2022-36
APN: 404-33-018
Applicant: Thomas James Homes
Property Owner: David & Eden-Marie Silvas
Application Type: Administrative Site and Architectural Review Permit
Project Description: Construction of new 2-story 3,578 square-foot single-family dwelling



This project will be decided by the Community Development Director, and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on June 21, 2022 and ends on July 1, 2022. Any comments regarding this application must be submitted in writing to the Planning Division before 5:00 PM on **July 1, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

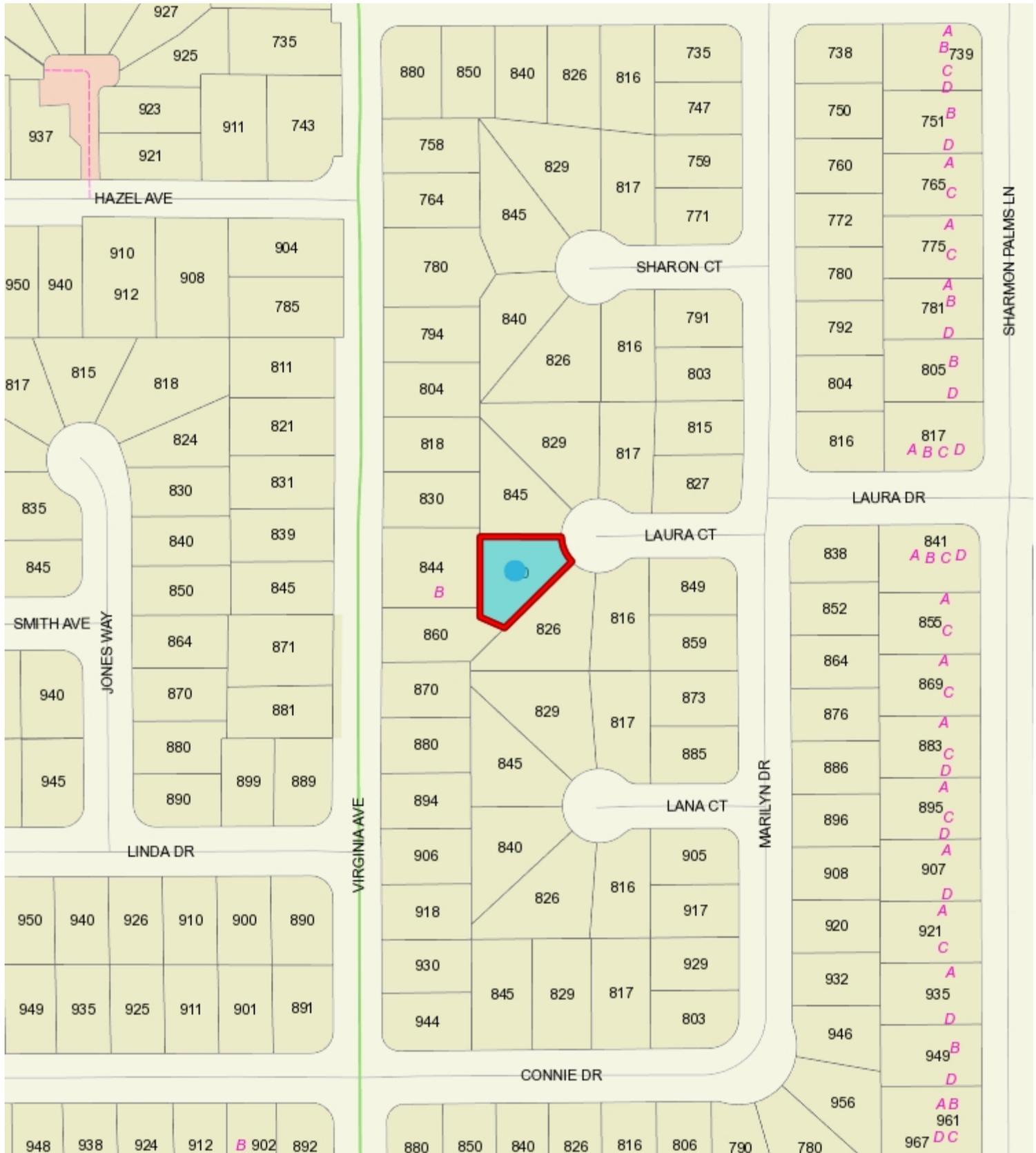
Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's website by scanning the QR code, below.

Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.





Location Map - 840 Laura Ct



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

840 LAURA COURT

CAMPBELL, CA 95008

May 26th, 2022



DIRECTORY		PROJECT DESCRIPTION	
OWNER: SF21G, LLC 26880 ALISO VIEJO PARKWAY, SUITE 100 ALISO VIEJO, CA 92656 CONTACT: CYNTHIA THIEBAUT PHONE: (650) 382-0648 EMAIL: CTHIEBAUT@TJHUSA.COM	CIVIL ENGINEER: CBG 2633 CAMINO RAMON #350 SAN RAMON, CA 94583 PHONE: (925) 866-0322	THIS PROPOSED HOME IS A TWO-STORY SINGLE FAMILY DETACHED RESIDENCE. IN 2,593 SQUARE FEET AND A 548 SQUARE FOOT ATTACHED ADU, THERE ARE A TOTAL OF 4 BEDROOMS AND 4.5 BATH WITH THE ADDITION OF AN OFFICE AND LOFT. THE CRAFTSMAN STYLE DESIGN HELPS MINIMIZE THE OVERALL SCALE OF THE HOME BY USING A SIMPLE GABLE ROOF STRUCTURE THAT IS A REPRESENTATION OF THIS ARTS AND CRAFTS STYLE. THE SHINGLE SIDING, HORIZONTAL SIDED GABLE DETAILS, AND STONE VENEER ACCENTS FURTHER HELP BALANCE THIS HOME WITH THE SURROUNDING TRADITIONAL STYLE HOMES.	
ARCHITECTS: BASSENIAN LAGONI ARCHITECTS 2031 ORCHARD DRIVE NEWPORT BEACH, CA 92660 CONTACT: TERESSA DEHRLIN PHONE: (949) 553-9100 EMAIL: TERESSA@BASSENIANLAGONI.COM		PROJECT DATA	
SHEET INDEX		LEGAL DESCRIPTION : _____ LOT 92 MAP OF TRACT 2697 SANTA CLARA COUNTY, CALIFORNIA	
A0.0 COVER SHEET	A0.1 SITE PHOTOGRAPHY	APN : _____ 404-33-018	PROJECT ADDRESS : _____ 840 LAURA COURT CAMPBELL, CA 95008
A1.0 EXISTING SITE PLAN	A1.1 PROPOSED SITE PLAN	ZONING : _____ R-1-6 [SAN TOMAS AREA PLAN]	BUILDING CLASSIFICATION: _____ SINGLE FAMILY DETACHED R3/U FIRE SPRINKLERS PER CRC R313.3
A2.0 PROPOSED FIRST FLOOR PLAN	A2.1 PROPOSED SECOND FLOOR PLAN	TYPE OF CONSTRUCTION : _____ TYPE V-B	FIRE ZONE : _____ N/A
A2.2 SQUARE FOOTAGE CALCULATIONS: FIRST FLOOR	A2.3 SQUARE FOOTAGE CALCULATIONS: SECOND FLOOR	SITE AREA : _____ 7,483 SQ. FT.(NET) / 8,203 SQ. FT.(GROSS)	COVERED PARKING : _____ 2
A3.0 PROPOSED EXTERIOR ELEVATIONS: FRONT, REAR, AND ROOF PLAN	A3.1 PROPOSED EXTERIOR ELEVATIONS: LEFT AND RIGHT	ALLOWABLE LOT COVERAGE : _____ 40%	PROPOSED LOT COVERAGE : _____ 24% (1,798 SQ.FT.)
A3.2 PROPOSED SECTIONS	A4.0 COLOR AND MATERIAL BOARD	ALLOWABLE FAR : _____ .45 (3,367 SQ. FT.)	PROPOSED FAR : _____ .41 (3,078 SQ. FT.)
A5.0 STREET SCENE	A6.0 PRIVACY STUDY	BUILDING HEIGHT: _____ ± 25'-10"	
L1.1 LAYOUT PLAN, NOTES, AND LEGEND	L1.2 CONSTRUCTION DETAILS	SETBACKS : _____ PROPOSED _____ REQUIRED	
L2.1 PLANTING PLAN, NOTES, AND LEGEND	L2.2 PLANTING DETAILS	FRONT : _____ 25'-9.5" _____ 20'-0" MIN.	
L2.3 TREE PROTECTION PLAN AND NOTES	GP-1 GRADING AND DRAINAGE PLAN	SIDE : _____ 11'-8" (LEFT) / 6'-6.5"(RIGHT) _____ 10'-3" (LEFT) / 6'-5"(RIGHT)	
GP-2 SECTIONS AND DETAILS	GP-3 CLEAN BAY BLUEPRINT	REAR : _____ 20'-0"	
		SQUARE FOOTAGE: _____ PROPOSED _____ FAR	
		FIRST FLOOR : _____ 1,104 SQ. FT. _____ 1,104 SQ. FT.	
		SECOND FLOOR : _____ 1,489 SQ. FT. _____ 1,537 SQ. FT.(Incl. Stair)	
		ADU: _____ 548 SQ. FT.	
		TOTAL LIVABLE : _____ 3,141 SQ. FT.	
		GARAGE : _____ 437 SQ. FT. _____ 437 SQ. FT.	
		FRONT PORCH : _____ 62 SQ. FT.	
		OUTDOOR LIVING : _____ 190 SQ. FT.	
		FRONT SETBACK LANDSCAPE:	
		PAVEMENT AREA : _____ 47.65%	
		IMPERVIOUS AREA : _____ 52.35%	
		CODES : _____ 2019 CALIFORNIA BUILDING CODE	
		_____ 2019 CALIFORNIA RESIDENTIAL CODE	
		_____ 2019 CALIFORNIA MECHANICAL CODE	
		_____ 2019 CALIFORNIA PLUMBING CODE	
		_____ 2019 CALIFORNIA FIRE CODE	
		_____ 2019 CALIFORNIA ELECTRICAL CODE	
		_____ 2019 CALIFORNIA ENERGY CODE	
		_____ 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE	
		GOVERNING BODY : _____ CITY OF CAMPBELL	



SITE CALCULATIONS (PERFORMANCE APPROACH)

840 LAURA COURT	SF	% OF LOT AREA
EXISTING		
TOTAL LOT SF	7,483	100%
TOTAL PERMEABLE AREA	4,099	55%
PROPOSED LOT LANDSCAPE AREA (% OF TOTAL AREA)	3,038	41%
SHRUB AND GROUND COVER AREA (% OF TOTAL LANDSCAPE AREA)	2,589	85%
PROPOSED TURF AREA (% OF TOTAL LANDSCAPE AREA)	449	15%
AGGREGATE PATIO	750	
WALKABLE CONCRETE PADS WITH GAPS	311	
TOTAL IMPERMEABLE AREA	3,384	45%
RESIDENCE/GARAGE FOOTPRINT (% OF TOTAL AREA)	2,089	28%
LANAI	190	
FRONT PORCH	61	
TRASH PAD AND WALK WAYS	572	
DRIVEWAY (CONCRETE)	472	

NOTE: WATER SUPPLY IS DOMESTIC.

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS

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fax +1 949 553 0548

COVER SHEET

840 LAURA COURT
Campbell, California



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04.14.22





FRONT - TOWARDS SITE



SIDE YARD - TOWARDS SOUTH



REAR YARD - TOWARDS SOUTHEAST



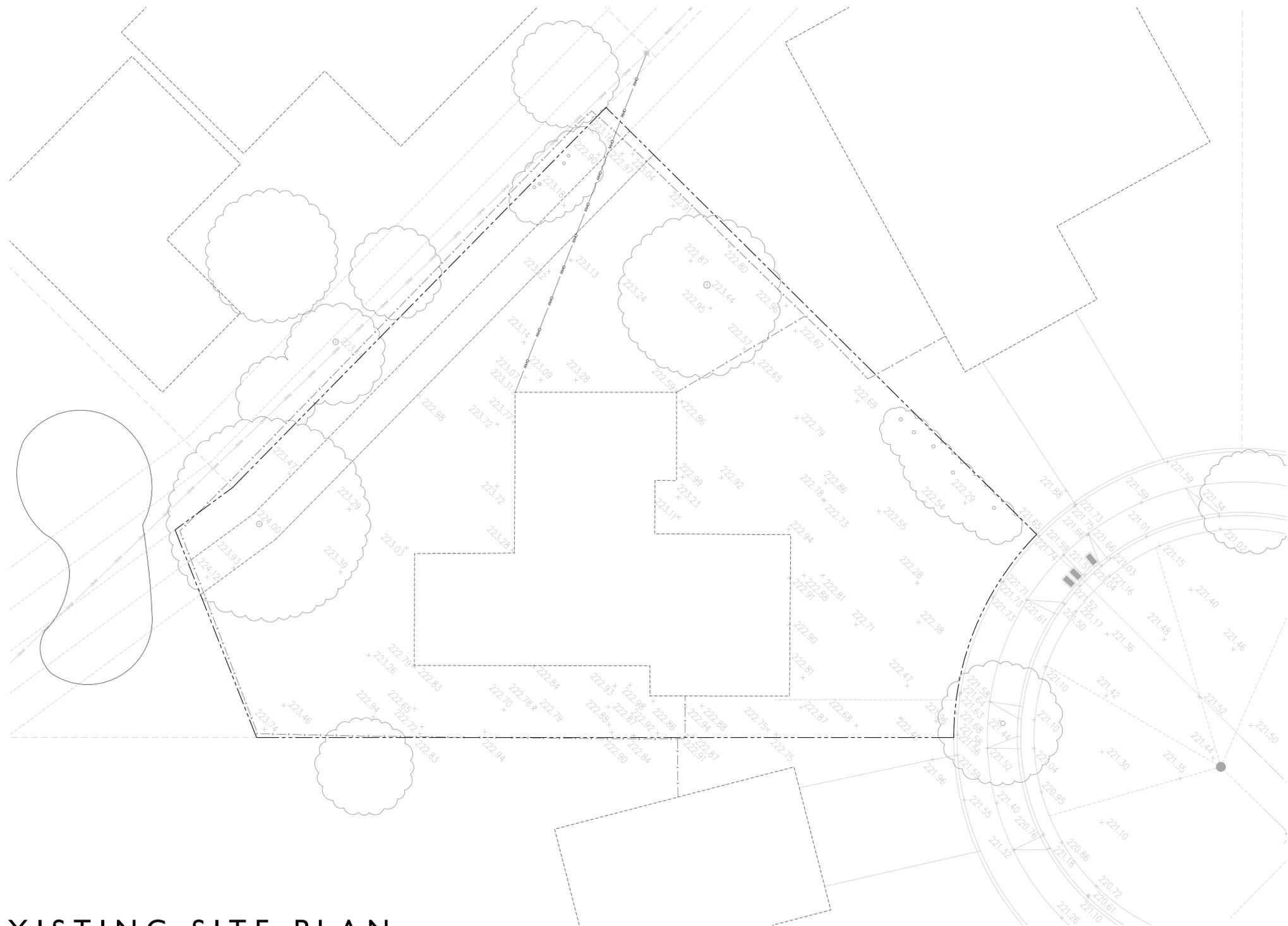
REAR YARD - TOWARDS SITE



REAR YARD - TOWARDS SW



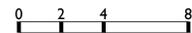
REAR YARD - TOWARD NW



EXISTING SITE PLAN

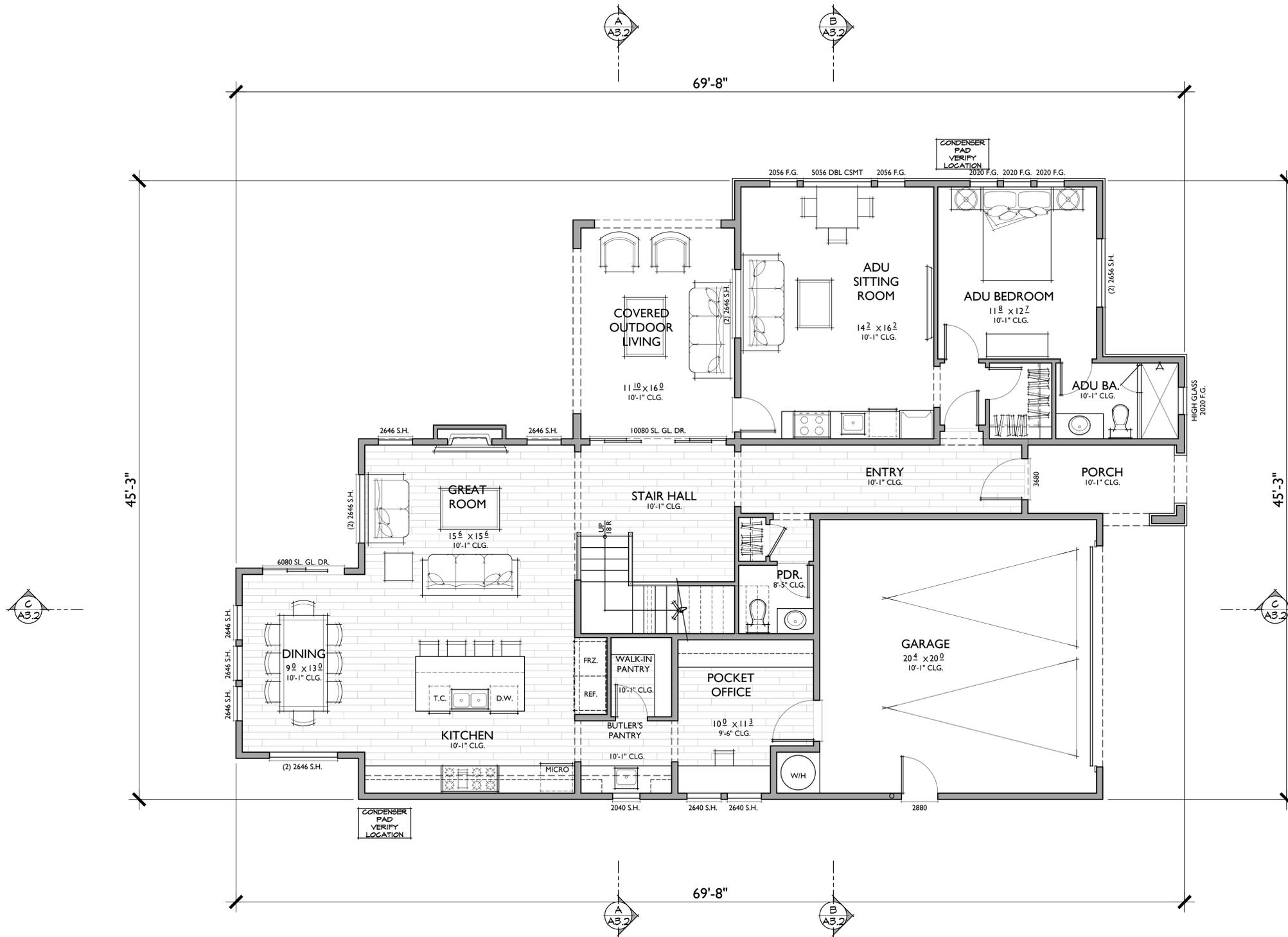
840 LAURA COURT

Campbell, California



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4 BEDROOMS / 4.5 BATHS
2 - CAR GARAGE

