



CITY OF CAMPBELL
Community Development Department

January 26, 2022

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Campbell has set the hour of 7:30 p.m., or shortly thereafter, on **Tuesday, February 8**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the following item:

1. Public Hearing to consider the application of Susan Chen for a Planned Development Permit to allow the construction of four single-family homes; a Tentative Subdivision Map to allow the creation of five lots (four residential and one common lot); and a Parking Modification Permit to allow two of the required assigned parking spaces (unit specific), to be provided as guest parking spaces on property located at **1323 Elam Avenue**. This application is intended to reinstate previous approvals for a Planned Development Permit (PLN2017-101), Tentative Subdivision Map (PLN2017-102), and Parking Modification Permit (PLN2017-338) which expired. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

This public hearing will be conducted in person as well as telecommunication and is compliant with provisions of the Brown Act.

Interested persons may appear and be heard in person or virtually at this hearing. Register to participate virtually in the Zoom City Council meeting at: <https://campbellca.gov/PCSignup>. This meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>.)

In the event the provisions of Assembly Bill 361 are adopted by the City Council before the date of this meeting so as to require virtual attendance by participants, additional procedures will be detailed on the published meeting agenda and any updated information will be posted to the City's website at www.campbellca.gov.

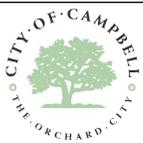
Please be advised that if you challenge the nature of the above in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the Planning Division at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the Community Development Department at 70 N. First Street, Campbell, CA 95008, (408) 866-2140 or planning@campbellca.gov at least one week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

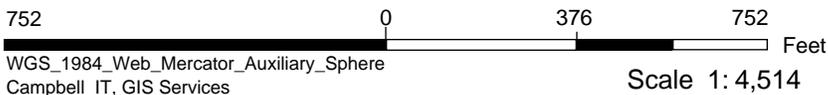
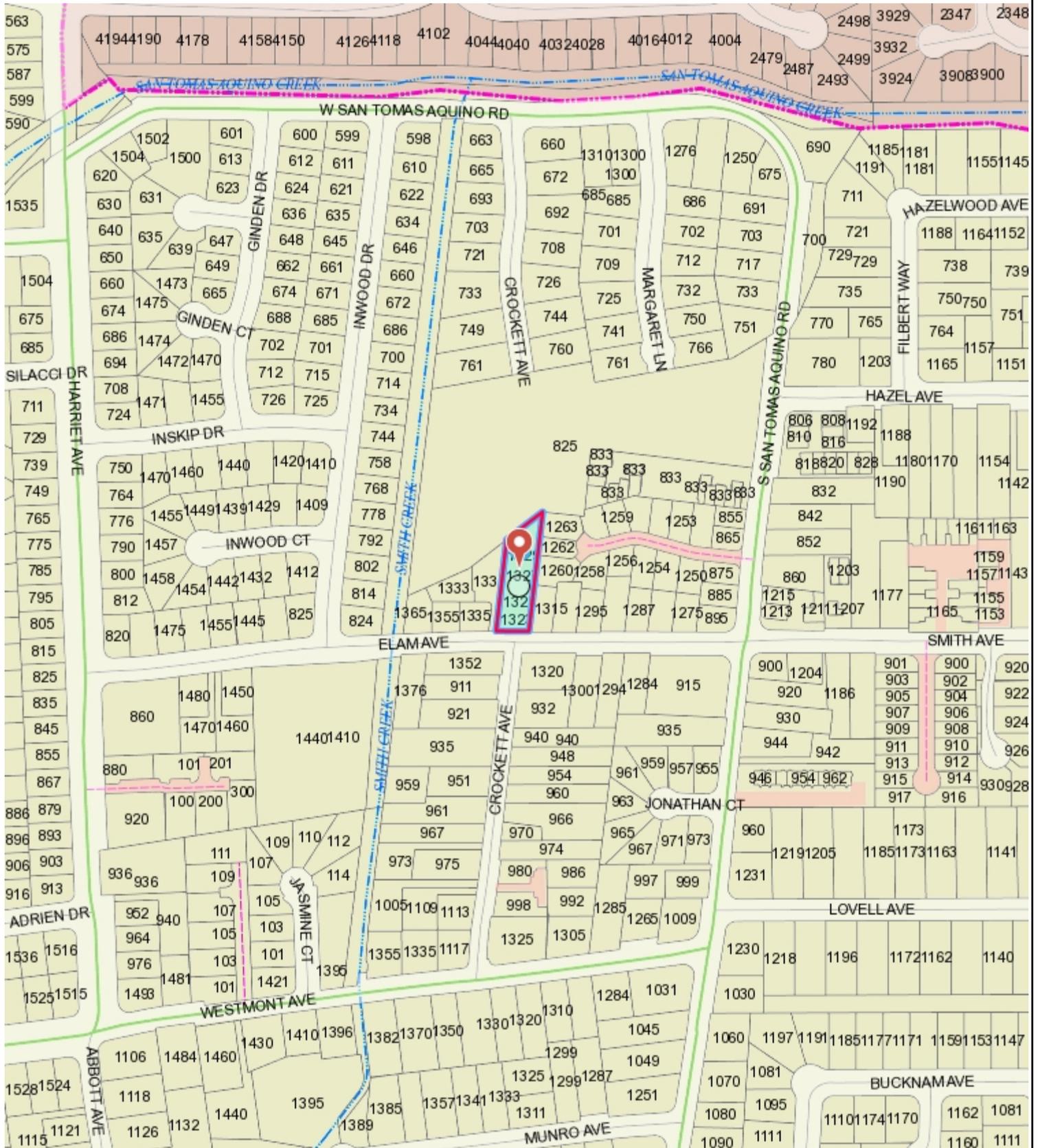
For more information you can contact the Community Development Department at (408) 866-2140 or planning@campbellca.gov.

