



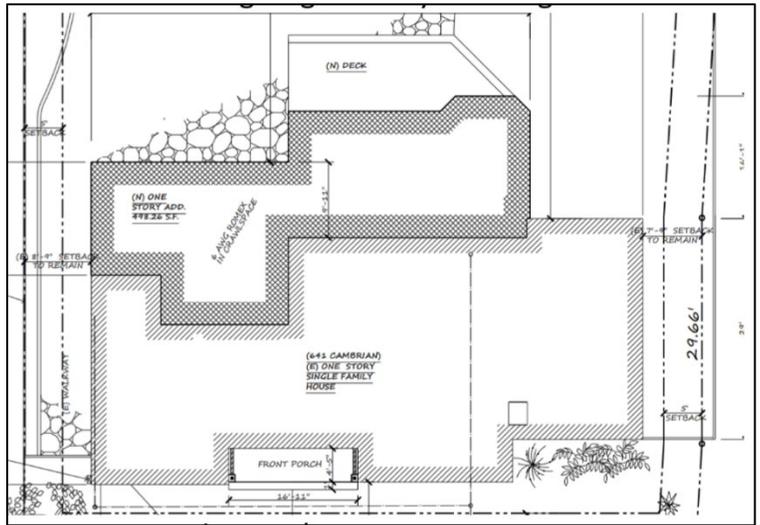
CITY OF CAMPBELL
Community Development Department

May 26, 2022

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 641 Cambrian Drive
Zoning | Area Plan: R-1-8 | Campbell Village
Neighborhood Association(s): Campbell Village Neighborhood Association
File No.: PLN-2022-40
APN: PLN-2022-40
Applicant: Colin McCubbins
Property Owner: Edith Csaba-Gallant
Application Type: Administrative Site and Architectural Review



Project Description: Construction of a 1,038 square-foot addition to an existing single-family residence.

This project will be decided by the Community Development Director, and you have the opportunity to provide comment prior to the Director’s decision. The ten-day comment period for this application begins on May 27, 2022 and ends on June 6, 2022. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 PM on **June 6, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

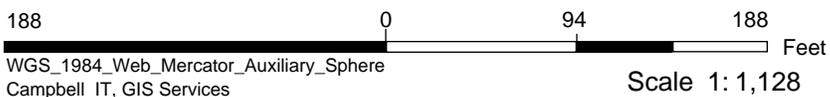
Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City’s website by scanning the QR code, below.

Questions or comments regarding this application may be addressed to Larissa Lomen, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email at larissal@campbellca.gov.





Location Map for 601 Ginden Drive



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

CODES:
 2019 Edition, California Building Code
 2019 Edition, California Mechanical Code (2019 UMC)
 2019 Edition, California Plumbing Code (2019 UPC)
 2019 Edition, California Electrical Code (2019 NEC)
 2019 Edition, California Fire Code (2019 IFC)
 2019 Edition, California Energy Code
 2019 Edition, California Mechanical, Elect. & Plumbing Code (2019 IMC)

Index Of Drawings

- A1 SITE PLAN & PROJECT DATA
- A2 SPECIFICATIONS
- A3 EXISTING & PROPOSED FLOOR PLANS
- A4 EXISTING & PROPOSED ELEVATIONS
- A5 EXISTING & PROPOSED SECTIONS
- A6 ROOF PLAN & BUILDING SECTION
- A7 RELOCATED CEILING PLAN
- A8 ELEVATIONS WITH FINIS & MATERIALS
- A9 DETAILS
- A10 WASTE MANAGEMENT PLAN
- A11 CONSTRUCTION BEST MANAGEMENT PRACTICES
- T24-1 TITLE 24 PAGE 1
- T24-2 TITLE 24 PAGE 2
- M1E MANDATORY MEASURES
- S - STRUCTURAL PLANS