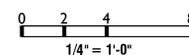
FLOOR AREA TABLE	
1ST FLOOR	1,104 SQ. FT.
2ND FLOOR	1,489 SQ. FT.
ADU	548 SQ. FT.
TOTAL LIVING	3,141 SQ. FT.
2 - CAR GARAGE	437 SQ. FT.
PORCH	62 SQ. FT.
COVERED OUTDOOR LIVING	190 SQ. FT.
1ST FLOOR FAR	1,541 SQ. FT.
2ND FLOOR FAR	1,537 SQ. FT.
TOTAL FAR	3,078 SQ. FT.
LOT COVERAGE	1,798 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

FIRST FLOOR PLAN

840 LAURA COURT

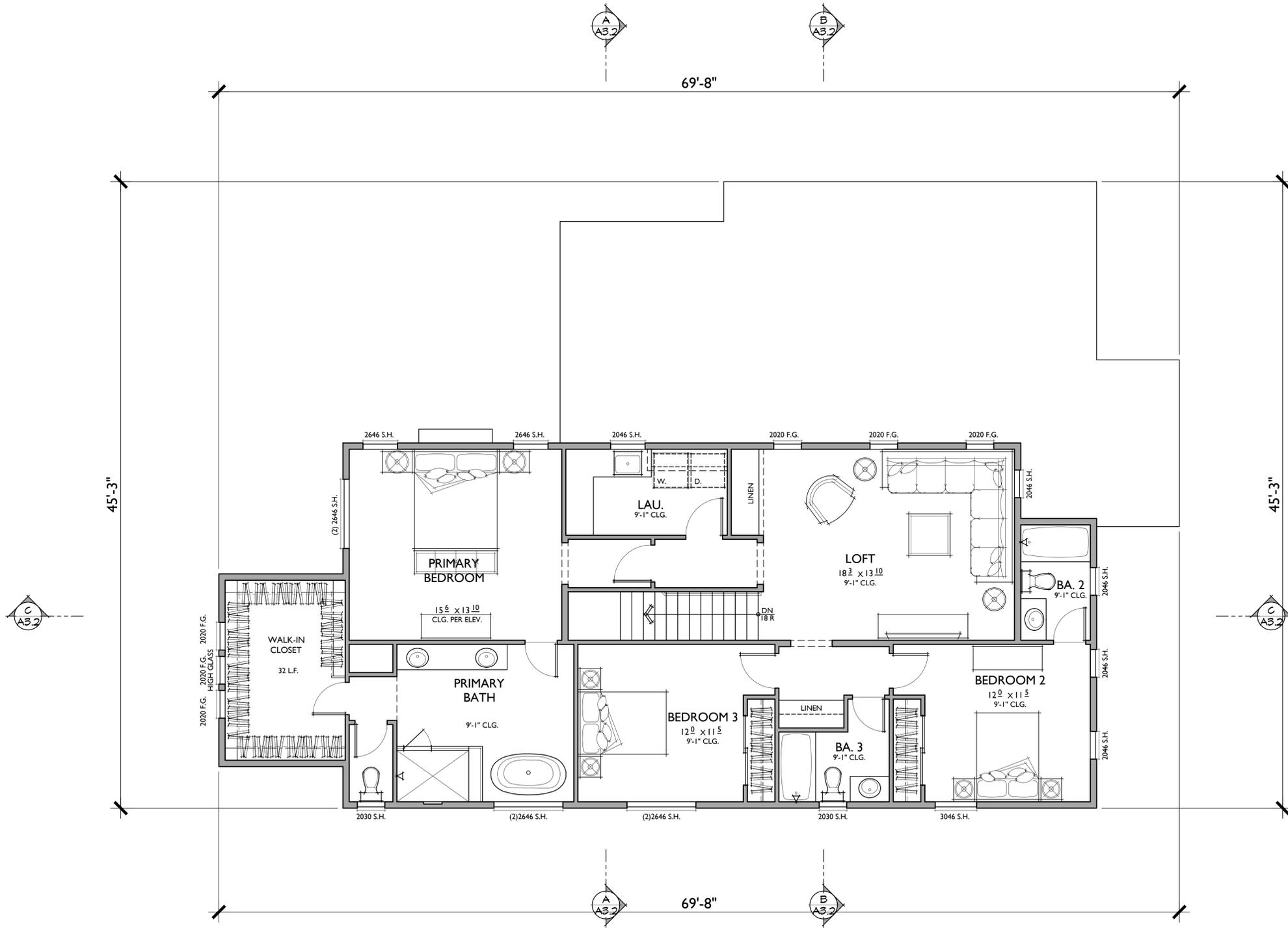
Campbell, California



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4 BEDROOMS / 4.5 BATHS
2 - CAR GARAGE

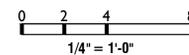
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SECOND FLOOR PLAN

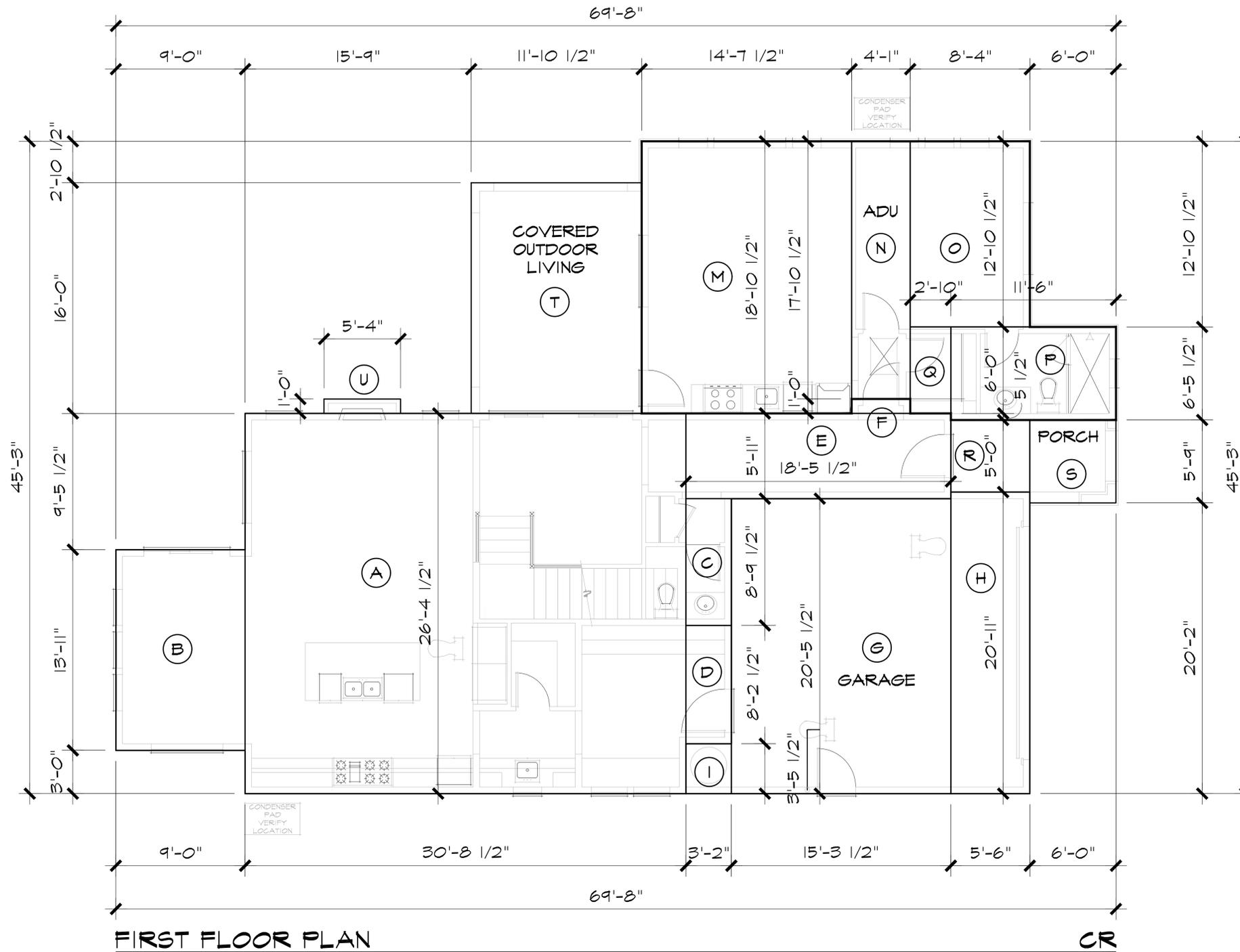
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AREA CALCULATION

LABEL	DIMENSIONS	AREA
FIRST FLOOR		
A	30'-8 1/2" X 26'-4 1/2"	810 SQ. FT.
B	9'-0" X 13'-11"	125 SQ. FT.
C	3'-2" X 8'-9 1/2"	28 SQ. FT.
D	3'-2" X 8'-2.5"	26 SQ. FT.
E	18'-5 1/2" X 5'-11"	109 SQ. FT.
F	4'-1" X 1'-0"	4 SQ. FT.

LABEL	DIMENSIONS	AREA
GARAGE		
G	15'-3 1/2" X 20'-5 1/2"	313 SQ. FT.
H	5'-6" X 20'-11"	115 SQ. FT.
I	3'-2" X 3'-5.5"	11 SQ. FT.

LABEL	DIMENSIONS	AREA
SECOND FLOOR		
J	49'-2" X 26'-4 1/2"	1,297 SQ. FT.
K	9'-0" X 13'-11"	125 SQ. FT.
L	5'-6" X 20'-11"	115 SQ. FT.

LABEL	DIMENSIONS	AREA
ADU (NOT INCLUDED IN FAR OR LOT COVERAGE)		
M	14'-7 1/2" X 18'-10 1/2"	276 SQ. FT.
N	4'-1" X 17'-10 1/2"	73 SQ. FT.
O	8'-4" X 12'-10 1/2"	107 SQ. FT.
P	11'-6" X 6'-5 1/2"	75 SQ. FT.
Q	2'-10" X 6'-0"	17 SQ. FT.

LABEL	DIMENSIONS	AREA
COVERED PORCH (FOR LOT COVERAGE ONLY)		
R	5'-6" X 5'-0"	27 SQ. FT.
S	6'-0" X 5'-9"	35 SQ. FT.

LABEL	DIMENSIONS	AREA
COVERED OUTDOOR LIVING (FOR LOT COVERAGE ONLY)		
T	11'-10 1/2" X 16'-0"	190 SQ. FT.

LABEL	DIMENSIONS	AREA
FIREPLACE (FOR LOT COVERAGE ONLY)		
U	5'-4" X 1'-0"	5 SQ. FT.

AREA	AREA
FLOOR AREA	
FIRST FLOOR (A-F)	1,102 SQ. FT.
GARAGE (G-I)	439 SQ. FT.
SECOND FLOOR (J-L)	1,537 SQ. FT.
TOTAL	3,078 SQ. FT.

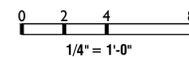
Metric	Value
FLOOR AREA RATIO	
LOT SIZE	7,483 SQ. FT.
MAX. ALLOWABLE (45%)	3,367 SQ. FT.
PROPOSED F.A.R. (41%)	3,078 SQ. FT.

Area	Area
LOT COVERAGE	
FIRST FLOOR (A-F)	1,102 SQ. FT.
GARAGE (G-I)	439 SQ. FT.
COVERED PORCH (R-S)	62 SQ. FT.
COVERED OUTDOOR LIVING (T)	190 SQ. FT.
FIREPLACE (U)	5 SQ. FT.
TOTAL (24%)	1,798 SQ. FT.
MAX ALLOWABLE (40%)	2,993 SQ. FT.

FLOOR AREA DIAGRAM

840 LAURA COURT

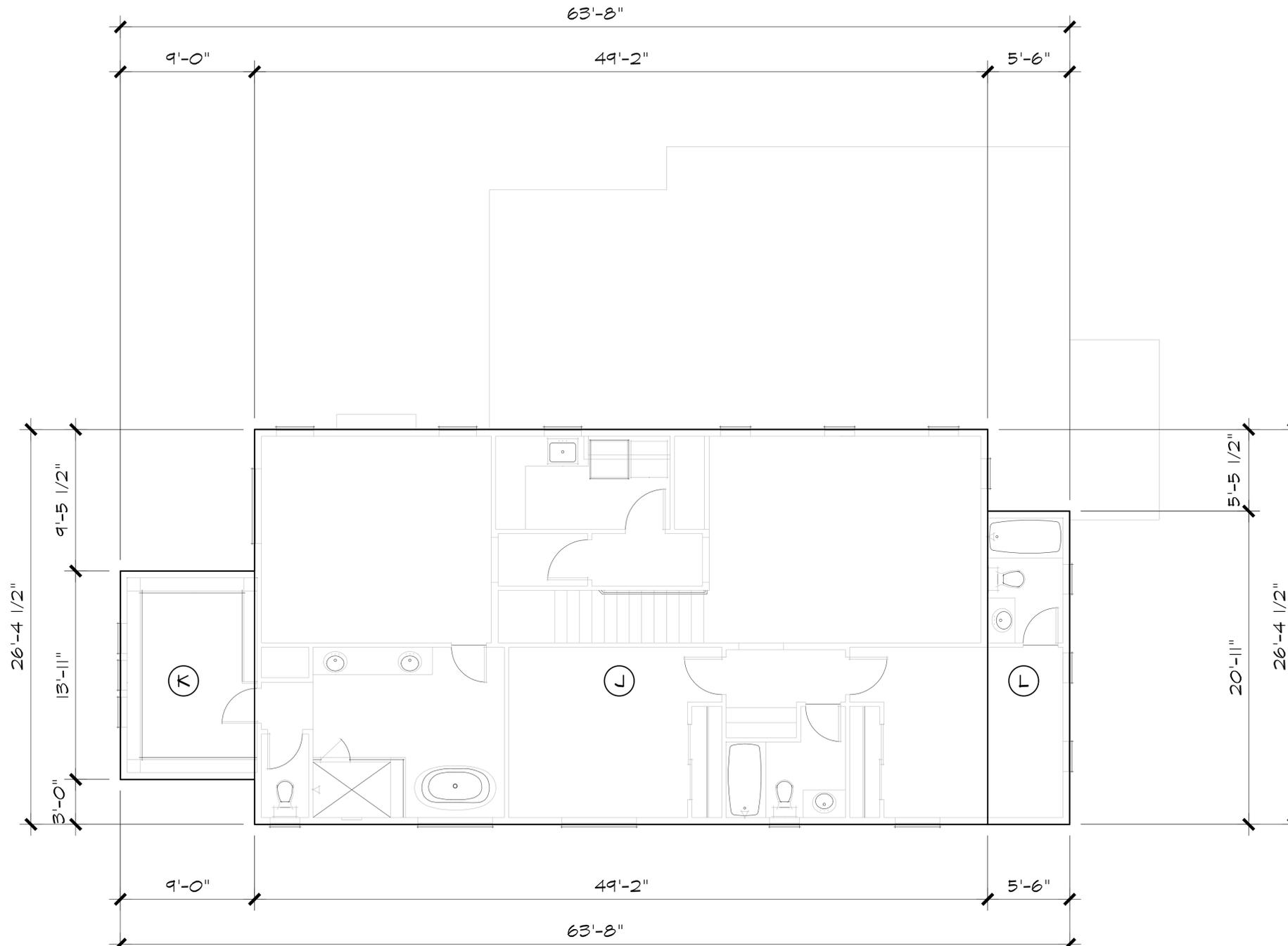
Campbell, California



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SECOND FLOOR PLAN

CR
SCALE: 1/4" = 1'-0"

AREA CALCULATION

LABEL	DIMENSIONS	AREA
FIRST FLOOR		
A	30'-8 1/2" X 26'-4 1/2"	810 SQ. FT.
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Q	2'-10" X 6'-0"	17 SQ. FT.

