



CITY OF CAMPBELL  
Community Development Department

April 12, 2022

**NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that the Planning Commission of the City of Campbell has set the hour of 7:30 p.m., or shortly thereafter, on **Tuesday, April 26, 2022**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the following item:

3. Public Hearing to consider the Application (PLN-2022-2) of Michelle Ciabattoni for a Site and Architectural Permit to legalize an increased wall height for an existing substandard side-yard setback in association with an under-construction remodel of an existing single-family residence on property located **1830 Montemar Way**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. Planning Commission action is final unless appealed in writing to the City Clerk within 10 calendar days Project Planner: *Daniel Fama, Senior Planner*

This public hearing will be conducted in person as well as telecommunication and is compliant with provisions of the Brown Act.

Interested persons may appear and be heard in person or virtually at this hearing. Register to participate virtually in the Zoom City Council meeting at: <https://campbellca.gov/PCSignup>. This meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>.)

Please be advised that if you challenge the nature of the above in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the Planning Division at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the Community Development Department at 70 N. First Street, Campbell, CA 95008, (408) 866-2140 or [planning@campbellca.gov](mailto:planning@campbellca.gov) at least one week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

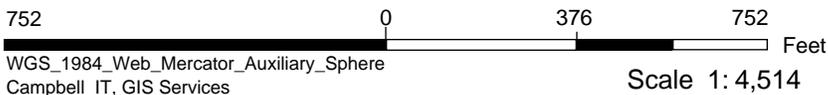
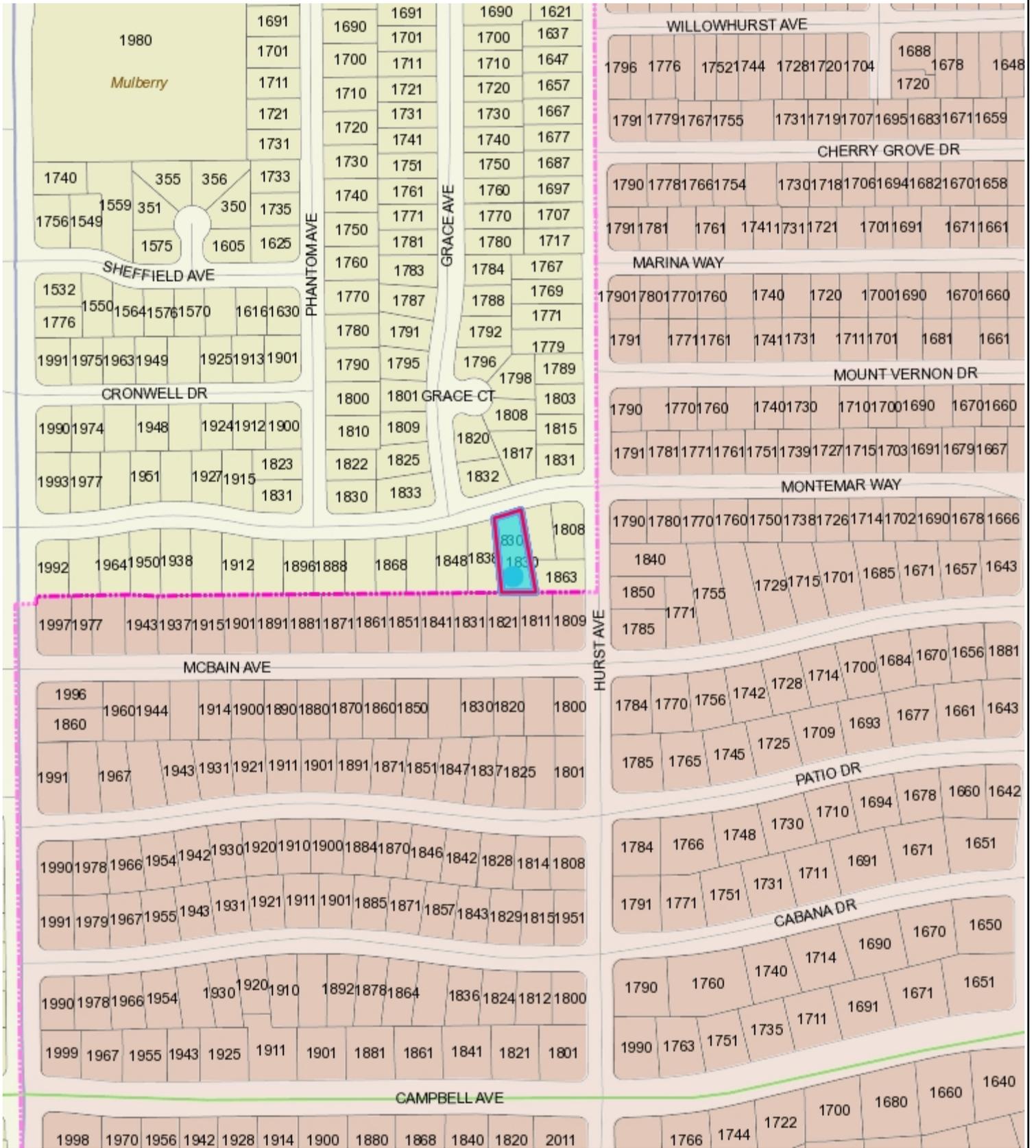
For more information you can contact the Community Development Department at (408) 866-2140 or [planning@campbellca.gov](mailto:planning@campbellca.gov).

PLANNING COMMISSION  
CITY OF CAMPBELL  
ROB EASTWOOD  
SECRETARY

PLEASE NOTE: When calling on this please refer to: **1830 Montemar Way**



# Location Map for 1830 Montemar Way



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

**PROJECT DATA**

ASSESSOR'S PARCEL # 288-23-067  
 LOT AREA: 12,666 S.F.  
 ZONING: R-1-6  
 TYPE OF CONSTRUCTION: V-B  
 OCCUPANCY RATING: R-3, U  
 EXISTING USE: SINGLE FAMILY RES.  
 SLOPE OF LOT: FLAT LOT  
 FIRE SPRINKLERS: NO

**EXISTING AND PROPOSED AREA OF MAIN UNIT**  
 EXISTING LIVING AREA 1st FL. 1287.99 S.F.  
 EXISTING LIVING AREA 2nd FL. 1287.99 S.F.  
 TOTAL EXISTING LIVING AREA 2575.98 S.F.  
 EXISTING 2 CAR DETACHED GARAGE 463.20 S.F.  
 TOTAL PROPOSED LIVING AREA = SAME AS EXISTING

**SITE NEW AREA**  
 PROPOSED DETACHED ADU 742.5 S.F.  
 TOTAL NEW LIVING AREA=MAIN UNIT+ADU 3318.5 S.F.

FAR =  $\frac{\text{LIVING AREA}}{\text{LOT AREA}} = \frac{3318.5}{12,666} = 0.262$

LOT COVERAGE=ROOF AREA OF MAIN UNIT+ADU+GARAGE  
 $\frac{1974.87+1076.25+463.2}{12,666} = \frac{3514.32}{12,666} = 27.75\% < 40\%(MAX)$

\*ROOF AREA OF MAIN UNIT INCLUDES BOTH FRONT AND REAR PORCH ROOFS

**NOTE:**  
 -NO TREES TO BE REMOVED DURING CONSTRUCTION  
 -THERE ARE NO PROTECTED TREES AT SITE  
 -NO NEW LANDSCAPING PROPOSED

THE CONTRACTOR SHALL SHOW WATER RETENTION PLAN AFTER COMPLETION OF CONSTRUCTION.

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**SERVICE PROVIDERS:**  
**SAN JOSE WATER COMPANY,**  
**PACIFIC GAS AND ELECTRIC (PG&E), WEST VALLEY SANITATION DISTRICT, AND WEST VALLEY COLLECTION AND RECYCLING**

**PROJECT PERSONS**

<b>OWNER:</b> MICHELLE CIABATTONI 1830 MONTEMAR WAY SAN JOSE CA 95125 michellehofmann@gmail.com	<b>DESIGNER:</b> RICHA MITTAL 1421 STEPHEN WAY SAN JOSE, CA 95129 (408) 505-2163 rmgspaceesign@gmail.com
<b>STRUCTURAL ENGINEER (MAIN UNIT):</b> JAYSON HAINES RMJ & ASSOCIATES 1 NORTHWOOD DRIVE, #3 ORINDA CA 94563 jhaines@rmjse.com	<b>TITLE 24:</b> Timothy Carstairs Carstairs Energy Inc. 2238 Bayview Heights Drive, Suite E Los Osos, CA 93402 (t) 805.904.9048

**GENERAL NOTES:**

ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF RMG DESIGNS PRIOR TO COMMENCING.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

SLOPE ALL FINISH GRADES IN 5% 5'-0" AWAY FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREA & SLOPE GRADE 2% MIN. @ PAVED AREAS.

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

ADDRESS NUMBERS ON BUILDING SHALL BE CLEARLY VISIBLE FROM STREET OR ROAD FRONTING THE PROPERTY. MIN. 4" HIGH X 1" WIDE PER CRC R319.

NO CONSTRUCTION EQUIPMENT OR PRIVATE VEHICLES SHALL PARK OR BE STORED WITHIN THE DRIPLINE OF ANY ORDINANCE PROTECTED TREES ON SITE.

ANY CONSTRUCTION WITHIN THE CITY RIGHT OF WAY MUST HAVE AN APPROVAL PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

NO PRODUCT MAY BE USED THAT EXCEEDS CALIFORNIA'S MAXIMUM LIMITS ON VOLATILE ORGANIC COMPOUNDS (VOC)

CONSTRUCTION HOURS ARE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY AND 9 AM TO 4 PM SATURDAY. NO CONSTRUCTION ON SUNDAYS AND HOLIDAYS

**WASTE MANAGEMENT STATEMENT**

- CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM.
- TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER.
- REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP.
- TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING.
- ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS, PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION.
- OR
- CALL WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.

**SCOPE OF WORK (APPROVED WITH PERMIT NUMBER : BL-2021-523)**

- FOR MAIN HOUSE
- ADD FRONT PORCH COVER 216.63 SF
  - ADD REAR PATIO COVER 470.56 SF
  - EXPAND KITCHEN IN EXISTING LIVING SPACE BY REMOVING KITCHEN-DINING WALL AND MOVING KITCHEN-LIVING WALL. UPGRADE KITCHEN FINISHES
  - EXPAND MASTER BATH AND MASTER CLOSET AREA IN EXISTING LIVING SPACE BY MOVING BEDROOM 2 CLOSET. UPGRADE BATHROOM FINISHES
  - CHANGE WINDOWS AND DOORS
  - DEMOLISH 1ST FLOOR SCREEN ROOM AND 2ND FLOOR COVERED PATIO
  - INSTALL TANKLESS WATER HEATER FOR MAIN UNIT
  - CHANGE EXISTING FURNACE FOR MAIN UNIT
  - EXISTING ROOF TO BE DEMOLISHED AND REPLACED WITH NEW TALLER ROOF

**UNDER SEPARATE PERMIT BLD-2021-458**  
 ADD A DETACHED ADU (NEW CONSTRUCTION) 742.5 SF WITH 2 BEDROOMS, 1 BATH AND KITCHENETTE  
 SOLAR PANELS FOR ADU TO BE UNDER DEFERRED SUBMITTAL

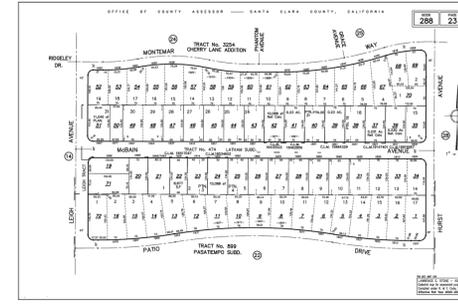
**SCOPE OF WORK (REVISION 1 APPROVED)**

- SECOND FLOOR MASTER BATH LAYOUT REVISED.
- SECOND FLOOR BEDROOM CONVERTED TO WALK IN CLOSET.
- ADDING CALIFORNIA ROOF AS A DESIGN ELEMENT OVER FRONT BEDROOM WINDOW.

**SCOPE OF WORK (VARIANCE APPLICATION)**

EXISTING FOOTPRINT AND EXTERNAL WALLS OF THE BUILDING ARE KEPT SAME. THE SECOND FLOOR ROOF IS RAISED BY 24" DUE TO WHICH THE EXISTING SIDE SETBACK FALLS LESS AS PER THE REQUIREMENT. CURRENT SIDE SETBACK IS 5'. THE NEW ROOF IS ALREADY CONSTRUCTED SO WE DON'T WANT TO DEMOLISH THE SAME AND HENCE ARE FILING FOR VARIANCE APPLICATION FOR 5' SIDE SETBACK APPROVAL.

**PARCEL MAP**



**ADU UNDER SEPARATE PERMIT BLD-2021-458**

**BUILDING FACADE COMPARISON**

	EXISTING	PROPOSED
FINISHED FLOOR LEVEL (FIRST FLOOR)	1'-6"	1'-6"
TOP OF PLATE (FIRST FLOOR)	9'-5"	9'-5"
TOP OF PLATE (SECOND FLOOR)	18'-5"	19'-5"
TOP OF RIDGE	21'-9 3/4"	24'-2 1/2"
ROOF OVERHANGS	1'-0"	1'-9"
DISTANCE BTW ROOF LINE FROM PROPERTY LINE (CRITICAL LOCATION)	4'-3 1/2"	3'-6 1/2"

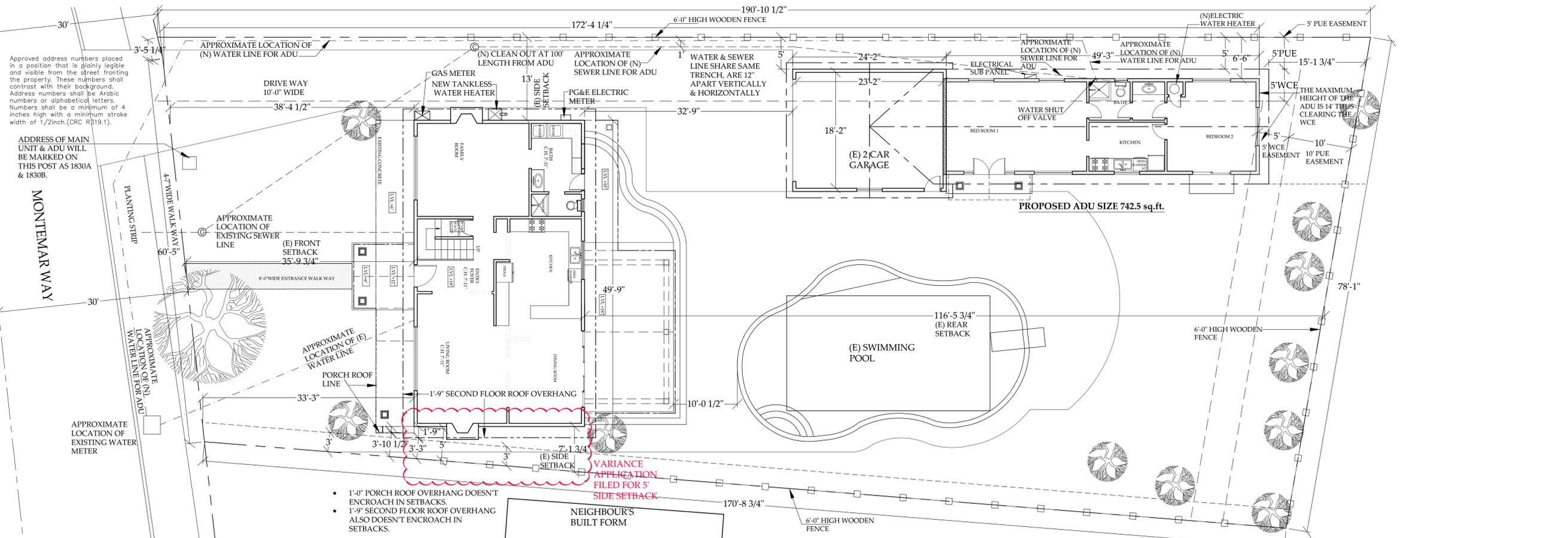
ALL THE ELEMENTS OF THE PROPOSED BUILDING ARE IN COMPLIANCE WITH REQUIRED SETBACKS.