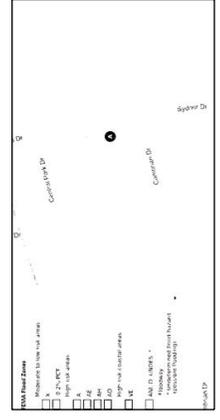


Photo Site 1



Photo Site 2



Photo Site 3



Photo Site 4



Photo Site 5

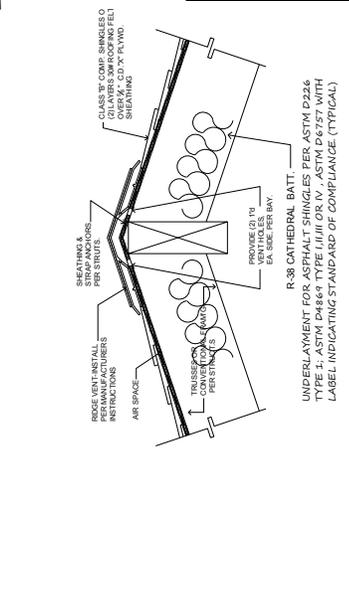
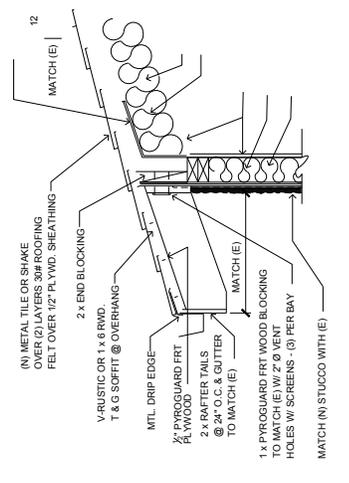
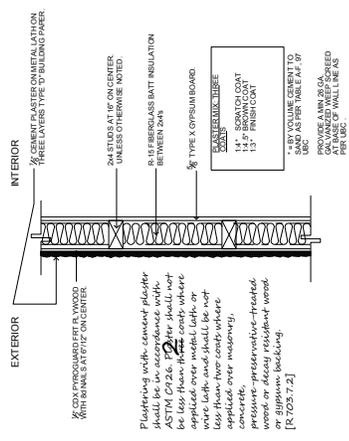


Photo Site 6



Photo Site 7





3

STUCCO

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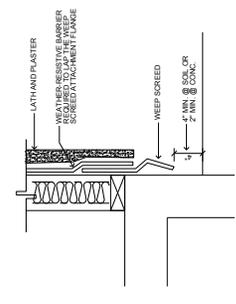
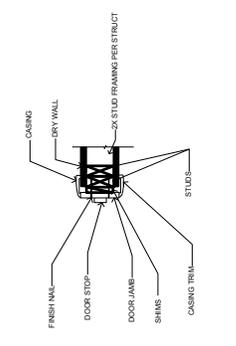
EAVE

1

RIDGE VENT

WWW.YAVIDESIGNSOLUTIONS.COM
 397 KILKARE ROAD, CA 94588
 YAVIDESIGNSOLUTIONS@GMAIL.COM

PROJECT: MCCUBBINS RESIDENCE
 641 CAMBRIAN, CAMPBELL, CA

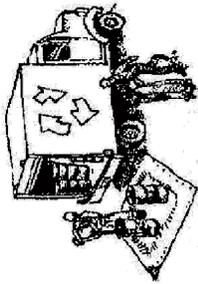


SCALE: -
 TITLE: DETAILS
 DESIGN BY: PAULOMI U.
 DRAWN BY: SHAKSHI D.

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



- Non-Hazardous Materials**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
 - Use (but don't overuse) reclaimed water for dust control.
 - Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

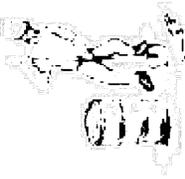
Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleaned vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



- Maintenance and Parking**
- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
 - Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services, (800) 852-7550 (24 hours).