PLANNING COMMISSION
CITY OF CAMPBELL
ROB EASTWOOD
SECRETARY

PLEASE NOTE: When calling on this Notice, refer to **1323 Elam Avenue**.



Location Map 1323 Elam Ave.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



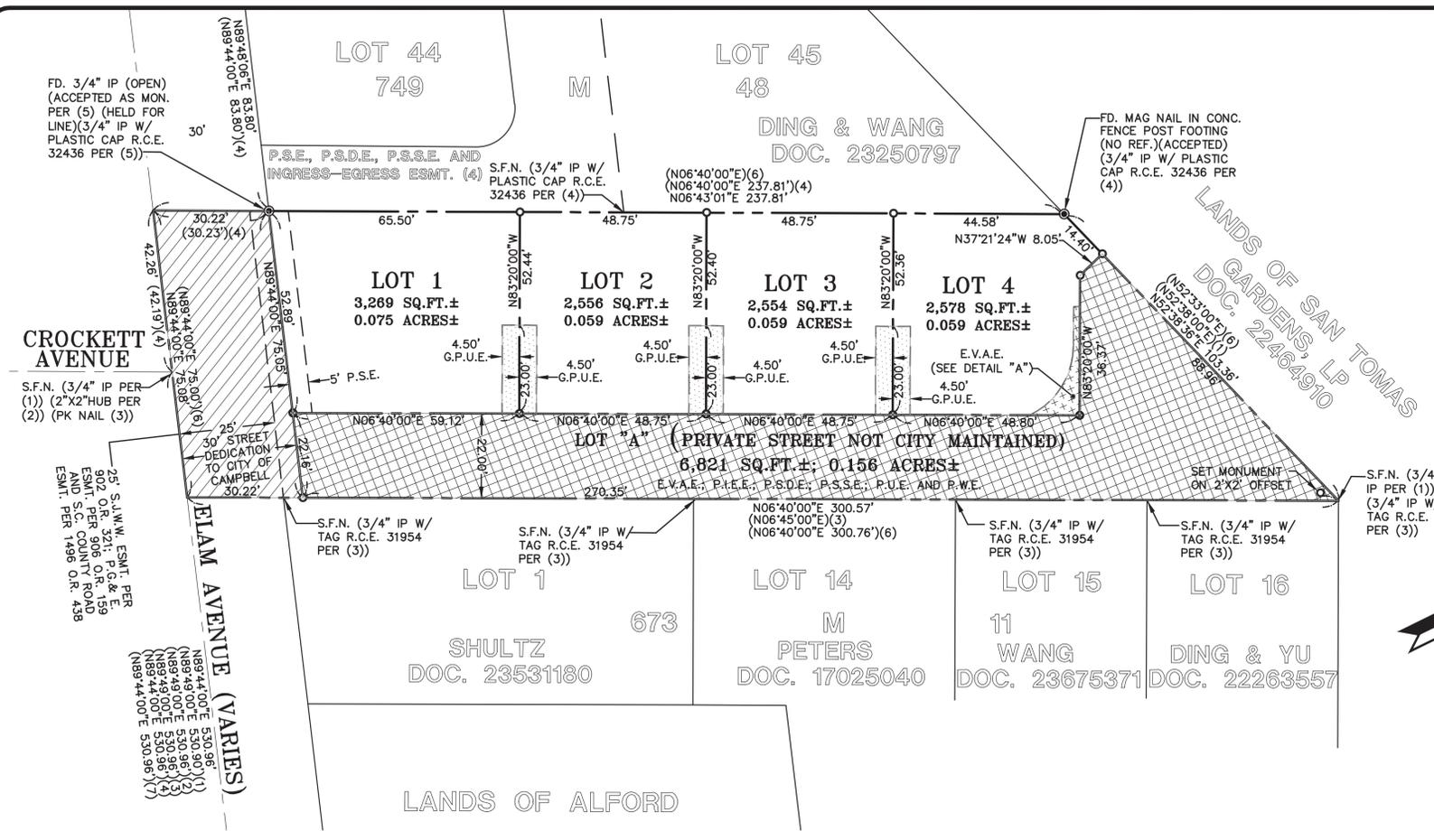
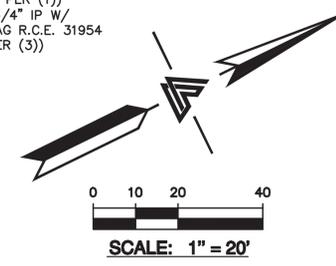
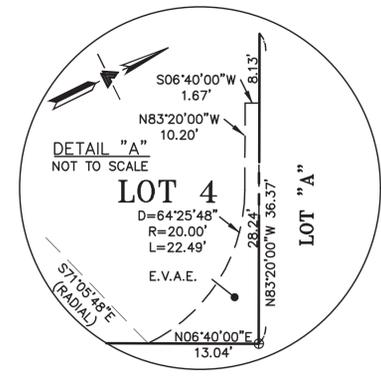
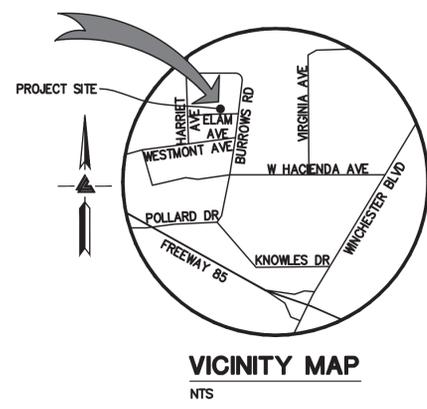
LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 SACRAMENTO REGION
 1500 SUTTER AVENUE, WEST
 SACRAMENTO, CALIFORNIA 95811
 (P) (916) 966-1338
 (F) (916) 887-3019
 WWW.LEABRAZE.COM