**CODES**

- ALL CONSTRUCTION SHALL COMPLY WITH:
- 2019 CALIF. FIRE CODE
  - 2019 CALIF. BLDG CODE
  - 2019 CALIF. RESIDENTIAL CODE
  - 2019 CALIF. MECH. CODE
  - 2019 CALIF. PLUMB'G CODE
  - 2019 CALIF. ELEC. CODE
  - 2019 CALIF. ENERGY CODES
  - 2019 CALIF. GREEN BUILDING CODES

ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS.

**VICINITY MAP**



Approved address numbers placed in a position that is plainly legible and visible from the street fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. (CRC R319.1).

ADDRESS OF MAIN UNIT & ADU WILL BE MARKED ON THIS POST AS 1830A & 1830B.

- 1'-0" PORCH ROOF OVERHANG DOESN'T ENCRUCH IN SETBACKS.
- 1'-9" SECOND FLOOR ROOF OVERHANG ALSO DOESN'T ENCRUCH IN SETBACKS.

VARIANCE APPLICATION FILED FOR 5' SIDE SETBACK

**1/8" PROPOSED SITE PLAN**

CIABATTONI HOME  
 1830 MONTEMAR WAY  
 SAN JOSE CA 95125

**RMG DESIGNS**  
 1421 STEPHEN WAY SAN JOSE, CALIFORNIA TEL: (408) 505-2163  
 rmgspaceesign@gmail.com

NOTE: THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF RICHA MITTAL

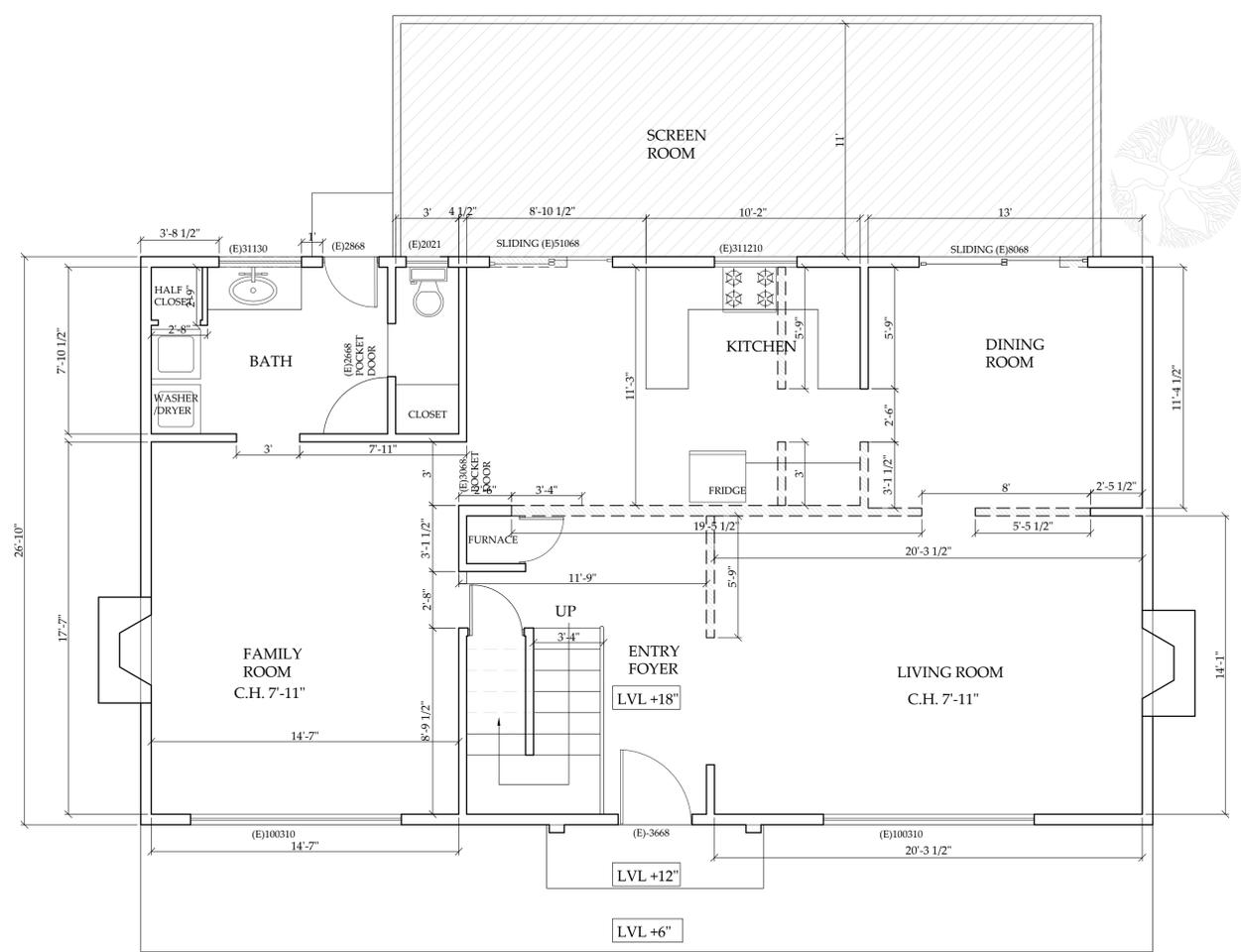
REVISIONS	BY

DRAWN	RM
CHECKED	RM
DATE	12-17-21
SCALE	AS NOTED
PERMIT NUMBER	BLD-2021-523
TITLE	SITE PLAN

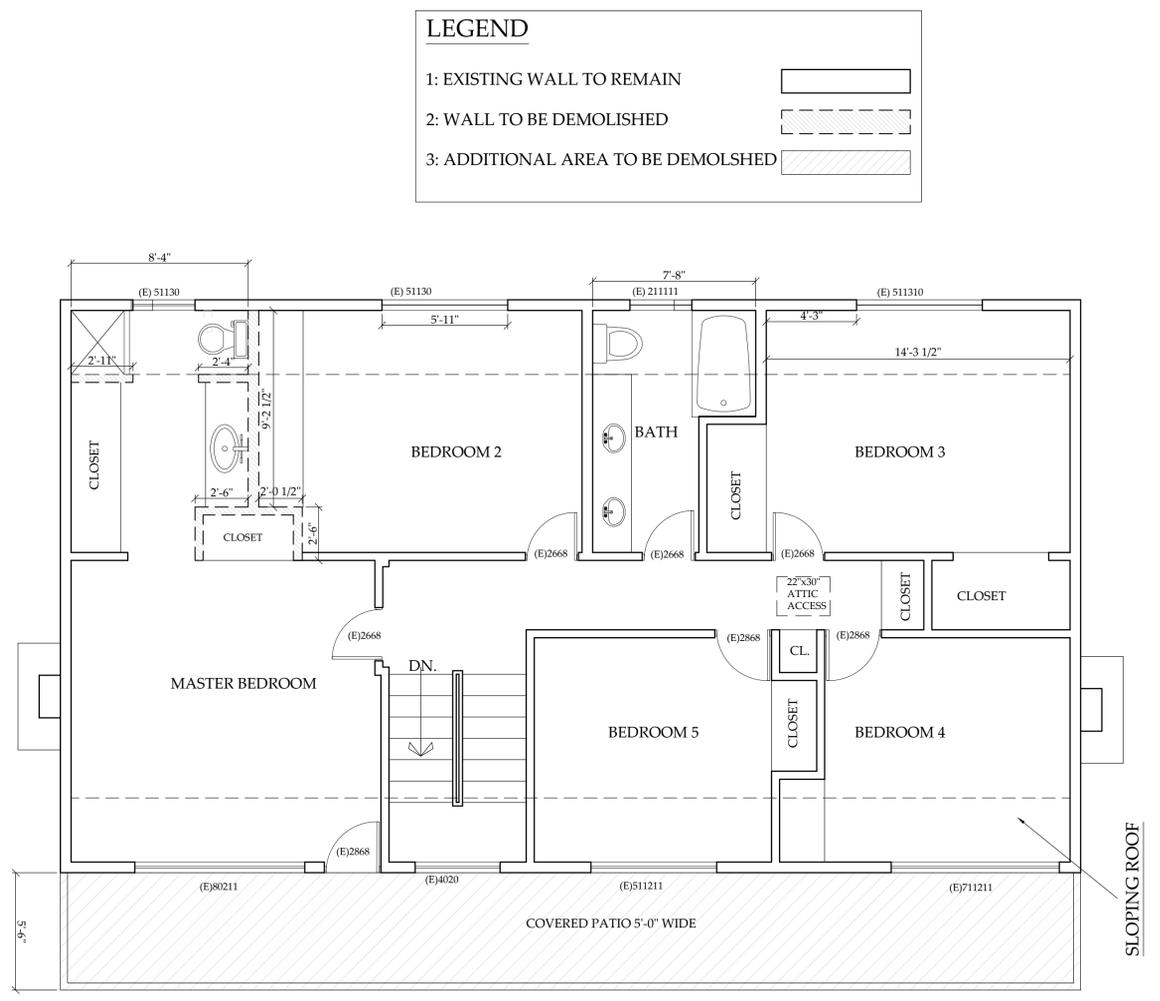
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REVISIONS	BY

