



CITY OF CAMPBELL
Community Development Department

March 25, 2022

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 1122 Salerno Dr.

Zoning | Area Plan: R-1-8 | CVNP

Neighborhood Association(s): Campbell Village
Neighborhood Asso.

File No.: PLN-2022-17

APN: 414-05-043

Applicant: Brian Ganz Designs

Property Owner: David & Stephanie Janes

Application Type: Admin. Site and Architectural Review
Permit

Project Description: Proposed 866 square-foot addition,
new 435 square-foot attached garage, and a 296 square-
foot covered patio, to an existing single-family residence.



This project will be decided by the Community Development Director, and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 25, 2022 and ends on April 4, 2022. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 PM on **April 4, 2022**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

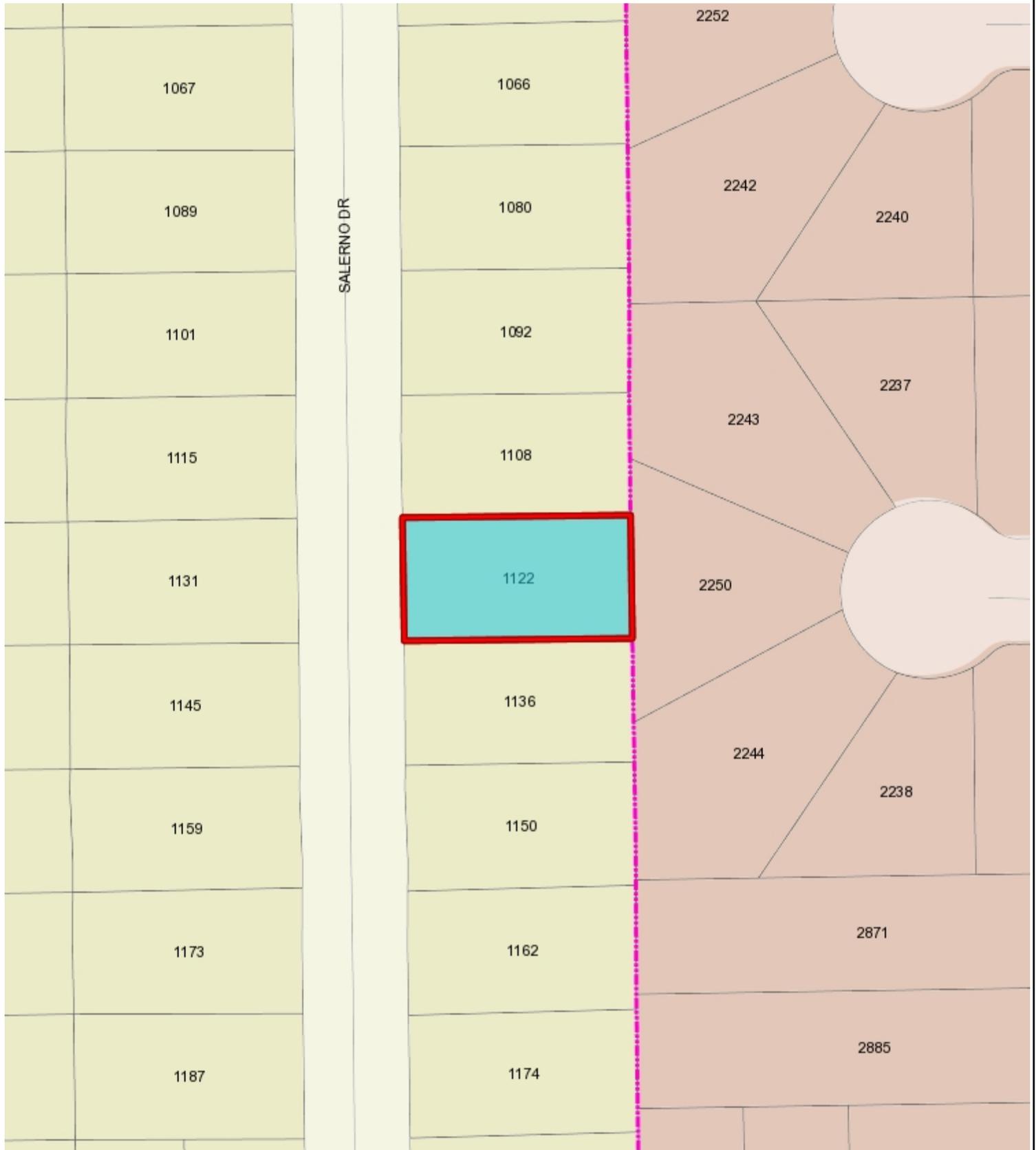
Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's website by scanning the QR code, below.

Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.





Location Map 1122 Salerno Dr



188 0 94 188 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:1,128

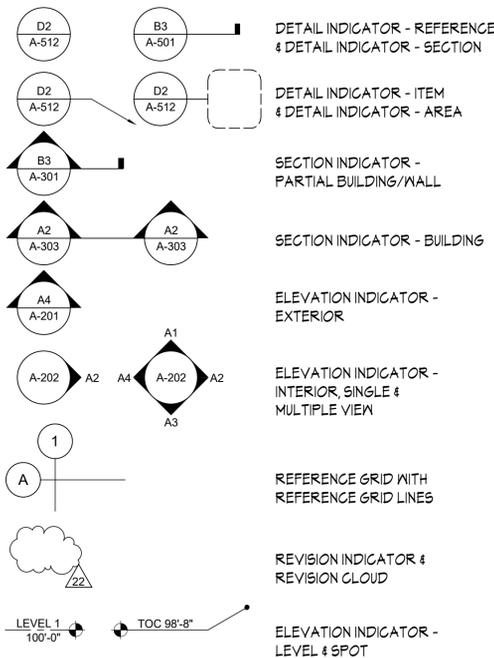
This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

IF THIS SHEET IS NOT 24"x36", IT HAS BEEN RESIZED - SCALE ACCORDINGLY

GENERAL PROJECT NOTES

- A. Written dimensions on these drawings shall have precedence over scaled dimensions, written dimensions are approximate and must be verified. Contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work.
- B. If the contractor or sub-contractor should find any lack of information, discrepancy in and/or omissions from these drawings or if the contractor should be in question as to their meaning or intent, the contractor should contact Brian Ganz at once for interpretation or clarification before proceeding with that portion of the work.
- C. No changes, modifications or deviations shall be made from the drawings or specifications without first securing written permission from Brian Ganz or the owner.
- D. All works as outlined in these documents, shall strictly conform to all applicable codes and ordinances. In the event of a conflict, the more stringent requirements shall govern and be met.
- E. All materials used shall be equal to or exceed all applicable state or local codes and requirements.
- F. Contractor shall remove promptly and legally all accumulated debris, protect all exposed portions of work from elements, avoid over-loading structure, and securely store all items to be used for construction.
- G. All glass in hazardous area (including tubs & showers), all glass within 18" of floor, and all glass within 24" of an operable door shall be safety glass & be permanently label as such.
- H. All existing utilities and city service are to be maintained, kept in service, and protected again damage during construction.
- I. Contractor to verify location of underground utilities prior to excavation.
- J. All electrical calculations and wire size to be provided by a licensed electrical contractor. Receptacle fixture, and equipment locations to be found on floor plans and site plan. Contractor to verify location, fixture types and equipment with owner prior to purchase and installation.
- K. The contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage throughout construction.
- L. Any existing utilities to be abandoned shall be properly disconnected, plugged or capped as required by code or sound construction practice.
- M. Provide adequate concealed blocking and anchoring for all ceiling and wall mounted equipment, hardware and accessories.
- N. Unless otherwise noted, electrical conduits, plumbing lines, etc., shall be run concealed and framing shall be adequately sized to accomplish result without causing any changes in the wall plan.
- O. Interior dimensions are shown from finish surface to finish surface and exterior dimensions are from sheathing unless noted otherwise.
- P. If fire sprinkler system is required it shall be installed as required, per NFPA and local regulations. The contractor shall submit shop drawings to the governing jurisdiction for permit.
- Q. Each bedroom shall have one exterior egress compliant window or door that is operable from interior without the use of a key or special tools, knowledge or effort.
- R. All products listed by ICG/NER number shall be installed per the report and manufacturer's written instructions. Product substitution for products listed shall also have ICG approved evaluation report and be approved and listed by other nationally recognized testing agencies.
- S. Exterior operable windows and doors will be weather-stripped. All open joints, penetrations and other openings in the building envelope shall be sealed, caulked, gasketed or weather-stripped to limit air leakage.
- T. Sink faucets used for other safety purposes shall be equipped with flow control devices. Total flow to a maximum of three gallons per minute & certified by the C.E.C.
Fixtures shall comply with the flow rates below:
1. All sink faucets, shower heads, toilets and urinals shall comply with California Civil Code Section 1101.1 through 1101.8 & CGBC 4.303.
2. Kitchen Faucets shall not exceed 1.8 gals/min at 60 psi but may have a temporary flow rate of 2.2 gpm at 60 psi and default to 1.8 gpm at 60 psi. (CGBC 4.303)
3. Lavatory faucets shall not exceed 1.2 gals/min. at 60 psi, but not less than 0.8 at 20 psi.
4. Shower heads shall not exceed 1.8 gals/min at 80 psi. When a shower is served by more than one showerhead, the combined flow rate of all showerheads shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
5. Water Closets shall not exceed 1.28 gals/flush
- U. See structural sheets for project construction notes and details.
- V. See attached Title 24 forms and/or calculations for project energy efficiency requirements.
- W. An operation and maintenance manual will be provided to the building owner at the completion of the project. (4.4.10.1)