ZHU SUBDIVISION
1323 ELAM AVENUE
CAMPBELL, CALIFORNIA
 APN: 403-09-046
 SANTA CLARA COUNTY

TENTATIVE
SUBDIVISION MAP

NO.	REVISIONS	BY
1	PLAN CHECK 2017-05-05	DY
2	PLAN CHECK 2017-09-19	DY
3	COA'S 2018-12-05	RB
4	RESUBMITTAL 2021-11-02	TT
	REVISIONS	BY
	JOB NO: 2161131	
	DATE: 05-02-2017	
	SCALE: AS NOTED	
	DESIGN BY: DY	
	DRAWN BY: WA	
	SHEET NO:	

01 OF SHEETS



SHEET INDEX:

NO.	TITLE
1	TITLE SHEET
2	TOPOGRAPHIC MAP
3	DEMOLITION PLAN
4	OVERALL SITE PLAN
5	GRADING AND DRAINAGE PLAN
6	UTILITY PLAN
7	IMPERVIOUS AREA PLAN
8	STORM DRAIN PLAN
9	STORMWATER SECTIONS
10	DETAILS
11	DETAILS
12	GRADING SPECIFICATIONS
13	GRADING SPECIFICATIONS
14	EROSION CONTROL PLAN
15	EROSION CONTROL DETAILS
16	BLUEPRINT FOR A CLEAN BAY
17	JOINT TRENCH COMPOSITE TITLE SHEET
18	JOINT TRENCH GENERAL NOTES AND DETAILS
19	JOINT TRENCH DETAILS
20	JOINT TRENCH SECTIONS AND DETAILS
21	JOINT TRENCH COMPOSITE PLAN
22	JOINT TRENCH COMPOSITE PLAN
23	LANDSCAPE PLAN
24	LANDSCAPE PLAN

ARCHITECTURAL SHEETS:

HOUSE	NO.	TITLE
HOUSE 1- 1323 ELAM	A-0.01	HOUSE 1 COVER SHEET
	A-1.11	HOUSE 1 PROPOSED SITE PLAN
	A-2.01	HOUSE 1 1ST FLOOR PLAN
	A-2.11	HOUSE 1 2ND FLOOR PLAN AND ROOF PLAN
HOUSE 2- 1325 ELAM	A-0.01	HOUSE 2 COVER SHEET
	A-1.11	HOUSE 2 PROPOSED SITE PLAN
	A-2.01	HOUSE 2 1ST FLOOR PLAN
	A-2.11	HOUSE 2 2ND FLOOR PLAN AND ROOF PLAN
HOUSE 3- 1327 ELAM	A-0.01	HOUSE 3 COVER SHEET
	A-1.11	HOUSE 3 PROPOSED SITE PLAN
	A-2.01	HOUSE 3 1ST FLOOR PLAN
	A-2.11	HOUSE 3 2ND FLOOR PLAN AND ROOF PLAN
HOUSE 4- 1395 ELAM	A-0.01	HOUSE 4 COVER SHEET
	A-1.11	HOUSE 4 PROPOSED SITE PLAN
	A-2.01	HOUSE 4 1ST FLOOR PLAN
	A-2.11	HOUSE 4 2ND FLOOR PLAN AND ROOF PLAN

NOTES:

MAP WAS PREPARED AT THE REQUEST OF GORDANA PAVLOVIC AND FIELD WORK WAS COMPLETED ON JULY 1, 2015.

MEASUREMENTS: SHOWN IN FEET AND DECIMALS THEREOF (XXX.XX). TREE DIMENSIONS, HOWEVER, ARE DIAMETERS IN INCHES—EITHER AT CHEST HEIGHT (OAK 11" = 11" DIAMETER OAK AT CHEST HEIGHT) OR AT THE BASE (OAK 12" = 12" DIAMETER OAK AT BASE [TWO TRUNKS]; AN "M" INDICATES MULTIPLE TRUNKS); AN "L" INDICATES LEANING.

BOUNDARY: A FIELD SURVEY WAS MADE; DETERMINATION OF THE LINES LARGELY RELY ON 277 MAPS 37. CONTACT THE SURVEYOR FOR DETAILS.

BENCHMARK ELEVATION: AS INDICATED ON A WATER METER AS SHOWN.