Concrete Management and Dewatering



- Concrete Management**
- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
 - Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
 - Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discourage application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Paving/Asphalt Work



- Paving**
- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
 - Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
 - Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal

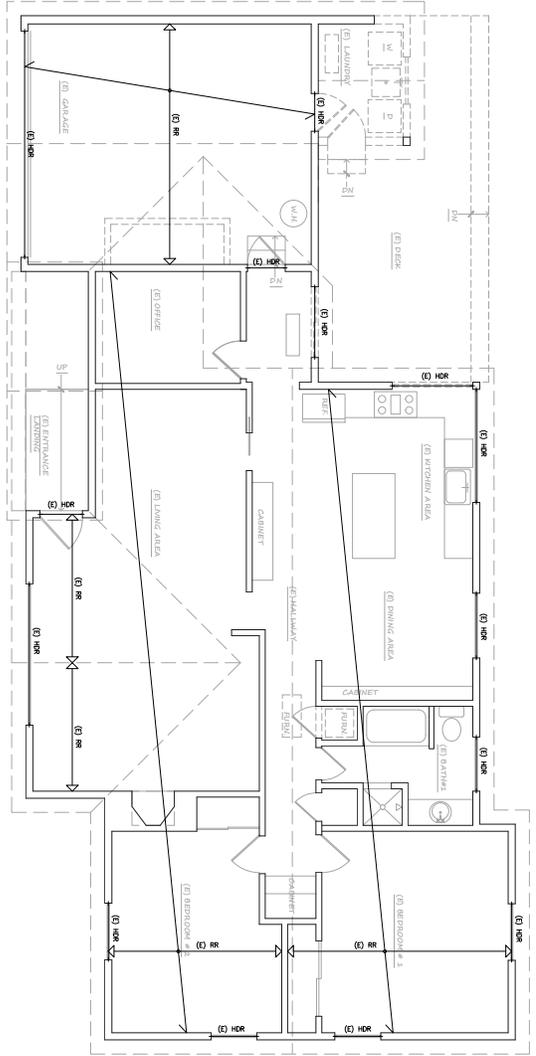


- Painting Cleanup and Removal**
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
 - Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

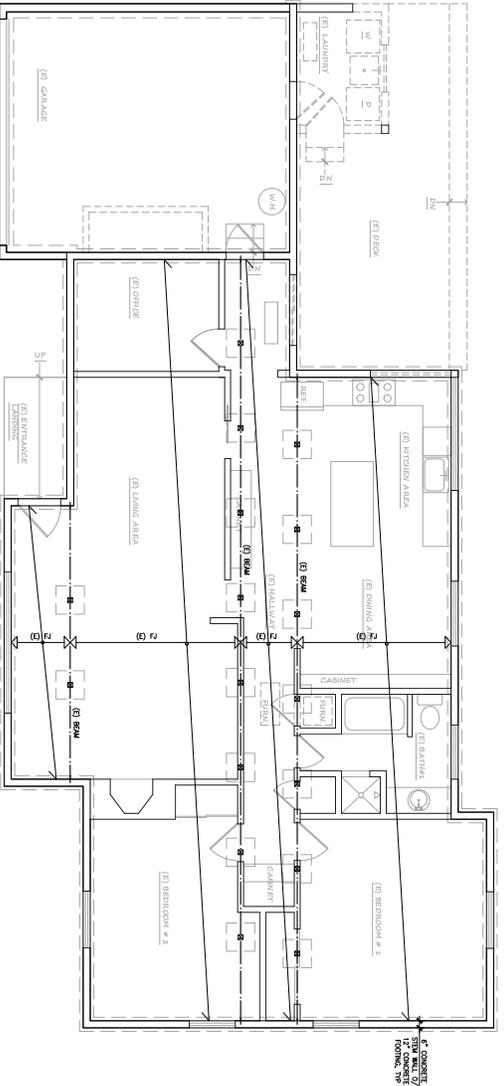


Santa Clara Valley
Urban Runoff
Pollution Prevention Program

Storm drain polluters may be liable for fines of up to \$10,000 per day!