SYMBOLS LEGEND



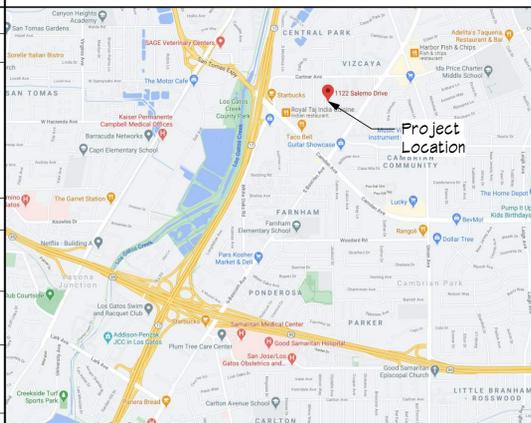
PROJECT INFORMATION

	EXISTING	DEMO	PROPOSED	TOTAL
LOT:				9,081 SF.
LIVING AREA:	1,028 SF.	0 SF.	866 SF.	1,894 SF.
GARAGE:	365 SF.	365 SF.	435 SF.	435 SF.
PORCH:	29 SF.	0 SF.	0 SF.	29 SF.
COVERED PATIO	0 SF.	0 SF.	296 SF.	296 SF.
TOTAL:	1,422 SF.	365 SF.	1,597 SF.	2,654 SF.
FLOOR AREA:	1,422 SF.	365 SF.	1,597 SF.	2,654 SF.
	15.66%	4.02%	17.59%	29.23%
BUILDING LOT COVERAGE:	1,422 SF.	365 SF.	1,597 SF.	2,654 SF.
	15.66%	4.02%	17.59%	29.23%
IMPERVIOUS SURFACE COVERAGE:	3,524 SF.	1,942 SF.	2,042 SF.	3,624 SF.
	38.81%	21.39%	22.49%	39.91%
LANDSCAPE COVERAGE:	5,577 SF.	606 SF.	0 SF.	5,457 SF.
	61.19%	6.67%	0.00%	60.09%
PAVED AREA COVERAGE:	2,102 SF.	1,577 SF.	546 SF.	1,071 SF.
	23.15%	17.37%	6.01%	11.79%
BUILDING HEIGHT:	15' 4"		15' 4"	
SETBACKS:	FRONT-20' BACK-7' SIDES-5'			
PARKING SPACES:	COVERED - 2		UNCOVERED - 2	

HERS VERIFICATION REQUIRED

- Building-level Verifications:**
- Kitchen Range Hood
- Cooling System Verifications:**
- Minimum Airflow
 - Verified EER
 - Verified Refrigerant Charge
 - Fan Efficacy Watts/CFM
- HVAC Distribution System Verifications:**
- Duct leakage testing

VICINITY MAP



PROJECT SUMMARY

SCOPE OF WORK: 866 SF ADDITION OF KITCHEN, MUDROOM, AND MASTER SUITE, 435 SF GARAGE ADDITION, 296 SF COVERED PATIO

ZONING: R-1-B
OCCUPANCY: R-3/U
TYPE OF CONSTRUCTION: V-B / NON-SPRINKLERED
YEAR BUILT: 1950

APN: 414-05-043

APPLICABLE CODES

- BUILDING - 2019 CALIFORNIA BUILDING CODE*
- RESIDENTIAL - 2019 CALIFORNIA RESIDENTIAL CODE*
- MECHANICAL - 2019 CALIFORNIA MECHANICAL CODE*
- ELECTRICAL - 2019 CALIFORNIA ELECTRICAL CODE*
- PLUMBING - 2019 CALIFORNIA PLUMBING CODE*
- FIRE - 2019 CALIFORNIA FIRE CODE*
- ENERGY - 2019 CALIFORNIA ENERGY CODE (TITLE 24)*
- GREEN - 2019 CALGREEN CODE*

*INCLUDING ALL CAMPBELL CITY AMENDMENTS

PROJECT CONTACTS

OWNER: JANES RESIDENCE
 1122 SALERNO DR
 CAMPBELL, CA 95008
 ph: (408) 823-9413
 email: david_janes@icloud.com

DESIGNER: BRIAN GANZ DESIGNS
 9 BUCKEYE LANE
 DANVILLE, CA 94526
 ph: (408) 595-5875
 email: brian@brianganzdesigns.com

TITLE 24 CONSULTANT: MUNDY CREATIVE SERVICES
 ATTN: M.JASON MUNDY, ASSOC. AIA
 817 MILDRED STREET
 VERSAILLES, KY 40383
 ph: (888) 866-3327
 email: jason@mundycs.com

STRUCTURAL ENGINEER: VECTOR STRUCT. ENGINEERING, LLC
 ATTN: RUSSELL EMERY, SENIOR PRJT MGR
 651 WEST GALENA PARK BLVD, STE 101
 DRAPER, UT 84020
 ph: (801) 990-1775
 cl: (801) 960-6606
 email: joe@vectorse.com

GENERAL CONTRACTOR: TEAM CAMINERO FRAMING
 ATTN: JOSE CAMINERO
 249 S. 20TH STREET
 SAN JOSE, CA 95116
 CONTRACTOR LIC# 952773
 ph: (650) 400-5524
 email: josecaminero@msn.com

JURISDICTION: CITY OF CAMPBELL BUILDING AND PLANNING DEPARTMENT
 70 N FIRST ST.
 CAMPBELL, CA 95008
 ph: (408) 866-2140
 email: Planning@campbellca.gov

CONSTRUCTION WASTE: A MINIMUM OF 65% OF THE CONSTRUCTION AND DEMOLITION WASTE WILL BE RECYCLED, REUSED ON THE PROJECT, OR SALVAGED FOR LATER USE OR RESALE. CGBC 4.408.1

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A0.7	TITLE 24 DOCUMENTS
A0.8	CALGREEN MANDATORY MEASURES
A0.9	CALGREEN MANDATORY MEASURES
A0.10	EROSION CONTROL NOTES & DETAILS
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A2.0	PROPOSED FLOOR PLAN
A2.1	PROPOSED ROOF PLAN & DETAILS
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S3	MAIN FLOOR FRAMING PLAN
S4	ROOF FRAMING PLAN
S5	SHEAR WALL PLAN
SD-1	STRUCTURAL DETAILS
SD-2	STRUCTURAL DETAILS



9 Buckeye Lane
 Danville, CA 94526
 (408) 595-5675
 www.brianganzdesigns.com

PROJECT DETAILS

JANES RESIDENCE RENO
 CONSTRUCTION DRAWINGS
 1122 Salerno Drive
 Campbell, CA 95008

SUBMITTAL DATE: Dec 15, 2021
 PROJECT#: 2020-130

PROJECT REVISIONS

#	DATE	DESCRIPTION

All ideas, design, arrangements and plans indicated or represented by this drawing are owned by and the property of Brian Ganz Designs and were created, evolved and developed for use on and in connection with the specified project contained herein. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever, without the written permission of Brian Ganz Designs.

