



CITY OF CAMPBELL
Community Development Department

COURTESY NOTICE OF NEW PLANNING APPLICATION

April 21, 2022

Dear Campbell Resident,

The following provides a brief description of a proposed project in your neighborhood. As a courtesy notice, this letter is intended to provide members of the public an early opportunity to become engaged in the planning process. If you should have any questions about the project, the contact information of the Project Planner has been provided below. Alternatively, you may visit the Planning Division to view the project plans. Before a decision is reached you will receive a formal notice providing another opportunity for public comment.

Project Address: 1480 W Campbell Ave

Zoning | Area Plan: C-1 | N/A

Neighborhood Association(s): N/A

File No.: PLN-2022-38

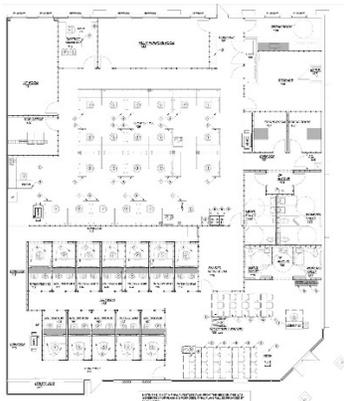
APN: 404-01-035

Applicant: Torrance Delgado

Property Owner: Campbell CA SSA LLC

Application Type: Conditional Use Permit and Parking Modification

Project Description: Conditional Use Permit to allow a social security office in an existing commercial building and a Parking Modification Permit to allow a parking reduction.



Project Planner: Tracy Tam

Email Contact: tracyt@campbellca.gov

Phone Contact: (408) 871-5103

Note: This is a courtesy notice to all property owners within 300-feet of the project address. Applications may change after initial application submittal. To view the project plans, please scan the QR code:



Tenant Improvements for: Social Security Administration

1480 W Campbell Ave
Campbell, CA

Project Number 006119

January 7, 2022 Permit

SDA Inc.



LIST OF DRAWINGS

COVER	COVER SHEET	PLUMBING COVER SHEET PLUMBING SPECIFICATIONS
REF 1	NOTES, SYMBOLS, STANDARD DETAILS	PLUMBING SPECIFICATIONS
REF 2	CODE ANALYSIS	PLUMBING SCHEDULES
REF 3	EXIT ANALYSIS	PLUMBING DIAGRAMS
AS1.0	ARCHITECTURAL SITE PLAN	PLUMBING PLANS EXISTING
D1.0	DEMO PLAN	PLUMBING PLANS - WATER AND GAS
A1.0	FLOOR PLAN	PLUMBING PLANS - WASTE AND VENT
A1.1	FINISHES PLAN AND SCHEDULE	PLUMBING ISOMETRICS
A1.2	FURNITURE PLAN (REFERENCE ONLY)	NATURAL GAS ISOMETRIC
A1.3	ENLARGED FLOOR PLANS / ELEVATIONS	ELECTRICAL LEGEND, ABBREVIATIONS, INDEX
A1.4	ENLARGED FLOOR PLANS / ELEVATIONS	ELECTRICAL SPECIFICATIONS
A2.0	CEILING PLAN	FIXTURE SCHEDULE AND DETAILS
A3.0	ROOF PLAN	TITLE 24
A4.0	INTERIOR ELEVATIONS	TITLE 24
A4.1	INTERIOR ELEVATIONS / MILLWORK SECTIONS	ELECTRICAL DEMO PLAN
A5.0	INTERIOR WALL SECTIONS	ELECTRICAL LIGHTING PLAN
A8.0	DOOR AND WINDOW SCHEDULE	ELECTRICAL POWER PLAN
S1.0	STRUCTURAL FOR WINDOW OPENINGS	SINGLE LINE DIAGRAM, LOAD CALCULATIONS
S2.0	STRUCTURAL FOR ROOF FRAMING MODIFICATIONS	ELECTRICAL PANEL SCHEDULES
M0.00	MECHANICAL COVER SHEET	ELECTRICAL DETAILS
M0.01	MECHANICAL SPECIFICATIONS	
M0.02	MECHANICAL SPECIFICATIONS	
M0.03	MECHANICAL SPECIFICATIONS	
M0.04	MECHANICAL SCHEDULES	
M0.05	MECHANICAL DIAGRAMS	
M0.06	TITLE 24	
M0.07	TITLE 24	
M0.08	TITLE 24	
M0.09	TITLE 24	
M1.00	MECHANICAL PLANS EXISTING	
M1.01	MECHANICAL PLANS	
M1.10	MECHANICAL ISOMETRIC	