COVERED PORCH (FOR LOT COVERAGE ONLY)		
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S	6'-0" X 5'-9"	35 SQ. FT.

COVERED OUTDOOR LIVING (FOR LOT COVERAGE ONLY)		
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LOT COVERAGE		
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COVERED OUTDOOR LIVING (T)	190 SQ. FT.	
FIREPLACE (U)	5 SQ. FT.	
TOTAL (24%)	1,798 SQ. FT.	
MAX ALLOWABLE (40%)	2,993 SQ. FT.	

FLOOR AREA DIAGRAM

840 LAURA COURT

Campbell, California

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1/4" = 1'-0"

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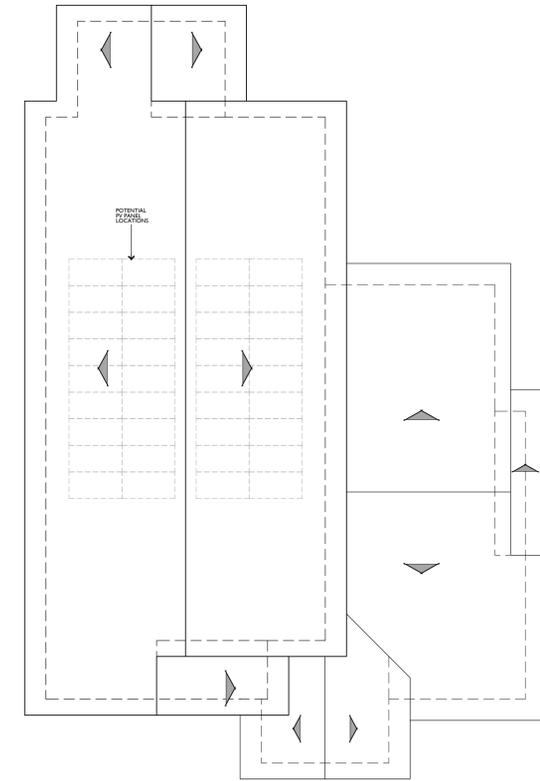


FRONT

CRAFTSMAN

MATERIALS LEGEND:

- 1. COMPOSITION SHINGLE ROOF
- 2. WOOD CORBEL
- 3. CEMENTITIOUS BOARD & BATT
- 4. CEMENTITIOUS SHINGLES
- 5. CEMENTITIOUS TRIM
- 6. STONE VENEER
- 7. BRICK TRIM
- 8. COACH LIGHT
- 9. FIBERGLASS ENTRY DOOR
- 10. VINYL WINDOW



ROOF PLAN

CRAFTSMAN

PITCH: 4:12
 RAKE: 18"
 EAVE: 24"
 ROOF MATERIAL: COMPOSITION



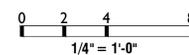
REAR

ELEVATIONS

Front & Rear Elevation

840 LAURA COURT

Campbell, California

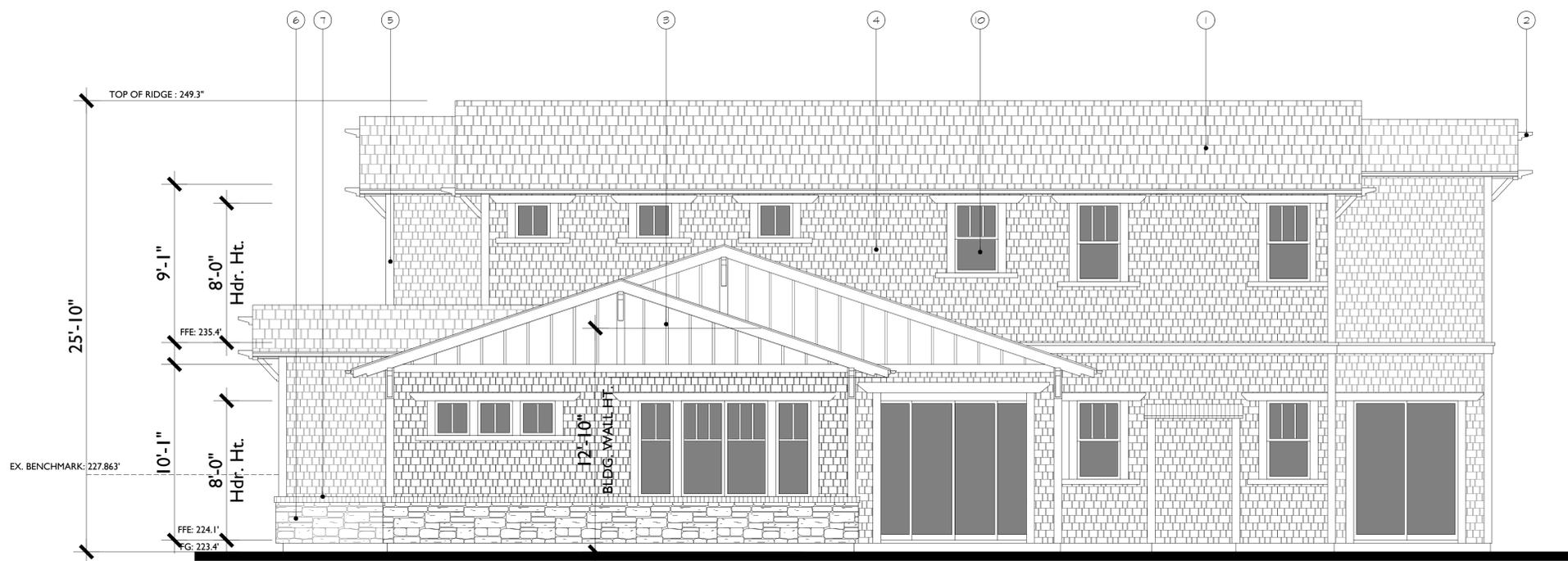


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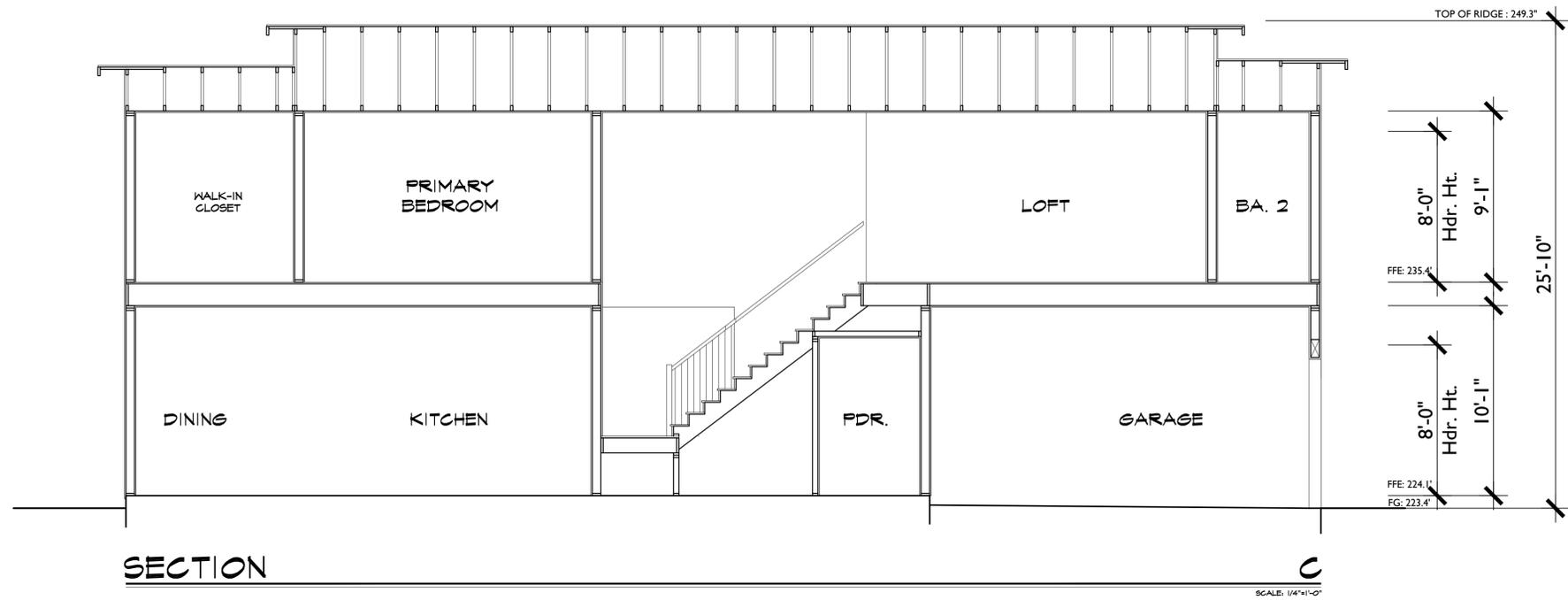
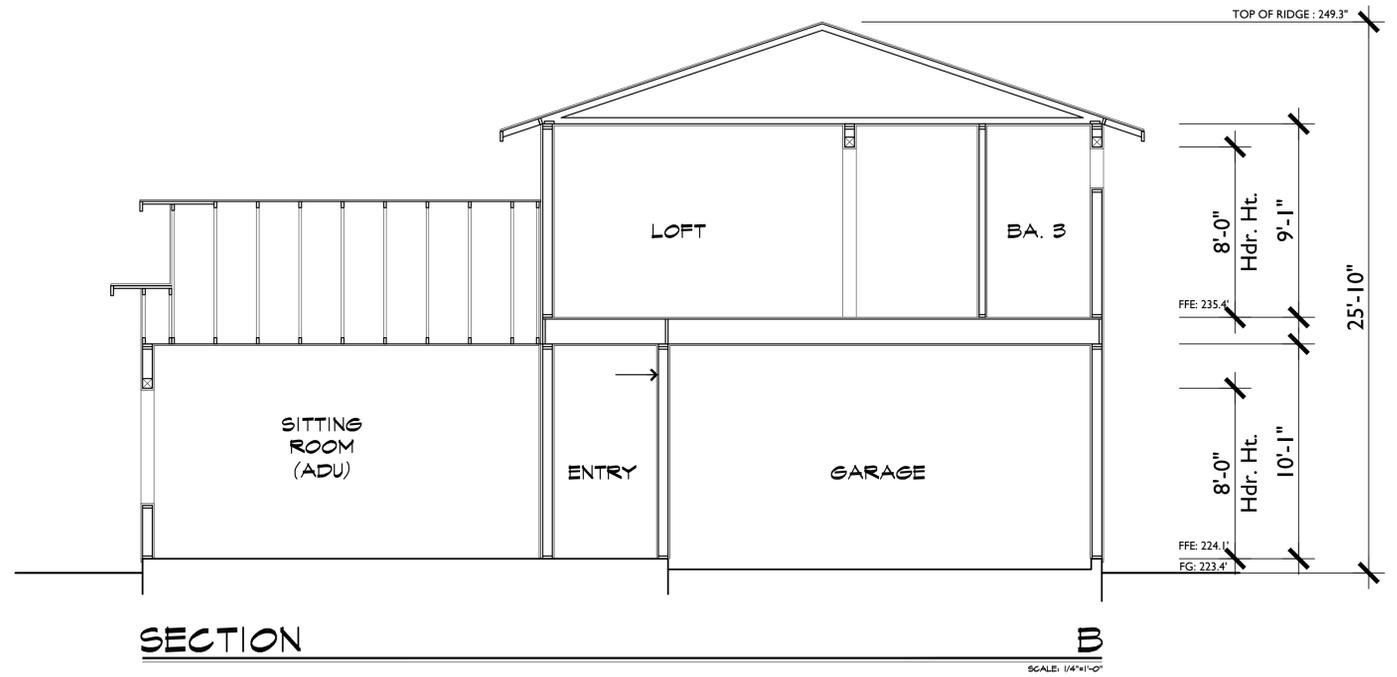
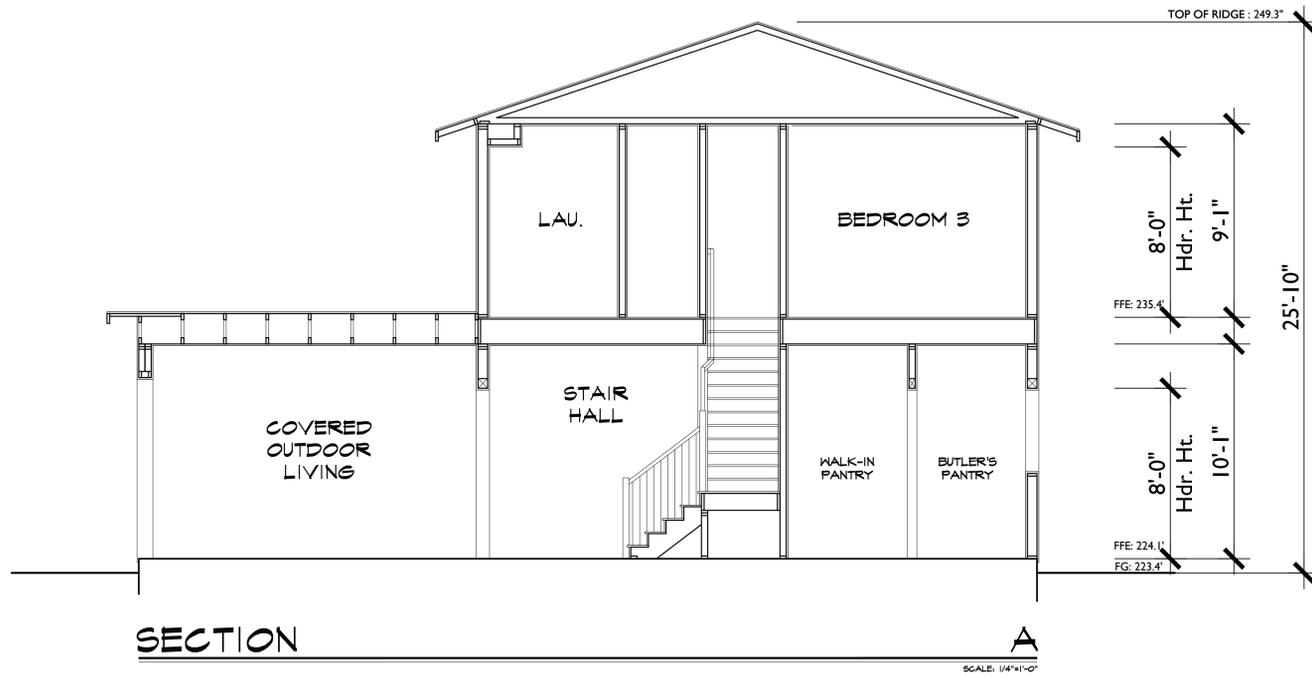


LEFT



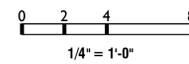
RIGHT

- MATERIALS LEGEND:**
1. COMPOSITION SHINGLE ROOF
 2. WOOD CORBEL
 3. CEMENTITIOUS BOARD & BATT
 4. CEMENTITIOUS SHINGLES
 5. CEMENTITIOUS TRIM
 6. STONE VENEER
 7. BRICK TRIM
 8. COACH LIGHT
 9. FIBERGLASS ENTRY DOOR
 10. VINYL WINDOW



SECTIONS

840 LAURA COURT
Campbell, California



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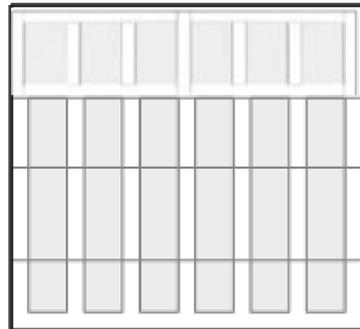
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WINDOW FRAMES: WHITE



FRONT DOOR
MASONITE
HERITAGE - WINSLOW
STYLE: 4 LITE SDL WITH 2 PANEL DOOR



GARAGE DOOR
CLOPAY COACHMAN
DESIGN 11, INSULATED
TOP: SQ24



FENCE STAIN
SEMI-SOLID
PEPPERWOOD



EXTERIOR RENDERINGS
(NOT TO SCALE)

840

HOUSE NUMBERS



EXTERIOR LIGHT FIXTURE
7.63"W X 14.13"H

WHITE HERON

SW 7627

- FRONT DOOR
- FASCIA & EAVES
- COLUMNS & BEAMS & HEADERS
- GABLE SIDING
- TRIM
- GARAGE DOOR

CYBERSPACE

SW 7076

- SHINGLES



ELDORADO STONE
LIMESTONE - AUSTIN CREAM



GAF ROOF SHINGLES
MISSION BROWN



840 LAURA COURT
CAMPBELL, CALIFORNIA 95008

This is an example of design specifications for this particular plan and elevation. Detailed specifications, finishes and fixtures are subject to change, on homes prior to sale, at any time without notice or obligation. Dimensions are approximate and may vary in construction and depending on the standard of measurement used. All dimensions are subject to change. Thomas James Homes is a registered trademark of Thomas James Homes, LLC. ©2018 Thomas James Homes, LLC. All rights reserved. CA DRE License #02057367

NOTES:
DIMENSIONS PROVIDED IN THIS DOCUMENT ARE BASED OFF THE ARCHITECTURAL PLANS AND ARE TO BE VERIFIED IN FIELD. ACTUAL FIELD CONDITIONS MAY EFFECT THESE DIMENSIONS. PROJECT MANGER TO NOTIFY DESIGNER OF DIMENSIONS AND FIELD CONDITIONS THAT DIFFER FROM THE DESIGN PACKAGE AND ARCHITECTURAL PLANS.