DRAWN	RM
CHECKED	RM
DATE	12-17-21
SCALE	AS NOTED
PERMIT NUMBER	BLD-2021-523
TITLE	FLOOR PLANS
<b>A2</b>	
SHEET 2 OF 7	



**EXISTING AND DEMOLITION  
FIRST FLOOR PLAN**



**EXISTING AND DEMOLITION  
SECOND FLOOR PLAN**

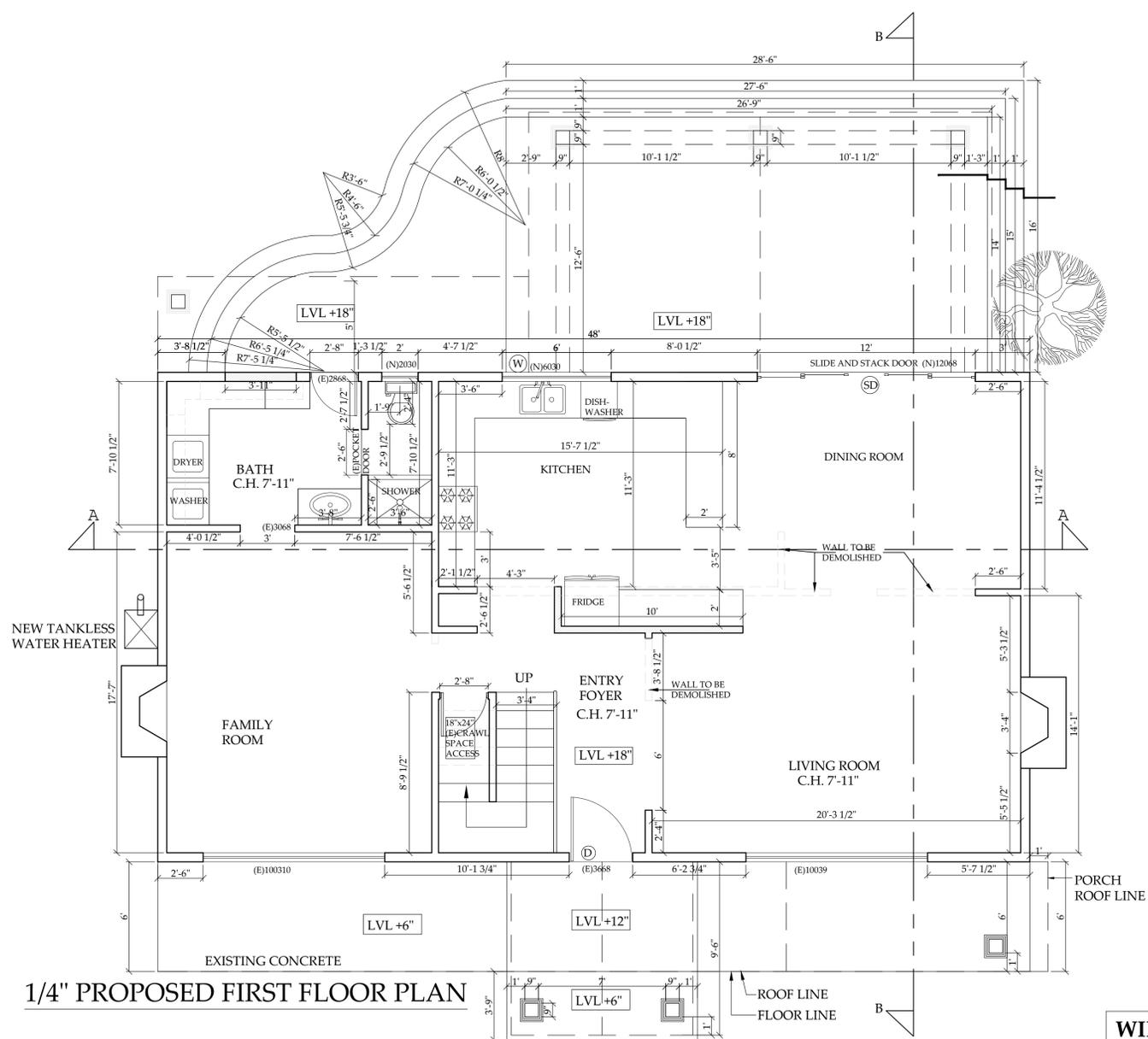
**LEGEND**

- 1: EXISTING WALL TO REMAIN
- 2: WALL TO BE DEMOLISHED
- 3: ADDITIONAL AREA TO BE DEMOLISHED

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REVISIONS	BY

DRAWN	RM
CHECKED	RM
DATE	12-17-21
SCALE	AS NOTED
PERMIT NUMBER	BLD-2021-523
TITLE	FLOOR PLANS
<b>A3</b>	
SHEET 3 OF 7	



1/4" PROPOSED FIRST FLOOR PLAN

FLOOR PLAN NOTES

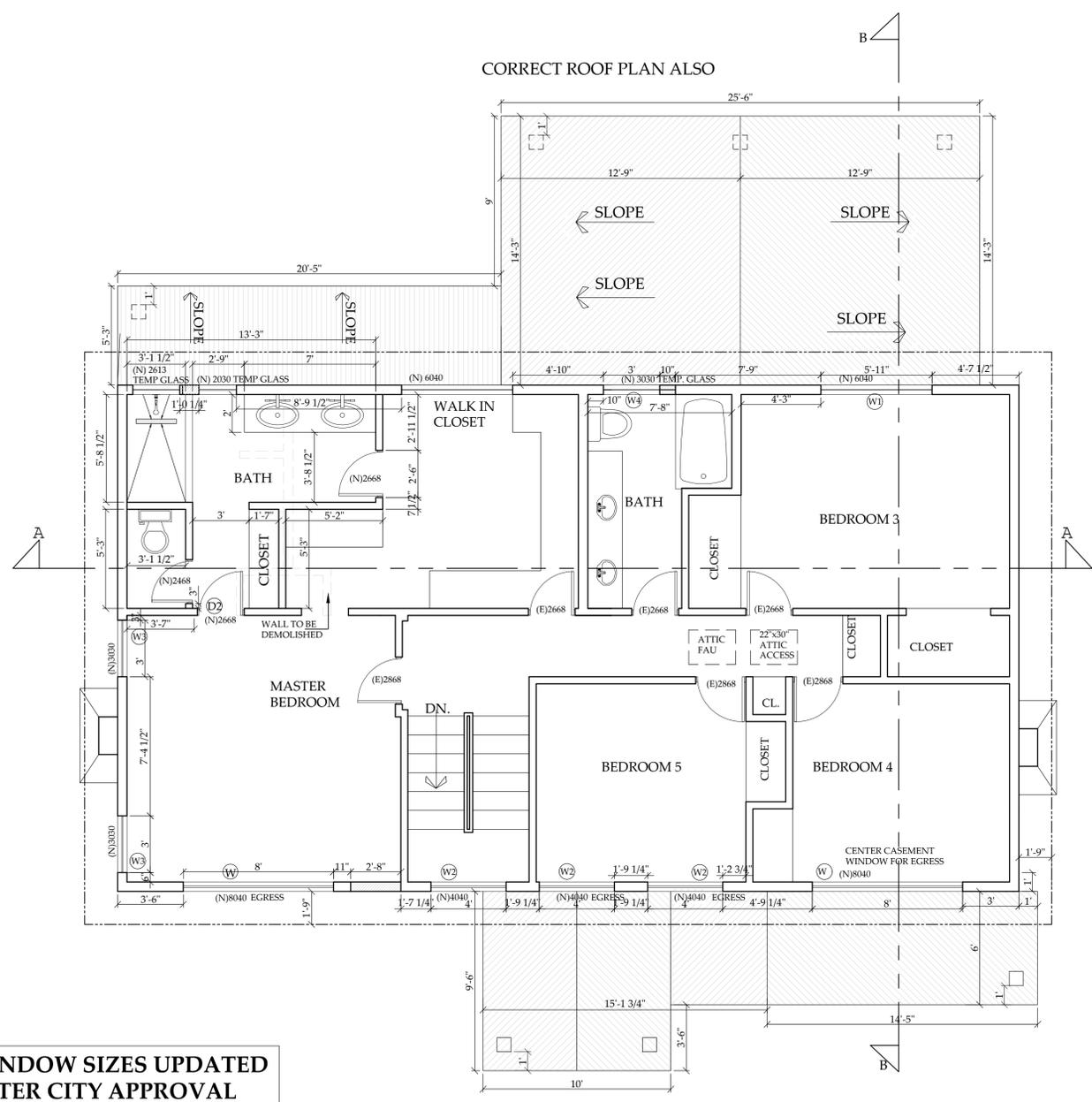
- INSTALL 5/8" TYPE "X" ONE-HOUR FIRE-RESISTIVE GYP BRD ON GARAGE SIDE OF WALLS COMMON TO LIVING SPACE. APPLY TO WALLS, POST AND BEAMS OF GARAGE ADJACENT TO AND SUPPORTING THE RESIDENCE. APPLIED VERT. OR HORIZ. NAIL W/6d COOLER OR WALLBOARD NAILS @ 7" OC W/ END JOINTS O/ NAILING MEMBERS. STAGGER JOINTS EA. SIDE.
- OPENINGS AROUND GAS VENTS, DUCTS & PIPING @ EACH FLOOR SHALL BE FIRE STOPPED
- ALL DUCTS IN GARAGE THAT PASS THRU LIVING/GARAGE COMMON WALL SHALL BE 26 GA. STEEL OR THICKER
- PROVIDE 1 3/8" THICK SOLID CORE DOOR W/ CLOSER FROM GARAGE TO RESIDENCE.
- PROVIDE FIRE STOPS IN OPENINGS @ FLOOR CEILINGS OF ALL FIREPLACES FIREPLACE INSTALLATION AND USE SHALL BE ACCORDANCE WITH THEIR LISTING & LOCAL CODES.
- ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM WALL BOARD EXCEPT OTHERWISE NOTED.
- GYPSUM WALL BOARD SHALL BE INSTALLED PER 2019 CRC 702.3.
- INSTALL 5/8" TYPE "X" GYP. BD. ON WALLS AND CEILING @ USABLE UNDER STAIR CLOSET, WHERE APPLICABLE.
- WALL COVERING SHALL BE CEMENT BACKER BOARD, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
- PROVIDE WATER RESISTANT GYP. BD. ON ALL "WET" AREAS.
- DRAFTSTOPPING SHALL BE INSTALLED IN ALL ATTIC SPACES AND CONCEALED ROOF SPACES SUCH THAT NO HORIZONTAL AREA EXCEEDS 3,000 S.F.
- INTERIOR HANDRAILS & GUARDRAILS TO BE WOOD.
- EXTERIOR HANDRAILS & GUARDRAILS TO BE W/1. UNLESS NOTED.
- ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOOR. GLASS SUBJECT TO HUMAN IMPACT, ETC SHALL BE SAFETY TEMPERED
- EXTERIOR DOORS SHALL BE 1-3/4" THICK SOLID CORE. EXCEPTIONS: EXTERIOR DOORS 1-3/4" THICK WITH SOLID WOOD PANELS NOT LESS THAN 9/16" THICK ARE A SATISFACTORY ALTERNATIVE TO A SOLID CORE DOORS.
- VENTILATING OPENINGS SHALL BE COVERED WITH METAL MESH WITH MAX. 1/4" OPENINGS.
- F.A.U. & WATER HEATER INSTALLED ON 18" HIGH WOOD PLATFORM W/ 1 1/8" PLYWOOD TOP SURFACE.
- INSTALL SEISMIC STRAP ON ALL WATER HEATERS
- WATER HEATERS AND FURNACES TO BE CEC CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE STRAPS TO BE INSTALLED AT POINTS WITHIN UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT LOWER POINT, A 4" CLEARANCE SHALL BE MAINTAINED ABOVE CONTROLS, WHEN LOCATED IN GARAGE.
- WINDOWS MARKED AS "EGRESS": EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL NOT BE LESS THAN 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL NOT BE LESS THAN 20 INCHES. [R310.2.1] EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. [R310.2.2]
- CRAWL SPACE ACCESS TO BE 18" X 24" MIN.
- ATTIC ACCESS TO BE 30" X 22" MIN. PROVIDE 2 X 4 SOLID BACKING FOR RAILINGS, CABINETS, SHELVING, ACCESSORIES, ETC. AS NEEDED.
- EXTERIOR STUD WALLS TO BE 2 X 4 STUDS 16" O.C. W/BATT INSULATION. (UNLESS OTHER WISE NOTED - CHECK FLOOR PLANS.)
- WINDOWS AND DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MANUF. SPECIFICATIONS.
- MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIERS AND OR OWNER'S SPECIFICATIONS.
- WINDOWS TO BE DUAL-PANED (U.N.O.). INSTALL ALL WINDOWS AND DOOR AS PER MANUF. SPECIFICATIONS
- ATTICS WITH A VERTICAL HEIGHT OF 30" OR MORE REQUIRES ACCESS.
- ALL ATTICS ACCESS ARE A 1/2" PLYWOOD PANEL FINISHED WITH A GRADE SIDE TO THE OCCUPIED SPACE. PAINT TO MATCH THE CEILING TO THE PLYWOOD PANEL.
- UNDER-FLOOR AREA SHALL BE VENTILATED BY OPENINGS OF A NET AREA OF NOT LESS THAN 1/150 OF UNDER-FLOOR AREA. VENTILATED OPENINGS SHALL BE PROTECTED BY METAL MESH WITH A 1/4" MAX. OPENING.
- CONTRACTOR SHALL PROVIDE GALVANIZED SHEET METAL PAN UNDER ALL CLOTHES WASHER, WHEN LOCATED ON AN UPPER FLOOR.
- FLASH ALL EXTERIOR OPENINGS WITH SHEET METAL TO EXTEND 6" UNDER BUILDING PAPER BEHIND WALL OPENING.
- CABINET MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR CONTRACTOR, OWNER, OR HIS AGENT'S APPROVAL FOR ALL CABINET SIZES AND FINISHES, MATERIAL ETC.. SHOP DRAWING SUPERCEDE ALL INTERIOR ELEVATIONS.
- MINIMUM 26 GAGE IN THICKNESS FOR ALL AIRDUCTS PASSING THRU THE WALL TO THE GARAGE.
- LANDINGS SHALL HAVE A WIDTH NOT LESS THAN A WIDTH OF THE DOOR OR A STAIRWAY.
- LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD. (THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.) [R311.3.1] DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD. [R311.3.2]
- STAIRWAYS: 36" MINIMUM WIDTH, 7 3/4" MAX. RISE, 10" MIN. RUN AND 6"-8" MIN. HEAD ROOM
- TOILETS TO HAVE MIN. 30" WIDE X 24" DEEP CLEARANCE.
- PROVIDE WALL CLEAN-OUT FOR ALL SINKS
- CEILING HEIGHT OF ALL ROOMS TO INCLUDE FLOOR FINISH.
- PROVIDE COMBUSTION AIR FOR SOLID FUEL BURNING APPLIANCES
- ATTIC FURNACE: MINIMUM OF 5' IN HEIGHT OF CLEAR SPACE. A CONTINUOUS ACCESSIBLE OPENING AND PASSAGEWAY WITH A MIN. OF 22" X 30" IN SIZE OR AS LARGER AS THE SMALLEST PIECE OF EQUIPMENT. MAX. 20 FEET TRAVEL PATH AND 24" WIDE W/ SOLID FLOOR PASSAGEWAY. MIN. 30" X 30" WORKING PLATFORM IN FRONT OF THE ENTIRE FIREBOX. A PERMANENT ELECTRICAL OUTLET AND LIGHTING FIXTURE.
- SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22-INCH UNOBSTRUCTED OPENING FOR EGRESS.

WINDOW SIZES UPDATED AFTER CITY APPROVAL 06-21-21

PROPOSED DOOR SCHEDULE				
AREA	NUMBER	SIZE	LABEL	QUANTITY
1st FLOOR	SD	12068	PATIO SLIDING DOOR	1 NO.
2nd FLOOR	D1	2668	POCKET DOOR	1 NO.
	D2	2668	RH SWING DOOR	1 NO.
	D3	2668	BARN DOOR	1 NO.
	D4	4068	CLOSET DOOR - BY PASS OR BIFOLD DOOR	1 NO.

PROPOSED WINDOWS SCHEDULE					
AREA	NUMBER	SIZE	TYPE	EGRESS	QUANTITY
1st FLOOR	W	6030	HORIZONTAL SLIDER	NO	1 NO.
2nd FLOOR	W	8040	SINGLE HUNG/CASEMENT	YES	2 NO.
	W1	6040	HORIZONTAL SLIDER	YES	2 NO.
	W2	4040	HORIZONTAL SLIDER	YES	3 NO.
	W3	3030	HORIZONTAL SLIDER	NO	2 NO.
	W4	3030	HORIZONTAL SLIDER TEMPERED GLASS	NO	1 NO.
	W5	2030	HORIZONTAL SLIDER TEMPERED GLASS	NO	1 NO.

CORRECT ROOF PLAN ALSO



1/4" PROPOSED SECOND FLOOR PLAN

LEGEND

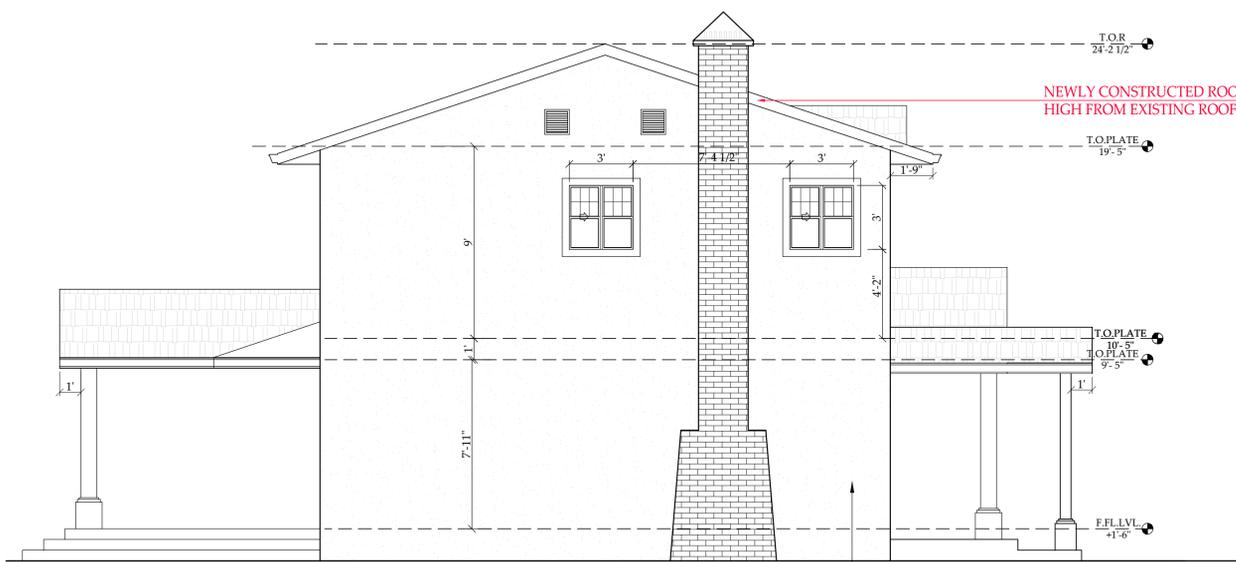
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- 2: PROPOSED NEW WALL

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TITLE	ELEVATIONS

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1/4" PROPOSED LEFT SIDE ELEVATION

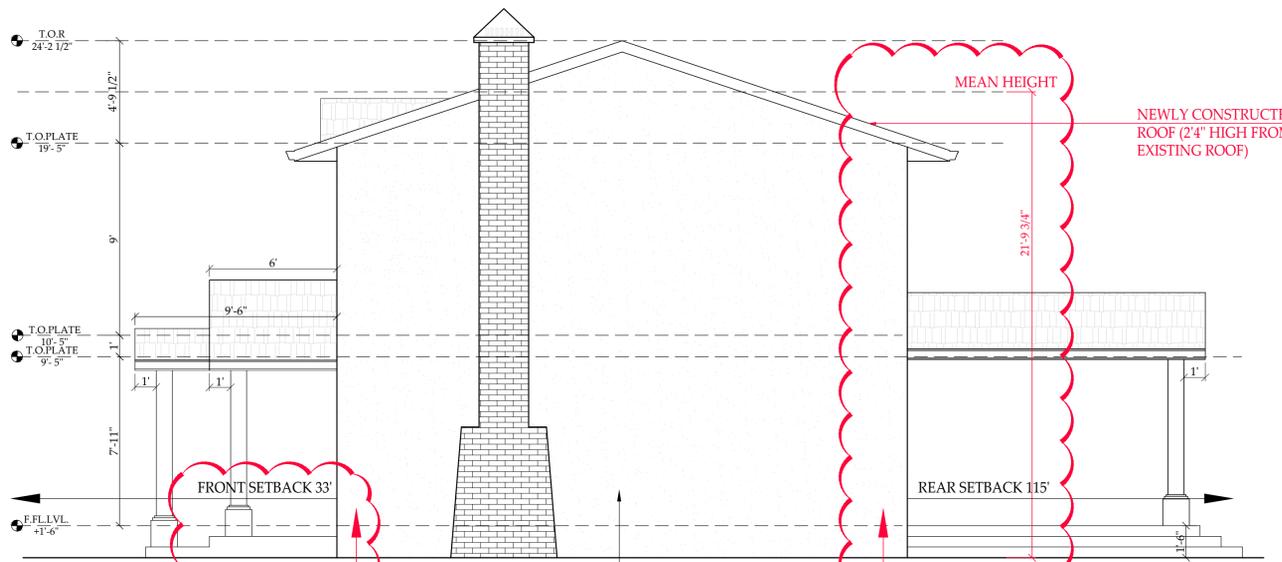
3-COAT STUCCO EXTERIOR FINISH  
W/2 LAYERS OF GRADE D PAPER  
O/3/8" PLYWD O/2X4 STUDS @ 16"  
OC W/R-19 INSUL. (TYP.)