DEFERRED SUBMITTAL

1. FIRE SPRINKLER SYSTEM MODIFICATION DRAWINGS
2. FIRE ALARM MODIFICATION DRAWINGS

CONSULTANTS

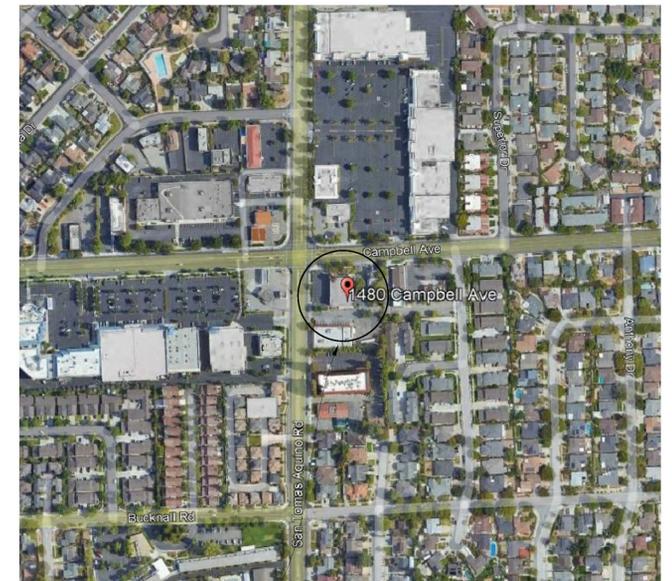
ARCHITECT
PGAL
7373 Peak Drive, Suite 170
Las Vegas, NV 89128
Phone: (702) 435-4448
Contact: Benjamin Girardin
Email: bgirardin@pgal.com

MPE Engineering
Engin8
8260 W Charleston, Suite 3
Las Vegas, NV 89117
Phone (702) 823-8682
Contact: Soren Peterson
Email: soren@engin8.com

GENERAL INFO

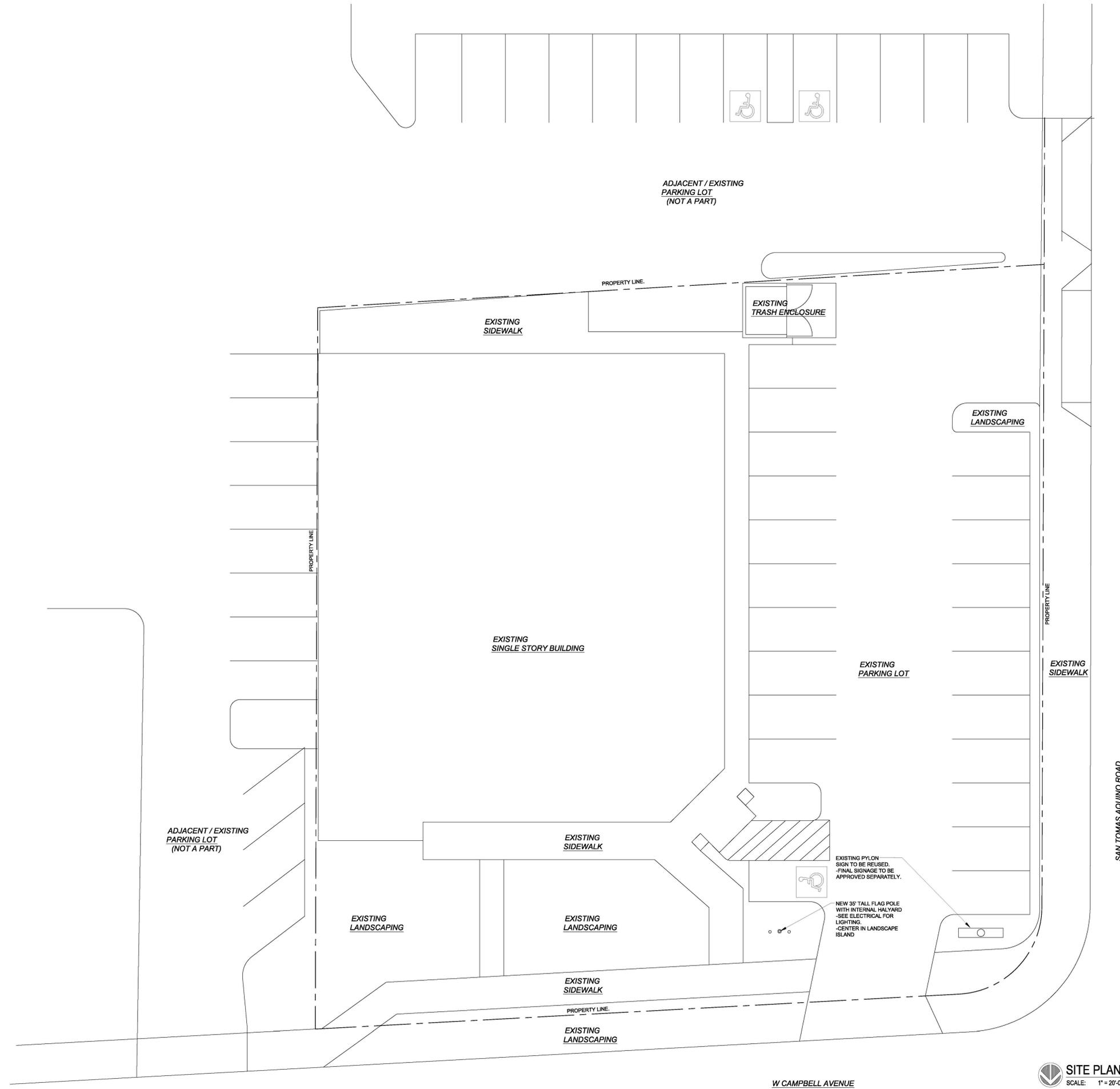
PROJECT SCOPE:	THIS PROJECT CONVERTING AN EXISTING BANK BUILDING INTO A SOCIAL SECURITY OFFICE
FLOOR AREA:	EXISTING: 8,400 SF
PROJECT AREA:	8,400 SF
JURISDICTION:	CITY OF CAMPBELL
ADDRESS:	1480 W CAMPBELL AVE, CAMPBELL CA 95008
TENANT:	SOCIAL SECURITY ADMINISTRATION
CODES:	SEE REF 2
PROJECT TITLE:	TENANT IMPROVEMENTS FOR SOCIAL SECURITY ADMINISTRATION
OCCUPANCY:	GROUP B
CONSTRUCTION TYPE:	TYPE V-B
FIRE SPRINKLERS:	BUILDING IS FULLY SPRINKLED - PER 2019 CBC
FIRE ALARM:	YES - PER CBC 2019
HEIGHT :	55'- PER CBC - ACTUAL = 32'-6" (EXISTING)
STORIES:	1 STORY EXISTING - PER CBC TABLE 503
EXTERIOR WALLS:	0 HOURS -PER CBC TABLES 601 AND 602
FIRE RESISTANCE RATING:	STRUCTURAL FRAME = 0 HOURS - BEARING WALLS = 0 HOURS - NONBEARING WALLS AND PARTITIONS = 0 HOURS - ROOF = 0 HOURS - SHAFT WALLS = 1 HOUR PER CBC 2019 TABLE 601
PLUMBING FIXTURES:	SEE REF2 FOR CALCULATIONS
SPECIAL INSPECTION:	SEE STRUCTURAL