DATE: 03.18.22
DESIGNER: SAMIA S RASHED
ARCHITECT: BASSENIAN LAGONI

NOTE: RENDERINGS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT INTENDED TO BE AN ACTUAL DEPICTION OF THE HOME OR IT'S SURROUNDINGS

A4.0 PLAN B31 V2 A CRAFTSMAN



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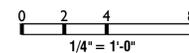
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fax +1 949 553 0548

CONTEXTUAL STREET SCENE

840 LAURA COURT

Campbell, California



1/4" = 1'-0"

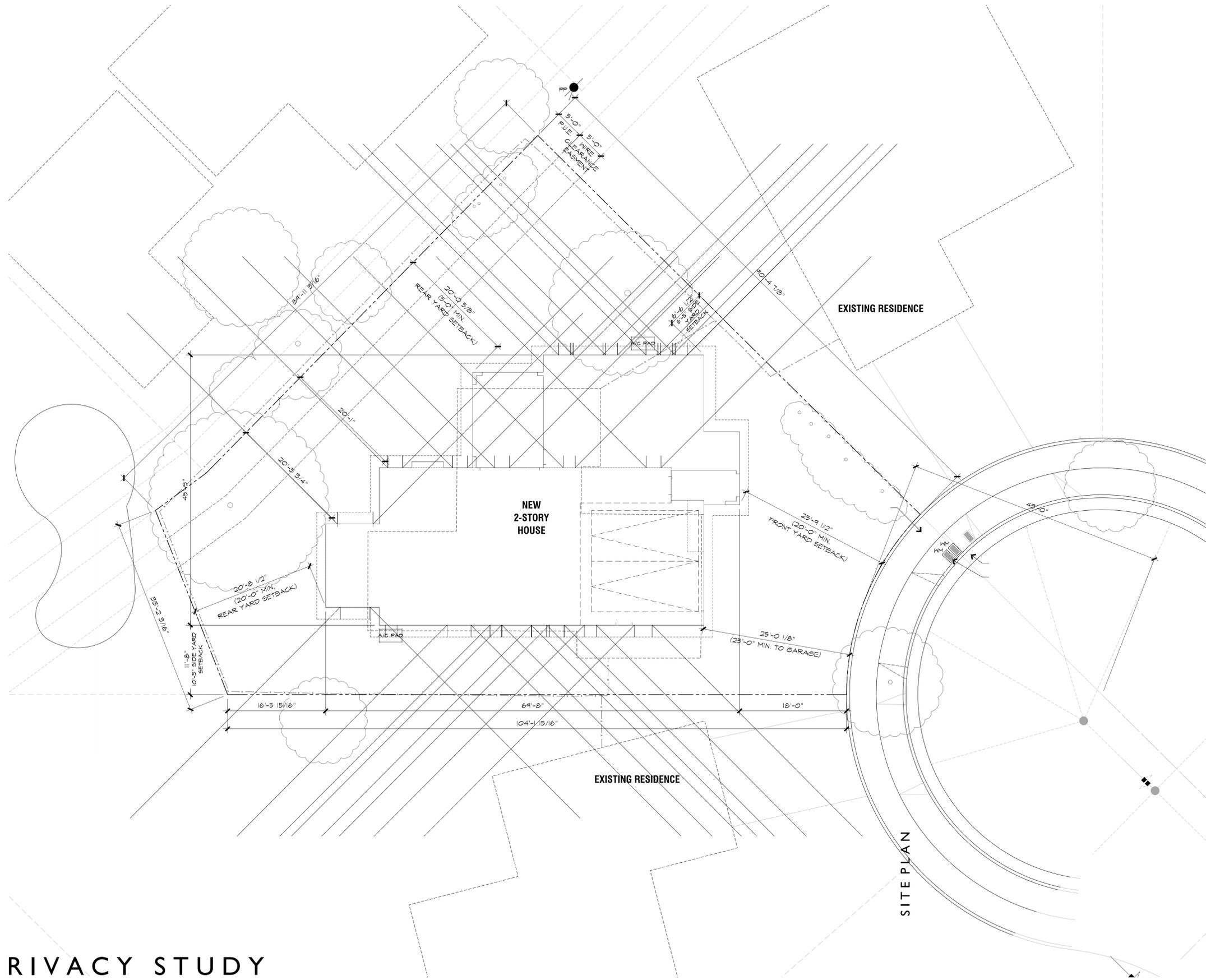
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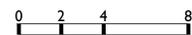




PRIVACY STUDY

840 LAURA COURT

Campbell, California



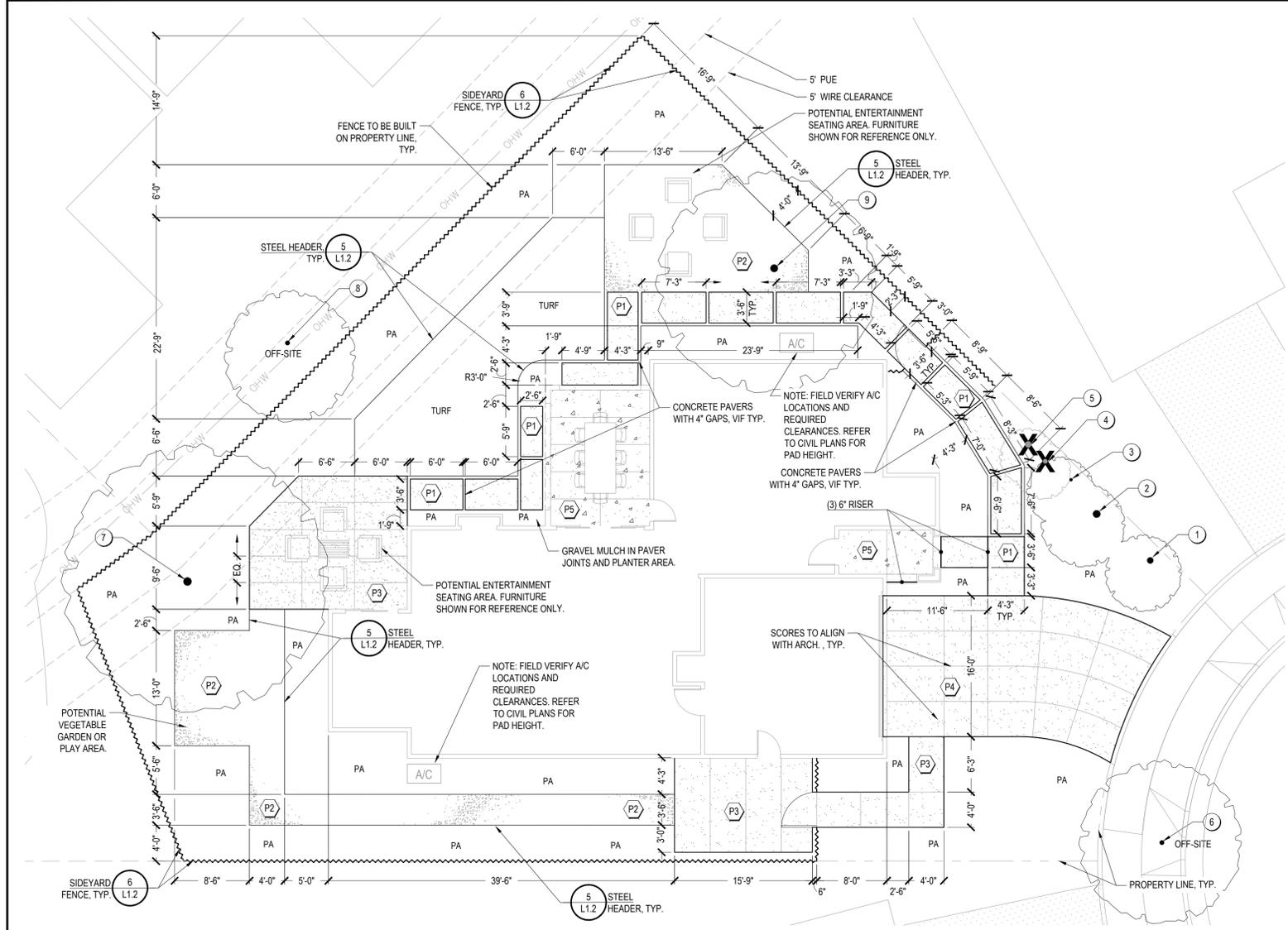
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CONSTRUCTION NOTES

- LOCAL CODES AND ORDINANCES: WORK SHALL CONFORM TO ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS, INCLUDING FEDERAL ACCESSIBILITY GUIDELINES. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS AN EXEMPTION TO APPLICABLE CODES OR OTHER JURISDICTIONAL REQUIREMENTS.
- UTILITIES: CONTACT COMMON GROUND ALLIANCE (C.G.A.) AT 811, AT LEAST TWO WORKING DAYS IN ADVANCE OF WORK (PER CA GOV. CODE 4216). THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, AND SHALL PAY FOR ANY REPAIRS REQUIRED DUE TO THE CONTRACTOR'S OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DISCREPANCIES: NOTIFY DISTRICT'S REPRESENTATIVE OF ANY VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. DO NOT PROCEED WHERE DIFFERENCES EXIST THAT WOULD AFFECT THE WORK. ALL ADJUSTMENTS DUE TO FIELD CONDITIONS MUST BE APPROVED BY THE DISTRICT'S REPRESENTATIVE PRIOR TO CONTINUING.
- LAYOUT NOTES: THE WRITTEN DIMENSION SUPERCEDES SCALED OR GRAPHIC DENOTATION. DIMENSIONS ARE BETWEEN PARALLEL OR PERPENDICULAR POINTS UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO CENTERLINE OR FACE OF MASONRY, CONCRETE, OR FRAMING SUBSTRATE FINISH SURFACES, UNLESS NOTED OTHERWISE.
- COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN TRADES. ALL REQUIRED SLEEVING SHALL BE COORDINATED WITH SITE WORK, INCLUDING OTHER UNDERGROUND UTILITIES, CURBS, AND CONCRETE.
- VERTICAL WORK: ALL VERTICAL CONSTRUCTION SHALL BE INSTALLED TRUE AND PLUMB. ALL UNIT COURSING AND TOPS OF WALLS, FENCES, ETC. SHALL BE LEVEL UNLESS NOTED OTHERWISE. ALL CURVES SHALL BE CONTINUOUS AND EVEN, WITH NO BREAKS OR ANGLES AT POINTS OF TANGENCY OR FORMWORK JOINTING.
- LEAD TIME: SPECIFIED MATERIALS MAY REQUIRE A SIGNIFICANT LEAD TIME. CONTRACTOR IS SOLELY RESPONSIBLE TO LEAD TIMES AND TO PROVIDE SUBMITTALS, AND ORDER MATERIAL, AND ENSURE DELIVERY TO THE JOB SITE TO ALLOW TIMELY PROGRESSION OF WORK.
- EXISTING WORK: WHERE NEW CONSTRUCTION ABUTS EXISTING WORK, ALL EXISTING WORK SHALL BE PROTECTED. CONTRACTOR SHALL REPLACE ANY DAMAGED EXISTING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL NEW WORK WILL CONFORM TO EXISTING WORK, INCLUDING FLATWORK JOINTS, ELEVATIONS, COLOR, AND FINISH.
- FENCING: FENCE LOCATIONS SHOWN ARE DIAGRAMMATIC AND FINAL LOCATIONS ARE TO BE COORDINATED IN THE FIELD BY THE LANDSCAPE CONTRACTOR.

LAYOUT LEGEND

DETAIL CALLOUT	REFERENCED DETAIL NUMBER	REFERENCED DETAIL SHEET
ADJ.	ADJACENT	NATIVE GRASS
EQ	EQUAL DISTANT	GRASS
BOC	BACK OF CURB	OH
BOW	BACK OF WALK	PA
CJ	CONSTRUCTION/COLD JOINT	PL
CL	CENTERLINE	POB
CLR	CLEAR	SIM
EJ	EXPANSION JOINT	SYM
EQ	EQUAL DISTANT	TYP
ILO	IN LIEU OF	T, TURF
MAX	MAXIMUM	UNO
MIN	MINIMUM	VIF