FEATURES THAT WERE NOT MAPPED: RECORD LOCATION OF UNDERGROUND UTILITIES OTHER THAN AS SHOWN.

USERS OF THIS MAP ARE ADVISED TO CONTACT THE PREPARER TO BE SURE THERE ARE NO PERTINENT REVISIONS TO THE COPY THAT HE OR SHE HAS OBTAINED.

BENCHMARK

TOP OF WATER METER BOX
 ASSUMED 227' PER GOOGLE MAPS

REFERENCES

- (1) RECORD 227 MAPS 37
- (2) RECORD 443 MAPS 7
- (3) RECORD 673 MAPS 11
- (4) RECORD 749 MAPS 48
- (5) RECORD 787 MAPS 48
- (6) RECORD DEED NO. 23561733
- (7) RECORD 610 MAPS 15

LEGEND

PROPOSED	DESCRIPTION
---	BOUNDARY
---	PROPERTY LINE
-SUB-	SUBDRAIN LINE
-SS-	SANITARY SEWER LINE
-W-	WATER LINE
-G-	GAS LINE
-JT-	JOINT TRENCH
---	SET BACK LINE
←	FUTURE OVERLAND RELEASE
● AD	AREA DRAIN
○ COTG	CLEAN OUT TO GRADE
○ SSCO	SANITARY SEWER CLEANOUT
□ BFP	BACK FLOW PREVENTOR DEVICE
□ WM	WATER METER
▣ CB	CATCH BASIN
▣ JB	JUNCTION BOX
○ MRO	METER RELEASE OUTLET
↓	CURB INLET
↑	STREET SIGN
▲	SPOT ELEVATION
→	FLOW DIRECTION
□	DEMOLISH/REMOVE
○	BENCHMARK
---	CONTOURS
✗	TREE TO BE REMOVED

EASEMENT LEGEND

	25' + 5' DEDICATED RIGHT OF WAY EASEMENT
	COMMON LOT "A"
	GUEST PARKING EASEMENT/ UTILITY EASEMENT (FREE & CLEAR OF VERTICAL STRUCTURES)
	EMERGENCY VEHICLE ACCESS EASEMENT
	OPEN SPACE

ABBREVIATIONS

AD	AREA DRAIN
(E)	EXISTING
(N)	NEW
BFP	BACKFLOW PREVENTOR
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FD	FOUND
GPUE	GUEST PARKING AND UTILITY EASEMENT
PIE	PRIVATE INGRESS EGRESS EASEMENT
PSDE	PRIVATE STORM DRAINAGE EASEMENT
PSE	PUBLIC SERVICE EASEMENT
PSSE	PRIVATE SANITARY SEWER EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PWE	PRIVATE WATER EASEMENT
PA	PLANTER AREA
SFN	SEARCHED FOUND NOTHING

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS IDENTICAL TO THAT AS SHOWN UPON THAT CERTAIN MAP FILED FOR RECORD IN BOOK 749 OF MAPS AT PAGE 48. BEARING BEING BETWEEN MONUMENTS ALONG THE CENTERLINE OF SAN TOMAS AQUINO ROAD. BEARING SHOWN THEREON TO BE NORTH 06°40'00" EAST.

PROJECT DATA

TRACT NO.	
RECORD OWNER(S):	ZHU YANHUA 1830 GUINDA STREET PALO ALTO CA 94303 C/O GORDANA, LLC
SUBDIVIDER:	GORDANA PAYLOVIC (650) 483-4622 GORDANA, LLC 602 HAWTHORNE AVE. PALO ALTO, CA 94301
ENGINEER:	LEA & BRAZE ENGINEERING INC. 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA 94545 (510) 887-4086 CONTACT: PETE CARLINO
ASSESSOR'S PARCEL NO.	403-09-046
EXISTING AND PROPOSED ZONING:	EXISTING: R-M (RESIDENTIAL) PROPOSED: P-D (RESIDENTIAL) 4 SINGLE FAMILY HOMES
UTILITIES SERVICES:	WATER SUPPLY: SAN JOSE WATER SEWAGE DISPOSAL: WEST VALLEY SANITATION DISTRICT GAS & ELECTRICAL: PG&E TELEPHONE: AT&T CABLE: COMCAST FIRE: SANTA CLARA COUNTY
STREET TREES	ANY NEW STREET TREES IN PUBLIC RIGHT-OF-WAY TO BE PLANTED IN ACCORDANCE WITH CITY OF CAMPBELL ORDINANCES.
AREA TO BE SUBDIVIDED	17,778 SQUARE FEET (0.408 AC) TO BE SUBDIVIDED TO 5 LOTS.
CONTOUR ELEVATION	SEE BENCHMARK NOTE