1/4" PROPOSED FRONT ELEVATION  
OPTION-02

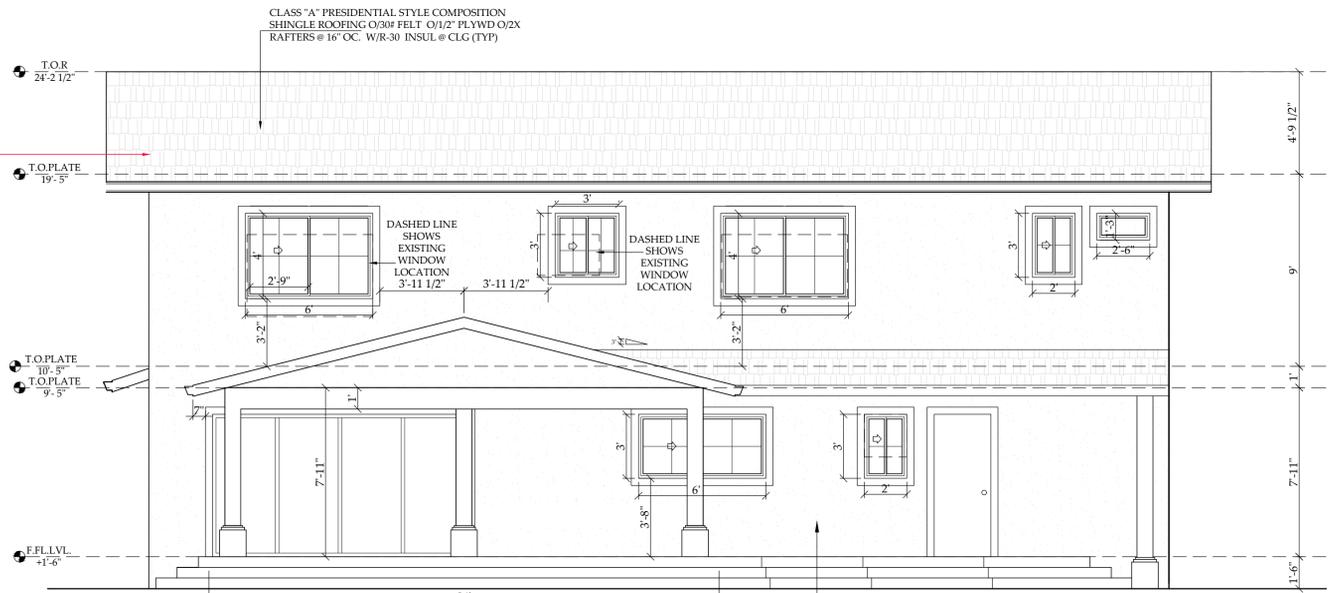
3' WIDE WINDOW TRIMS  
3' HIGH STONE VENEER/BRICK  
3-COAT STUCCO EXTERIOR FINISH  
W/2 LAYERS OF GRADE D PAPER  
O/3/8" PLYWD O/2X4 STUDS @ 16"  
OC W/R-19 INSUL. (TYP.)

FENCE/PROPERTY LINE  
MIN. 4'-0" SETBACK ACHIEVED  
BETWEEN BUILDING EAVES &  
PROPERTY LINE AT CRITICAL  
POSITION



1/4" PROPOSED RIGHT SIDE ELEVATION

3-COAT STUCCO EXTERIOR FINISH  
W/2 LAYERS OF GRADE D PAPER  
O/3/8" PLYWD O/2X4 STUDS @ 16"  
OC W/R-19 INSUL. (TYP.)



1/4" PROPOSED REAR ELEVATION

3-COAT STUCCO EXTERIOR FINISH  
W/2 LAYERS OF GRADE D PAPER  
O/3/8" PLYWD O/2X4 STUDS @ 16"  
OC W/R-19 INSUL. (TYP.)

ELEVATION NOTES

UNDERLAYMENT FOR ASPHALT SHINGLES SHALL COMPLY WITH ASTM D226 TYPE I; ASTM D4869 TYPE I, II, III OR IV; ASTM D6757, AND SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION. [TABLE R905.1.1(1)]

STUCCO- MINIMUM 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/8"

STUCCO SHALL BE 7/8" THICK AND THREE COAT APPLIED OVER APPROVED WIRE LATH AND TWO LAYERS OF GRADE D BUILDING PAPER, 60 MINUTE & INDEPENDENTLY WRAPPED. PROVIDE WEEP SCREED (CBC 2510.6/ CRC R703.6

PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY.(CBC 2113.9.1/ CRC 1003.9.1)

ROOF SLOPES >:12 AND <:4:12 WITH ASPHALT SHINGLES SHALL HAVE TWO LAYERS OF 15 LBS. FELT APPLIED SHINGLE STYLE. (CRC 1507.2.2/ CRC 905.2.2)

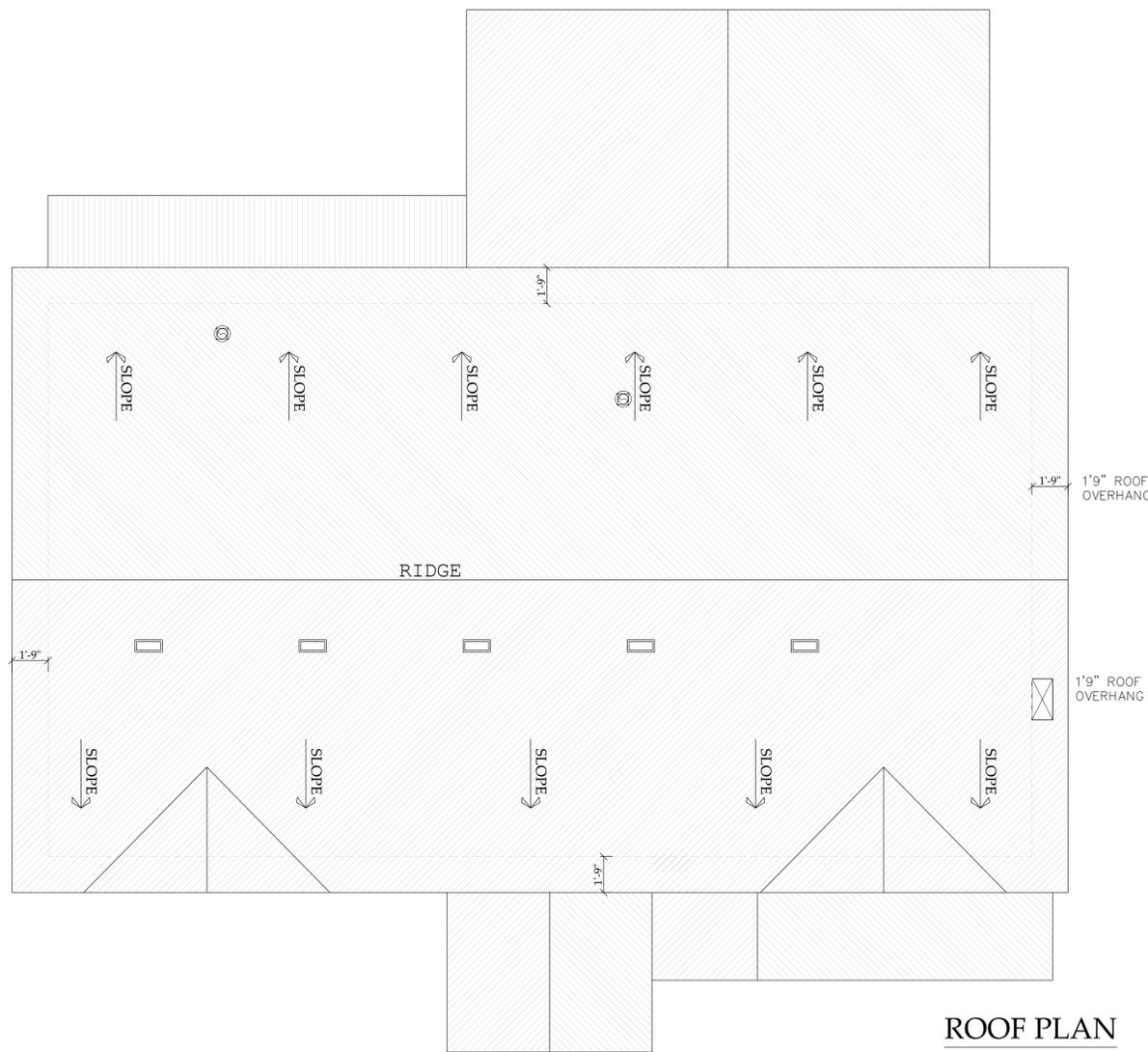
ATTIC AREAS SHALL HAVE CROSS VENTILATION AT 1/150 FOR THE ENTIRE AREA WITH 50% OF THE REQUIRED VENT AREA TO BE VENTILATORS LOCATED A MINIMUM OF 3" ABOVE EAVE OR CORNICE VENTS. SCREENS OVER THE OPENINGS SHALL HAVE 1/8" TO 1/4" OPENINGS. (CBC 1203/ CRC R806)

PROVIDE ATTIC ACCESS (20"x30") FOR NEW AREAS. (CBC 1209/ CRC R408.4)

NOTE: THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DEvised SOLEly FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF RICHIA MITTAL

REVISIONS	BY

DRAWN	RM
CHECKED	RM
DATE	12-17-21
SCALE	AS NOTED
PERMIT NUMBER	BLD-2021-523
TITLE	SECTIONS AND ROOF PLAN
<b>A5</b>	
SHEET	5 of 7



**ROOF PLAN**

**FOUNDATION VENTILATION CALC'S:**

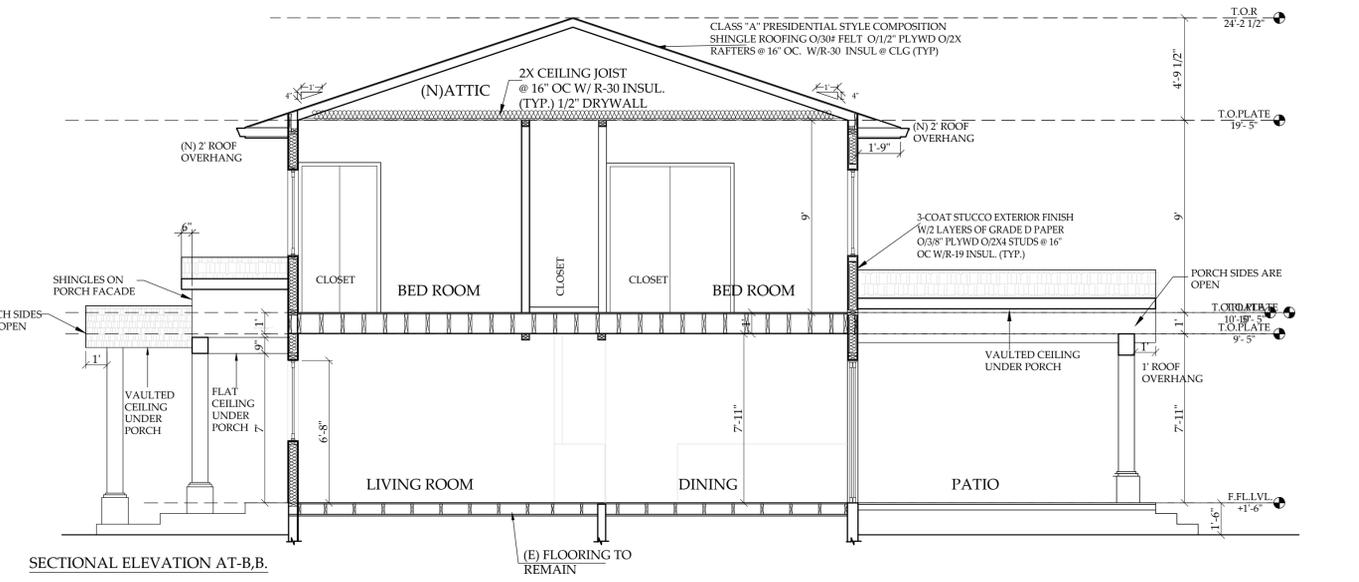
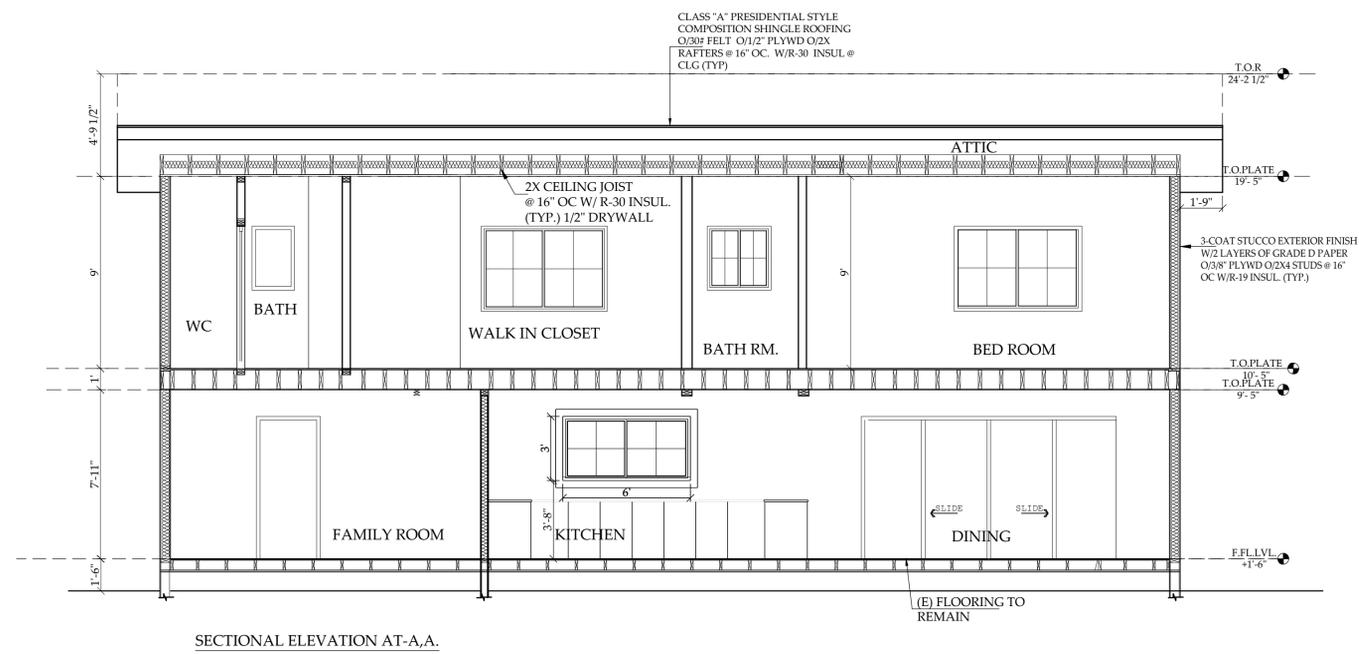
NO NEW FOUNDATION VENTS REQUIRED AS EXISTING LIVING SPACE SF IS SAME AS PROPOSED WITH NO CHANGES IN CRAWL SPACE.