PAVING AND FENCING LEGEND

- P1 CONCRETE PAVERS PER DETAIL 1/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. 4" GAP FILL WITH P2.
 - P2 DECORATIVE GRAVEL PER DETAIL 4/L1.2: 1/2" CRUSHED GRAVEL, COLOR: CLOUD NINE (BUILDER TO VERIFY), BY DECORATIVE STONE SOLUTIONS (800.699.1878). 2" OVER COMPACTED SUBGRADE OVER FILTER FABRIC. WITH 8" GALVANIZED WIRE STAPLES.
 - P3 CONCRETE PAVING (PEDESTRIAN) PER DETAIL 2/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS.
 - P4 CONCRETE PAVING (VEHICULAR) PER DETAIL 3/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. TOOLED SCORE JOINTS AS SHOWN ON PLANS.
 - P5 CONCRETE TO BE POURED WITH ARCHITECTURE. REFER TO STRUCTURAL DRAWINGS.
- ~~~~~ SIDEYARD FENCE: PER DETAIL 6/L1.2, 272 LF (CONTRACTOR TO VERIFY, INCLUDES ONE 4'-0" GATE)

TREE PROTECTION CHART

NOTE: SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION

KEYNOTE	TAG#	STATUS	LOCATION	SCIENTIFIC NAME	COMMON NAME	DBH (in)	ACTION
1	9615	Non-Protected	On-Site	<i>Pittosporum</i> sp.	Pittosporum	8	Retain and Protect
2	9616	Non-Protected	On-Site	<i>Pittosporum</i> sp.	Pittosporum	10	Retain and Protect
3	9617	Non-Protected	On-Site	<i>Pittosporum</i> sp.	Pittosporum	4	Retain and Protect
4	9618	Non-Protected	On-Site	<i>Pittosporum</i> sp.	Pittosporum	6	Remove
5	9619	Non-Protected	On-Site	<i>Pittosporum</i> sp.	Pittosporum	8	Remove
6	9620	Protected	Off-Site	<i>Lagerstroemia indica</i>	Crape Myrtle	6	Retain and Protect
7	9621	Non-Protected	On-Site	<i>Platanus hispanica</i>	London Plane	11	Retain and Protect
8	9622	Non-Protected	Off-Site	<i>Acer palmatum</i>	Japanese Maple	6	Retain and Protect
9	9623	Non-Protected	On-Site	<i>Platanus hispanica</i>	London Plane	10	Retain and Protect

SITE CALCULATIONS (PERFORMANCE APPROACH)

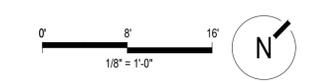
840 LAURA COURT	SF	% OF LOT AREA
EXISTING		
TOTAL LOT SF	7,483	100%
TOTAL PERMEABLE AREA	4,099	55%
PROPOSED LOT LANDSCAPE AREA (% OF TOTAL AREA)	3,038	41%
SHRUB AND GROUND COVER AREA (% OF TOTAL LANDSCAPE AREA)	2,589	85%
PROPOSED TURF AREA (% OF TOTAL LANDSCAPE AREA)	449	15%
AGGREGATE PATIO	750	
WALKABLE CONCRETE PADS WITH GAPS	311	
TOTAL IMPERMEABLE AREA	3,384	45%
RESIDENCE/GARAGE FOOTPRINT (% OF TOTAL AREA)	2,089	28%
LANAI	190	
FRONT PORCH	61	
TRASH PAD AND WALK WAYS	572	
DRIVEWAY (CONCRETE)	472	

NOTE: WATER SUPPLY IS DOMESTIC.

SEE SHEET L1.2 FOR CONSTRUCTION DETAILS

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

SIGNED _____ DATE 05/25/22



111 Scripps Drive
 Sacramento,
 California 95825
 916.945.8003 | 916.342.7119
 4409 CRA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

840 LAURA CT CAMPBELL, CA

BY **THOMAS JAMES HOMES**

KEYMAP:

LAYOUT PLAN, NOTES, AND LEGEND

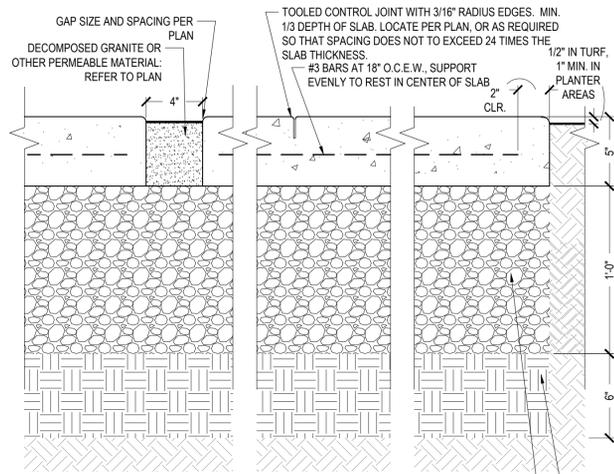
DRAWN BY: _____
 STAFF _____
 CHECKED BY: _____
 DWC _____
 JOB NO. _____
 20035 _____
 DATE _____
 MAY 25, 2022 _____
 REVISIONS: _____



L1.1

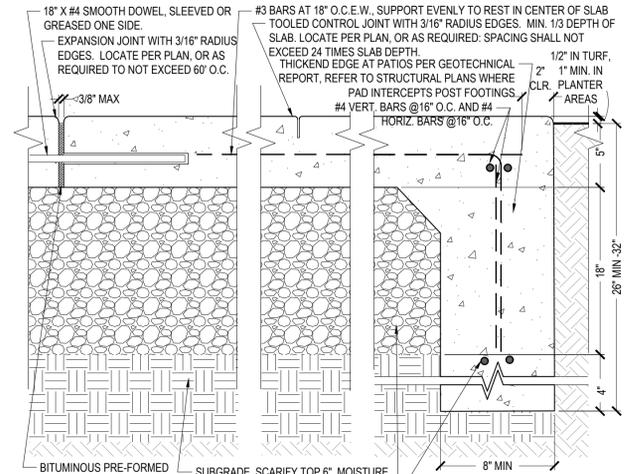
DRAWINGS IN SET: 5

DESIGN REVIEW - NOT FOR CONSTRUCTION



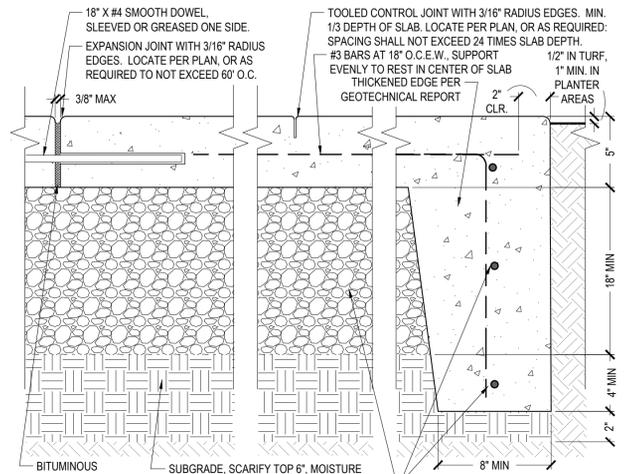
1 CONCRETE PAVERS
1" = 0'-6"

NOTES
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS.



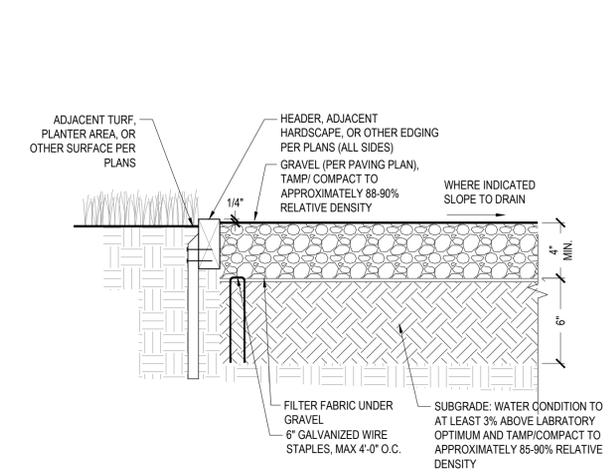
2 CONCRETE PAVING (PEDESTRIAN)
1" = 0'-6"

NOTES
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS.



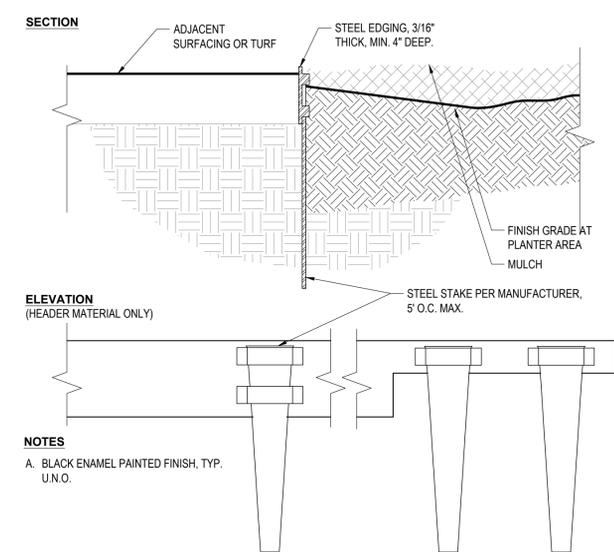
3 CONCRETE PAVING (VEHICULAR)
1" = 0'-6"

NOTES
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS.

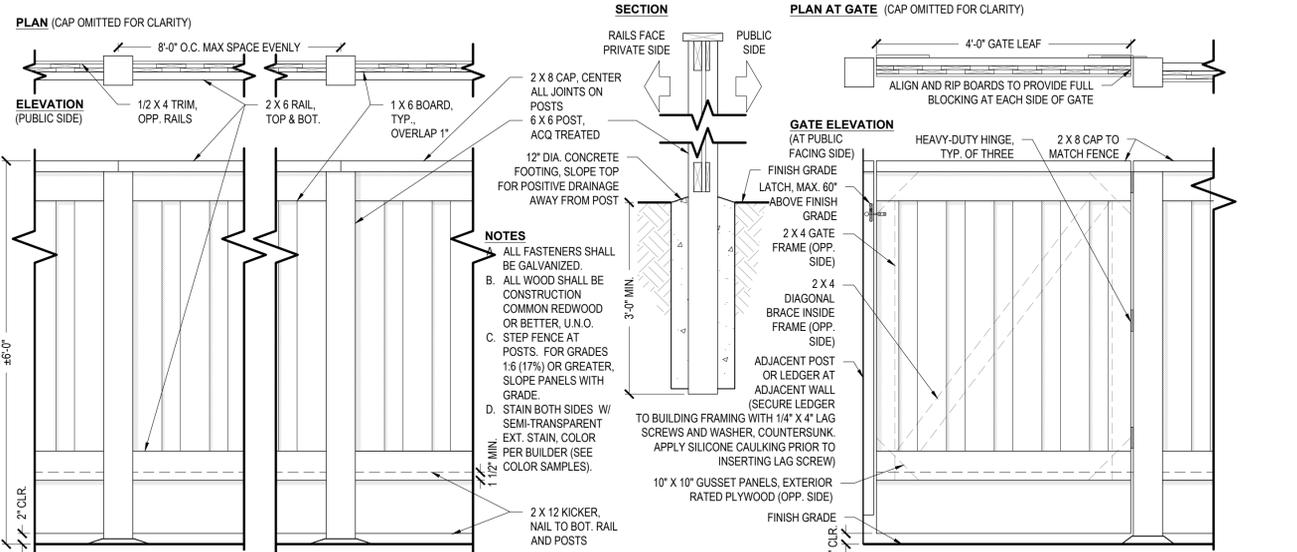


4 CRUSHED GRAVEL (PEDESTRIAN)
1" = 0'-6"

NOTE: WITHIN EXISTING TREE CANOPY, OR IN AREAS OF UNDISTURBED SUBGRADING, NO COMPACTION NEEDED.



5 STEEL HEADER
1" = 0'-6"



6 SIDEYARD FENCE WITH GATE
3/4" = 1'-0"

REPRESENTATIVE STAIN COLORS



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LANDSCAPE IMPROVEMENT PLANS FOR
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BY **THOMAS JAMES HOMES**

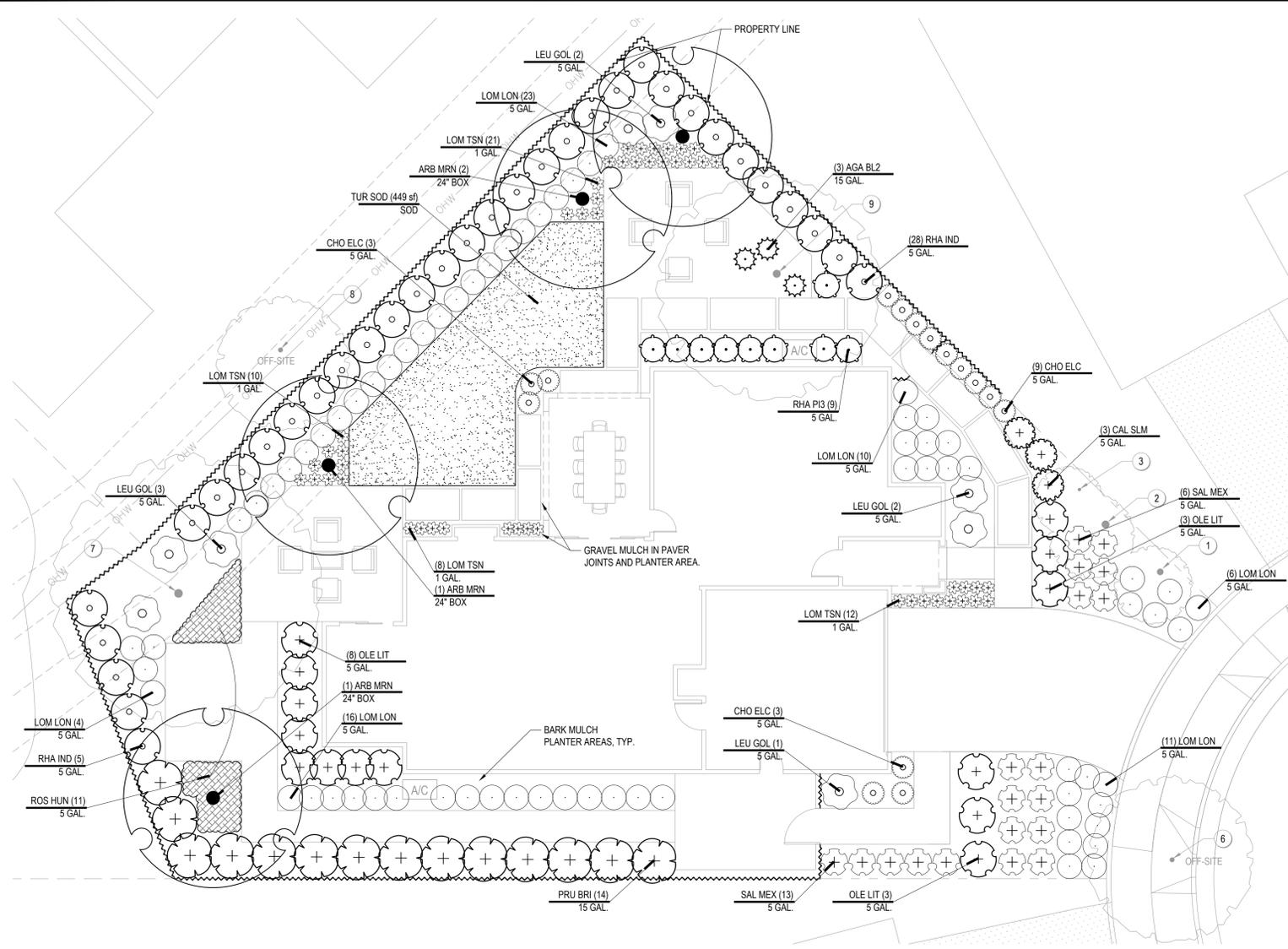
KEYMAP:

CONSTRUCTION DETAILS

DRAWN BY: _____
STAFF _____
CHECKED BY: _____
DWC _____
JOB NO. _____
20035 _____
DATE _____
MAY 25, 2022 _____
REVISIONS: _____



L1.2



PLANTING NOTES

- SITE ACCEPTANCE:** THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. ANY PREVIOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE OWNER'S OR LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- SITE PREPARATION:** ALL EXISTING VEGETATION SHALL BE REMOVED (CLEAR AND GRUB). PRIOR TO ROUGH GRADING OPERATIONS, PRESERVE ALL TOPSOIL BY STOCKPILING ON SITE. TOPSOIL SHALL BE REPLACED IN PLANTING AREAS TO ACHIEVE FINAL FINISH GRADES. FOR PLANTERS IN LIME-TREATED AREAS, REMOVE AND DISPOSE OF EXISTING SOIL TO A DEPTH OF 24" THROUGHOUT THE ENTIRE PLANTER, AND REPLACE WITH CLEAN TOPSOIL.
- POSITIVE DRAINAGE:** ENSURE POSITIVE DRAINAGE IN ALL LANDSCAPE AREAS, AND SHALL ADJUST ELEVATIONS AS REQUIRED. MINIMUM SLOPE IN TURF AREAS SHALL BE 0.5% TO OUTLET, MINIMUM SLOPE IN PLANTED AREAS SHALL BE 1.0%.
- EXPLANATION OF DRAWINGS:** PLANTING INTENT IS TO COMPLETELY FILL ALL PLANTING AREAS, UNLESS SPECIFICALLY NOTED OTHERWISE. QUANTITIES, (IF SHOWN) ARE FOR CONTRACTOR'S CONVENIENCE ONLY, AND SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL PLANTS TO MEET THIS INTENT. PLANTING DETAILS ARE CONSIDERED TYPICAL AND ALL WORK SHALL CONFORM TO THESE DETAILS.
- SUBSTITUTIONS:** IN THE EVENT ANY PLANT MATERIAL SPECIFIED IS NOT AVAILABLE, CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTION IMMEDIATELY TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DETERMINE THE SUITABILITY OF ANY PROPOSED SUBSTITUTION. SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING PIT DRAINAGE:** EXCAVATED PLANTING PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN 2 HOURS OF FILLING. IF PLANTING PITS DO NOT DRAIN, OTHER MEASURES, INCLUDING A 1" DIAMETER X 8" DEEP AUGURED HOLE BACKFILLED WITH CRUSHED DRAIN ROCK, WILL BE REQUIRED.
- PLANT MATERIAL:** ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 'STANDARD FOR NURSERY STOCK,' NOTES AND DETAILS ON THE DRAWINGS. UNLESS OTHERWISE NOTED MINIMUM PLANT SIZES SHALL BE AS FOLLOWS: EVERGREEN SHRUBS (EXCEPT DWARF VARIETIES): 9" H. X 8" W. FOR 1-GALLON (#1), 15" H. X 12" W. FOR 5-GALLON (#5), AND 30" H. X 24" W. FOR 15-GALLON (#15). SINGLE TRUNK TREES: 5" H. W. 1" CALIPER FOR 15-GALLON (#15), 8" H. W. 2" CALIPER FOR 24" BOX (#25). CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES 36" AND ABOVE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PURCHASE OR DELIVERY. APPROVAL OF PHOTOS DOES NOT PRECLUDE ON-SITE REJECTION OF UNSUITABLE PLANT MATERIAL.
- SITE CLEANLINESS:** THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN, FOR SOIL EROSION CONTROL MEASURES, AND FOR ANY OTHER GENERAL REQUIREMENTS. SHOULD EXISTING CONDITIONS REQUIRE MITIGATION, THE CONTRACTOR SHALL ALERT THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO PERFORMING WORK.
- UNDERGROUND UTILITIES:** THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES, TO THE SATISFACTORY OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- BARK MULCH:** A 3" LAYER OF 'WALK-ON' BARK MULCH SHALL BE INSTALLED IN ALL PLANTING BEDS. CONTRACTOR SHALL SUBMIT A MULCH SAMPLE PRIOR TO ORDER. APPLY PRE-EMERGENT PRIOR TO PLACING MULCH. IF MAINTENANCE PERIOD EXTENDS PAST 60 CALENDAR DAYS FROM APPLICATION, APPLY AGAIN PER MANUFACTURER'S INSTRUCTIONS.
- SOIL FERTILITY ANALYSIS AND AMENDMENT:** THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL SAMPLE AND LABORATORY SOIL FERTILITY ANALYSIS FOR EACH 10,000 SF OF PLANTED AREA, AND FOR ALL SOURCES OF IMPORT (IF APPLICABLE). SUBMIT ANALYSIS TO LANDSCAPE ARCHITECT FOR REVIEW, AND DOCUMENTATION OF AMENDMENT FOR COMPLIANCE WITH WATER EFFICIENT LANDSCAPE ORDINANCE. ALL PLANTING AREAS, INCLUDING PLANTING PITS, SHALL BE AMENDED PER THE SOILS REPORT, AND PER LOCAL ORDINANCE, INCLUDING INCORPORATING COMPOST AT THE RATE OF A MINIMUM OF 4 CU YD PER 1,000 SF OF LANDSCAPE AREA TO A DEPTH OF SIX INCHES. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP SIX INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING. BACKFILL FOR ALL SUCCULENTS SHALL BE 50% CLEAN WASHED SAND.
- CERTIFICATE OF COMPLETION:** A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT AT THE COMPLETION OF THE PROJECT AND SUBMITTED WITH THE SOIL ANALYSIS REPORT TO THE AUTHORITY HAVING JURISDICTION.
- MAINTENANCE PERIOD:** SHALL BE A MINIMUM OF 60 CALENDAR DAYS. ANY PLANT THAT HAS BEEN REPLACED DURING THE MAINTENANCE PERIOD SHALL BE SUBJECT TO AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT. ANY DAY OF IMPROPER MAINTENANCE, AS DETERMINED BY THE LANDSCAPE ARCHITECT OR LOCAL JURISDICTION, SHALL NOT COUNT TOWARD THE MAINTENANCE PERIOD.
- ROOT CONTROL BARRIERS:** WHERE STREET TREES ARE WITHIN 3 FEET OF THE SIDEWALK OR CURB, PROVIDE A ROOT CONTROL BARRIER PANEL ALONG THE FACE OF SIDEWALK/CURB. PANELS SHALL BE 12" DEEP ALONG SIDEWALKS, AND 18" DEEP ALONG CURBS. CENTER PANELS AT EACH TREE AND EXTEND 10' IN EACH DIRECTION.
- UTILITY CLEARANCE:** NO TREES SHALL BE PLANTED WITHIN 5' OF WATER AND SANITARY SEWER LINES. NO TREES SHALL BE PLANTED UNDER EXISTING OR FUTURE OVERHEAD POWERLINES, AND ALL REQUIRED CLEARANCES SHALL BE MAINTAINED. ALL PLANTING EXCEPT LOW-GROWING GROUND COVER SHALL BE 3' CLEAR OF ALL FIRE APPURTENANCES PER NFPA 18.5.7