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SHEET TITLE

COVER SHEET

SHEET NUMBER

A0.0

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SHEET TITLE

SITE PLAN

SHEET NUMBER

A0.1

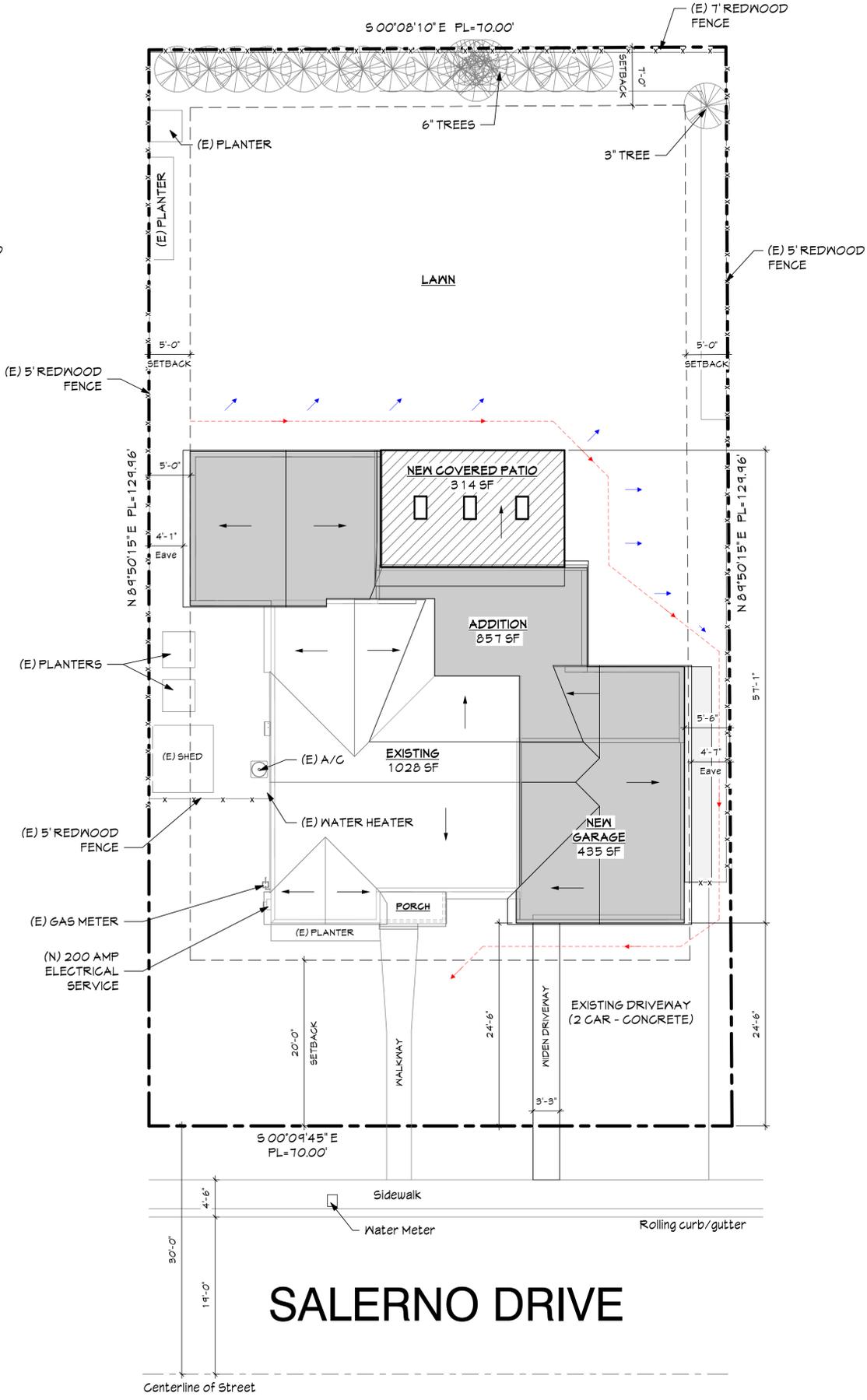
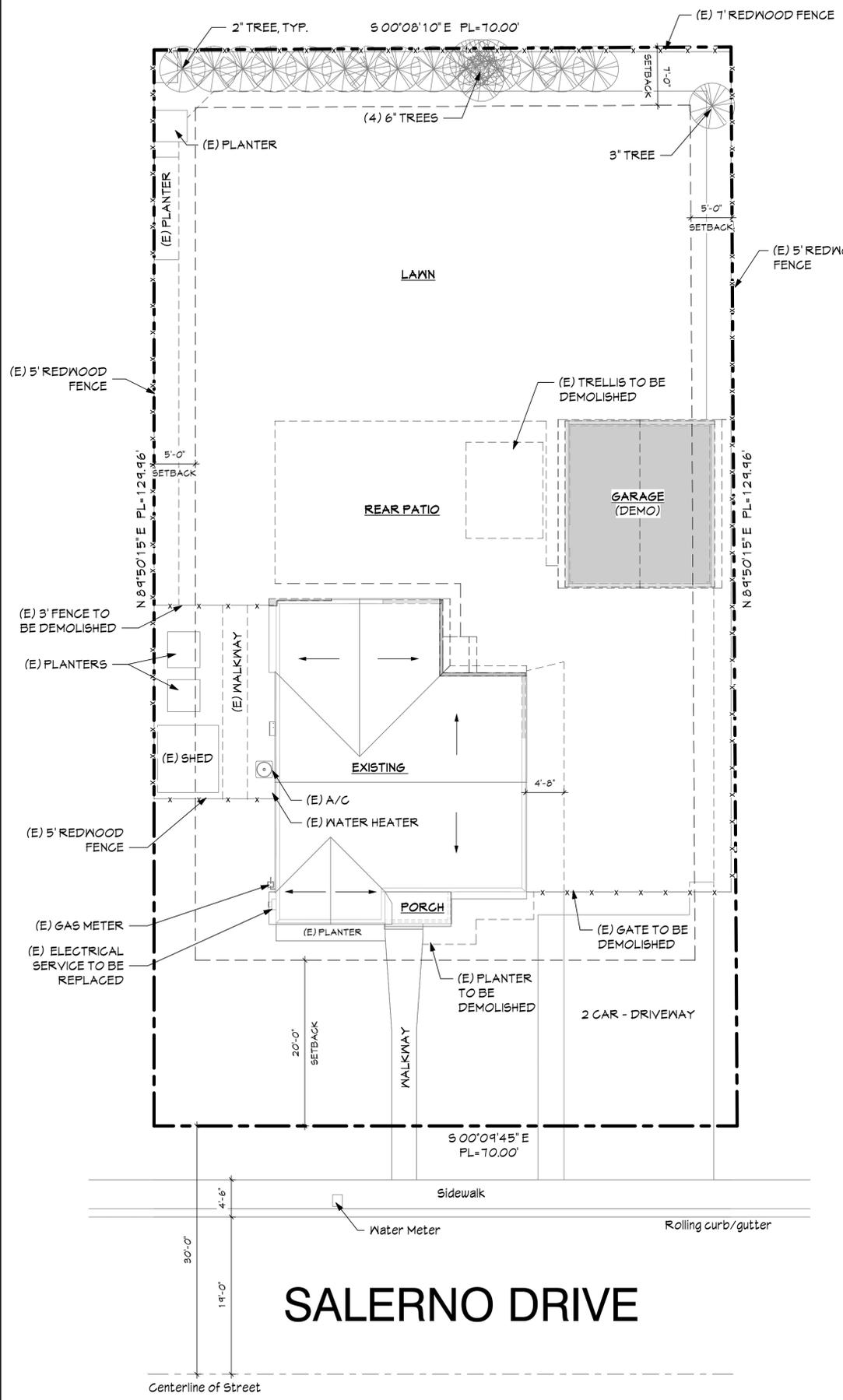
SITE PLAN LEGEND

- PROPERTY LINE
- DEMOLISH
- DEMOLISH
- NEW CONSTRUCTION
- NEW PATIO

GRADING NOTES

THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET (CBC 1804.3). ON GRADESITES, THE TOP OF ANY EXTERIOR FOUNDATIONS SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE (OR THE INLET OF AN APPROVED DRAINAGE DEVICE), A MINIMUM OF 12 INCHES PLUS 2%.

DOWNSPOUTS:
DOWNSPOUTS SHALL BE COLLECTED TO DRAINAGE SYSTEM AND TERMINATE NOT LESS THAN 5 FEET FROM FOUNDATIONS, TYP.



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0 1/4" 1/2" 1"

FLOOR AREA CALCULATIONS

#	NAME	DIMENSIONS	AREA
A	GARAGE - DEMO	18'2" x 20'1 1/4"	365.23 S.F.
B	EXISTING LIVING	13'2 1/2" x 39'0 1/2"	515.68 S.F.
C	EXISTING LIVING	7'0 1/2" x 8'9 1/2"	61.91 S.F.
D	EXISTING LIVING	17'0 1/2" x 26'5 1/2"	450.89 S.F.
EXISTING LIVING SUBTOTAL:			1,028.48 S.F.
E	EXISTING PORCH	7'11" x 3'8 1/4"	29.19 S.F.
EXISTING SUBTOTAL:			1,442.90 S.F.
#	NAME	DIMENSIONS	AREA
F	NEW LIVING AREA	9'9 3/4" x 18'7 1/4"	182.96 S.F.
G	NEW LIVING AREA	13'5 5/8" x 17'11 1/8"	241.46 S.F.
H	NEW LIVING AREA	6'9 3/4" x 4'2 3/8"	28.61 S.F.
I	NEW LIVING AREA	10'0" x 13'0 1/8"	130.10 S.F.
J	NEW LIVING AREA	8'1 1/4" x 21'5 3/8"	174.16 S.F.
K	NEW LIVING AREA	11'10" x 9'2 3/4"	108.84 S.F.
NEW LIVING SUBTOTAL:			866.13 S.F.
L	NEW GARAGE	19'10 3/8" x 17'11 1/4"	357.52 S.F.
M	NEW GARAGE	20'4 3/8" x 3'9 1/2"	77.29 S.F.
NEW GARAGE SUBTOTAL:			434.81 S.F.
N	NEW COVERED PATIO	21'10 1/8" x 13'6 3/8"	296.03 S.F.
FINAL TOTAL:			2,654.64 S.F.