**ATTIC VENTS:**

1287.816 SF (NEW ATTIC AREA) x 1/150 = 8.58 SF  
 8.58 SF X 144 = 1235.52 SQ. IN. VENTILATION REQUIRED.  
 USE EYEBROW, GABLE, AND EAVE VENTS TO PROVIDE VENTILATION AT (N) ATTIC AREA EQUAL TO 1235.52 SQ. IN. MINIMUM.  
 AREA OF (E) VENTS BLOCKED BY (N) CONSTRUCTION. INSTALL FOR BALANCED VENTING WITH 50% OF THE REQ. VENTILATING AREA LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.  
 5 NUMBER 5"X14" EAVE VENTS, THAT IS 5X70 = 350 SQ.IN.  
 4 NUMBER 9"X14"(NET OPENING 94.5 SQ.IN.) EYEBROW VENT, THAT IS 4X94.5= 378 SQ.IN.  
 4 NUMBER GABLE VENT 12"X12" = 576 SQ.IN.  
 TOTAL 350 + 378 + 576 = 1304 SQ.IN > 1235.53 SQ.IN. REQUIRED

**ROOF PLAN NOTES**

- ROOFING:** ASPHALT SHINGLE ROOF COLOR TO BE SELECTED BY OWNER. OVER 30 LB. ROOFING FELT. INSTALL PER MANUF. SPECS.
- BUILT-UP ROOF, CLASS "A"** 28 LB BASE PLY, ATTACHED MECHANICALLY 9" OC EDGES, AND 18" OC FIELD. INNER PLYS, 11 LB. FELT W/ MIN. 25 LB. MOPPING. 78 LB. MINERAL SURFACE CAP SHEET.
- FLASHING & COUNTER FLASHING:** 26 GAUGE STEEL, U.O.N., AS REQUIRED AT JUNCTURE OF ROOF AND VERTICAL SURFACES. SEE SHEET METAL NOTES ON SHEET SP.
- VALLEY FLASHING:** 26 GAUGE GALV. STEEL OVER 15 LB. FELT. CRICKETS SIMILAR.
- DOWNSPOUTS:** 2 1/4" DIA ROUND GALV. STEEL DOWN SPOUTS. PROVIDE BASKET STRAINER AND SPLASH- BLOCK AT EACH DOWNSPOUT.
- GUTTERS:** 5" GALV. STEEL GUTTER

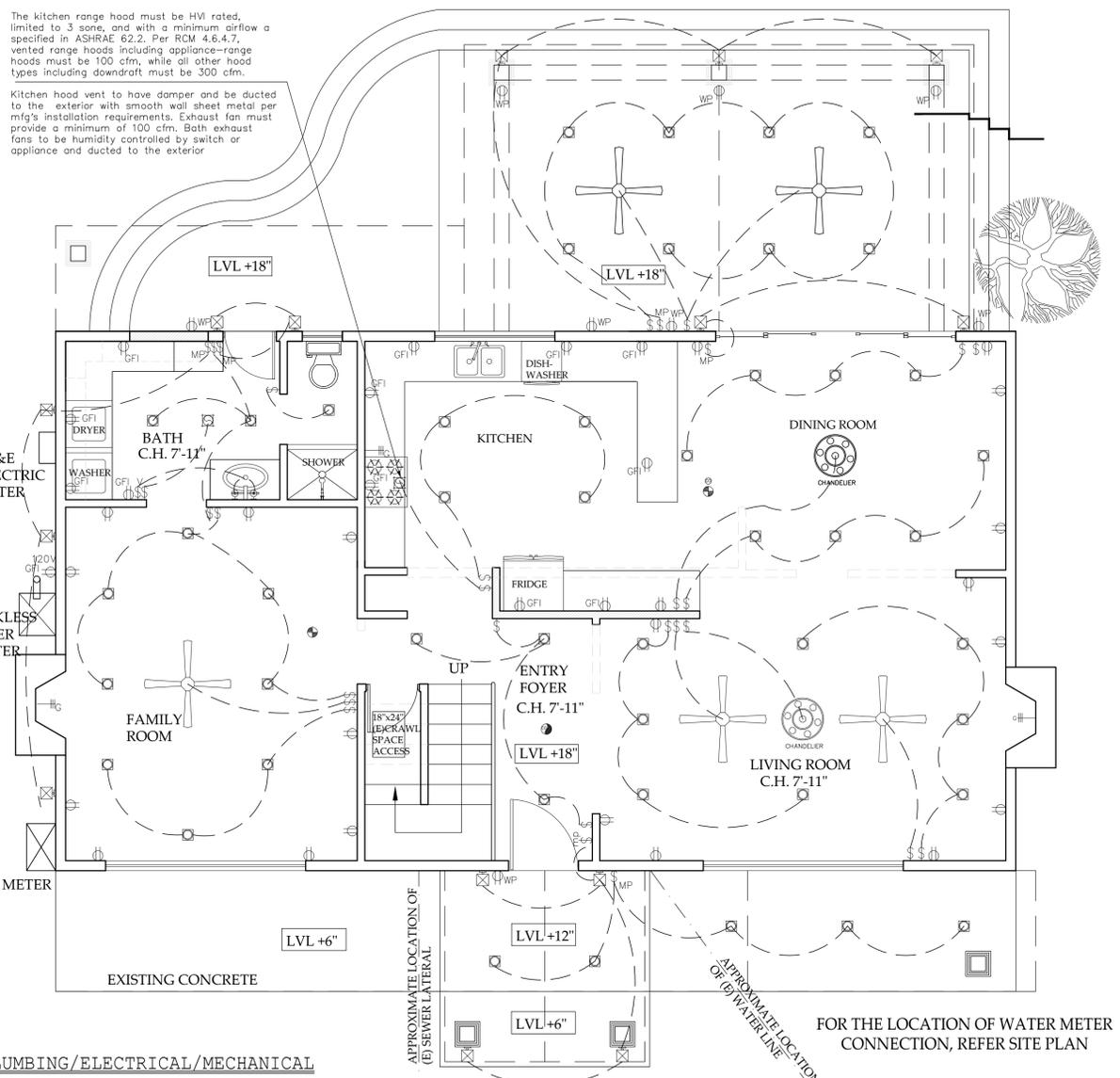


**SECTIONAL ELEVATION AT-B,B.**

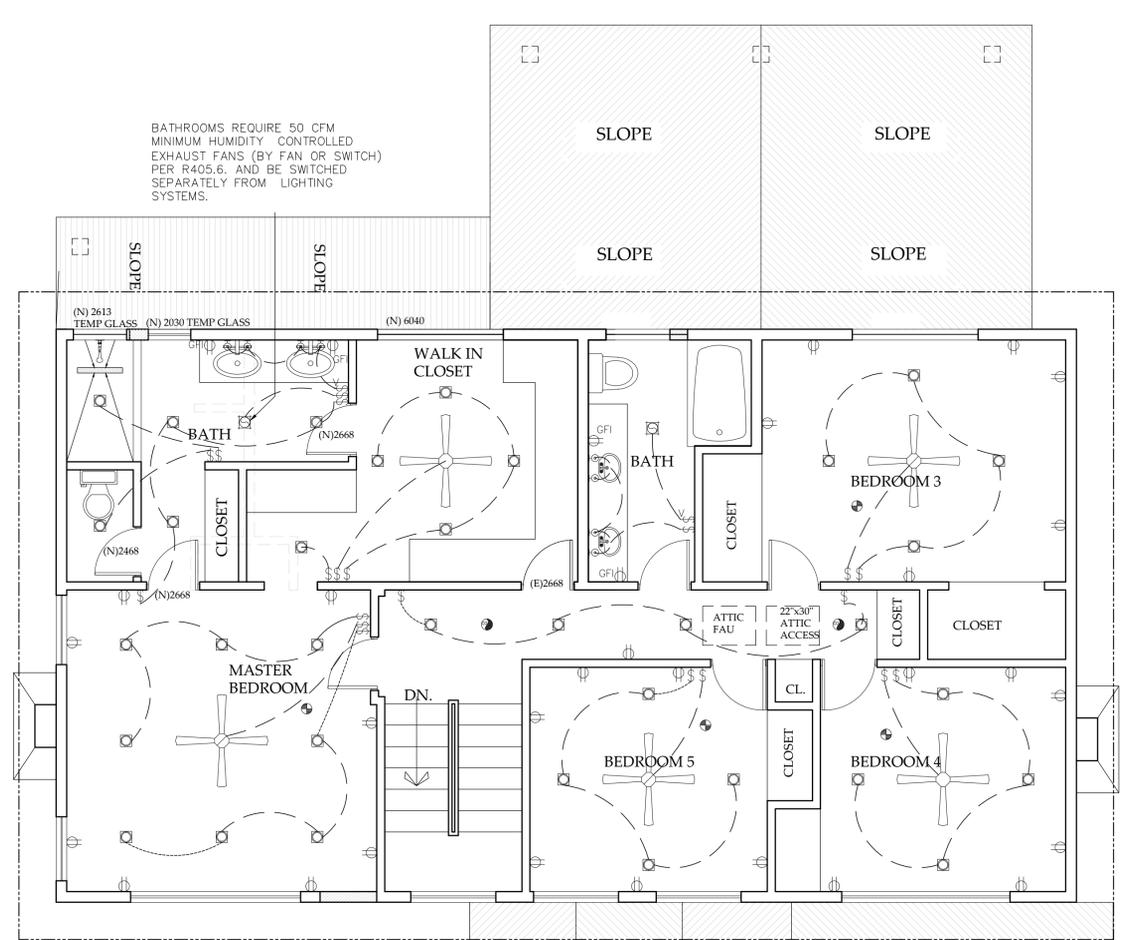
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REVISIONS	BY

DRAWN	RM
CHECKED	RM
DATE	12-17-21
SCALE	AS NOTED
PERMIT NUMBER	BLD-2021-523
TITLE	ELECTRICAL FLOOR PLANS
<b>A6</b>	
SHEET 6 OF 7	



1/4" PROPOSED FIRST FLOOR MEP PLAN



1/4" PROPOSED SECOND FLOOR MEP PLAN

**PLUMBING/ELECTRICAL/MECHANICAL GENERAL NOTES**

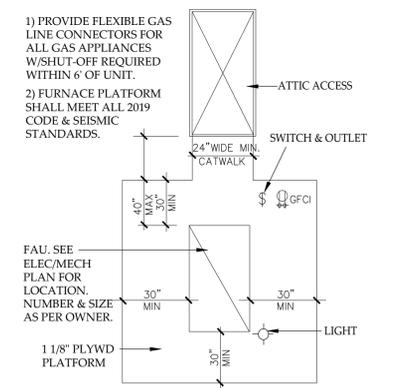
INSTALLING CONTRACTOR TO DESIGN & BUILD COMPLETE AND FUNCTION SYSTEMS.  
OWNER TO SELECT ALL ELECTRICAL FIXTURES, EQUIPMENT AND DEVICES INCLUDING SWITCHES AND OUTLETS NOT OTHERWISE SPECIFIED.  
FIELD VERIFY LOCATION OF ALL OUTLETS, LIGHTS, TELEPHONE, CABLE JACKS AND ELECTRICAL EQUIPMENT WITH OWNER.  
GENERAL LIGHTING MUST BE FLUORESCENT OR ON A DIMMER OR MANUAL ON-OCCUPANCY SENSOR.  
LIGHTING AT NEW CLOSETS UNDER 70 SF IS EXEMPT FROM THIS REQUIREMENT.  
ALL NEWLY INSTALLED EXTERIOR LIGHTING TO BE HIGH EFFICACY AND BE CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE THE AUTOMATIC ACTIONS OF ITEMS SHOWN ON CENC 150.(K)(3)(II) OR CENC 150.(K)(3)(III).  
AT LEAST ONE LIGHT FIXTURE IN THE BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS TO BE CONTROLLED BY VACANCY SENSOR OR OCCUPANCY SENSOR PER CENC 150.(K)(2)(J).  
NEW EXTERIOR ELECTRICAL FIXTURES TO BE SUITABLE FOR WET LOCATIONS.  
ALL CAN LIGHTS TO BE IC & AT RATED.  
NEW LIGHTING FIXTURES IN CLOSETS TO HAVE THE FOLLOWING CLEARANCES:  
TO COMBUSTIBLE SHELVES:  
1. SURFACE MOUNTED INCANDESCENT FIXTURES SHALL HAVE 12" CLEAR AND ENCLOSED LAMP  
2. FLUORESCENT & RECESSED FIXTURES TO HAVE MIN. 6" CLEARANCE  
ALL NEW EXTERIOR OUTLETS TO BE GFI PROTECTED AND INSTALLED IN A WEATHER PROOF BOX  
REQUIRED NEW EXTERIOR OUTLETS TO BE WITHIN 6'-6" OF FINISH GRADE  
ALL REQ. 15/20 AMP RECEPTACLES LISTED IN SECTION 210.52, SHALL BE LISTED TAMPER RESISTANT, RECEPTACLES PER CEC 406.11 ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED RECEPTACLES SHALL BE INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS PER CEC 210.12(A).  
ALL GARAGE OUTLETS TO BE GFI  
GAS SHUT OFF VALVE FOR FIREPLACE TO BE INSTALLED OUTSIDE OF THE HEARTH AREA. MIN. 36"  
AND MAX OF 48" FROM GAS SUPPLY VALVE.  
NEW HOSE BIBBS SHALL BE PROVIDED W/ ANTI SIPHON VALVES  
NO REQUIRED UNDERFLOOR CLEAN-OUT SHALL BE MORE THAN 20' FROM AN ACCESS DOOR (CPC 707.10)  
PROVIDE WALL CLEANOUTS FOR ALL NEW SINKS

**BATH:**  
WALL COVERING SHALL BE CEMENT BACKER BOARD, TILE OR APPROVED EQUAL TO 72" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.  
SHOWER LINING REQUIRED IN PERMANENT BUILT IN SHOWER SEATS UP THE WALL 3" AND PITCHED 1/4" PER FT.  
SHOWER COMPARTMENTS SHALL BE A MIN OF 1024 S.I. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" CIRCLE.  
PROVIDE WATER RESISTANT GYP. BD. ON ALL "WET" AREAS.  
PROVIDE TEMPERATURE MIXING AND PRESSURE BALANCE VALVE AT ALL SHOWERS.  
TOILETS SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH PER HEALTH AND SAFETY CODE.  
TOILETS TO HAVE MIN. 30" SIDE X 24" CLEARANCE IN FRONT OF TOILET AND MIN. 15" CLEAR FROM CENTER OF TOILET TO EACH SIDE. FLOW RATES  
SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80PSI.  
THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS (6.8 / L) PER MINUTE AT 60 PSI.  
THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI.  
THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.  
ALL LIGHTING SHALL BE HIGH EFFICACY FIXTURES.  
ALL INTERIOR SWITCHES SHALL BE DIMMER OR VACANCY SENSOR TYPE. VACANCY SENSOR SWITCHES REQUIRED AT BATHROOM, LAUNDRY, GARAGE, AND WALK IN CLOSET.  
ALL OUTLETS WITHIN 6'-0" OF ANY SINK OR WET LOCATION TO BE GFI PROTECTED  
LIGHTS OVER SHOWER AND TUBS MUST BE WATERPROOF  
A DEDICATED 20 AMP CIRCUIT SHALL BE PROVIDED TO SERVE BATHROOM OUTLETS. THIS CIRCUIT SHALL NOT SUPPLY ANY OTHER OUTLETS, LIGHTS OR FANS.  
A SEPARATE CIRCUIT IS REQUIRED FOR HYDROMASSAGE BATH TUBS AND GFI PROTECTED AND BONDED MOTORS SHALL BE UL LISTED FOR HYDRO MASSAGE USE AND A REMOVABLE PANEL OF SUFFICIENT DIMENSION SHALL BE INSTALLED TO ACCESS PUMP.  
ALL BATHROOMS REQUIRE A VENT FAN WITH MIN. 50 CFM.  
ALL VENT TERMINATIONS MUST BE 10' AWAY OR 3' ABOVE ANY OPENING. TYP.

**KITCHEN:**  
ALL NEWLY INSTALLED INTERIOR LIGHTING SHALL BE HIGH EFFICACY (NO EXCEPTIONS) PER CENC 150.(K)(1)(A).  
PROVIDE AT LEAST 2- 20 AMP DEDICATED SMALL APPLIANCE CIRCUITS AT KITCHEN COUNTER TOPS  
PROVIDE DEDICATED CIRCUITS FOR: DISHWASHER, GARBAGE DISPOSAL, TRASH COMPACTOR AND BUILT IN MICROWAVE  
PROVIDE COUNTER TOP OUTLETS AT 48" OC MAX  
PROVIDE AT LEAST ONE COUNTER TOP OUTLET FOR COUNTER TOP 12" OR WIDER  
PROVIDE AT LEAST ONE COUNTER TOP OUTLET FOR ISLAND OR PENINSULA COUNTERTOPS WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER  
ALL KITCHEN COUNTER TOP OUTLETS TO BE GFI PROTECTED  
NO DISHWASHER MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHER MACHINE  
PROVIDE GAS SHUT-OFF @ STOVE IN AN ACCESSIBLE LOCATION  
RANGE HOOD MUST EXTEND FULL WIDTH OF RANGE. INSTALL PER MANUF. SPECIFICATIONS.  
RANGE HOOD MUST TERMINATE A MIN. OF 3' FROM ANY AIR INTAKE OR OPENING INTO THE BUILDING.  
KITCHEN COUNTERTOP RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24-INCHES MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. EACH COUNTERTOP SPACE THAT IS 12-INCHES OR WIDER SHALL REQUIRE A RECEPTACLE. (CEC 210.52(C)(1))  
RECEPTACLE OUTLETS SHALL BE LOCATED ON OR ABOVE, BUT NOT MORE THAN 20-INCHES ABOVE THE COUNTERTOP.  
WATER HEATER:  
WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE.  
PROVIDE 1 1/2 X 16" GAUGE STRAPS AT TOP AND BOTTOM WITH 3/8" DIA X 3" LONG LAG BOLT AT EACH END.  
TANKLESS WATER HEATERS LOCATED WITHIN HABITABLE SPACE REQUIRE SPEC. FOR COMBUSTION AIR SUPPLY AND VENTING.