LOCATION MAP N.T.S.



PROJECT LOCATION

1066119 FLOOR PLAN ROOF FRAMING.dwg / AS1.0 - 01/10/2022 - 1025am - B24.dwg / 218-0001_B24.dwg



Issued For: _____ Date: _____

Permit Set	01.07.2022
FINAL SSA REVIEW	02.18.2022
Construction Set	04.18.2022

Drawn	BJG
Checked	BJG
Approved	BJG



SDA Inc.



7373 Peak Drive
Suite 170
Las Vegas, NV 89129

Project Title

Social Security
Administration Office
1480 W. Campbell Ave
Campbell, California

Sheet Title

Site Plan

Project Number

006119.00

Sheet Number

AS1.0



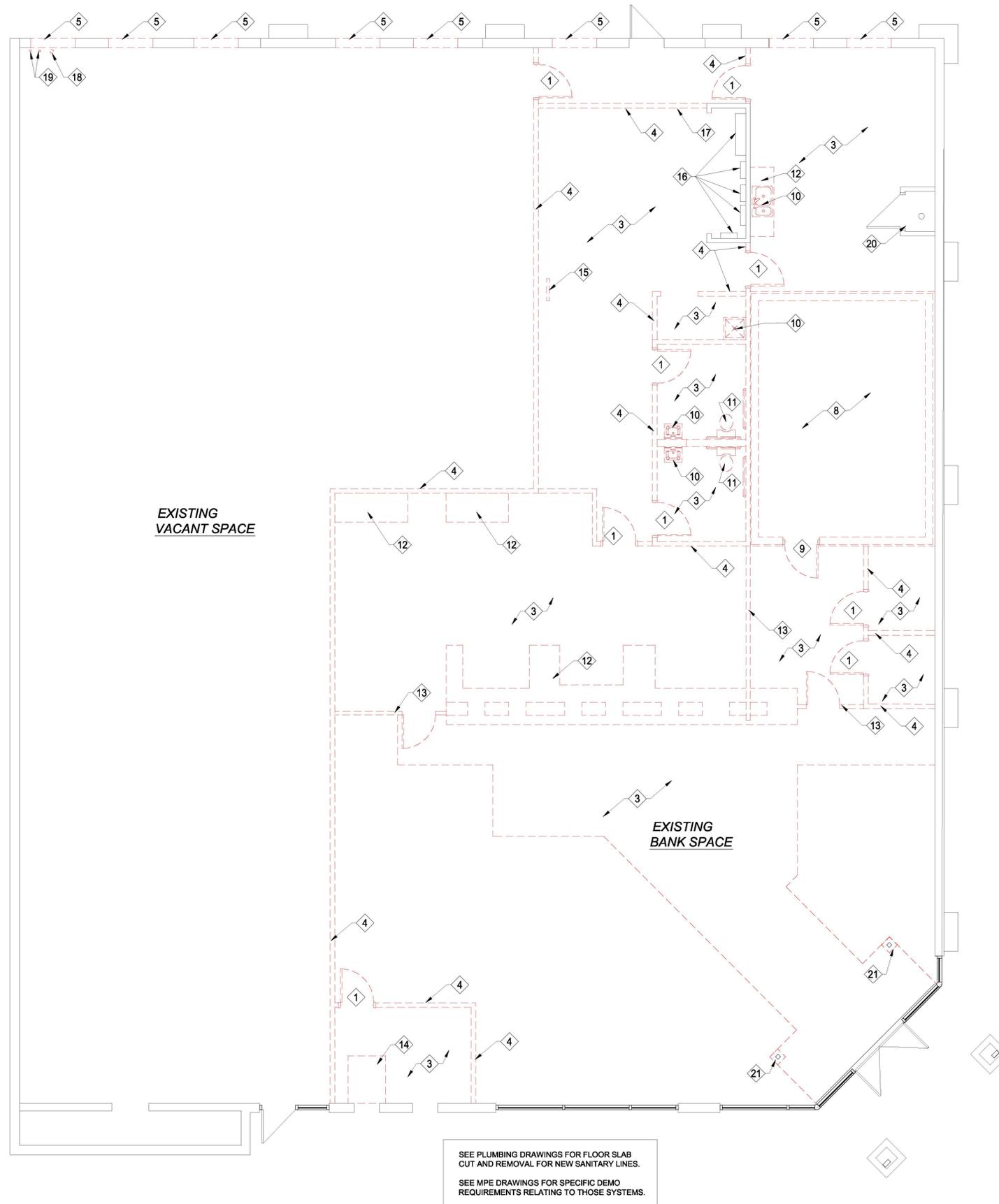
W CAMPBELL AVENUE

GENERAL DEMOLITION NOTES:

1. DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTORS PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AT THE CONTRACTORS OPTION.
2. CONTRACTOR SHALL COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION.
3. CONTRACTOR SHALL COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
4. CONTRACTOR SHALL SURVEY CONDITION OF BUILDINGS TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE DURING DEMOLITION.
5. CONTRACTOR TO LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND SEAL OR CAP OFF EXISTING UTILITY SERVICES SERVING AREAS TO BE REMOVED.
6. CONTRACTOR SHALL CONDUCT DEMOLITION OPERATIONS AND REMOVE AND PROPERLY DISPOSE OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED FACILITIES.
7. CONTRACTOR SHALL RETURN ADJACENT AREAS TO EXISTING CONDITIONS AFTER DEMOLITION.
8. CONTRACTOR TO PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE.
 - A. DO NOT BURN DEMOLISHED MATERIALS.
 - B. TRANSPORT DEMOLISHED MATERIALS PROPERTY AND LEGALLY DISPOSE.

KEY NOTES #

1. REMOVE EXISTING DOOR, FRAME, AND HARDWARE
3. REMOVE EXISTING FINISHES. REMOVE ALL GLUE RESIDUE FROM SUBSURFACE TO REMAIN.
4. REMOVE EXISTING NON-BEARING WALL.
5. CUT OPENING IN NON-BEARING WALL FOR NEW WINDOW. - SEE STRUCTURAL
6. NOT USED
7. CUT OPENING IN EXISTING NON-BEARING WALL FOR NEW DOOR OPENING.
8. REMOVE EXISTING CONCRETE VAULT WALLS AND CONCRETE CEILING.
9. REMOVE EXISTING VAULT DOOR.
10. REMOVE EXISTING SINK. CAP PLUMBING BELOW SLAB AND ABOVE CEILING.
11. REMOVE EXISTING TOILET. CAP PLUMBING BELOW SLAB AND ABOVE CEILING
12. REMOVE EXISTING MILLWORK.
13. REMOVE EXISTING HALF WALL AND ASSOCIATED GATE
14. REMOVE EXISTING NIGHT DROP SAFE
15. REMOVE EXISTING ROOF ACCESS LADDER
16. EXISTING ELECTRICAL GEAR, PANELS, AND CONTROLS TO REMAIN
17. INCOMING MAIN COMMUNICATIONS LINE TO BE RELOCATED TO NEW DCR ROOM.
18. EXISTING ROOF DRAIN PIPE TO BE RELOCATED TO CORNER OF NEW IVT ROOM. SEE IMPROVEMENT PLANS.
19. EXISTING WATER LINES TO BE RELOCATED TO CORNER OF NEW IVT ROOM.
20. EXISTING FIRE RISER / RISER ROOM TO REMAIN.
21. EXISTING COLUMN SURROUNDS TO BE REMOVED.



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Project Title
Social Security
Administration Office
1480 W. Campbell Ave
Campbell, California