AREA LEGEND

	Existing Living Area		Porch
	New Living Area		Patio
	Existing Garage		New Garage



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PROJECT DETAILS

JANES RESIDENCE RENO

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Campbell, CA 95008

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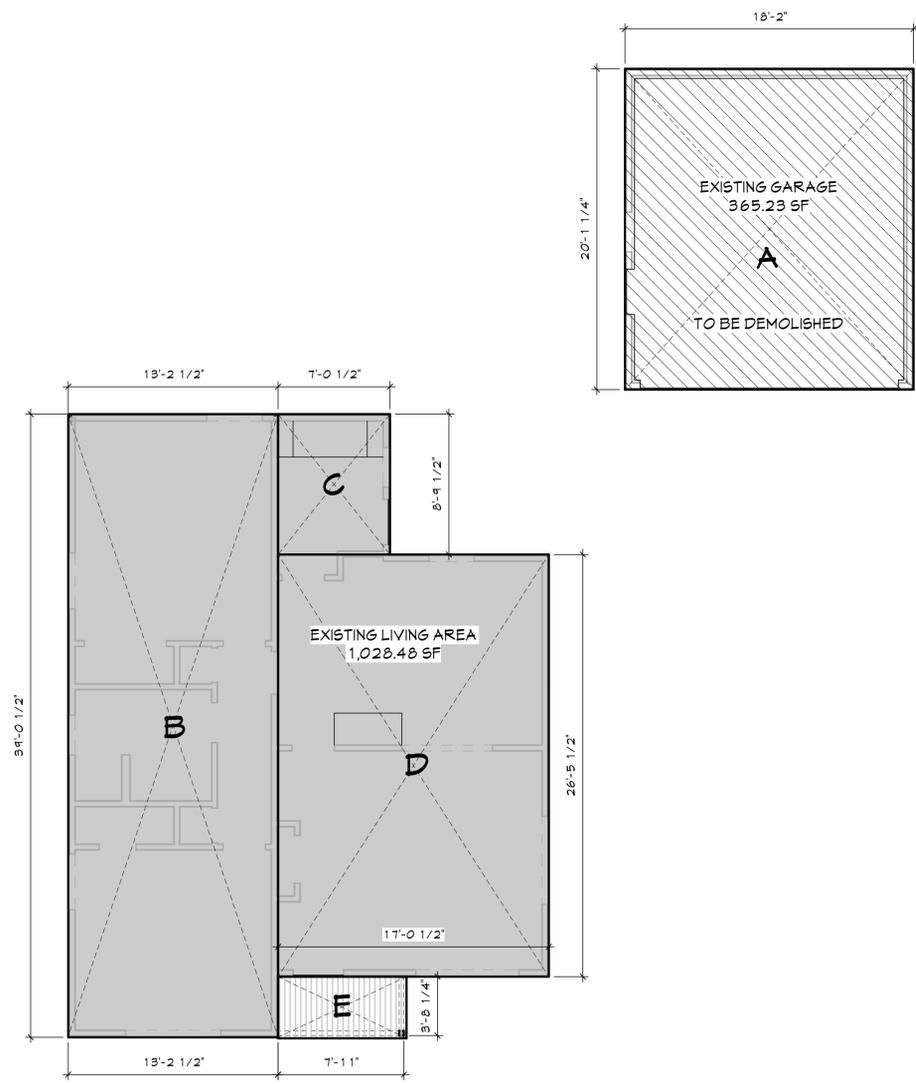
Brian Ganz