- WORK IN RIGHT-OF-WAY:** ALL WORK WITHIN THE RIGHT OF WAY OR TO BE MAINTAINED BY THE LOCAL AGENCY SHALL BE INSTALLED PER THE LATEST EDITION OF THE AGENCY CONSTRUCTION STANDARDS, AND ALL OTHER AGENCY REQUIREMENTS.
- TURF INSTALLATION:** CONTRACTOR SHALL PLACE AND ESTABLISH SOD IN ALL AREAS AS DELINEATED ON THE PLANS AS FOLLOWS.
 - REMOVE ALL ROCKS AND OTHER DELETERIOUS MATERIAL GREATER THAN 3/4" IN DIAMETER. ESTABLISH SMOOTH GRADES, WITH NO PONDING. ENSURE ADEQUATE SOIL COMPACTION TO AVOID SETTLEMENT, WITHOUT EXCEEDING 85% RELATIVE DENSITY. SUBSEQUENT SETTLEMENT SHALL BE CLEAR EVIDENCE OF INADEQUATE COMPACTION.
 - WITHIN 24 TO 48 HOUR OF SODDING, MOISTEN AREA TO BE SODDED TO A DEPTH OF AT LEAST 6", AND MAINTAIN MOISTURE UNTIL SODDING. DO NOT ALLOW SOIL TO BE COME SATURATED.
 - APPLY A STARTER FERTILIZER PRIOR TO LAYING SOD.
 - INSTALL SOD WITHIN 12 HOURS OF DELIVERY. DO NOT ALLOW SOD TO SIT IN DIRECT SUNLIGHT OR TO DRY OUT.
 - STARTING AT A STRAIGHT EDGE, LAY SOD IN STAGGERED ROWS, OFFSETTING JOINTS A MINIMUM OF 2 FEET.
 - AFTER LAYING, ROLL SOD WITH A LIGHT-WEIGHT WATER-DRUM ROLLER (APPROXIMATELY 50 LBS), AND ENSURE FULL CONTACT WITH SOIL. WATER AS SOON AS POSSIBLE, AND IN ALL CASES, WITHIN 1 HOUR AFTER LAYING.

PLANTING LEGEND

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY	
ARB MRN	ARB MRN	ARBUS X 'MARINA' / MARINA STRAWBERRY TREE STANDARD WUCOLS (L), 40" (H), MINIMUM PLANTING HEIGHT 8', MAX SPACING 15'	24" BOX	4	
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY	
AGA BL2	AGA BL2	AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE WUCOLS (L), (H) 2' X (W) 3'	15 GAL.	3	
CAL SLM	CAL SLM	CALLISTEMON VIMINALIS 'CV01' TM / SLIM WEEPING BOTTLEBRUSH WUCOLS (L), (H) 8-10' X (W) 3-4'	5 GAL.	3	
CHO ELC	CHO ELC	CHONDROPETALUM TECTORUM 'EL CAMPO' / EL CAMPO SMALL CAPE RUSH WUCOLS (L), (HW) 2-3'	5 GAL.	15	
LEU GOL	LEU GOL	LEUCADENDRON X 'SAFARI GOLD STRIKE' / YELLOW CONEBUSH WUCOLS (UNK)	5 GAL.	8	
LOM TSN	LOM TSN	LOMANDRA CONFERTIFOLIA 'FINESCAPE' / FINESCAPE SMALL MAT RUSH WUCOLS (L), (HW) 1.5'	1 GAL.	49	
LOM LON	LOM LON	LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH WUCOLS (L), (HW) 3'	5 GAL.	70	
OLE LIT	OLE LIT	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE WUCOLS (L), (H) 4' X (W) 6'	5 GAL.	14	
PRU BRI	PRU BRI	PRUNUS CAROLINIANA 'BRIGHT 'N TIGHT' TM / BRIGHT 'N TIGHT CAROLINA LAUREL WUCOLS (L)	15 GAL.	14	
RHA IND	RHA IND	RHAPHOLEPIS INDICA / INDIAN HAWTHORN WUCOLS (L)	5 GAL.	33	
RHA PI3	RHA PI3	RHAPHOLEPIS UMBELLATA 'PINKIE' / PINK INDIAN HAWHORNE WUCOLS (L), (H) 2-3' X (W) 3-4'	5 GAL.	9	
SAL MEX	SAL MEX	SALVIA CHAMAEDRYOIDES / MEXICAN BLUE SAGE WUCOLS (L), N/E EXPOSURES	5 GAL.	19	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
ROS HUN	ROS HUN	ROSMARINUS OFF. 'HUNTINGTON CARPET' / PROSTRATE ROSEMARY WUCOLS (L), (H) 1-2' X (W) 4-8'	5 GAL.	36" o.c.	11
TUR SOD	TUR SOD	TURF / 90% DWARF FESCUE / 10% KENTUCKY BLUE. WUCOLS (H)	SOD		449 SF

WATER USE CALCULATIONS

Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use
Regular Landscape Areas							
Shrub and groundcover, front (Low)	0.3	DripLine	0.81	0.37	778	288	8,197
Shrub and groundcover, rear (Low)	0.3	DripLine	0.81	0.37	1,811	671	19,082
Turf, rear (High)	0.9	MultiStrm	0.75	1.20	449	539	15,328
Totals					3,038	1,498	

Nearest Data Location	Campbell	Estimated Total Water Use (ETWU)	42,607
Reference Eto	45.3	Maximum Allowed Water Allowance (MAWA)	46,929
Reference ETAF	0.55		

ETAF Calculations/Regular Landscape	
Total ETAF x Area	959
Total Area (sf)	3,038
Average ETAF	0.32

ETAF Calculations/All Landscape	
Total ETAF x Area	1,498
Total Area (sf)	3,038
Average ETAF	0.49

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.

¹ETWU= Eto x 0.62 x ETAF x Area
²MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
 *ETWU must be less than or equal to MAWA



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LANDSCAPE IMPROVEMENT PLANS FOR

840 LAURA CT CAMPBELL, CA

BY **THOMAS JAMES HOMES**

KEYMAP:

PLANTING PLAN, NOTES, AND LEGEND

DRAWN BY:
 STAFF
 CHECKED BY:
 DWK
 JOB NO.
 20035
 DATE
 MAY 25, 2022

REVISIONS:



I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

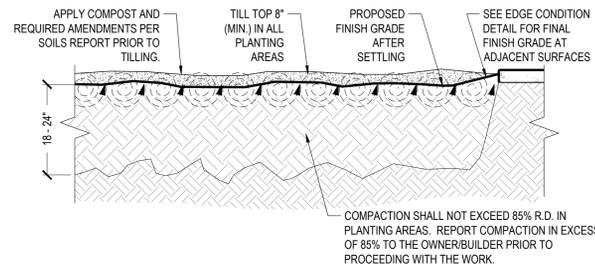
SIGNED _____ DATE 05/25/22



SEE SHEET L2.2 FOR PLANTING DETAILS AND L2.3 FOR TREE PROTECTION PLAN

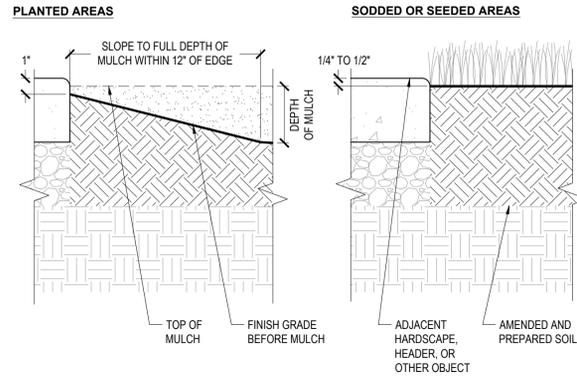
L2.1

DESIGN REVIEW - NOT FOR CONSTRUCTION



1 | PLANTING AREA SOIL PREPARATION

NO SCALE SECTION

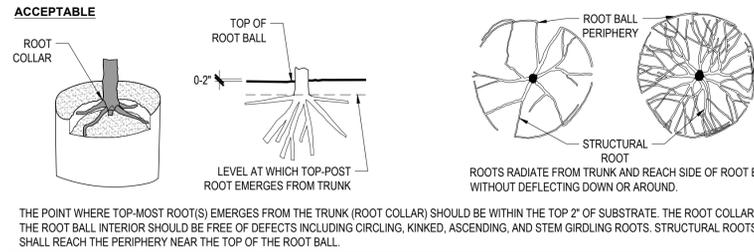


NOTES

A. PROVIDE POSITIVE DRAINAGE TO OUTLET IN ALL PLANTED AREAS. DO NOT ALLOW SURFACE DRAINAGE ONTO WALKWAYS, DRIVEWAYS, OR OTHER HARDSCAPE, OR SURFACE DRAINAGE TOWARD OR AGAINST STRUCTURES.

2 | PLANTED AREA EDGE CONDITION AT HARDSCAPE

NO SCALE SECTION



NOTES

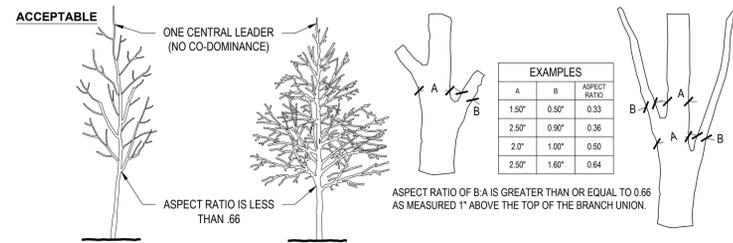
A. OBSERVATIONS OF ROOTS SHALL OCCUR PRIOR TO ACCEPTANCE. ROOTS AND SUBSTRATE MAY BE REMOVED DURING THE OBSERVATION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER OBSERVATION HAS BEEN COMPLETED.

B. SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY MAY BE REMOVED AT THE TIME OF PLANTING.

C. SEE SPECIFICATIONS FOR OBSERVATION PROCESS AND REQUIREMENTS.

3 | ROOT STRUCTURE: CONTAINERIZED PLANTS

NO SCALE AS NOTED



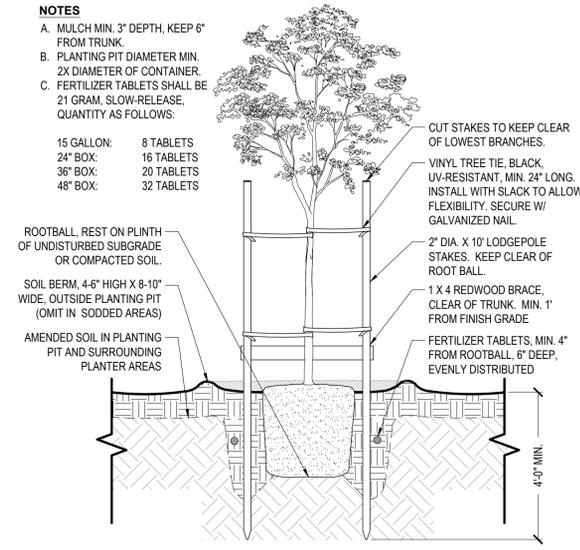
NOTES

A. ASPECT RATIO SHALL BE LESS THAN 0.66 ON ALL BRANCH UNIONS. ASPECT RATIO IS THE DIAMETER OF BRANCH (B) DIVIDED BY THE DIAMETER OF THE TRUNK (A) AS MEASURED 1" ABOVE THE TOP OF THE BRANCH UNION.

B. ANY TREE NOT MEETING THESE REQUIREMENTS MAY BE REJECTED, EXCEPTING THOSE NOTED AS "MULTI-TRUNKED"

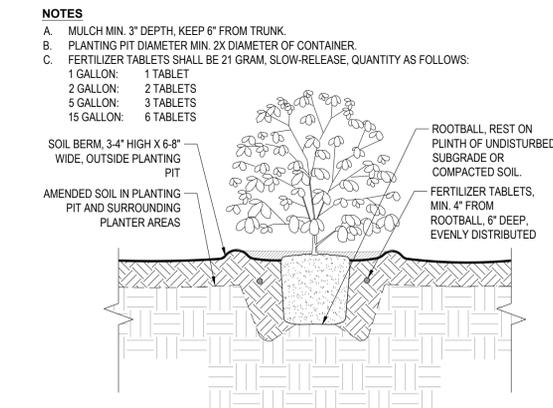
4 | TREE BRANCHING STRUCTURE

NO SCALE AS NOTED



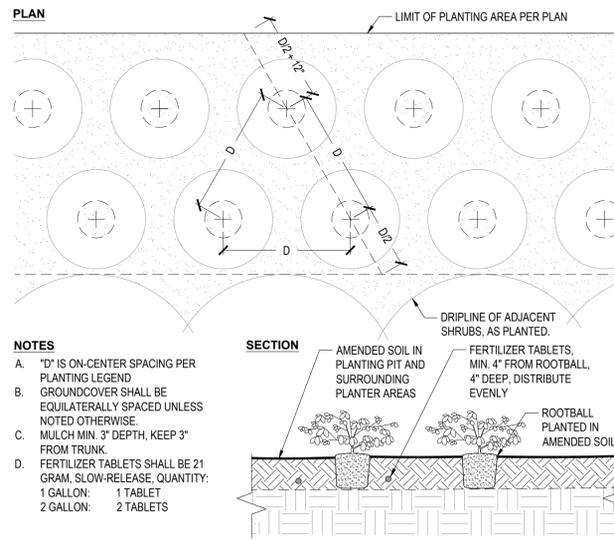
5 | TREE PLANTING: STANDARD UP TO 36" BOX

NO SCALE SECTION



6 | SHRUB PLANTING

NO SCALE SECTION



7 | GROUND COVER PLANTING

NO SCALE SECTION

SOIL FERTILITY ANALYSIS: NOTE: SEE PLANTING NOTE #11.

CERTIFICATE OF COMPLETION: NOTE: SEE PLANTING NOTE #12.



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRLA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

840 LAURA CT CAMPBELL, CA

BY
THOMAS JAMES HOMES

KEYMAP:

PLANTING DETAILS

DRAWN BY:

STAFF

CHECKED BY:

DWC

JOB NO.

20035

DATE

MAY 25, 2022

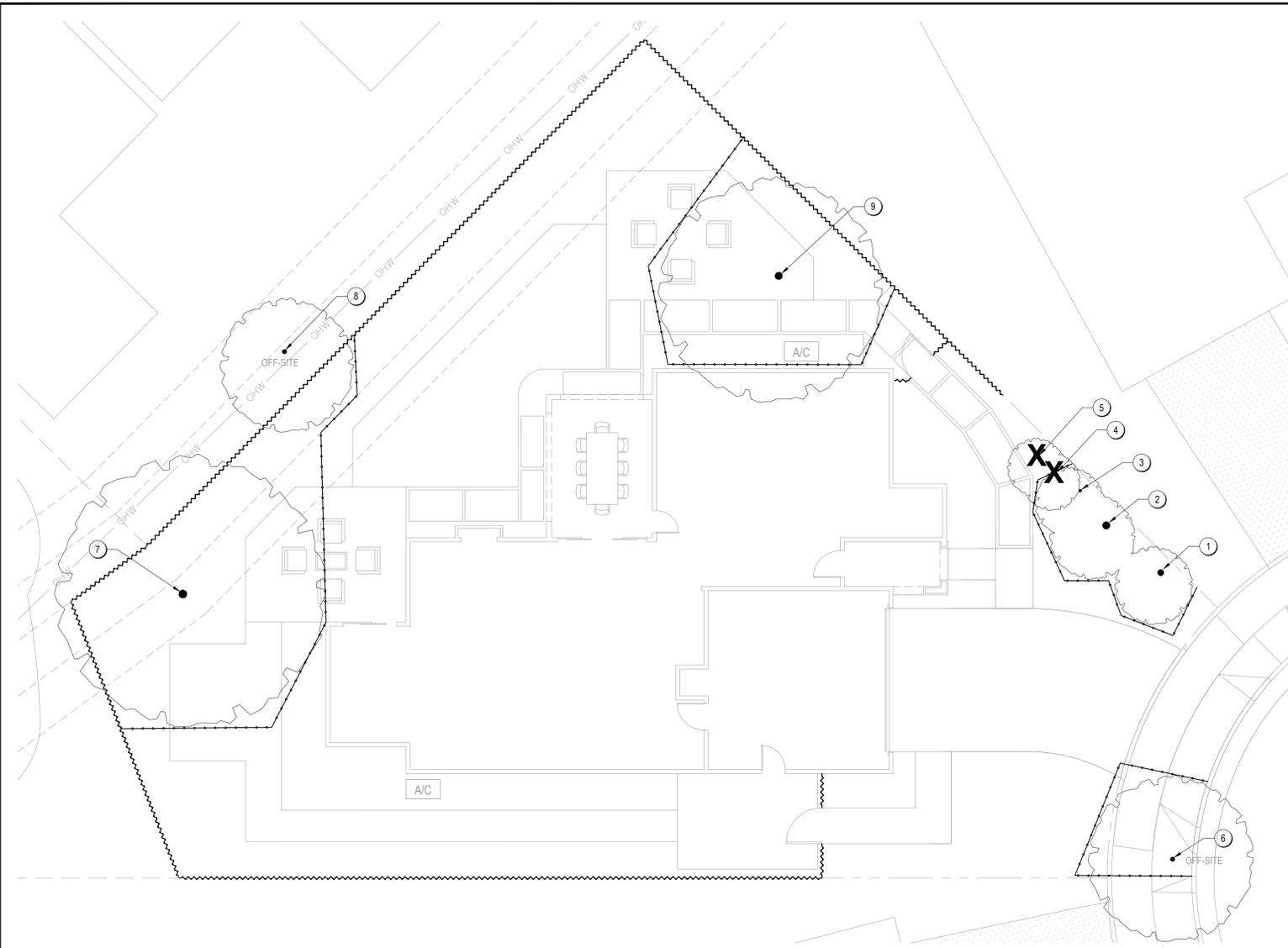
REVISIONS:



L2.2

DRAWINGS IN SET:

5



TREE PROTECTION CHART

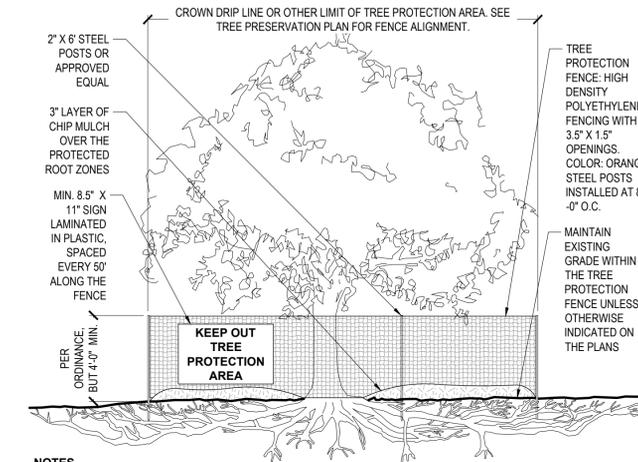
KEYNOTE	TAG#	STATUS	LOCATION	SCIENTIFIC NAME	COMMON NAME	DBH (in)	ACTION
1	9615	Non-Protected	On-Site	<i>Pittosporum sp.</i>	Pittosporum	8	Retain and Protect
2	9616	Non-Protected	On-Site	<i>Pittosporum sp.</i>	Pittosporum	10	Retain and Protect
3	9617	Non-Protected	On-Site	<i>Pittosporum sp.</i>	Pittosporum	4	Retain and Protect
4	9618	Non-Protected	On-Site	<i>Pittosporum sp.</i>	Pittosporum	6	Remove
5	9619	Non-Protected	On-Site	<i>Pittosporum sp.</i>	Pittosporum	8	Remove
6	9620	Protected	Off-Site	<i>Lagerstroemia indica</i>	Crape Myrtle	6	Retain and Protect
7	9621	Non-Protected	On-Site	<i>Platanus hispanica</i>	London Plane	11	Retain and Protect
8	9622	Non-Protected	Off-Site	<i>Acer palmatum</i>	Japanese Maple	6	Retain and Protect
9	9623	Non-Protected	On-Site	<i>Platanus hispanica</i>	London Plane	10	Retain and Protect

NOTES:

- REFER TO THE ARBORIST REPORT "TREE INVENTORY, CONSTRUCTION IMPACT ASSESSMENT AND TREE PROTECTION PLAN 840 LAURA COURT, CITY OF CAMPBELL, CALIFORNIA" PREPARED BY CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC. DATED SEPTEMBER 30, 2021 FOR FULL DETAILS.
- TREES AND SHRUBS NOT IDENTIFIED WITHIN THE REPORT, BUT AS PART OF THE TOPOGRAPHICAL SURVEY, ARE INCLUDED FOR REFERENCE ONLY.
- PROTECT ALL EXISTING ITEMS NOTED TO REMAIN OR OTHERWISE UN-LABELED.
- EXISTING TREES TO REMAIN UNLESS NOTED OTHERWISE. DO NOT STOCKPILE, DRIVE OVER, OR OTHERWISE DISTURB SOIL UNDER DRIP LINES OF EXISTING TREES, EXCEPT AS REQUIRED FOR PLANTING OPERATIONS.
- USE HAND TOOLS ONLY FOR SOIL CULTIVATION UNDER DRIP LINES OF EXISTING TREES TO REMAIN.
- TREES NOTED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING STUMP AND ROOT MASS. REFER TO ARBORIST REPORT FOR INSTRUCTIONS ON REMOVING TREE STUMPS WITHIN PROTECTED TREE ROOT ZONES.
- NO ROOTS OVER 2" IN DIAMETER SHALL BE CUT EXCEPT UNDER THE DIRECTION OF AN ARBORIST. ALL CUT ROOTS SHALL BE COVERED WITH BURLAP OR STRAW AND SHALL REMAIN MOIST UNTIL RE-BURIED IN SOIL.
- CALL COMMON GROUND ALLIANCE (811) AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE TO PROTECT FOR ALL EXISTING UTILITIES. SEE GENERAL NOTES, SHEET L1.1, FOR MORE INFORMATION.

LEGEND

- EXISTING TREE CANOPY, TYPICAL
- TREES TO REMOVE, TYPICAL
- TREE PROTECTION FENCING; REFER TO ARBORIST REPORT



NOTES

- SEE ARBORIST REPORT FOR ADDITIONAL PROTECTION REQUIREMENTS. COMPLY WITH ALL TREE PROTECTION REQUIREMENTS PER JURISDICTION.
- IRRIGATE AS NEEDED TO MAINTAIN HEALTH OF TREE.
- KEEP EXPOSED ROOTS MOIST.
- NO PRUNING SHALL BE PERFORMED EXCEPT UNDER THE DIRECTION OF APPROVED ARBORIST.
- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
- NO MATERIALS SHALL BE STORED INSIDE FENCE.

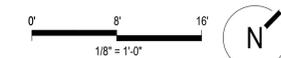