EXISTING FRAMING PLAN
SCALE: 1/4"=1'

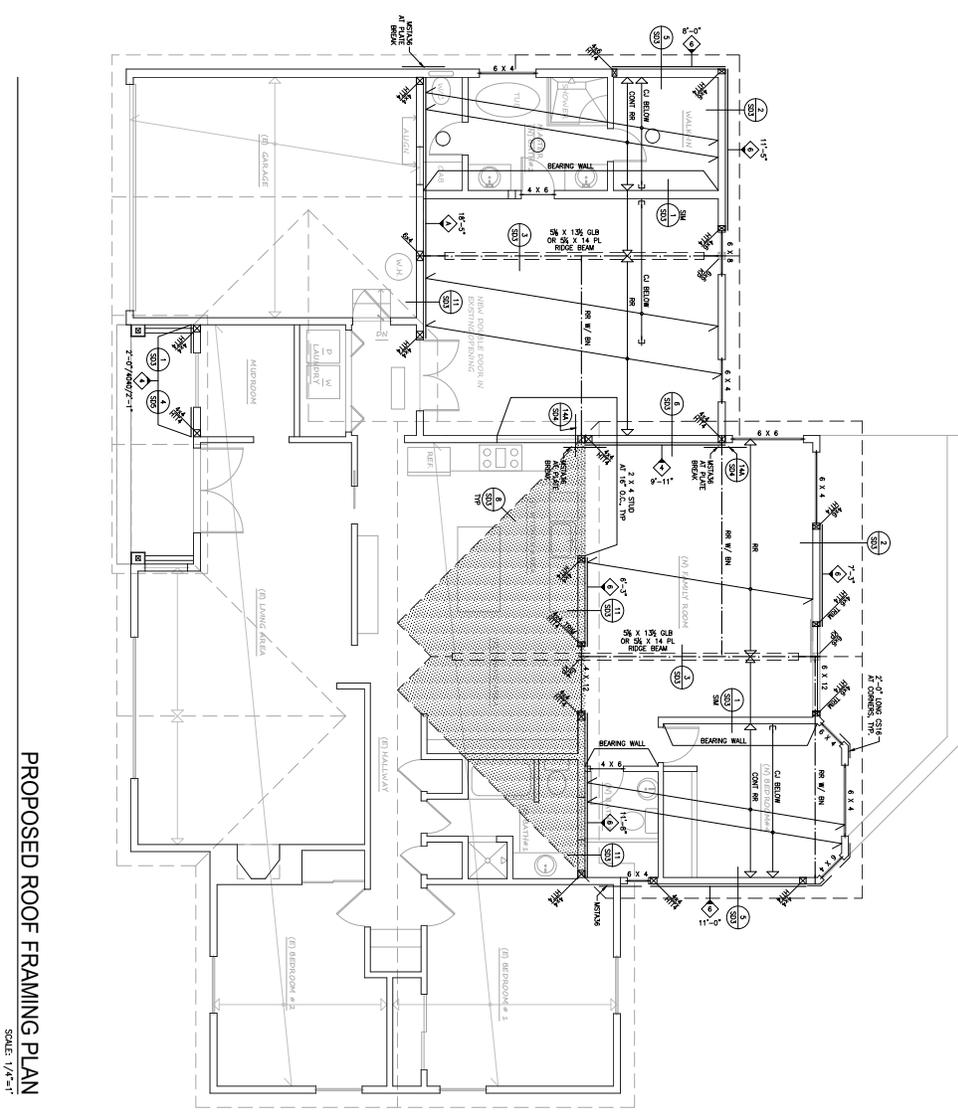


EXISTING FOUNDATION PLAN
SCALE: 1/4"=1'