NOTE: ALL DRY UTILITIES TO BE INSTALLED UNDERGROUND. TO BE DESIGNED BY OTHERS.

FEMA NOTE:
 PROPERTY LIES WITHIN ZONE "X", BEING AREAS DETERMINED TO BE OUTSIDE OF THE .2% ANNUAL CHANCE FLOODPLAIN AS PER FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 06085C0238J, EFFECTIVE DATE FEBRUARY 19, 2014.

OWNER'S ACKNOWLEDGMENT

I/WE HEREBY STATE THAT I/WE THE OWNER(S) OF THE LAND INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THIS MAP AND I HEREBY AGREE TO THE FILING OF THIS TENTATIVE MAP AND AGREE TO COMPLY WITH THE PROVISIONS OF THE CITY OF CAMPBELL COMPREHENSIVE PLAN AND STATE OF CALIFORNIA MAP ACT AS THEY APPLY TO THE PROCESSING AND APPROVAL OF SAID MAP. THE CURRENT ZONING FOR THIS PROPERTY IS R-M, THE PROPOSED ZONING FOR THIS SUBDIVISION IS P-D. ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF CAMPBELL/UTILITY DISTRICT STANDARDS.

AS OWNER: ZHU YANHUA
 BY: _____ DATE: _____
 ZHU YANHUA

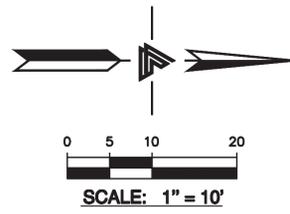
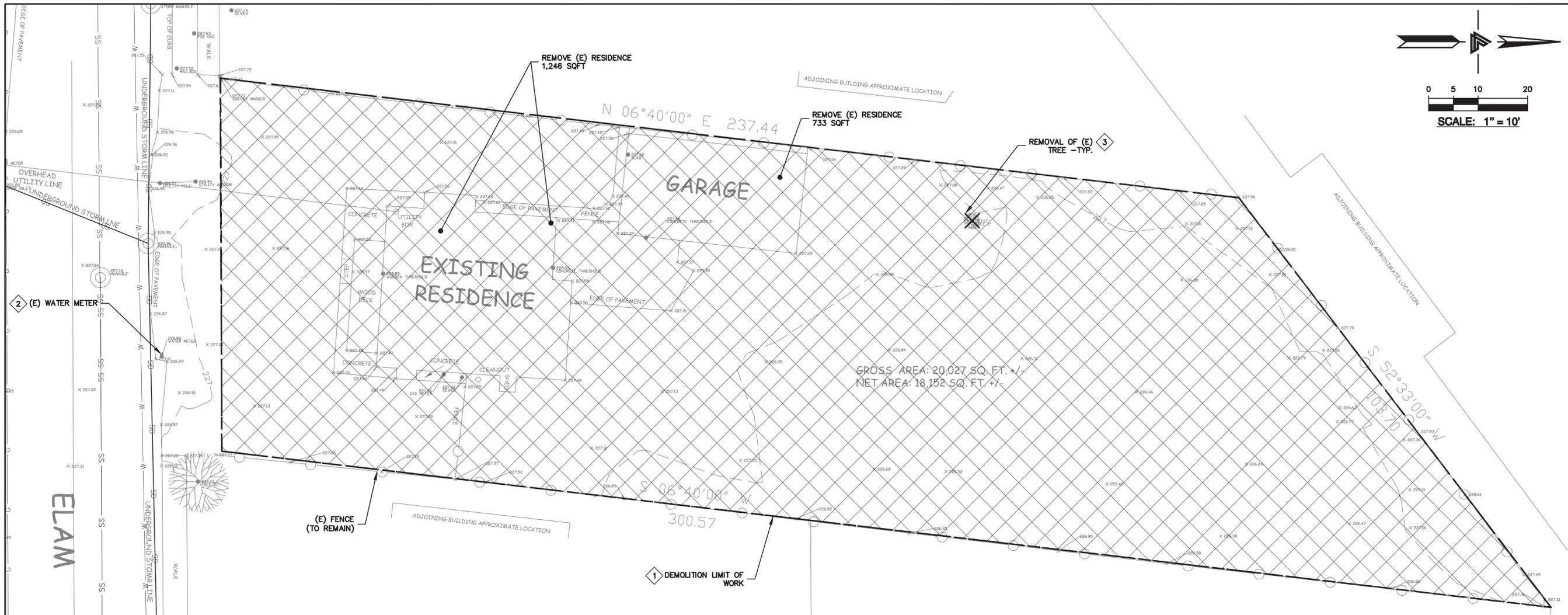
TRUE BENCHMARK