1 TREE PROTECTION FENCING

NO SCALE

SECTION

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE. I HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

05/25/22
DATE



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRLA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

840 LAURA CT CAMPBELL, CA

BY
THOMAS JAMES HOMES

KEYMAP:

TREE PROTECTION PLAN AND NOTES

DRAWN BY:

STAFF

CHECKED BY:

DWC

JOB NO.

20035

DATE

MAY 25, 2022

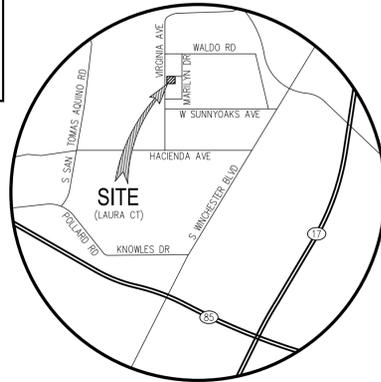
REVISIONS:



L2.3

DRAWINGS IN SET:

DESIGN REVIEW - NOT FOR CONSTRUCTION



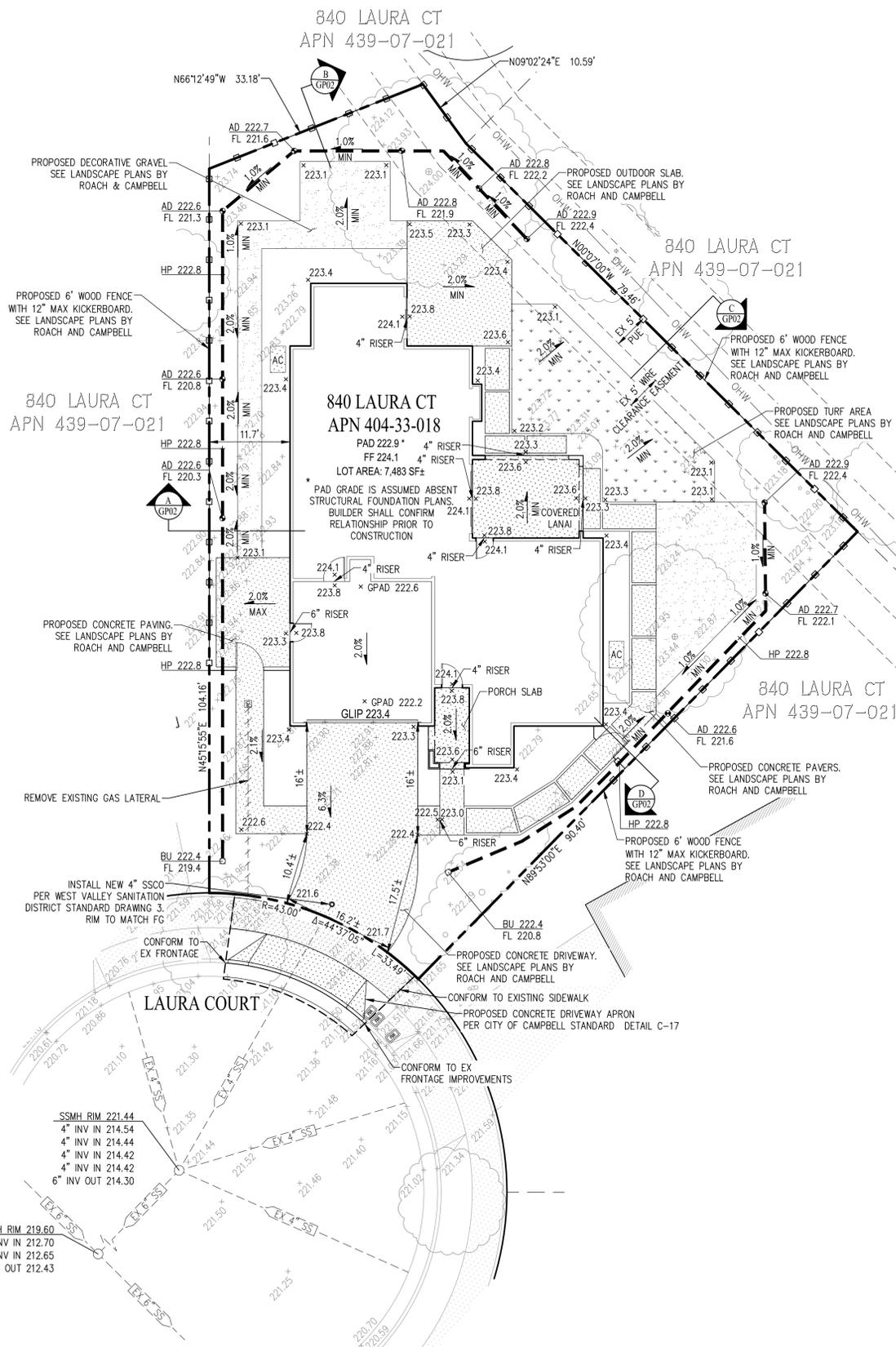
VICINITY MAP
NOT TO SCALE

GENERAL NOTES

- SITE ADDRESS: 840 LAURA COURT CAMPBELL, CA 95008
- OWNER: THOMAS JAMES HOMES 255 SHORELINE DRIVE, SUITE 428 REDWOOD CITY, CA 94065 (650) 434-7966 KEN KING
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC. 2633 CAMINO RAMON, SUITE 350 SAN RAMON, CA 94583 (925) 866-0322 JUSTIN R. DEKNOBLOUGH, R.C.E. 79604
- SOILS ENGINEER: MID PACIFIC ENGINEERING, INC. 840 EMBARCADERO DR, SUITE 20 WEST SACRAMENTO, CA 95605 (916) 927-7000 TROY W. KAMISKY, R.P.E. 68350
- ARCHITECT: BASSENIAN LAGONI 2031 ORCHARD DRIVE, SUITE 100 NEWPORT BEACH, CA 92660 (949) 533-9100 SOPHIA BRAVERMAN
- LANDSCAPE ARCHITECT: ROACH & CAMPBELL 111 SCRIPPS DRIVE SACRAMENTO, CA 95825 (916) 501-4646 AIMEE HENDRIE
- THIS PLAN IS PRELIMINARY AND FOR DESIGN REVIEW PURPOSE ONLY. THE INFORMATION INCLUDING BUT NOT LIMITED TO GRADING, DRAINAGE AND UTILITIES, IS SUBJECT TO CHANGE DURING DESIGN REVIEW PROCESS. THE PLAN WAS PREPARED WITH OUT THE BENEFIT OF STRUCTURAL OR MEP PLANS.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES, AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT, AND LABOR PERSONNEL.
- THE CONTRACTOR SHALL CONTACT CARLSON, BARBEE AND GIBSON, INC. AT (925) 866-0322 IF DISCREPANCIES EXIST ON THESE PLANS OR IF THE WORK TO BE DONE, OR ANY MATTER RELATED THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS.
- THE GEOTECHNICAL REPORT, NAMED GEOTECHNICAL ENGINEERING REPORT (MPE NO. 05331-01) SEPTEMBER 16, 2021, SHALL BE RETAINED ON THE CONSTRUCTION SITE.
- GRADING/EXCAVATIONS SHALL BE DONE PER MID PACIFIC ENGINEERING SOILS REPORT, MPE NO.05331-01 DATED SEPTEMBER 16, 2021.
- CONTRACTOR SHALL FOLLOW ALL PROJECT ARBORIST RECOMMENDATIONS FOR GRADING WITHIN TREE PROTECTION AREAS.
- ROOF DOWNSPOUTS SHALL BE CONNECTED TO THE ON-SITE UNDERDRAIN SYSTEM. AT THE TIME OF THIS PLAN'S PRODUCTION, A ROOF PLAN WITH DOWNSPOUT LOCATIONS WAS NOT AVAILABLE.

UTILITY NOTES

- THE EXISTING WATER SERVICE LATERAL IS UNKNOWN. SIZE AND LOCATION OF THE EXISTING WATER SERVICE AND METER TO REMAIN. WATER PROVIDER TO DETERMINE IF NEW 1" SERVICE LATERAL IS SUITABLE FOR PROJECT FLOWS. THE DOMESTIC WATER SERVICE FROM THE BACK OF THE METER TO THE HOUSE CONNECTIONS IS SHOWN FOR REFERENCE ONLY. THE DOMESTIC WATER SERVICE LINE SHALL BE CONSTRUCTED PER PLUMBING PLANS BY GOUVIS ENGINEERING UNDER SEPARATE PERMIT.
- THE EXISTING SANITARY SEWER LATERAL IS TO REMAIN. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND DEPTH PRIOR TO ANY WORK AFFECTING THE EXISTING LATERAL. A NEW PROPERTY LINE CLEANOUT SHALL BE INSTALLED PER CITY OF CAMPBELL SPECIFICATIONS SECTION.
- THE EXISTING GAS SERVICE LATERAL WILL BE ABANDONED. THE LOCATION OF THE EXISTING GAS MAIN IS KNOWN AND SHALL BE CONFIRMED PRIOR TO CONSTRUCTION.
- THIS PLAN DOES NOT COVER THE DESIGN OR INSTALLATION OF ANY DRY UTILITIES.
- THE LOCATIONS OF THE UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY WORK AFFECTING EXISTING UTILITY LINES TO DETERMINE IF CONFLICTS EXIST.



LEGEND & ABBREVIATIONS

- PROPERTY BOUNDARY
- - - ADJOINER PROPERTY
- CENTERLINE
- PROPOSED BUILDING
- PROPOSED FENCE TO REPLACE EXISTING FENCE (SEE LANDSCAPE PLANS BY ROACH & CAMPBELL)
- EXISTING OVERHEAD ELECTRICAL WIRE
- AREA DRAIN PIPE
- PROPOSED CONCRETE FLATWORK (SEE LANDSCAPE PLANS BY ROACH & CAMPBELL)
- DECOMPOSED GRANITE (SEE LANDSCAPE PLANS BY ROACH & CAMPBELL)
- TURF (SEE LANDSCAPE PLANS BY ROACH & CAMPBELL)
- PROPOSED AREA DRAIN
- PROPOSED TREE (SEE LANDSCAPE PLANS BY ROACH & CAMPBELL)
- PROPOSED BUBBLE UP
- EXISTING WATER METER
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- EXISTING TREE
- EXISTING STRUCTURE ON ADJOINER LOT
- PROPOSED SANITARY SEWER LATERAL
- EXISTING UTILITY AS NOTED
- AC AIR CONDITIONING
- AD AREA DRAIN
- BU BUBBLE UP
- EX EXISTING
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- FL FLOWLINE
- GLIP GARAGE LIP
- GPAD GARAGE PAD
- HP HIGH POINT
- INV INVERT
- LAT LATERAL
- MIN MINIMUM
- OHW OVERHEAD WIRE
- PUE PUBLIC UTILITIES EASEMENT
- SD STORM DRAIN
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- W WATER
- WS WATER SERVICE

IMPERVIOUS AREA SUMMARY

PRE-PROJECT	3,218± SF
POST-PROJECT	3,983± SF
NET CHANGE	765± SF
TOTAL SITE AREA	7,483± SF

NOTES:

- IT IS ASSUMED THE TOTAL SITE AREA WILL BE DISTURBED DURING DEMOLITION, GRADING AND CONSTRUCTION.

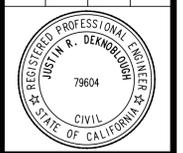
ROUGH EARTHWORK SUMMARY

CUT	21± CY
FILL	21± CY
NET	0± CY



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: APR 2022
 DRAWN BY: SLC
 PROJECT: REN
 PROJ. MGR: JRD



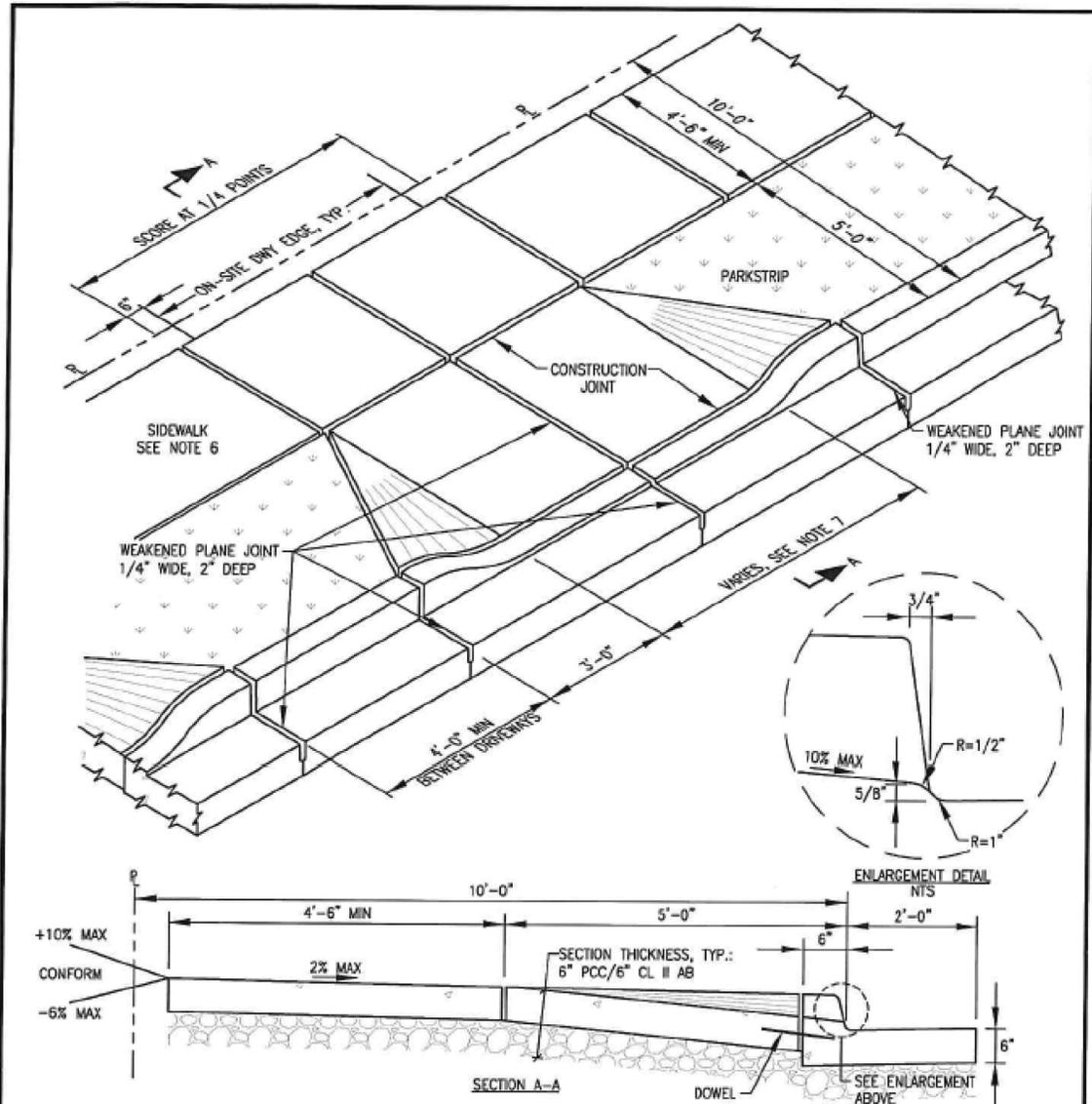
SAN RAMON • (925) 866-0322
 ROSEVILLE • (916) 788-4456
 WWW.CBANDG.COM



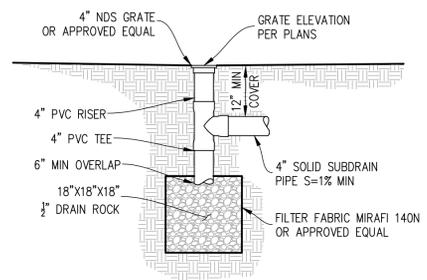
840 LAURA COURT
 THOMAS JAMES HOMES
 CALIFORNIA

GRADING & DRAINAGE PLAN
 CIVIL ENGINEERS • SURVEYORS • PLANNERS

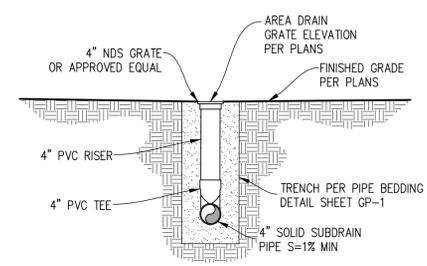
SHEET NUMBER
GP-1
 OF 3
 JOB NUMBER
3085-00



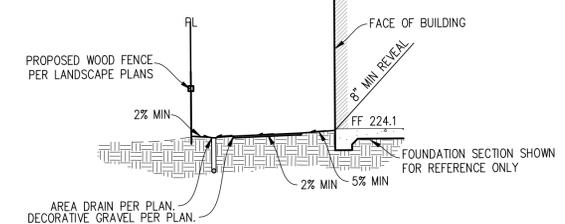
- NOTES:**
- PCC SHALL BE CLASS A (CONCRETE SHALL CONTAIN APPROX. 564 LBS OF PORTLAND CONCRETE PER CY AND HAVE A 28-DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 3000 PSI).
 - WHEN THE DRIVEWAY IS NOT POURED AT THE SAME TIME AS THE CURB AND GUTTER, 12" OF #4 REBAR AT 4" INTERVALS SHALL BE INSTALLED AS SHOWN (REBAR TO BE BENT DOWN AND COVERED UNTIL USED).
 - SCORE MARKS SHALL NOT EXCEED 4'-0" O.C.; USE MECHANICAL SEPARATOR AT EVERY OTHER SCORE MARK.
 - DRIVEWAY APPROACHES (EXCEPT SINGLE FAMILY) SHALL HAVE A 6"x6"x10/10 WELDED WIRE FABRIC 3" ABOVE BOTTOM OF CONCRETE.
 - DOWEL ALL NEW CONCRETE IMPROVEMENTS TO EXISTING CONCRETE IMPROVEMENTS WITH #4 REBAR AT 12" INTERVALS AND 6" EMBEDMENT.
 - AT LOCATIONS WHERE NEW SIDEWALK ENDS AND MEETS AN EXISTING SIDEWALK, THE NEW SIDEWALK SHALL TRANSITION TO MEET THE EXISTING SIDEWALK AS DETERMINED BY THE ENGINEER.
 - FOR SINGLE-FAMILY RESIDENTIAL DRIVEWAY, WIDTH SHALL BE 12'-0" MIN TO 25'-0" MAX WIDTH. FOR MULTI-FAMILY RESIDENTIAL DRIVEWAY, WIDTH SHALL BE 25'-0" MIN TO 40'-0" MAX.
 - ALL CONCRETE SURFACES SHALL BE TROWELED WITH A LIGHT BROOM FINISH.
 - COMPACT SUBGRADE TO 95% RELATIVE COMPACTION.



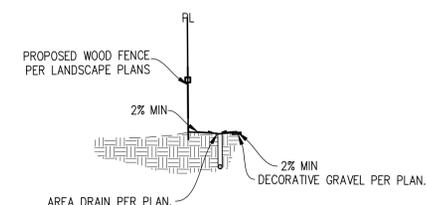
① BUBBLE UP DRAIN DETAIL
NOT TO SCALE



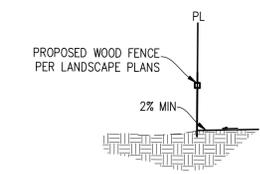
② AREA DRAIN DETAIL
NOT TO SCALE



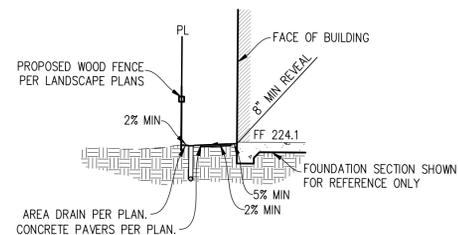
③ TYPICAL LEFT SIDE YARD
SCALE: 1"=10'



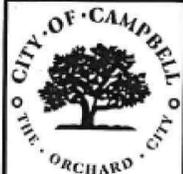
④ TYPICAL BACK LEFT SIDE YARD
SCALE: 1"=10'



⑤ TYPICAL BACK RIGHT SIDE YARD
SCALE: 1"=10'



⑥ TYPICAL RIGHT SIDE YARD
SCALE: 1"=10'



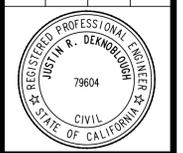
CITY OF CAMPBELL
PUBLIC WORKS DEPARTMENT
APPROVED BY: *AD*
AMY OLAY, P.E.
CITY ENGINEER
DATE: 3/14/22

RESIDENTIAL DRIVEWAY
(DETACHED SIDEWALK B)
J:/DETAILS/CAD/C17 NTS

DETAIL NO.
C-17

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: APR 2022
DRAWN BY: SLC
PROJECT: REN
PROJ. MGR: JRD



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ROSEVILLE • (916) 768-4456
WWW.CBANDG.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS



840 LAURA COURT
CALIFORNIA

THOMAS JAMES HOMES
CITY OF CAMPBELL

SHEET NUMBER
GP-2
OF 3

JOB NUMBER
3085-00



CLEAN BAY BLUEPRINT
Stormwater Pollution Prevention

Stormwater pollution is a major source of water pollution in California. It can cause declines in fisheries, disrupt habitats, and limit water recreation activities. Even more importantly, stormwater pollution poses a serious threat to the overall health of the ecosystem.

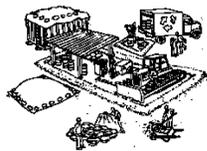
Common sources of pollutants from construction sites include sediments from soil erosion, construction materials, stockpiles and waste (e.g., paint, solvents, concrete, drywall), and spilled oil, fuel, and other fluids from construction vehicles and heavy equipment.

In San Jose, the storm drain system consists of gutters, storm drains, underground pipes, open channels, culverts and creeks. Storm drain systems are designed to drain directly to the Bay with no treatment.

San Jose and the other municipalities in the Bay Area are required by the Federal Clean Water Act to develop stormwater management programs that include requirements for construction activities. Your construction project will need to comply with local municipal requirements. If your construction activity will disturb one acre or more, you must also obtain insurance coverage under the General Construction Activity Permit issued by the State Water Resources Control Board.