Sheet Title
Demo Floor Plan

Project Number
006119.00

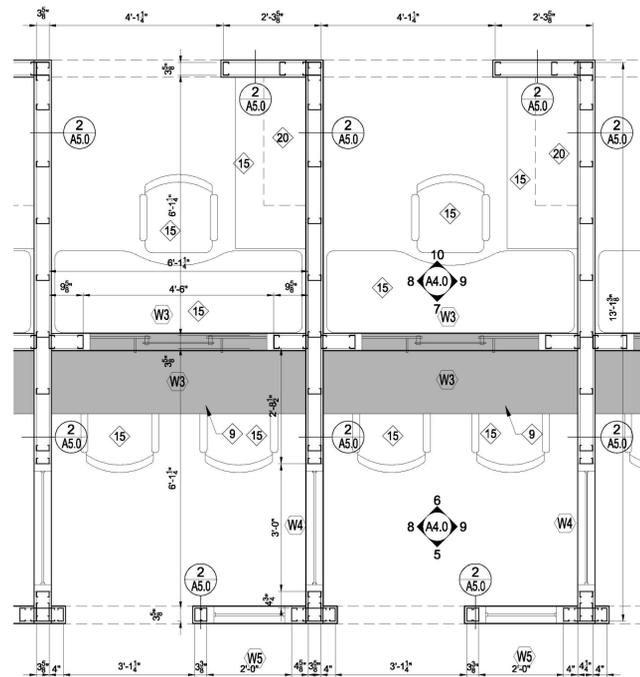
Sheet Number
D1.0

WALL LEGEND

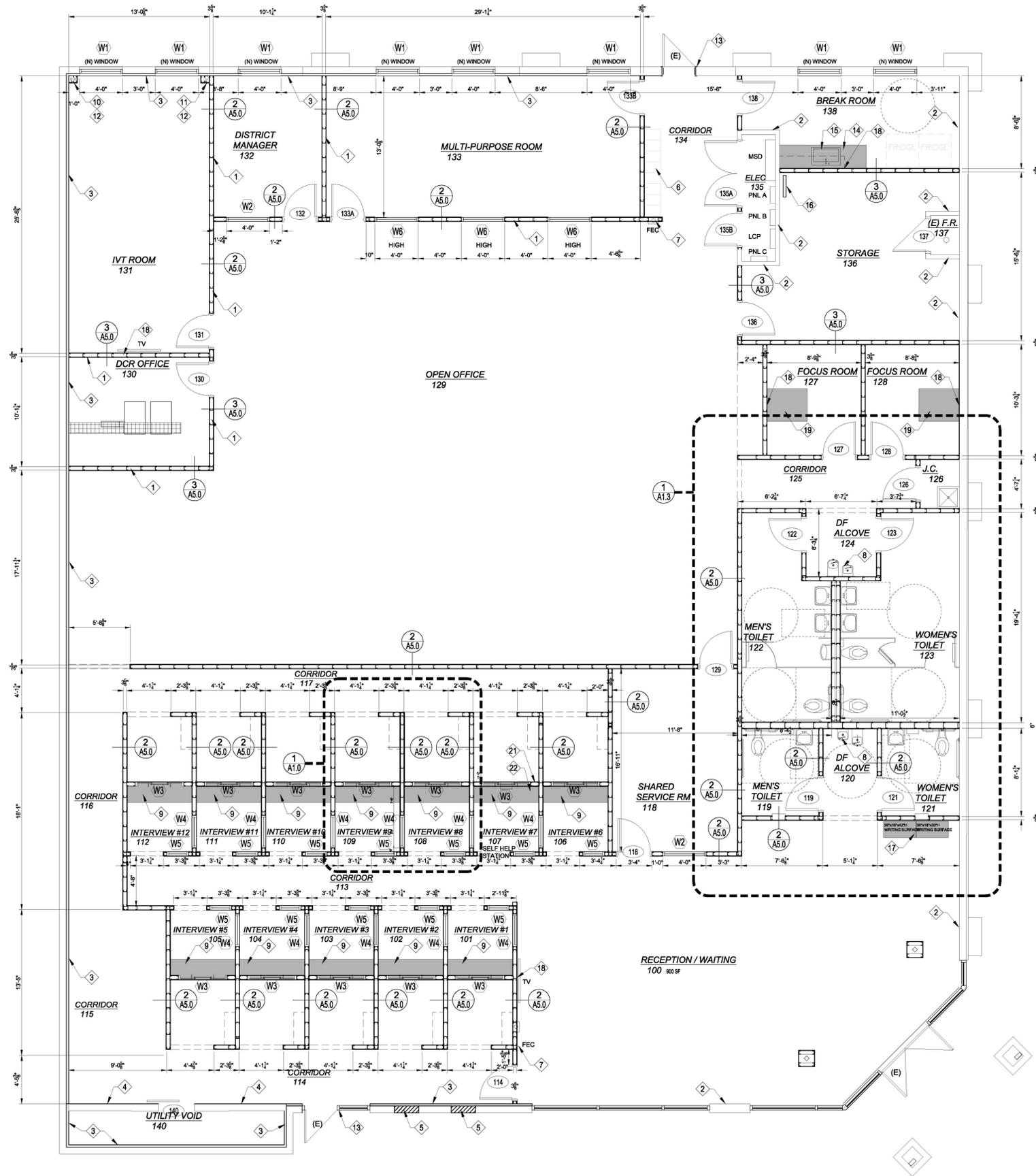
- EXISTING METAL STUD WALL
- NEW METAL STUD WALL - SEE WALL TYPES. ALL NEW WALLS NOT IDENTIFIED SHALL BE TYPE "A" WALLS 1A5.0.

KEY NOTES

1. NEW NON-BEARING METAL STUD AND GYP. BD. PARTITIONS WITH LEVEL 3 WITH LIGHT ORANGE PEAL TEXTURE. PAINTED AS SCHEDULED. (TYPICAL)
2. EXISTING NON-BEARING WALLS TO REMAIN - COAT TO MATCH NEW WALLS.
3. Z-FURING AND INSULATION ON EXPOSED CONCRETE WALLS.
4. LAMINATE GYP. BD. OR FUR OUT EXISTING EXPOSED CMU WALL TO MATCH PLAIN OF EXISTING GYP. BD. FACE.
5. INFILL EXISTING OPENINGS FOR NIGHT DROP AND ATM WITH METAL STUD FRAMING AT 16" O.C. FINISH EXTERIOR TO MATCH EXISTING STUCCO.
6. LOCKERS - PROVIDED BY SSA.
7. SEMI-RECESSED FIRE EXTINGUISHER CABINET
8. HI/LOW DRINKING FOUNTAIN - SEE PLUMBING
9. SOLID SURFACE BUILT-IN COUNTER TOP.
10. RELOCATED WATER LINES TO CORNER OF ROOM.
11. RELOCATED DRAIN LINE.
12. BUILD CORNER ENCLOSURES TO CONCEAL RELOCATED PIPES TO MATCH EACH OTHER.
13. MODIFY EXISTING DOOR / FRAME TO ACCEPT ACCESS CONTROL.
14. NEW PL BASE CABINETS / SOLID SURFACE COUNTER TOP / BACKSPLASH / AND PL UPPER CABINETS.
15. NEW STAINLESS STEEL SINK. SEE PLUMBING.
16. NEW ROOF ACCESS LADDER. EXISTING CAN BE MODIFIED FOR REUSE AT CONTRACTORS OPTION.
17. PLASTIC LAMINATE AND SOLID SURFACE WRITING STAND BY MILLWORK CONTRACTOR. SEE 5/A4.1
18. INSTALL FLAT STRAP BACKING AT ALL TELEVISIONS AND MILLWORK.
19. SOLID SURFACE DESK WITH PLASTIC LAMINATE LEG. SEE 6/A4.1
20. PROVIDE WALL BACKING FOR FUTURE SHELF TO BE MOUNTED 16" ABOVE WORK SURFACE (46" HG1).
21. PROVIDE 3" GROMMETED PASS THRU FOR CABLES FROM CUSTOMER SIDE TO EMPLOYEE SIDE UNDER COUNTER.
22. PROVIDE GROMET ON PUBLIC SIDE THROUGH COUNTERTOP.. VERIFY EXACT LOCATION WITH SSA.