FRAMING LEGEND

1. JOIST: 2x8 @ 16" O.C. (11'-0" MAX. SPAN)
2. RAFTER: 2x8 @ 16" O.C. (11'-0" MAX. SPAN)
3. STUD: 2x4 @ 16" O.C. (11'-0" MAX. SPAN)
4. WALL: 2x4 @ 16" O.C. (11'-0" MAX. SPAN)
5. WINDOW: 2x4 @ 16" O.C. (11'-0" MAX. SPAN)
6. DOOR: 2x4 @ 16" O.C. (11'-0" MAX. SPAN)
7. BATH: 2x4 @ 16" O.C. (11'-0" MAX. SPAN)
8. BEDROOM #1: 2x4 @ 16" O.C. (11'-0" MAX. SPAN)
9. BEDROOM #2: 2x4 @ 16" O.C. (11'-0" MAX. SPAN)

	<p>STAMP</p> <p>REGISTERED PROFESSIONAL ENGINEER JACK B. STANGE No. C 86191 State of California expires 3/31/2022</p>	<p>CLIENT:</p> <p>McCUBBINS 641 CAMBRIAN DR. CAMPBELL, CA 95008</p>	<p>ADDITION AND REMODEL 641 CAMBRIAN DR CAMPBELL, CA 95008</p>
	<p>DATE: 1/4/2022</p> <p>PROJECT: FOUNDATION & ROOF FRAMING PLAN</p> <p>SCALE: 1/4"=1'</p>	<p>PROJECT: FOUNDATION & ROOF FRAMING PLAN</p> <p>SCALE: 1/4"=1'</p>	<p>PROJECT: FOUNDATION & ROOF FRAMING PLAN</p> <p>SCALE: 1/4"=1'</p>



PROPOSED ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

FRAMING NOTES

- ALL STRUCTURAL STEEL FRAMES SHALL BE SHOWN AND DETAIL AS SHOWN ON THE PLAN. THE EXISTING STRUCTURE SHALL BE SHOWN AS EXISTING. THE EXISTING STRUCTURE SHALL BE SHOWN AS EXISTING. THE EXISTING STRUCTURE SHALL BE SHOWN AS EXISTING.
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FRAMING LEGEND

- 1. 2x12 JOIST
- 2. 2x10 JOIST
- 3. 2x8 JOIST
- 4. 2x6 JOIST
- 5. 2x4 JOIST
- 6. 2x2 JOIST
- 7. 2x12 RAFTER
- 8. 2x10 RAFTER
- 9. 2x8 RAFTER
- 10. 2x6 RAFTER
- 11. 2x4 RAFTER
- 12. 2x2 RAFTER
- 13. 2x12 GIRDER
- 14. 2x10 GIRDER
- 15. 2x8 GIRDER
- 16. 2x6 GIRDER
- 17. 2x4 GIRDER
- 18. 2x2 GIRDER
- 19. 2x12 COLUMN
- 20. 2x10 COLUMN
- 21. 2x8 COLUMN
- 22. 2x6 COLUMN
- 23. 2x4 COLUMN
- 24. 2x2 COLUMN

SHEAR WALL SCHEDULE

NO.	SECTION	THICKNESS	REINFORCEMENT	FOOTING	FOUNDATION
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27	1'-0" SECTION	12"	4#4 @ 12"	12" W/ 4#4 @ 12"	12" W/ 4#4 @ 12"
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29	1'-0" SECTION	12"	4#4 @ 12"	12" W/ 4#4 @ 12"	12" W/ 4#4 @ 12"
30	1'-0" SECTION	12"	4#4 @ 12"	12" W/ 4#4 @ 12"	12" W/ 4#4 @ 12"