This Clean Bay Blueprint is an introductory guide to stormwater quality control on construction sites. It contains several principles and techniques that you can use to help prevent stormwater pollution. The Bay Area Stormwater Management Agencies Association (BASMAA) and the City of San Jose have developed these guidelines as a resource for all general contractors, home builders, and subcontractors working on construction sites.

Employees should be trained and subcontractors informed about the stormwater requirements and their own responsibilities. The property owner and the contractor are responsible for all activities at your site, including activities by your subcontractors and employees.



Useful Phone Numbers

Spill Response Agencies	
Dial 911 for Hazardous Materials Spills	
Santa Clara Valley Water District Environmental Compliance Division	(408) 265-2600
Department of Fish & Wildlife Office of Spill Prevention and Response	(800) 852-7550 (24 hours)
City of San Jose Environmental Services Department Environmental Enforcement Division	(408) 945-3000
Local Recyclers and Disposal Services	
Santa Clara Countywide Recycling Hotline Integrated Waste Management Division	(1800) 533-8414
Local Pollution Control Agencies	
Santa Clara County Department of Environmental Health San Jose Valley Water District	(408) 918-3400 (408) 265-2600
San Jose/Santa Clara Regional Wastewater Facility	(408) 945-5300
City of San Jose	
Departments of Public Works and Planning, Building and Code Enforcement Grading Permits and Inspections http://www.sanjoseca.gov	(408) 535-3555

For more information on stormwater requirements, call the State Water Resources Control Board's Stormwater Information Line at (916) 341-5537, or San Jose's Environmental Services Watershed Protection Division at (408) 945-3000.

Material Storage and Spill Clean Up

- ✓ Cover exposed piles of soil, construction materials and wastes with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- ✓ Build berms around storage areas to prevent contact with runoff.
- ✓ Store containers of paints, chemicals, solvents, and other hazardous materials in accordance with secondary containment regulations and under cover during rainy periods.
- ✓ Cover open dumpsters with plastic sheeting or a tarp during rainy weather. Secure the sheeting or tarp around the outside of the dumpster. If your dumpster has a cover, close it.
- ✓ If a dumpster is leaking, contain and collect leaking material. Return the dumpster to the leasing company for repair or exchange.

Report significant spills to the appropriate spill response agencies immediately.



Earth-Moving Activities and Erosion Control

- ✓ Avoid contaminating clean runoff from areas adjacent to your site by using berms and/or temporary or permanent drainage ditches to divert water flow around the site. Reduce stormwater runoff velocities by constructing temporary check dams and/or berms, where appropriate.
- ✓ Construct diversion dikes and drainage swales to channel runoff around the site.
- ✓ Use berms and drainage ditches to divert runoff around exposed areas. Place diversion ditches across the top of cut slopes.
- ✓ Plant vegetation on exposed slopes. Where replanting is not feasible, cover with erosion control blankets (for example match netting or matting of jute, straw, glass fiber or coir/wool).
- ✓ Cover stockpiled soil and landscaping materials with secured plastic sheeting and divert runoff around them. Keep exposed stockpiles off of paved roadways, sidewalks and driveways.
- ✓ Protect drainage courses, creeks, or catch basins with backup measures such as silt fences and/or temporary drainage swales.



Roadwork and Pavement Construction

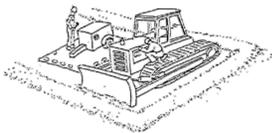
- ✓ Apply concrete, asphalt, and seal coat during dry weather to prevent unmet paving material from washing away with stormwater runoff.
- ✓ Cover storm drain inlets and manholes when paving or applying seal coat, slurry seal, fog seal, etc.
- ✓ Always park paving machines over drip pans or absorbent materials, since they tend to drip continuously. Do not spray diesel fuel to prevent asphalt build up on equipment. Use alternatives, such as citrus-based products.
- ✓ Use as little water as possible when making mix-cuts in pavement. Contain the slurry by placing rock bags, or temporary berms as close to the mix-cuts as possible. Vacuum "wet" or slurry-sticky to dry and shovel.

Update pollution prevention measures as construction phases change or are completed.



Vehicle and Equipment Maintenance

- ✓ Maintain all vehicles and heavy equipment. Inspect frequently and repair leaks.
- ✓ Use drip pans or drop cloths to catch drips and spills if you must drain and replace motor oil, radiator coolant, or other fluids on-site. Collect all spent fluids, store in labeled separate containers, and recycle whenever possible. Keep all fuels, oils and lubricants within secondary containment.
- ✓ Designate specific areas of the construction site, well away from creeks or storm drain inlets, for auto and equipment parking and routine vehicle and equipment maintenance.
- ✓ Perform major maintenance, repair jobs and vehicle and equipment washing off-site when feasible, or in designated and controlled areas on-site.
- ✓ Wash vehicles at an appropriate off-site facility. If equipment must be washed on-site, just use water and prevent water from entering the storm drains. Do not use soaps, solvents, degreasers, or steam cleaning equipment. Direct wash water to an area that will not flow to any storm drain inlets. The waste wash water can evaporate and/or infiltrate within this designated area.
- ✓ Refuel vehicles and heavy equipment in one designated location on the site and clean up spills immediately.
- ✓ Oil, antifreeze, batteries, and tires should also be recycled. Please contact the County Household Hazardous Waste Program at (408) 299-7300 for assistance on how you may dispose of your hazardous wastes.



Paints, Solvents and Adhesives

- ✓ Sweep up or collect non-hazardous paint chips and dust from dry stripping and sandblasting in plastic drop cloths and dispose of as trash. Dispose of chemical paint stripping residues and chips and dust from marine paints or paints containing lead or tributyltin in hazardous waste.
- ✓ Never clean brushes or raise paint containers into a street, gutter, storm drain, or creek.
- ✓ For water-based paints, paint out brushes to the maximum extent possible and rinse in a drain leading to the sanitary sewer (i.e., indoor plumbing). Dirty latex paint may be disposed of in the trash.
- ✓ For oil-based paints, paint out brushes to the maximum extent possible, and filter and reuse thinners and solvents. Dispose of unusable thinners and solvents as hazardous waste.
- ✓ Unwanted paint (that is not recycled, thinned, and sludges must be disposed of as hazardous waste).

Have spill cleanup kits available.



Concrete, Cement and Mortars

- ✓ Avoid mixing excess amounts of fresh concrete or cement mortar on-site.
- ✓ Wash out concrete transit mixers only in designated wash-out areas where the water will flow into settling ponds or onto dirt or stockpiles of aggregate base or sand. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drain, drainage ditches, or creeks.
- ✓ Whenever possible, return contents of mixer barrel to the yard for recycling concrete or cement mortar on-site.

Call Environmental Enforcement at (408) 945-3000 before dewatering and/or pumping into storm or sanitary sewer systems.

Waste Disposal

- ✓ Keep pollutants off exposed surfaces. Place trash cans around the site to reduce litter. Dispose of non-hazardous construction wastes in covered dumpsters or recycling receptacles.
- ✓ Recycle leftover materials whenever possible. Materials such as concrete, asphalt, scrap metal, solvents, degreasers, cleared vegetation, paper, rock, and vehicle maintenance materials such as used oil, antifreeze, batteries, and tires are recyclable.
- ✓ Recycle leftover construction and demolition materials whenever possible. Materials such as concrete, rock, asphalt, cleared vegetation, scrap metal, wood, carpet, drywall can be recycled. For a list of facilities that will accept these materials <http://www.sjrecycle.org/BusinessDirectory.aspx?highbaunessCategoryID=39>
- ✓ Dispose of all wastes properly. Materials that cannot be reused or recycled must be taken to an appropriate landfill or disposed of as hazardous waste.
- ✓ Never throw or dispose of debris into channels, creeks or into wetland areas. Never store or leave debris in the street or near a creek where it may collect runoff.
- ✓ Illegal dumping is a violation subject to a fine and/or time in jail. Be sure that trailers carrying your materials are covered during transit. If not, the hauler may be cited and fined.
- ✓ Do not dispose of plant material in a creek or drainage facility or leave it in a roadway where it can clog storm drain inlets.
- ✓ Avoid disposal of plant material in trash dumpsters or mixing it with other wastes. Compost plant material or take it to a landfill or other facility that composts yard waste.
- ✓ Check with the Fire Department with questions on proper storage of hazardous materials.
- ✓ Protect all wastes from rainwater and runoff.