SHEET TITLE

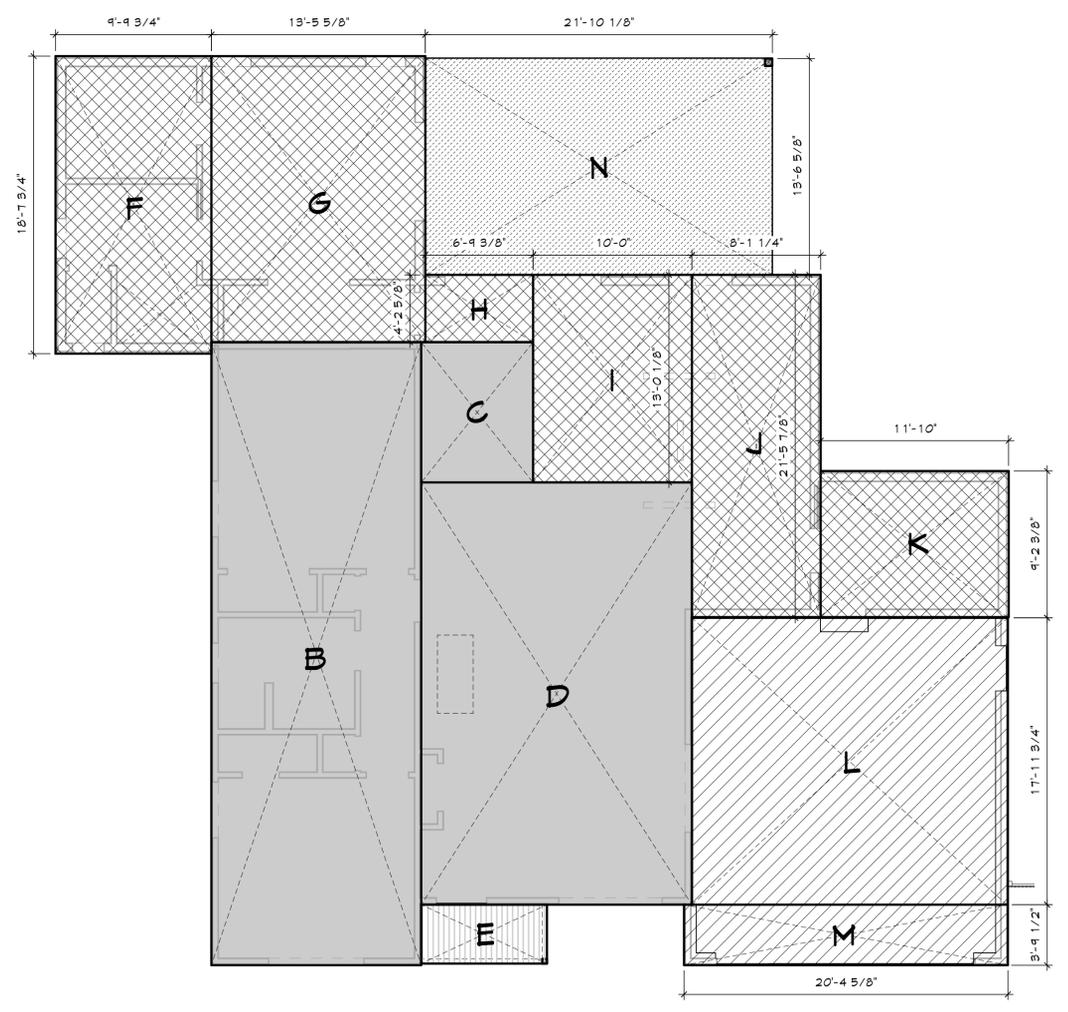
AREA DIAGRAMS

SHEET NUMBER

A0.2



1 EXISTING AREA PLAN
3/16" = 1'-0"



2 PROPOSED AREA PLAN
3/16" = 1'-0"

IF THIS SHEET IS NOT 24"x36", IT HAS BEEN RESIZED - SCALE ACCORDINGLY



6 - NORTHEAST CORNER FACING REAR



3 - NORTHEAST CORNER FACING FRONT



5 - NORTHWEST CORNER FACING REAR



2 - WEST VIEW FRONT OF HOUSE

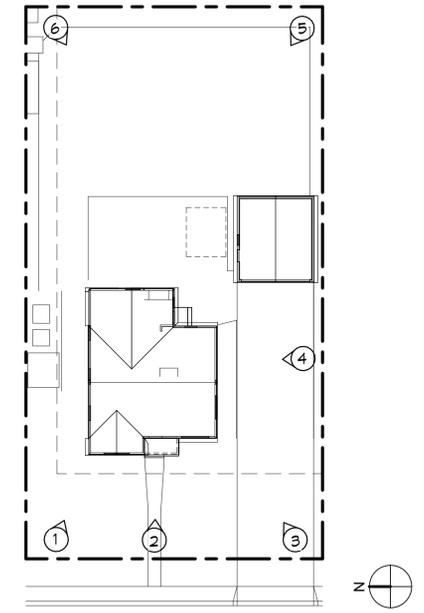


4 - SOUTH VIEW SIDE OF HOUSE



1 - NORTHWEST CORNER FACING FRONT

PHOTOGRAPHY KEY PLAN



BRIAN GANZ
DESIGNS
CUSTOM HOME DESIGN - CONSULTING
CONSTRUCTION PROJECT MGMT

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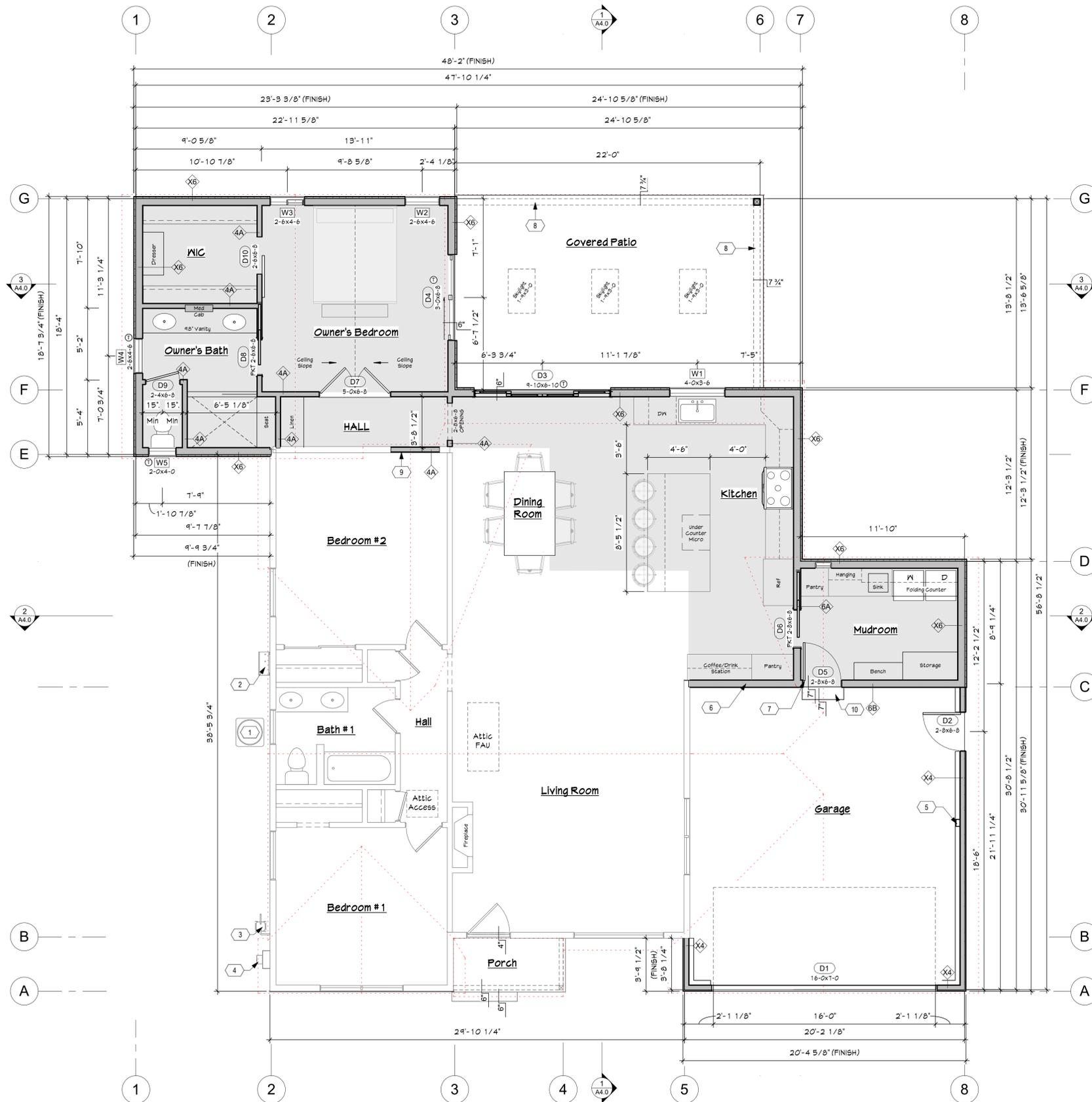
SITE PHOTOGRAPHY

SHEET NUMBER

A0.3

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0 1/4" = 1'-0"



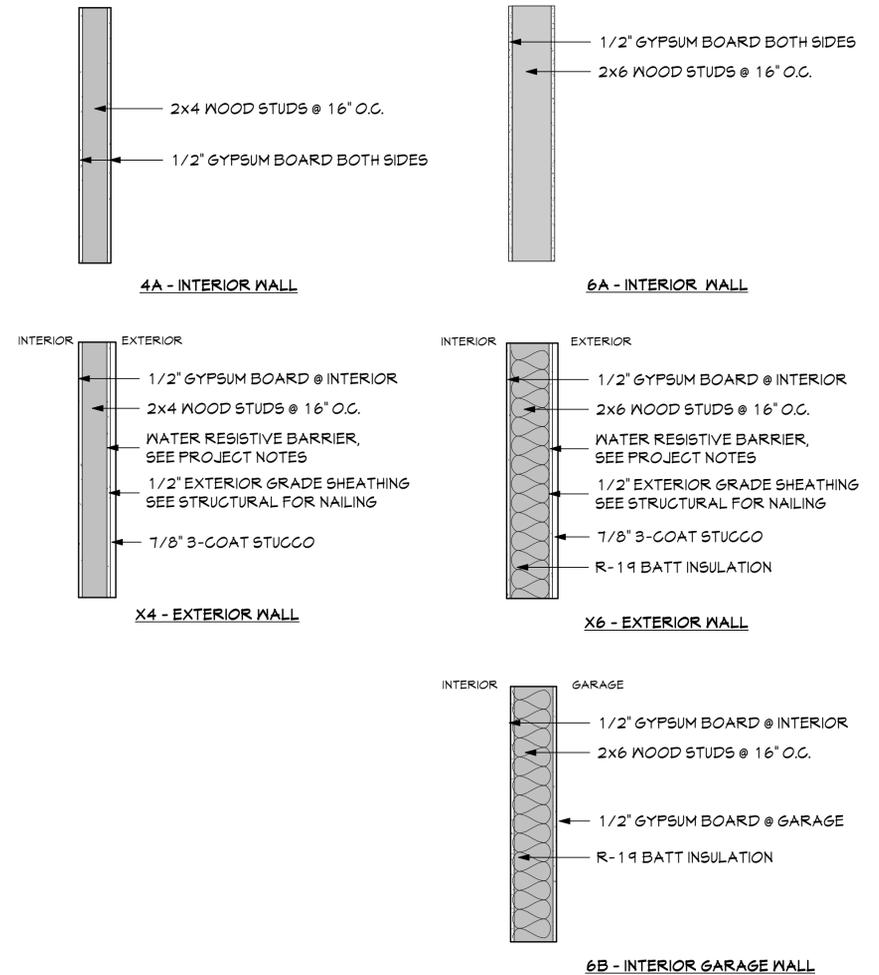
KEYNOTES

- 1 EXISTING A/C UNIT
- 2 EXISTING TANKLESS WATER HEATER
- 3 EXISTING GAS METER
- 4 NEW 200A ELECTRICAL SERVICE METER
- 5 NEW ELECTRIC CAR CHARGING STATION
- 6 FIREWALL, PROVIDE 1/2" GYP BOARD AT GARAGE WALLS ADJACENT TO LIVING AREA
- 7 20 MINUTE RATED DOOR WITH SELF-CLOSING HINGES AND SELF LATCHING
- 8 NEW BEAM ABOVE, SEE SCHEDULE
- 9 INFILL FOR DEMOLISHED WINDOW
- 10 NEW CONCRETE STEPS

FLOOR PLAN LEGEND

- NEW WALL, SEE WALL TYPES LEGEND
- HEADERED OPENING
- EGRESS WINDOW
- TEMPERED GLAZING
- KEYNOTE
- DOOR TAG, SEE SCHEDULE ON A2.1
- WINDOW TAG, SEE SCHEDULE ON A2.1
- WALL TAG

WALL TYPES



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SHEET TITLE

PROPOSED FLOOR PLAN

SHEET NUMBER

A2.0

1 PROPOSED FLOOR PLAN
 1/4" = 1'-0"

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DOOR SCHEDULE

MARK	DOOR		DESCRIPTION	GLAZING				MFR.	LOCATION	HARDWARE	COMMENTS
	WIDTH	HEIGHT		TYPE	U-FACTOR	SHGC	TEMP.				
D1	16'-0"	7'-0"	GARAGE	--	--	--	--	TBD	KEYED		
D2	2'-8"	6'-8"	SINGLE SWING	--	--	--	--	TBD	KEYED		
D3	9'-10"	6'-10"	SLIDING GLASS	LOW-E	0.30	0.23	YES	TBD	KEYED		
D4	3'-0"	6'-8"	SLIDING GLASS	LOW-E	0.30	0.23	YES	TBD	KEYED	OWNER'S BEDROOM	
D5	2'-8"	6'-8"	SINGLE SWING	--	--	--	--	TBD	KEYED	MUDROOM	
D6	0'-0"	0'-0"	POCKET SINGLE	--	--	--	--	TBD	PASSAGE	MUDROOM	
D7	5'-0"	6'-8"	INT DOUBLE SWING	--	--	--	--	TBD	PRIVACY	OWNER'S BEDROOM	
D8	0'-0"	0'-0"	POCKET SINGLE	--	--	--	--	TBD	PRIVACY	OWNER'S BATHROOM	
D9	2'-4"	6'-8"	SINGLE SWING	--	--	--	--	TBD	PRIVACY	OWNER'S BATHROOM	
D10	2'-6"	6'-8"	INTERIOR BARN	--	--	--	--	TBD	PASSAGE	N.I.C.	