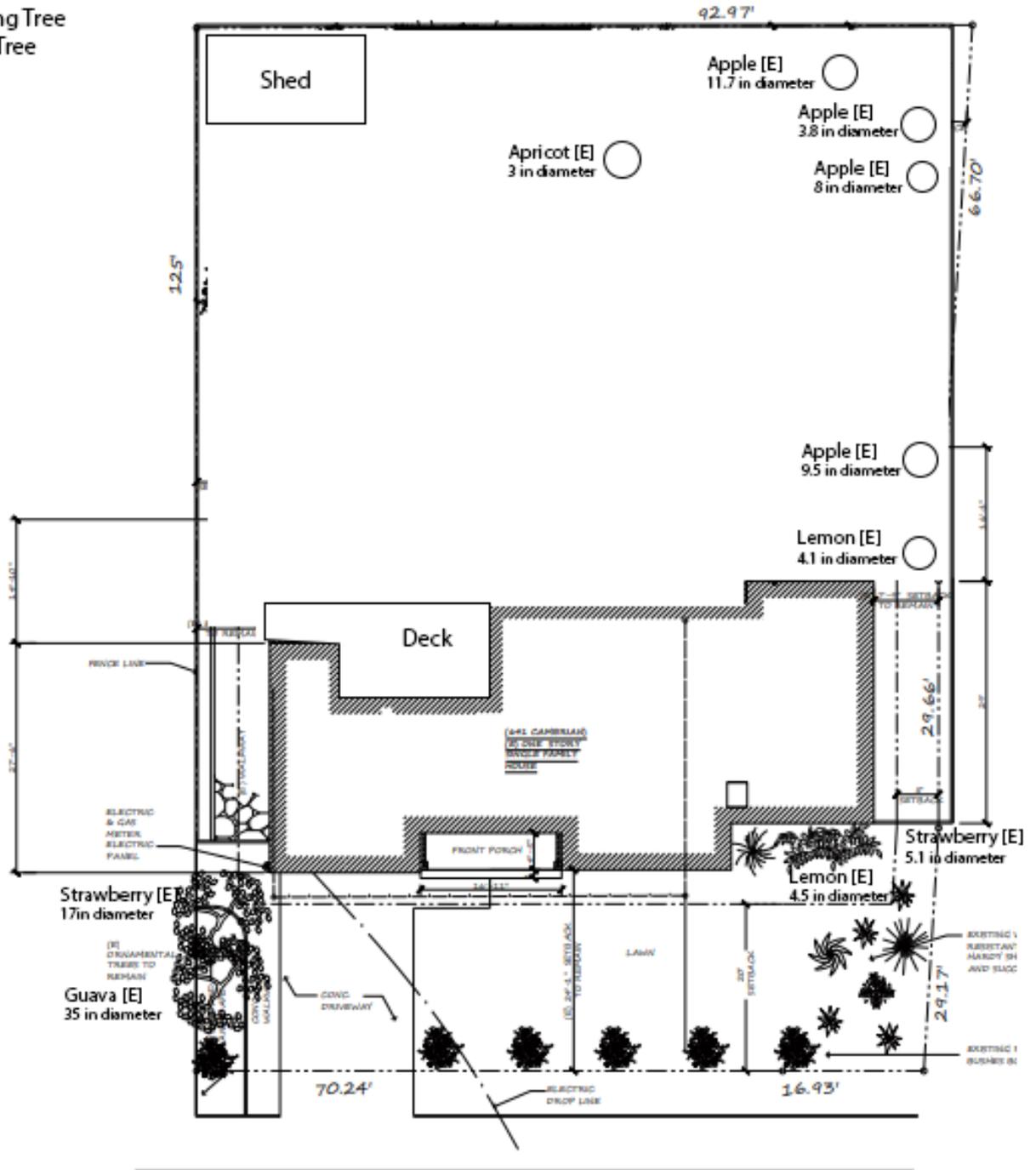
ADDITION AND REMODEL
641 CAMBRIAN DR
CAMPBELL, CA 95008

CLIENT:
MCCLUBBINS
641 CAMBRIAN DR,
CAMPBELL, CA 95008

DATE: 146 - 2/14/11
SCALE: 1/4"=1'-0"
PROJECT: PROPOSED ROOF FRAMING PLAN
REFERENCE DATE: 01-10-2022

S3

Legend:
 [E] : Existing Tree
 [N] : New Tree



C A M B R I A N S T.