**FURNACE:**  
AN APPROVED, INDEPENDENT MEANS OF DISCONNECT FOR THE ELECTRICAL SUPPLY TO EA. PIECE OF EQUIPMENT SHALL BE PROVIDED WITHIN SIGHT OF THE EQUIPMENT SERVED WHEN THE SUPPLY VOLTAGE EXCEEDS 50 VOLTS. (CMC 308, CEC 422.31(B), CEC 422.33(A))  
A DEDICATED CIRCUIT SHALL BE PROVIDED FOR THE FURNACE. (CEC 422.12)  
A 120 VOLT SERVICE RECEPTACLE SHALL BE LOCATED WITHIN 25 FEET OF, AND ON THE CONNECTED ON THE LOAD SIDE OF THE REQUIRED MEANS OF DISCONNECT. (CMC 308)  
A PERMANENT SWITCH CONTROLLED LIGHTING FIXTURE SHALL BE INSTALLED FOR MAINTENANCE OF EQUIPMENT AND SHALL BE ACCESSIBLE. SUCH FIXTURE SHALL PROVIDE SUFFICIENT ILLUMINATION TO SAFELY APPROACH THE EQUIPMENT AND PERFORM THE TASKS FOR WHICH THE ACCESS IS PROVIDED. CONTROL OF THE LIGHTING SHALL BE PROVIDED AT THE ACCESS ENTRANCE. (CMC 904.11.5, CEC 210.70)  
COMBUSTION AIR MUST BE MAINTAINED (CMC CHAPTER 7) THE CLEAR SPACE AND DISTANCE TO COMBUSTIBLE MATERIALS AROUND THE FURNACE UNIT SHALL COMPLY WITH THE MANUF. INSTALLATION INSTRUCTIONS. (CMC 904.2)  
A SEDIMENT TRAP SHALL BE INSTALLED ON THE GAS LINE DOWNSTREAM OF THE APPLIANCE SHUT-OFF VALVE AND AS CLOSE TO THE INLET OF THE EQUIPMENT AS PRACTICAL (CPC 1212.7)  
APPLIANCES GENERATING A GLOW, SPARK, OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS MAY BE INSTALLED IN A GARAGE PROVIDED THE PILOTS, BURNERS OR HEATING ELEMENTS AND SWITCHES ARE A MIN. OF 18" ABOVE THE FLOOR LEVEL. (CMC 307.1)  
EXCEPTION: SEALED COMBUSTION SYSTEM APPLIANCES MAY BE INSTALLED AT FLOOR LEVEL  
WHEN LOCATED IN A GARAGE AND SUBJECT TO VEHICULAR DAMAGE, ADEQUATE BARRIERS MUST BE INSTALLED (E.G., 4" DIA. STEEL PIPE FILLED WITH CONCRETE INSTALLED IN A FOOTING MEASURING 12" RND. AND 3" DEEP). (CPC AND CMC 307.1)  
THE FURNACE SHALL BE PROPERLY ANCHORED AND SUPPORTED TO SUSTAIN VERTICAL AND HORIZONTAL LOADS WITHIN THE STRESS LIMITATIONS SPECIFIED IN THE CBC (CPC & CMC. 303.4)  
LAUNDRY:  
PROVIDE A MIN OF ONE 20 AMP LAUNDRY BRANCH CIRCUIT. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS (CEC 210-23(A))  
VENT DRYER TO OUTSIDE W/ MIN. 4" RND BY 14' MAXIMUM LENGTH DUCT INCLUDING NO MORE THAN 2-90 DEGREE ELBOWS AND EQUIPPED W/ BACK DRAFT DAMPER  
WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING OF NOT LESS THAN 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS. REVISE DRAWING TO SHOW COMPLIANCE. [CMC A.6e]

**SMOKE AND CARBON MONOXIDE ALARMS**  
SMOKE ALARM TO BE AC/DC WITH A BATTERY BACK UP AND LOCATED WITHIN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED OUTSIDE EACH SLEEPING ROOM. ALL FLOOR LEVELS SHALL HAVE A SMOKE ALARM AND SHALL BE INTERCONNECTED, UL LISTED & CALIF. STATE FIRE MARSHALL APPROVED.  
CARBON MONOXIDE ALARMS SHALL BE LOCATED AT A POINT CENTRALLY LOCATED OUTSIDE EACH SLEEPING ROOM.  
SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.  
WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION. [R314.6]  
CARBON MONOXIDE ALARMS MUST ALSO RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. [R315.6]



FLOOR PLAN FOR ATTIC FURNACE

ELECTRICAL	SYMBOL
EXHAUST FAN	⊠
Under Eave- Waterproof- Outlet	⊠ WP
gas bibb	⊠
LED can lights	⊠
exterior light- water proof	⊠ WP
DIMMER	⊠
smoke detector- interconnected with the existing house	⊠
carbon monoxide detector	⊠
Combined Smoke and Carbon Monoxide ALARM	⊠
manual on, auto off switch	A ⊠
motion sensor with photo cell	⊠
outlet	⊠
outlet gfi	⊠ GFI
outlet water proof	⊠ WP
switch	⊠
wall sconce	⊠
ceiling light	⊠
pendant light	⊠
manual on, vacancy sensor switch	V ⊠
ceiling fan	⊠

ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED "TAMPER-RESISTANT RECEPTACLES".

ARC FAULT (AFCI) REQUIRED IN FAMILY RMS, DINING RMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, REC RMS, CLOSETS, AND HALLWAYS AND LIGHTING. GROUND FAULT (GFCI) IS REQUIRED IN BATH RMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS, AND LAUNDRY AREAS.

ALL NEW LIGHTING SHALL BE HIGH-EFFICACY COMPLIANT TO TABLE 150.0A CEC. SCREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES IN CEILING RECESSED DOWNLIGHTS AND LED'S ARE TO BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.

- EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING.
- EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCELL AND MOTION PER ENERGY 110.9
- UNDER CABINET LIGHTING SHALL BE CONTROLLED BY SEPARATE SWITCHING.
- AT LEAST ONE FIXTURE IN EACH LAUNDRY ROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.
- AT LEAST ONE FIXTURE IN EACH UTILITY ROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.
- AT LEAST ONE FIXTURE IN EACH BATHROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.



# GENERAL NOTES

## DESIGN

Design conforms to 2019 California Building Code & 2016 International Building Code.

Design live loads:  
 Roof (Flat) .....20 psf  
 Hotel Floors .....40 psf

### Seismic Design Data:

Longitude: 37.406      Latitude: -122.065  
 S<sub>s</sub>= 1.500      S<sub>1</sub>=0.600      F<sub>0</sub>=1.2      F<sub>v</sub>= n/a      S<sub>d</sub>=1.00      S<sub>d1</sub>=0 n/a  
 Site Class: D  
 Seismic Design Category: D

### Wind Design Data:

Basic wind speed (3-second gust) = 85 mph  
 Wind Importance Factor: 1.0  
 Occupancy Category: II  
 Wind Exposure: C

Dimensions refer to rough concrete surfaces, face of studs, face of conc. block, top of sheathing, or top of slab, unless otherwise indicated.

Typical Details and notes on these sheets shall apply unless specifically shown or noted otherwise. Construction details not fully shown or noted shall be similar to details for similar conditions. All work and construction shall comply with all applicable building codes, regulations, and safety requirements.

Discrepancies: The Contractor shall inform the Architect in writing, during the bidding period, of any discrepancies or omissions noted on the drawings or in the specifications, or of any variations needed in order to conform to codes, rules, and regulations. Upon receipt of such information, the Architect will send written instructions to all concerned. Any such discrepancy, omission, or variation not reported shall be the responsibility of the Contractor, and work shall be performed in a manner as directed by the Architect.

Shoring: It shall be the Contractor's sole responsibility to design and provide adequate shoring, bracing, and formwork, etc., as required for the protection of life and property during the construction of this building.

Other Trades: See architectural, electrical, and mechanical drawings for size and location of pipe, vent, duct, and other openings, and details not shown on these structural drawings. All dimensions are to be checked and verified with the architectural drawings.

Waterproofing: Specifications and detailing of all waterproofing and drainage items, although sometimes indicated on the structural drawings for general information purposes only, are solely the design responsibility of others.

## FOUNDATIONS

Foundations conform to recommendations of Geotechnical Report entitled "Geotechnical Investigation for Proposed Holiday Inn Express, 870 Leong Drive, Mountain View, CA," prepared by Wayne Ting & Associates, Inc., dated June 28, 2018.

Mat Slab Foundation Allowable Bearing Pressure: 1,500 psf (Dead + Live)  
 Mat Slab Foundation Allowable Bearing Pressure: 2,000 psf (Dead + Live+ Short Term)  
 Modulus of Subgrade Reaction: 50 k.c.f.

Sliding loads may be resisted by friction between mat slab and underlying soil, with a friction value of 0.30

See vapor mitigation report for preparation of soils under mat slab. Retaining Wall equivalent fluid pressure of 50 pounds per cubic foot for unrestrained conditions and 70 pcf for restrained. Surcharge loads will add a uniform lateral pressure of one-half of the vertical loading. Lateral earthquake loads shall be added with a design value of 30 pcf and a height of .6 of the wall height.

A drainage system should be installed behind the walls to prevent buildup of water pressure from surface water infiltration.

## CONCRETE WORK

Forms shall be properly constructed conforming to concrete surfaces as shown on the drawings, sufficiently tight to prevent leakage, sufficiently strong, and braced to maintain their shape and alignment until no longer needed to support the concrete. Forms for exposed concrete shall be plywood, using sheets as large as possible, with all joints tightly fitted and blocked, and shall produce a finished concrete surface which is smooth, true, and free from blemishes according to accepted standards for Architectural Concrete. See architectural, electrical, and mechanical drawings for details at door and window openings, floor type hinges, etc., and for location of sleeves, pipes, and other embedded items. Openings through slabs or walls not shown on the structural drawings which would interrupt reinforcing bars shall not be made without approval of the Architect. Debris should be entirely removed from forms prior to concrete placement.

Reinforcing bars shall conform to ASTM A615 Grade 60. Welded rebar shall conform to ASTM A706. Bars shall be securely tied in place so as to maintain their exact position before and during the placement of concrete. Lap bars 24 diameters unless otherwise noted. Reinforcing bar fabrication laps and placing shall conform to the Manual of Standard Practice of the Western Concrete Reinforcing Steel Institute, unless otherwise noted on drawings.

Clear distances, steel to forms, unless noted otherwise:

Clear distance between bars ..... 2"  
 Slabs on rolled grade ..... 1-1/2"  
 Formed surfaces in contact with earth ..... 2"  
 Unformed surfaces in contact with earth ..... 3"

Concrete shall be ready mixed conforming to ASTM C94. All hardrock (H.R.) concrete used in columns and slabs on grade shall be designed for low shrinkage (L.S.) using Granite Rock, Kaiser Limestone, or Kaiser Clayton, aggregates with Radum sand or equal. Aggregates with equivalent shrinkage characteristics can be submitted to the Architect for review. Slump shall be the minimum consistent with proper placing. Concrete shall have the following characteristics:

Location	Coarse Aggregate	Strength at 28 Days	Max. Slump	Min. Cement Content	Max. Water/Cement Ratio
Footings.....	1" H.R.	3000 psi	4"	5 Sacks	0.60
Slab on grade ....	1" H.R.-L.S.	3000 psi	4"	5 Sacks	0.45
Retaining Walls....	1" H.R.-L.S.	3000 psi	4"	5 Sacks	0.45

Use maximum size aggregate as noted above. Use 3/8" maximum aggregate where necessary for proper placing, such as in thin or congested sections, etc. Superplasticizers may be used to improve workability in thin or congested sections. Incorporate superplasticizers into concrete mix designs. All concrete except slabs on grade 6" thick or less shall be mechanically vibrated so as to completely fill the forms without causing undue segregation. Any defects in the hardened concrete shall be satisfactorily repaired or shall be replaced. Contractor shall submit for review by the Architect the concrete mixes he proposes to use, designed by the concrete supplier and reviewed by an approved testing laboratory. In addition, the Contractor shall submit test records for the proposed mix design per UBC Section 1905.3. Four test cylinders from each 150 yards, or fraction thereof, poured in any one day, shall be secured and reported by an independent testing agency; one to be tested at 7 days, two at 28 days, and the fourth held in reserve.

## CARPENTRY

Framing lumber shall meet the following minimum standard except where otherwise noted:

USE	SPECIES	GRADE	AUTHORITY
Mudsills	3 x	D.F.	No. 2 or Better IBC

Plywood (or equivalent A.P.A. marked O.S.B. panels)	A.P.A.	Exposure 1 or CD Int. w/ Exterior Glue	IBC Standards 23-2 or 23-3
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### Horizontal and Sloping framing lumber:

4 x 4 and smaller	D.F.	No. 2	WCLIB & WHPA
2 x roof joists and rafters	D.F.	No. 2	WCLIB & WHPA
2 x floor joists	D.F.	No. 2	WCLIB & WHPA
4 x headers and beams	D.F.	No. 2	WCLIB & WHPA
6 x 6 and larger	D.F.	No. 1	WCLIB & WHPA

### Vertical framing lumber:

2 x 4 & 3 x 4 studs	D.F.	No. 2	WCLIB & WHPA
2 x 6 & 2 x 8 studs	D.F.	No. 2	WCLIB & WHPA
4 x 4 & 4 x 6 posts	D.F.	No. 2	WCLIB & WHPA
6 x 6 & larger posts	D.F.	No. 1	WCLIB & WHPA

All other framing lumber, u.n.o.	D.F.	Standard & Better	WCLIB & WHPA
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All wood exposed to weather shall be pressure treated or Redwood.

Joist hangers and other metal framing accessories are referred to on plans by particular type as manufactured by Simpson Company, San Leandro, California.

### Schedule of Minimum Permissible Nailing

Studs to bearings	2x, 3x Studs	2-16d nails (tilt-up) or 2-8d toenails each side
Dbl. 2" top plates	Lower plate to stud	2-16d
	Upper to lower staggered	16d at 12"o.c. except at lap
	Lap at splices	12-16d
	Lap at intersections	2-16d
Joist, Rafter	To bearing	2-8d toenails each side
	To parallel members	16d at 12"o.c.
Upper sole plate	To joist or blocking	16d at 8"o.c.
	To joist or rafter	2-16d toenails each end
Blocking	To studs	2-16d toenails each end
	To adjacent member	16d at 12"o.c.
Horizontal blocking	To studs	Edge nailing with 8d or 10d at 6"o.c.
	To blocking	See typical plywood nailing
Plywood	To blocking	Plywood edge nailing
	To supporting member on plans, but not noted for size or spacing	
Nails shown on plans, but not noted for size or spacing	To adjacent member	16d at 12"o.c.

Predrill nail holes to 70% of nail shank diameter where nailing tends to split wood.

All bolts, nails, screws and connectors that are exposed to weather or used in pressure wood shall be galvanized or otherwise protected per Section 2304.4.

Fire stopping, backing for interior finishes, nonbearing walls, and other non-structural framing are not necessarily shown on structural drawings.

Common nails are required at the following locations:

- At all Simpson hardware including straps, clips, angles, and joist hangers.
- At floor and roof plywood edge and field nailing.
- At plywood shear wall edge and field nailing.
- At shear wall sole plate to blocking or joist nailing.
- At double top plate splices.
- At ledgers or plywood edge blocking to framing
- At doubled joists.

### Plywood Sheathing

Plywood roof sheathing shall be 5/8" T&G at Flat & Sloping Roof Ident Index 32/16

Plywood wall sheathing shall be 1/2" Structural I (See Schedule)

Plywood Installation - Plywood roof and floor sheathing shall be laid with the grain of the outer plies perpendicular to the framing members and end joints shall be staggered. Wall sheathing shall be applied vertically.

Unless otherwise noted, plywood nails shall be common. Equivalent pneumatic driven nails or staples may be used if fastener manufacturer has received ICB0 approval according to NER #272. Fasteners to be substituted shall be equivalent in lateral and withdrawal strength to the size of common nail specified.

Roof Sheathing - Edge blocking of unsupported edges of plywood sheathing may be omitted unless specifically designated on plans. Edge blocking shall be 1 1/8" plywood x 2 5/8" wide minimum. Tongue & groove shall be used in lieu.

Typical nailing shall be 8d at 6"o.c. at all supported edges and over shear walls, and 8d at 12"o.c. at all intermediate supports, unless otherwise noted, see plans.

Wall Sheathing - Block all unsupported edges of plywood sheathing. Walls to be sheathed with plywood are designated thus          on plans. All exterior walls not specifically designated as shear walls shall be sheathed with 1/2" plywood and nailed as type (A) shear wall.