WINDOW SCHEDULE

MARK	UNIT SIZE		SASH OPERATION	GLAZING				EGRESS	MFR.	LOCATION	COMMENTS
	WIDTH	HEIGHT		TYPE	U-FACTOR	SHGC	TEMP.				
W1	4'-0"	3'-6"	SINGLE HUNG	LOW-E	0.30	0.23	--	--	MILGARD	KITCHEN	
W2	2'-6"	4'-6"	SINGLE HUNG	LOW-E	0.30	0.23	--	--	MILGARD	OWNER'S BEDROOM	
W3	2'-6"	4'-6"	SINGLE HUNG	LOW-E	0.30	0.23	--	--	MILGARD	OWNER'S BEDROOM	
W4	2'-6"	4'-6"	SINGLE HUNG	LOW-E	0.30	0.23	YES	--	MILGARD	OWNER'S BATHROOM	
W5	2'-0"	4'-0"	SINGLE HUNG	LOW-E	0.30	0.23	YES	--	MILGARD	OWNER'S BATHROOM	

SKYLIGHT SCHEDULE

MARK	UNIT SIZE		SASH OPERATION	GLAZING				EGRESS	MFR.	LOCATION	COMMENTS
	WIDTH	HEIGHT		TYPE	U-FACTOR	SHGC	TEMP.				
S1	1'-9"	3'-0"	SKYLIGHT	LOW-E	0.30	0.23	YES	--	VELUX	COVERED PATIO	LISTING# UES-ER-1099
S2	1'-9"	3'-0"	SKYLIGHT	LOW-E	0.30	0.23	YES	--	VELUX	COVERED PATIO	LISTING# UES-ER-1099
S3	1'-9"	3'-0"	SKYLIGHT	LOW-E	0.30	0.23	YES	--	VELUX	COVERED PATIO	LISTING# UES-ER-1099

ROOF PLAN LEGEND

- EXISTING ROOF AREA
- NEW ROOF AREA
- OVERFRAMED NEW ROOF AREA
- DENOTES ROOF SLOPE
- SKYLIGHT TAG, SEE SCHEDULE ON A2.1
- KEYNOTE



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PROJECT DETAILS

KEYNOTES

- NEW GUTTER TO MATCH EXISTING

ROOF GENERAL NOTES

- PROVIDE CONTINUOUS ALUMINUM GUTTER W/ LEAF & DEBRIS GUARD. COLOR TO BE SELECTED BY OWNER.
- ROOFING COLOR AND TEXTURE TO BE SELECTED BY OWNER.
- SEE PROJECT NOTES FOR ADDITIONAL INFORMATION.
- EAVE VENTING IS PROVIDED BY 3 - 2" DIAMETER HOLES THROUGH EAVE BLOCK WITH 1/4" GALVANIZED MESH ATTACHED TO ATTIC SIDE OF BLOCK

ATTIC VENTILATION

ATTIC VENTILATION (R806.2): MINIMUM AREA. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

ADDITION AREA ATTIC CALCULATION

LIVING AREA ATTIC	1.79 SF.
REQUIRED VENTILATION	11.98 SF. (1,797 / 150 = 11.98 SF.)

VENTILATION PROVIDED

EAVE VENTS	0.98 SF.
GABLE VENTS	8.75 SF.
EYEBROW VENTS	3.28 SF.
TOTAL	13.01 SF.

GARAGE AREA ATTIC CALCULATION

GARAGE AREA ATTIC	435 SF.
REQUIRED VENTILATION	2.90 SF. (435 / 150 = 2.90 SF.)

VENTILATION PROVIDED

GABLE VENT	1.75 SF.
EYEBROW VENTS	1.14 SF.
TOTAL	2.94 SF.

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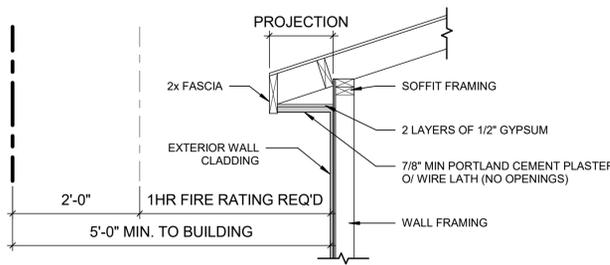
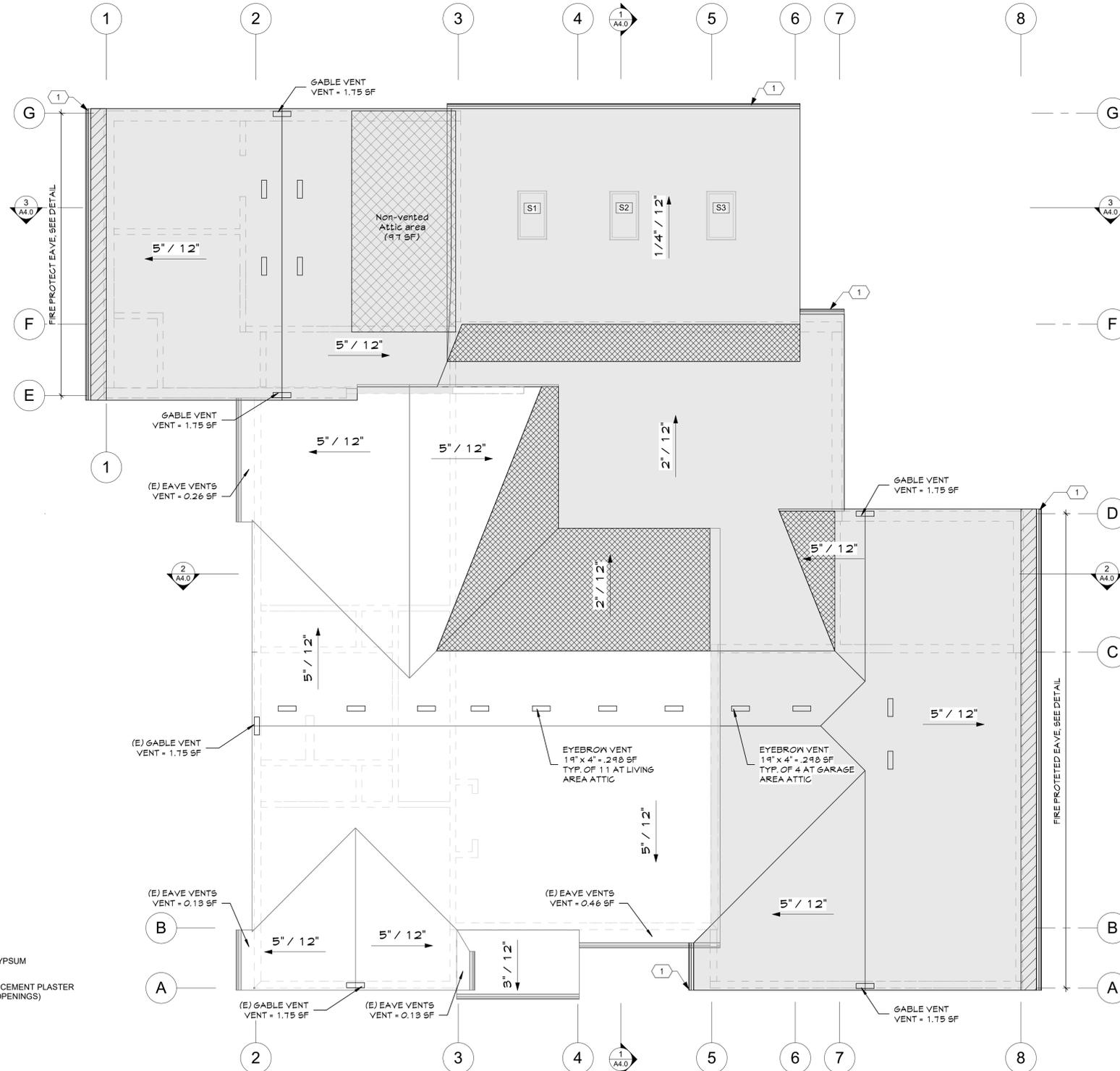
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SHEET TITLE

PROPOSED ROOF PLAN & DETAILS

SHEET NUMBER

A2.1



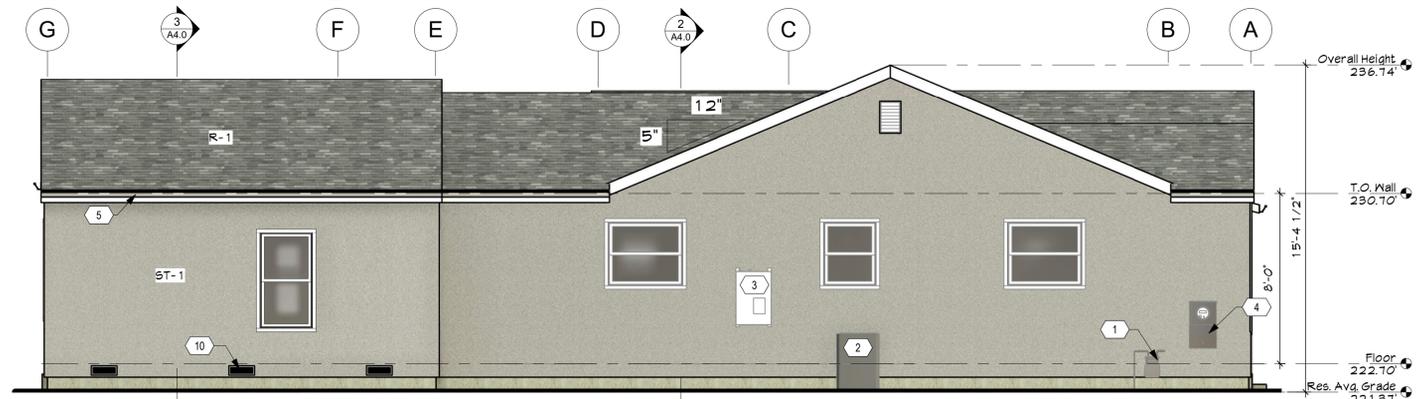
A FIRE PROTECTED EAVE DETAIL
3/4" = 1'-0"