**INTERVIEW STATION (TYPICAL)
ENLARGED PARTIAL FLOOR PLAN**
SCALE: 1/2" = 1'-0"



FLOOR PLAN
SCALE: 3/16" = 1'-0"

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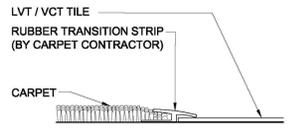
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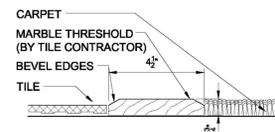
Sheet Title
Floor Plan

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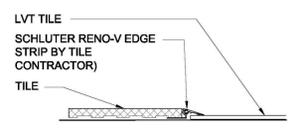
Sheet Number
A1.0



CARPET RESIL. REDUCER (T-1)
SCALE: 3" = 1'-0"



MARBLE THRESHOLD (T-2)
SCALE: 3" = 1'-0"

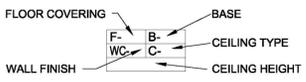


TILE / RESIL. REDUCER (T-3)
SCALE: 3" = 1'-0"

GENERAL NOTES

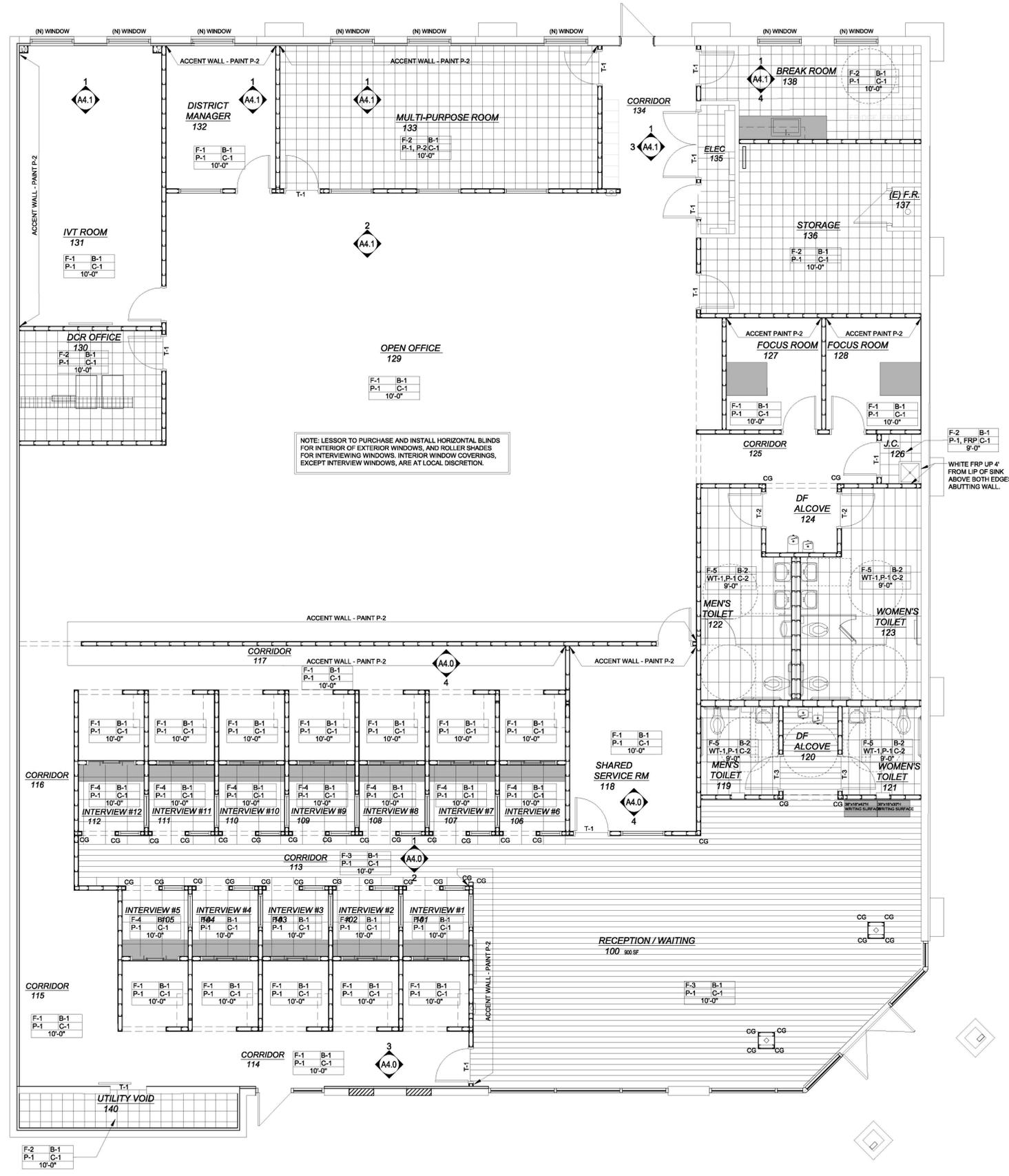
- ALL INTERIOR FINISHES SHALL MEET THE REQUIREMENTS OF THE 2019 C.B.C. CHAPTER 8, FOR THE MAXIMUM ALLOWABLE FLAME SPREAD.
 - VERTICAL EXITS EXIT PASSAGEWAYS - CLASS "A" (FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450)
 - EXIT ACCESS CORRIDORS AND OTHER EXITWAYS - CLASS "A" (FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450)
 - ROOMS AND ENCLOSED SPACES - CLASS "A" (FLAME SPREAD 26-75, SMOKE DEVELOPED 0-450).
- FLOORING TO BE CLASS I OR CLASS II.
- ALL WALKING SURFACES OF EACH ELEMENT IN THE MEANS OF EGRESS SHALL BE UNIFORMLY SLIP RESISTANT ALONG THE NATURAL PATH OF TRAVEL.
- ALL EXISTING FINISH SURFACES TO BE "PATCHED" SHALL BE REPAIRED TO A "LIKE NEW" APPEARANCE WHEN WORK IS COMPLETED.
- ALL MATERIALS TO BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDED INSTRUCTIONS.
- SEE SHEET A4.1 FOR FLOORING DETAILS.
- ALL ROOMS TO HAVE (1) ACCENT PAINT WALL.
- THE CONTRACTOR SHALL SUBMIT SAMPLES IN DUPLICATE OF ALL FINISH MATERIAL TO THE DESIGNER FOR APPROVAL, INCLUDING PAINT, WALL COVERINGS, MILLWORK MATERIALS AND FLOORING, ETC.
- ALL PRINTED SURFACE ARE TO RECEIVE A MINIMUM OF TWO COATS FINAL COLOR OR PER MANUFACTURER'S INSTRUCTIONS.
- INSTALL ALL FINISH MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, SURFACE PREPARATION, ADHESIVES AND BACKINGS, INCLUDING WALL COVERS, FLOORING MATERIALS, LAMINATES, ETC.
- THE CONTRACTOR SHALL REPAIR ALL ROUGH FLOOR SLAB UNEVENNESS SUITABLE FOR PROPER FLOOR COVERING INSTALLATION.