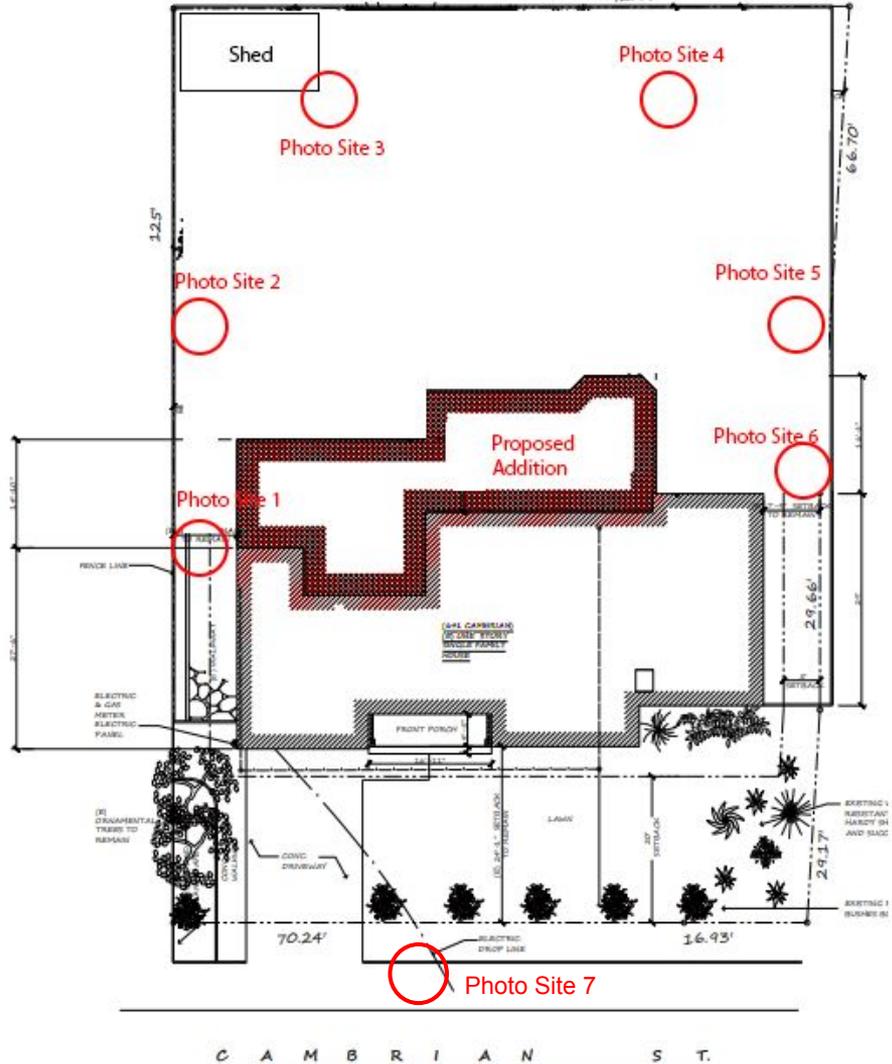


Photo Site 7

C A M B R I A N S T.



REGISTERED PROFESSIONAL ENGINEER
 JACOB DAVIS
 License No. C 86191
 State of California
 MECHANICAL ENGINEERING

CLIENT:
 McCLEBBINS
 641 CAMBRIAN DR.
 CAMPBELL, CA 95008

ADDITION AND REMODEL
 641 CAMBRIAN DR
 CAMPBELL, CA 95008

SD1

DATE: 14E - 1/14/11
 DRAWN BY: JED
 CHECKED BY: JED
 REFERENCE DATE: 01-10-2002

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