1 PROPOSED ROOF PLAN
1/4" = 1'-0"



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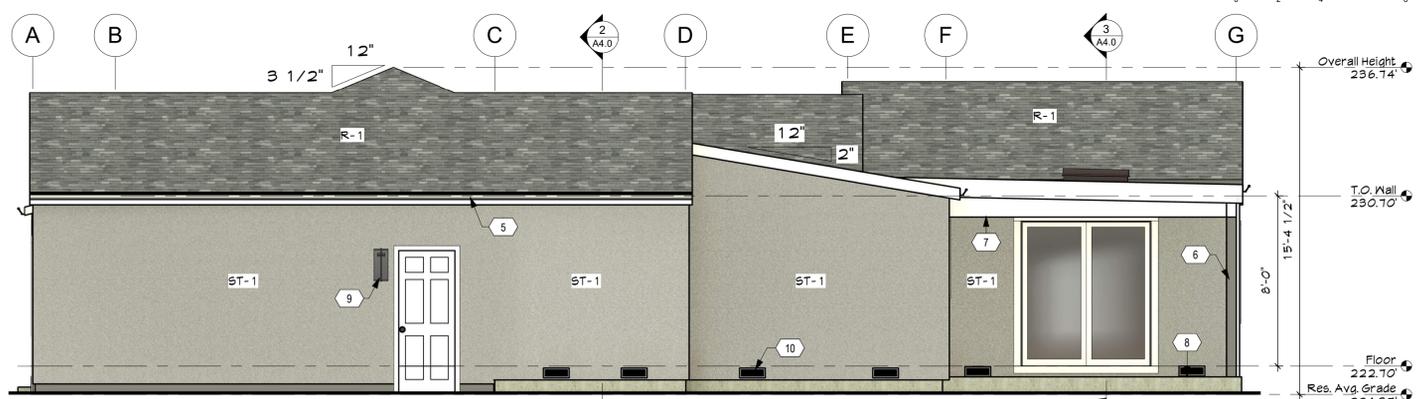
0 1/4" = 1'-0"



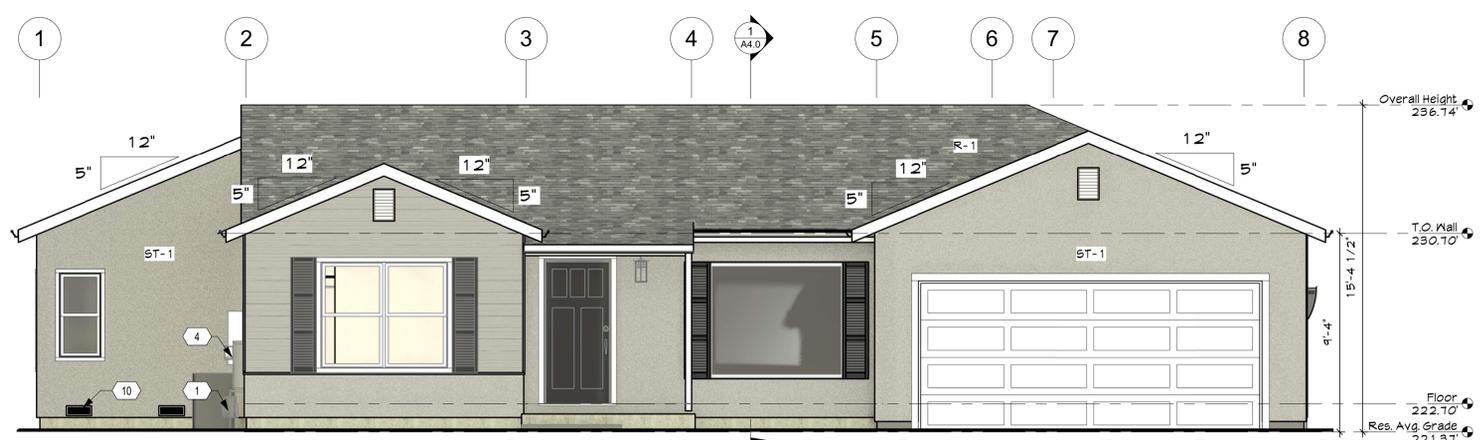
4 PROPOSED ELEVATION - LEFT
1/4" = 1'-0"



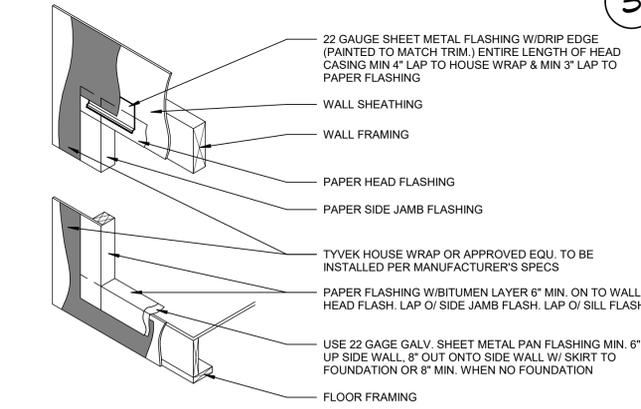
3 PROPOSED ELEVATION - REAR
1/4" = 1'-0"



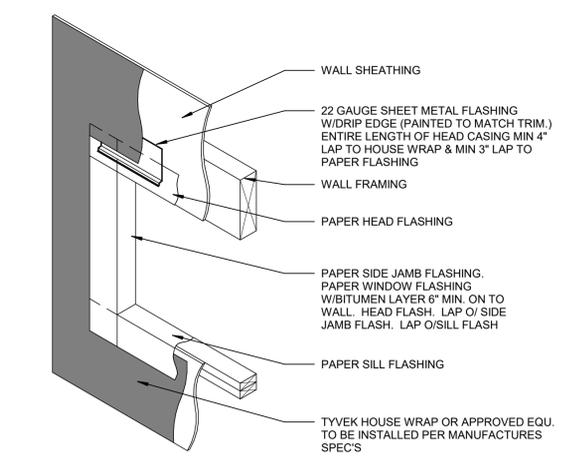
2 PROPOSED ELEVATION - RIGHT
1/4" = 1'-0"



1 PROPOSED ELEVATION - FRONT
1/4" = 1'-0"



B TYP. DOOR FLASHING
6" = 1'-0"



A TYP. WINDOW FLASHING
6" = 1'-0"

KEYNOTES

- 1 EXISTING GAS METER
- 2 EXISTING A/C UNIT
- 3 EXISTING TANKLESS WATER HEATER
- 4 EXISTING ELECTRICAL SERVICE METER
- 5 NEW GUTTERS TO MATCH EXISTING
- 6 NEW 6 x 6 WOOD COLUMN
- 7 NEW BEAM ABOVE, SEE STRUCTURAL
- 8 NEW 12\"/>

MATERIAL LEGEND

- L5-1** LAP SIDING
COLOR: MATCH EXISTING
- R-1** COMPOSITION ASPHALT ROOFING
COLOR: MATCH EXISTING
- ST-1** STUCCO FINISH
COLOR: MATCH EXISTING
- WINDOW TRIM
MANUF: HARDIE
COLOR: MATCH EXISTING
- WINDOW/DOOR GLAZING
MANUF: MILGARD

UNDERFLOOR VENTILATION CALCULATIONS

R408.1 VENTILATION. THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL HAVE VENTILATION OPENINGS THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR SPACE AREA, UNLESS THE GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER MATERIAL. WHEN A CLASS 1 VAPOR RETARDER MATERIAL IS USED, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR SPACE AREA. ONE SUCH VENTILATING OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

R408.2 OPENINGS FOR UNDER-FLOOR VENTILATION. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING. VENTILATION OPENINGS SHALL BE COVERED FOR THEIR HEIGHT AND WIDTH WITH ANY OF THE FOLLOWING MATERIALS PROVIDED THAT THE LEAST DIMENSION OF THE COVERING SHALL NOT EXCEED 1/4 INCH:

1. PERFORATED SHEET METAL PLATES NOT LESS THAN 0.070 INCH THICK.
2. EXPANDED SHEET METAL PLATES NOT LESS THAN 0.047 INCH THICK.
3. CAST-IRON GRILL OR GRATING.
4. EXTRUDED LOAD-BEARING BRICK VENTS.
5. HARDWARE CLOTH OF 0.035 INCH WIRE OR HEAVIER.
6. CORROSION-RESISTANT WIRE MESH, WITH THE LEAST DIMENSION BEING 1/8 INCH THICK.