ROOM FINISH LEGEND



INTERIOR FINISHES SCHEDULE

- FLOOR TREATMENTS**
- F-1: CARPET TILE - SHAW CONTRACT - LINEAGE 59106-05750 BRIDGE
 - F-2: VCT - ARMSTRONG IMPERIAL TEXTURE - DESERT BEIGE - 51809
 - F-3: LVT PLANK - SHAW - SOLITUDE - COLOR: UMBER 48761 - 6"x48" - STAGGERED
 - F-4: LVT TILE - SHAW - COMPOUND - #4077V - BISQUE 77620 - SIZE 24"x24"
 - F-5: PORCELAIN TILE - DAL TILE - VOLUME 1.0 - AURAL SAND VL77 12"x24"
- BASE**
- B-1: 4" COVED RUBBER BASE - ROPPE 123 CHARCOAL
 - B-2: PORCELAIN TILE BASE - WT-1 WITH SCLUTER COVE TRANSITION.
- WALL FINISH**
- P-1: PAINT - MAIN COLOR - BENJAMIN MOORE - ICICLE - OC-60 - LVR: 82.
 - P-2: PAINT - ACCENT COLOR - BENJAMIN MOORE - TEMPLETON GRAY - HC-161 - LVR: 24
 - P-3: PAINT - ACCENT COLOR - BENJAMIN MOORE - SHAKER BEIGE - HC-45 - LVR: 54
 - P-4: PAINT - CEILING COLOR - BENJAMIN MOORE - CHANTILLY LACE - 2121-70 - FLAT
- WT-1: WALL TILE - DAL TILE - VOLUME 1.0 - AURAL SAND VL77 12"x24"**
- CEILING TREATMENTS**
- C-1: 2x4 - USG - MARS CLIMA PLUS - HIGH NRC - WHITE - WITH 15/16" WHITE GRID
 - C-2: 5/8" GYP. BD. WITH LEVEL 4 FINISH, PAINTED P-4.
- MILLWORK FINISH**
- SOLID SURFACE - TBD - STANDARD MATERIAL
 - PL-1: PLASTIC LAMINATE - TBD - STANDARD WOOD GRAIN MATERIAL
- CORNER GUARDS**
- CG: 3"x4" WITH END CAPS - WALLGUARD.COM - 2300 - STANDARD COLOR OR EQUAL



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1480 W. Campbell Ave
Campbell, California