Typical nailing shall be 8d at 6"o.c. at all edges, and 8d at 12"o.c. at all intermediate supports, unless otherwise noted, see plans.

## PARALLAM BEAMS (PSL)

Parallam beams & columns shall be manufactured by Trus Joist MacMillan. Parallam beams are noted as PSL on drawings. Parallam beams shall have allowable design stresses as follows: ICB0 #1387.

Shear Modulus of elasticity	G = 125,000 psi
Modulus of elasticity	E = 2.0x10 <sup>6</sup> psi
Flexural stress	Fb = 2,900 psi
Horizontal shear	Fv = 290 psi

## MICROLAM LAMINATED VENEER LUMBER (LVL)

Microlam Laminated Veneer Lumber beams & headers shall be manufactured by Trus Joist MacMillan. Microlam Laminated Veneer Lumber beams are noted as LVL on drawings. LVL beams shall have allowable design stresses as follows per ICB0 #1387.

Shear Modulus of elasticity	G = 118,750 psi
Modulus of elasticity	E = 1.9x10 <sup>6</sup> psi
Flexural stress	Fb = 2,600 psi
Horizontal shear	Fv = 285 psi

## EPOXY EMBEDDED FASTENERS

Epoxy shall be manufactured by Simpson, Inc. Use Simpson SET-XP adhesive for concrete applications (ICB0 Report no. 1967). Drill holes and install epoxy according to manufacturers recommendations. Holes are to be cleaned using a nylon brush and a jet of compressed air. Special inspection required.

## SPECIAL INSPECTION

The following items shall be inspected in accordance with IBC 1701 by a certified special inspector from an established Testing Agency, when indicated as "required". All inspection shall be continuous unless otherwise noted. For material testing requirements, see specifications and/or general notes. Testing agency shall send copies of all structural testing and inspection reports directly to the Engineer, Architect, and Building Department.

Item	Required	Remarks
Rebar placement	Yes	Inspect final placement
Cast-in-place concrete placement (Except S.O.G.)	Yes	Continuous
Expansion bolt placement (if applicable)	Yes	Periodic
Epoxy Bolt and Rebar placement	Yes	Periodic
Anchor bolts/hold down bolts	Yes	
Shear Wall Hold-downs and couplers	Yes	
Plywood shearwall nailing	Yes	



CIABATTONI RESIDENCE  
 1830 MONTEMAR, CAMPBELL CA

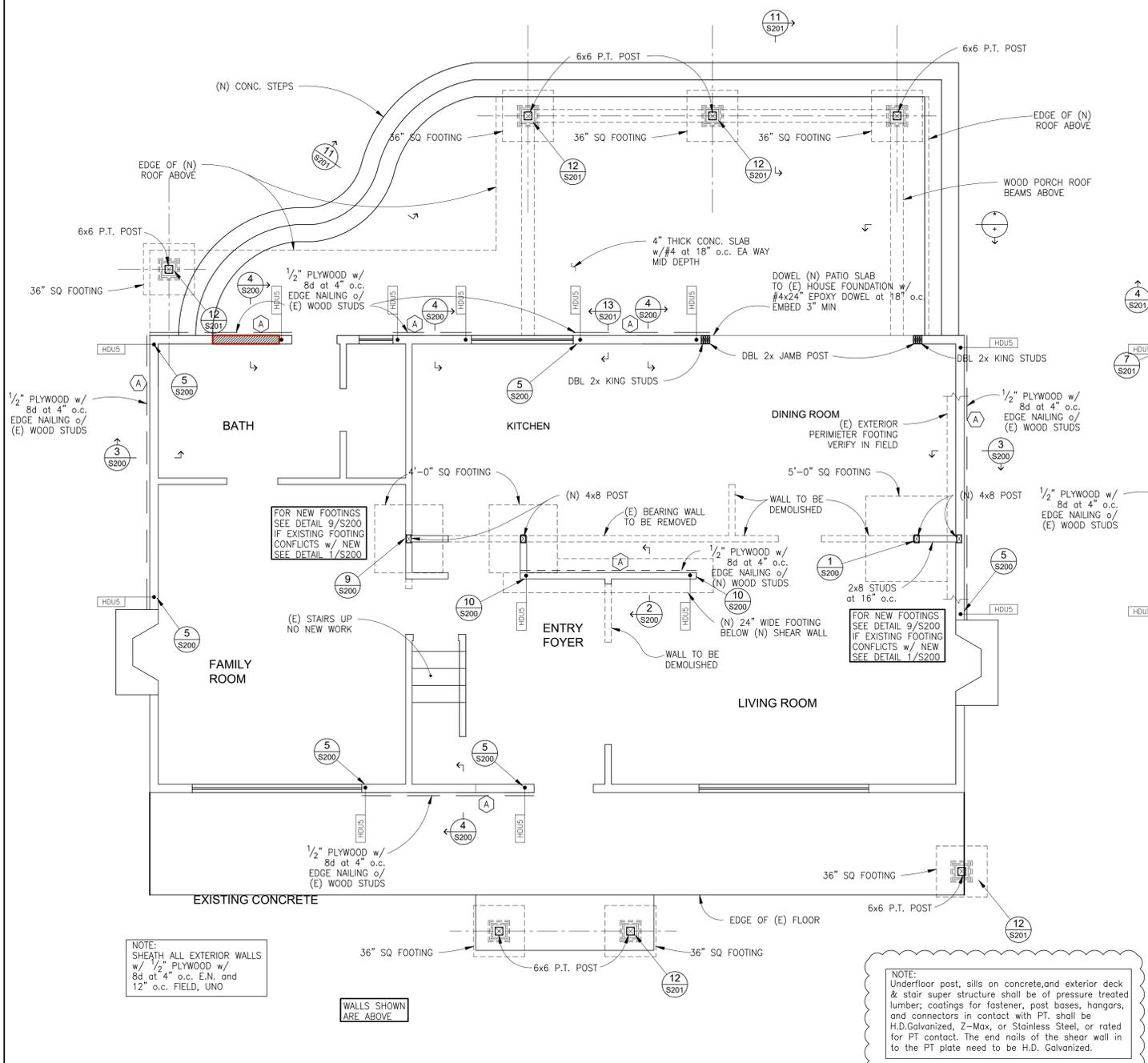
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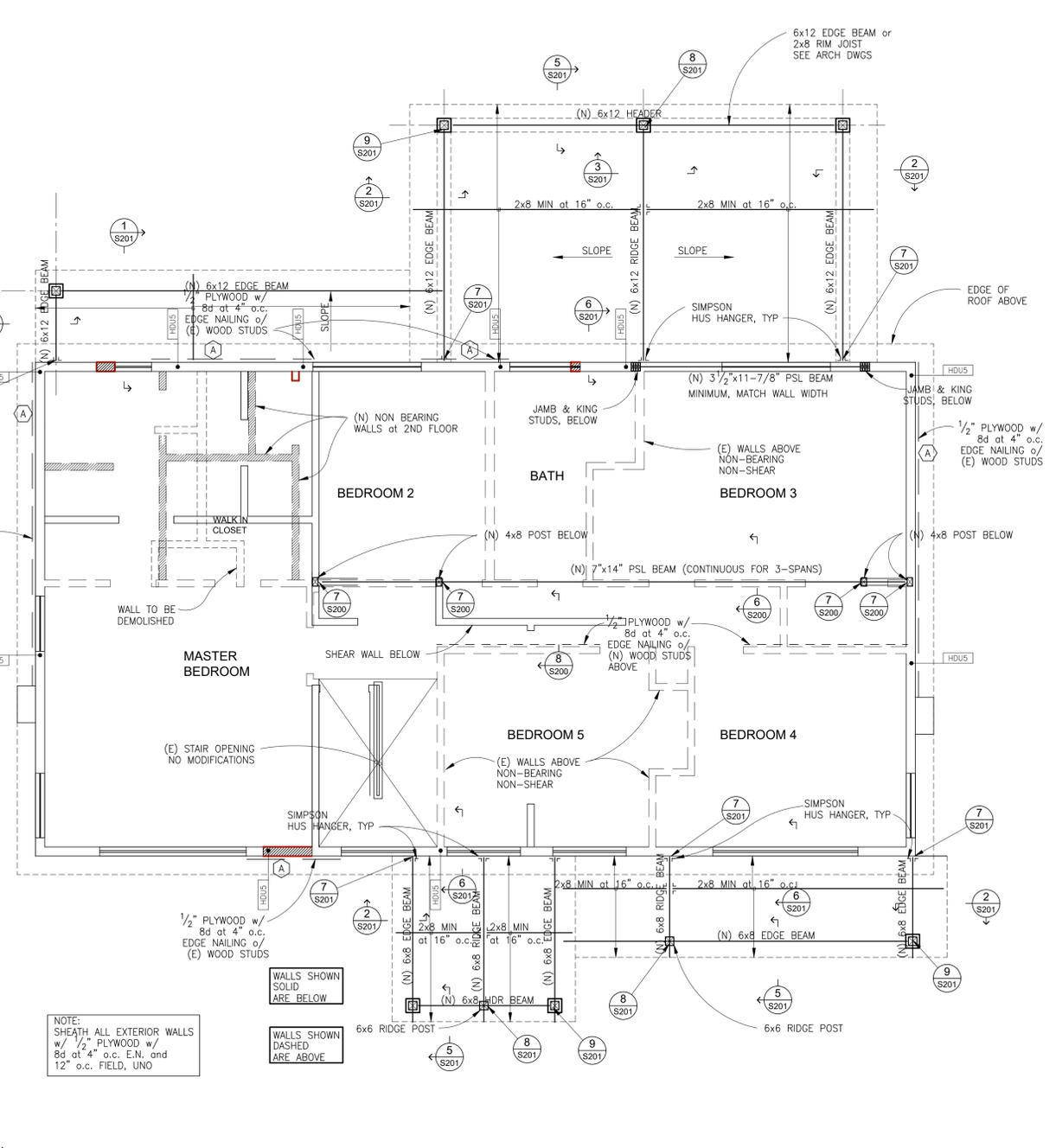
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**S001**  
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**FOUNDATION PLAN** 1  
 1/4" = 1'-0" S100



**2nd FLOOR FRAMING PLAN** 2  
 1/4" = 1'-0" S100



**CIABATTONI RESIDENCE**  
**1830 MONTEMAR, CAMPBELL CA**

A.P.N.:

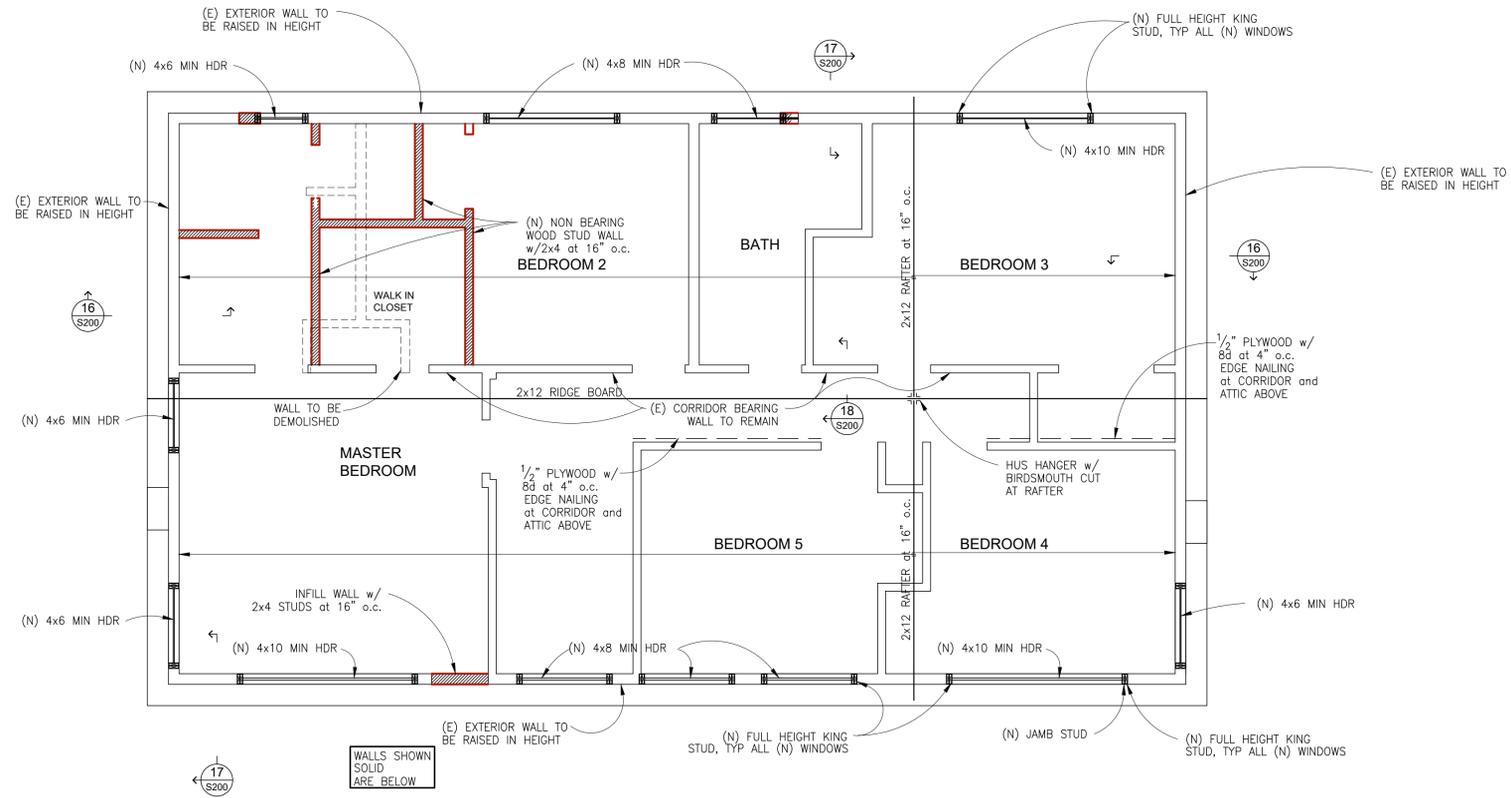
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**FOUNDATION & 2ND FLOOR PLANS**

SHEET NO.:

S100

FILE NAME:



ROOF FRAMING PLAN  
1/4" = 1'-0"

1  
S101

JOB NO.:  
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PRINT DATE: 02/19/2021  
PLOT DATE:  
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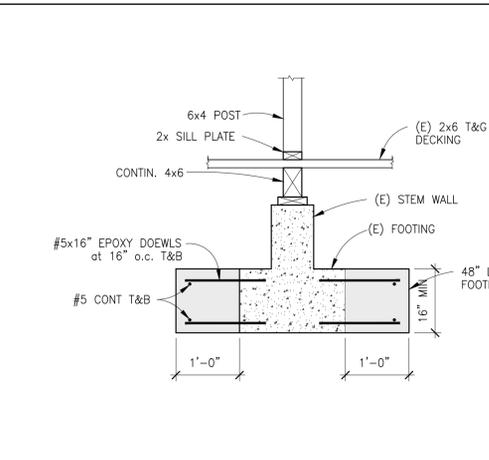
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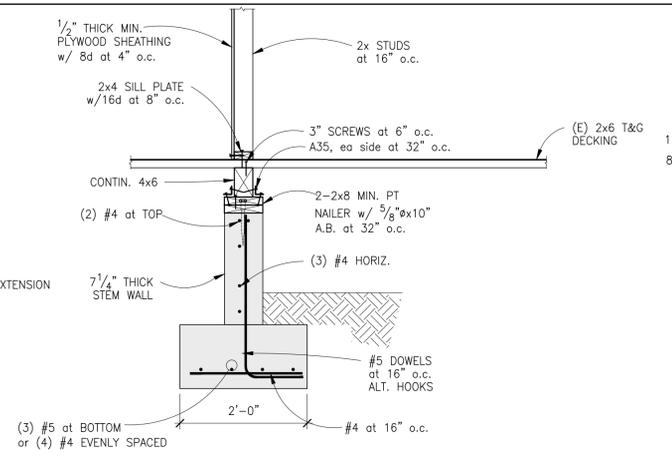
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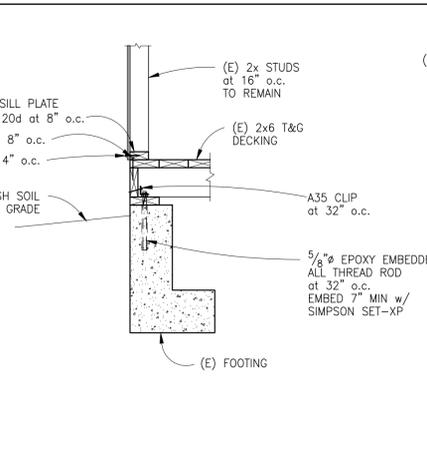