CRAWLSPACE AREA	1,894 S.F.
REQUIRED VENTILATION	12.63 S.F.
(1,894 / 150 = 12.63 S.F.)	
PROVIDED VENTILATION	12.74 S.F.
23ea x 14 1/2" x 5 1/2" = 12.74 SF	

CONTRACTOR TO VERIFY FOUNDATIONS VENTS ARE PROVIDED AT NEW AND EXISTING UNDERFLOOR AREAS PER THE CALCULATION ABOVE



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PROJECT DETAILS

JANES RESIDENCE RENO
CONSTRUCTION DRAWINGS
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Campbell, CA 95008

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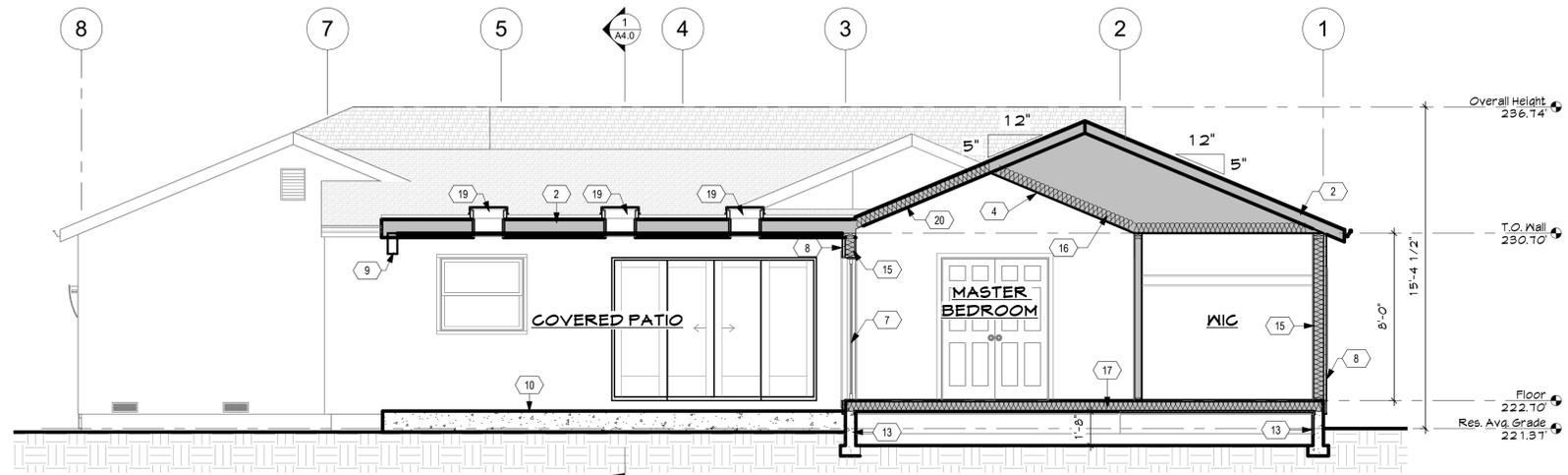
SHEET TITLE

PROPOSED ELEVATIONS

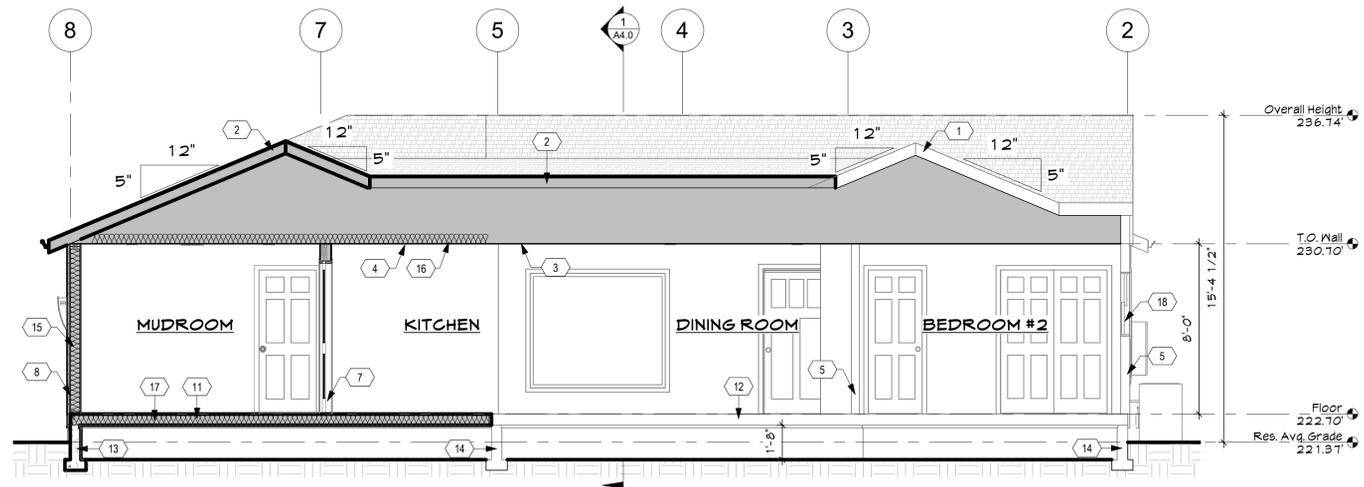
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A3.0

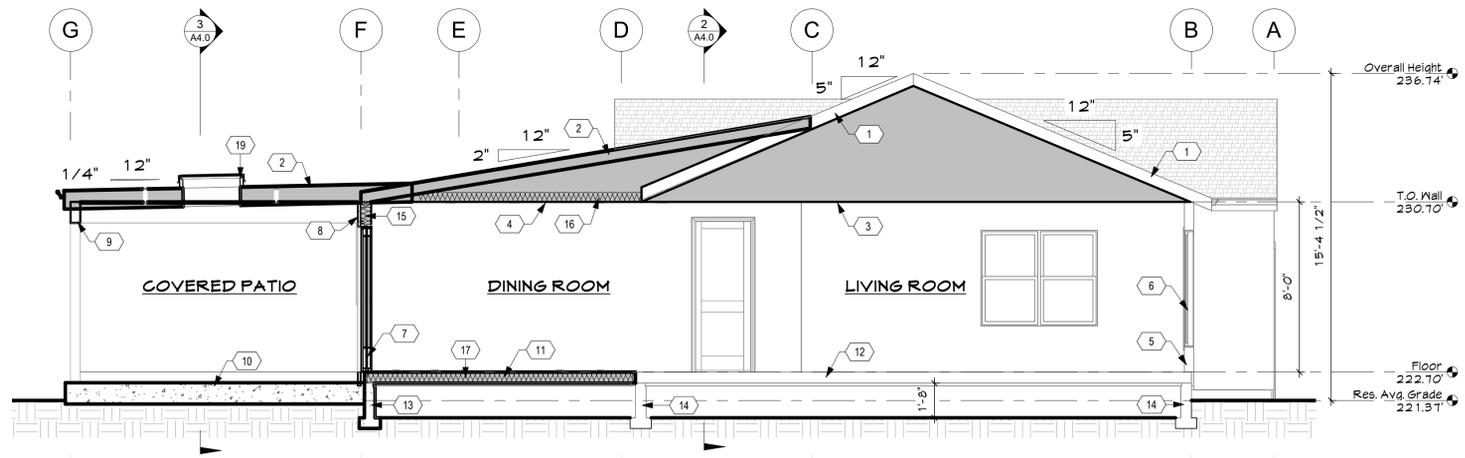
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3 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"

KEYNOTES

- 1 EXISTING ROOF FRAMING
- 2 NEW ROOF FRAMING, SEE STRUCTURAL
- 3 EXISTING CEILING FRAMING
- 4 NEW CEILING FRAMING, SEE STRUCTURAL
- 5 EXISTING WALL FRAMING
- 6 EXISTING WINDOW
- 7 NEW DOOR, SEE SCHEDULE
- 8 NEW WALL FRAMING, SEE WALL TYPES ON A2.0
- 9 NEW BEAM, SEE STRUCTURAL
- 10 NEW 12" CONCRETE SLAB
- 11 NEW FLOORING
- 12 EXISTING FLOOR FRAMING
- 13 NEW FOUNDATION, SEE STRUCTURAL DRAWINGS
- 14 EXISTING FOUNDATION
- 15 NEW R-15 BATT INSULATION
- 16 NEW R-38 BATT INSULATION
- 17 NEW R-19 BATT INSULATION
- 18 NEW WINDOW, SEE SCHEDULE
- 19 NEW SKYLIGHT, SEE SCHEDULE
- 20 R-38 CLOSED-CELL SPRAYABLE POLYURETHANE INSULATION APPLIED TO UNDERSIDE OF ROOF SHEATHING



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SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A4.0