Sheet Title
Finishes Plan

Project Number
006119.00

Sheet Number

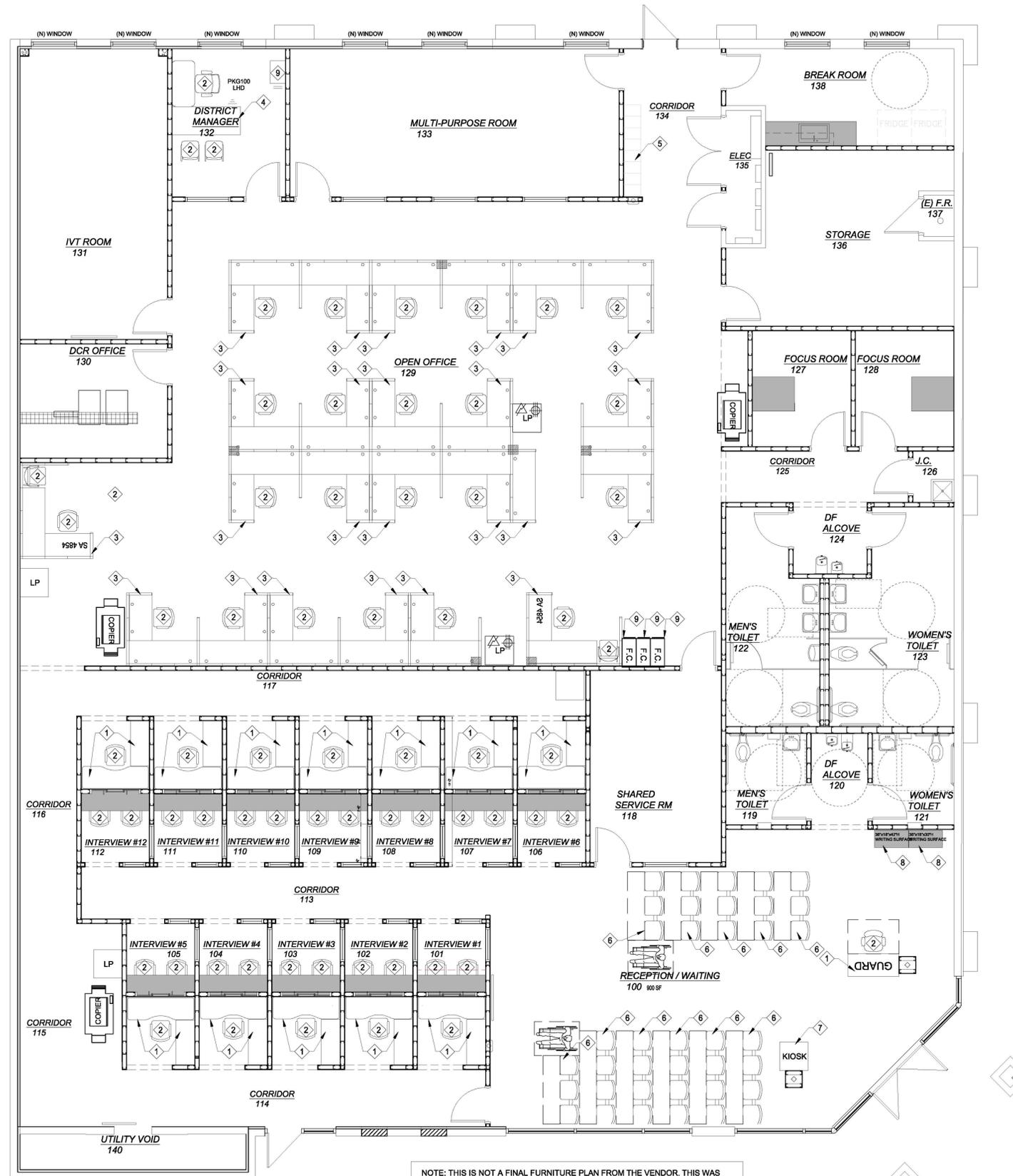
A1.1

1006119 FLOOR PLAN ROOF FRAMING.dwg / A1.1 - 01/26/2022 - 3:52pm - B24.dwg / 218-0001_B24.dwg

1006119 FLOOR PLAN ROOF FRAMING.dwg / A1.2 - 01/25/2022 - 9:54am - B24.dwg / 218-0001_B24.dwg

KEY NOTES #

1. DESK PROVIDED BY SSA
2. CHAIR SUPPLIED BY SSA
3. CUBICLE WORK STATION SUPPLIED BY SSA. ELECTRICAL AND DATA CABLING BY CONTRACTOR.
4. PRIVATE OFFICE DESK PROVIDED BY SSA.
5. LOCKERS PROVIDED BY SSA.
6. RAIL SEATING PROVIDED BY SSA.
7. KIOSK PROVIDED BY SSA.
8. WRITING SURFACES PROVIDED BY MILLWORK CONTRACTOR.
9. FILE CABINET PROVIDED BY SSA.



NOTE: THIS IS NOT A FINAL FURNITURE PLAN FROM THE VENDOR. THIS WAS GENERATED FOR PLANNING PURPOSES. FINAL PLANS WILL BE PROVIDED BY SSA VENDOR.
 GENERAL CONTRACTOR TO SECURE ANY FILE CABINETS OVER 60" TALL TO THE WALL.

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 Suite 170
 Las Vegas, NV 89129

Project Title
 Social Security Administration Office
 1480 W. Campbell Ave
 Campbell, California

Sheet Title
Furniture Floor Plan

Project Number
006119.00

Sheet Number

A1.2



KEY

Subject Property



Site Plan

Project: Campbell - Social Security Administration



1. Northwestern corner of property building with parking and view of main entrance



2. Southwestern corner of property building with parking



3. Northeastern corner of property building



4. Southeastern corner of property building



5. Typical landscaping



6. Parking