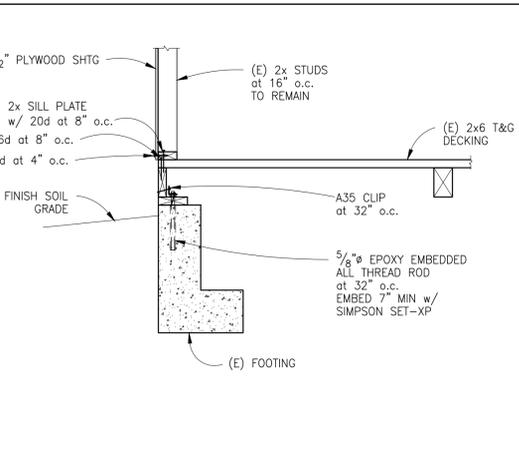
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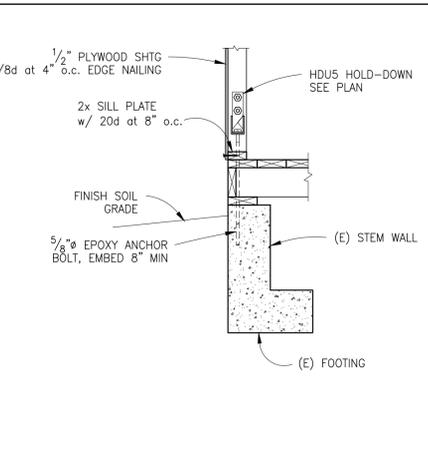
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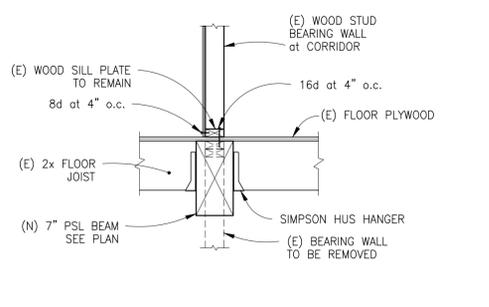
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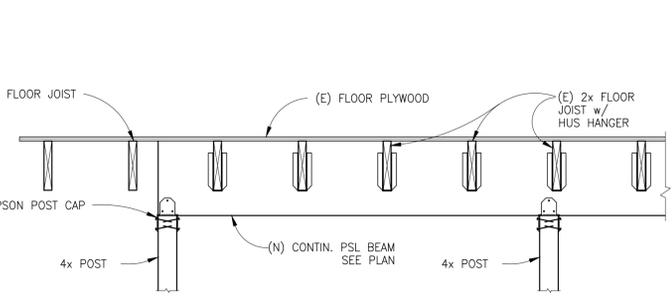
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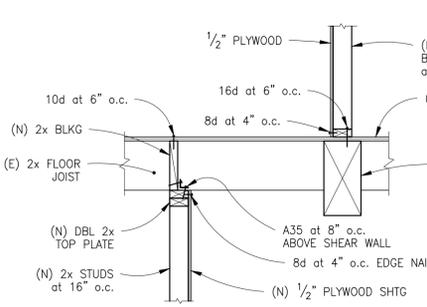
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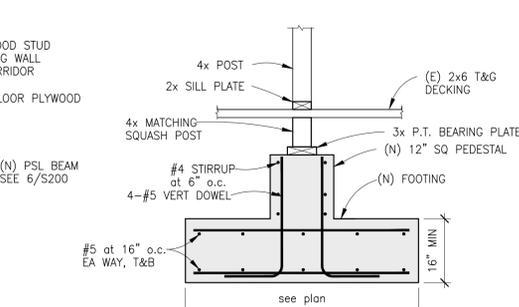
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3/4"=1'-0" S100



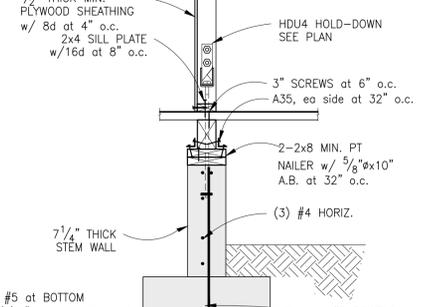
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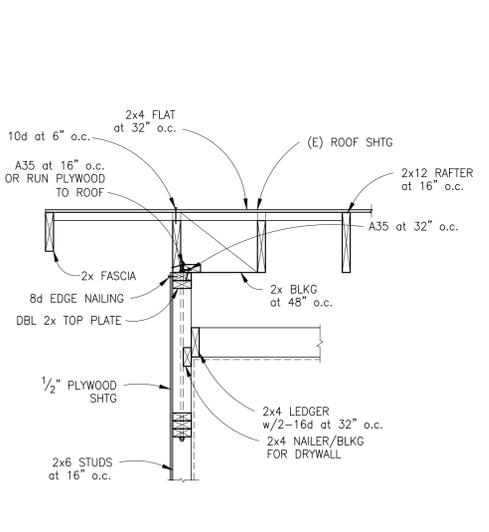
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3/4"=1'-0" S100



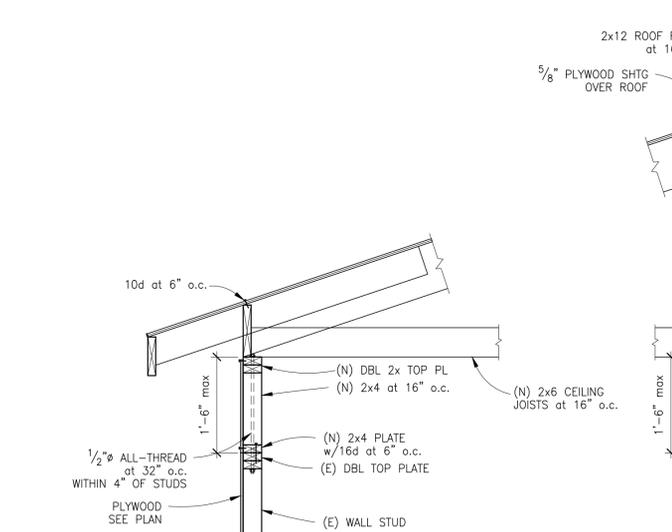
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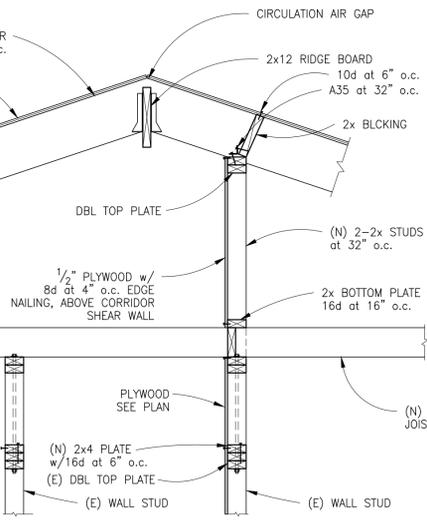
**SECTION 10**  
3/4"=1'-0" S100



**SECTION 16**  
3/4"=1'-0" S200



**DETAIL 17**  
3/4"=1'-0" S200



**SECTION 18**  
3/4"=1'-0" S200

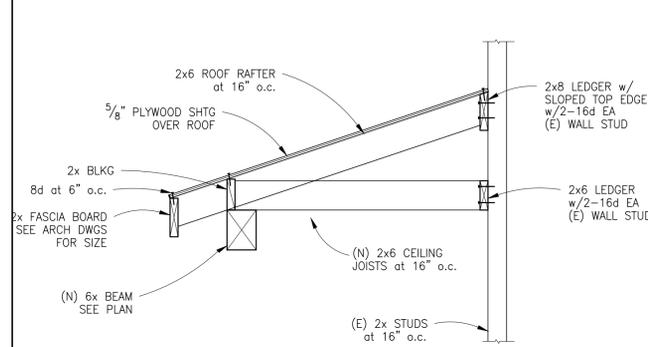
AT CONTRACTOR'S OPTION FULL HEIGHT STUDS MAY BE INSTALLED IN LIEU OF ALL-THREAD ROD CLAMPS

**CITY OF CAMPBELL BUILDING INSPECTION DIVISION**

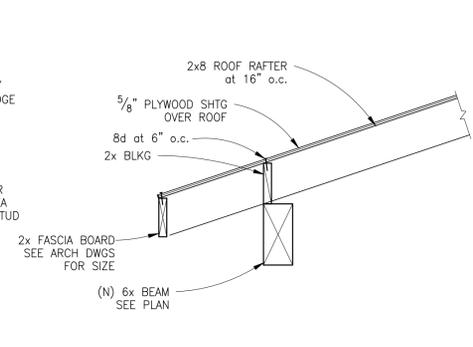
**APPROVED PLANS**

Approved by: Bob Lenzig

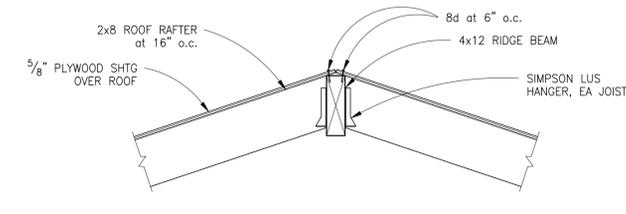
This plan and all associated supporting documents submitted to the City for review herein after plans have been approved. These plans may be subject to conditions of approval or the City's inspection/audit made by a City Official which may warrant further consultation with an engineer, architect, or licensed professional to implement. The plans shall not be changed or modified without authorization from the Building Official. Work performed related to the plans shall be done in accordance with the plans and all applicable codes. Approval of these plans shall not be construed to permit or allow any violation of City, State, or Federal Law.



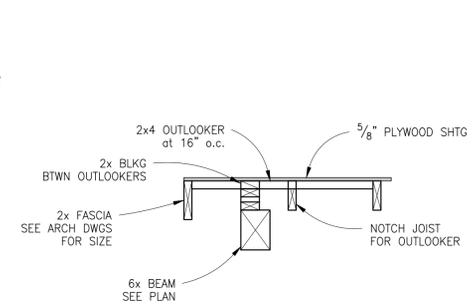
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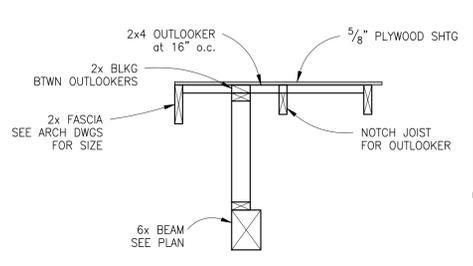
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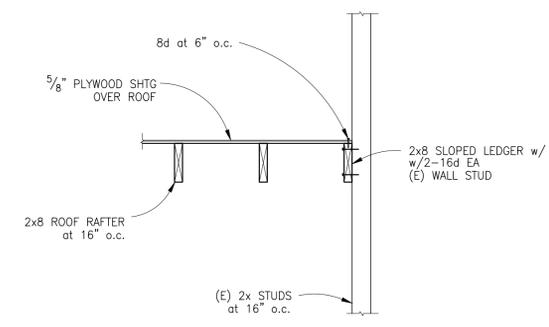
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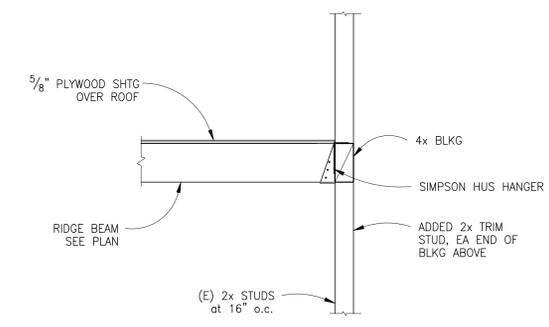
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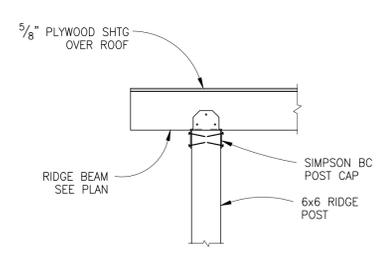
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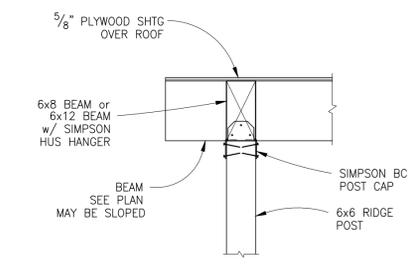
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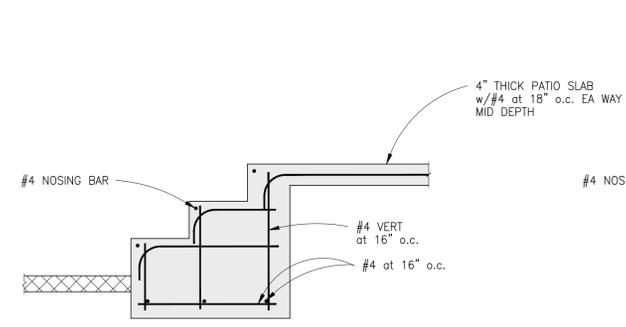
**DETAIL 7**  
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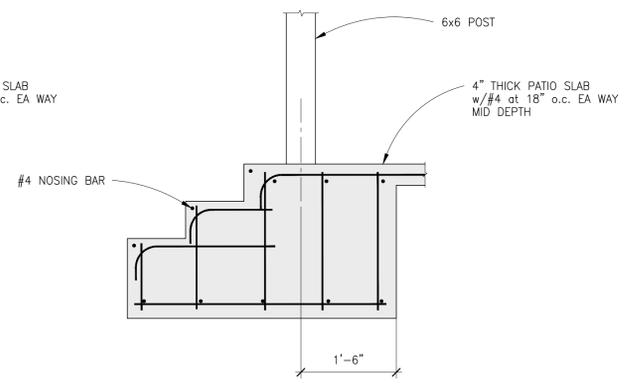
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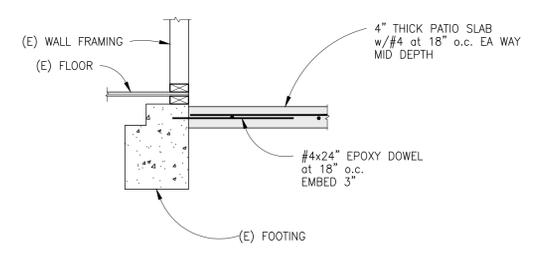
**DETAIL 9**  
3/4"=1'-0" S201



**DETAIL 11**  
3/4"=1'-0" S201



**DETAIL 12**  
3/4"=1'-0" S201



**SECTION 13**  
3/4"=1'-0" S201

**RMJ**  
Structural Engineers  
Robinson 1 Northwood Drive, #3  
Meier Orinda, CA 94563  
Jully & Associates Tel: 510.991.0977  
www.rmjse.com Job No. 20213

**PROFESSIONAL ENGINEER**  
No. 4801  
Exp. 12/31/2021  
STRUCTURAL  
STATE OF CALIFORNIA

CIABATTONI RESIDENCE  
1830 MONTEMAR, CAMPBELL CA

A.P.N.:

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SHEET NAME:  
SECTIONS &  
DETAILS

SHEET NO.:

**S201**

FILE NAME:

**CITY OF CAMPBELL**  
BUILDING INSPECTION DIVISION

**APPROVED PLANS**

Approved by: Bob Lennin

This plan and all associated supporting documents submitted to the City for review herein after (plans) have been approved. These plans may be subject to conditions of approval or the City's inspection/monitoring by a City Official which may warrant further consultation with an engineer, architect, or licensed professional to implement. The plans shall not be changed or modified without authorization from the Building Official. Work performed related to the plans shall be done in accordance with the plans and all applicable codes. Approval of these plans shall not be construed to permit or allow any violation of City, State, or Federal Law.