SCVMD BM NO. 618
 BRASS DISK (CA 005); ON TOP OF CURB, ON THE EASTERLY SIDE OF HARRIET AVENUE BETWEEN ADDRESSES 825 AND 835, AT 35 FEET SOUTH OF THE CENTERLINE PROJECTION OF ELAM AVENUE. DISK IS 1' WEST OF POWER POLE. CITY OF CAMPBELL. (NAVDB8) 231.70 FT.

NOTE: ELEVATIONS SHOWN HEREON WERE BASED UPON AN ASSUMED DATUM. DEDUCT 0.78 FT TO OBTAIN TRUE ELEVATIONS TO BE COMPLIANT TO THE TRUE DATUM.

LOT AREA TABLE

PROPOSED LOTS	SQ. FT.	AC.
LOT 1	3,289	0.075
LOT 2	2,556	0.059
LOT 3	2,554	0.059
LOT 4	2,578	0.059
LOT A	6,821	0.156
TOTAL BOUNDARY	17,778	0.408



HATCH LEGEND:

- LIMIT OF WORK
-  DEMOLITION AREA. ALL SURFACE FEATURES TO BE REMOVED, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY TO REMAIN, UNLESS OTHERWISE NOTED.
-  TREE TO BE PROTECTED.
-  TREE TO BE REMOVED.
-  CAP UTILITY AT PROPERTY LINE.

DEMOLITION NOTES:

- 1 REMOVE ALL (E) FEATURES WITHIN LIMIT OF WORK, UNLESS NOTED OTHERWISE. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
- 2 REMOVE (E) WATER LATERAL FROM ONSITE TO METER.
- 3 (E) TREE TO BE REMOVED. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMIT AS REQUIRED.

GENERAL NOTES:

- 1. ALL IRRIGATION LINES SHALL BE REMOVED AND REPLACED AS REQUIRED BY LANDSCAPE ARCHITECT.
- 2. CLEAR AND GRUB ENTIRE SITE TO ACCOMMODATE (N) IMPROVEMENTS
- 3. IF CONTRACTOR ENCOUNTERS UTILITIES NOT SHOWN ON THIS PLAN THEY ARE TO CONTACT THE ARCH/ENGINEER PRIOR TO REMOVING UTILITIES.
- 4. SEE ELECTRICAL PLANS FOR RELOCATION OF ELECTRICAL/ COMMUNICATIONS UTILITIES.
- 5. ALL WORK WITHIN ELAM AVENUE RIGHT-OF-WAY TO BE PER CITY STANDARDS.
- 6. ANY (E) STREET SIGNAGE TO BE PROTECTED AND REPLACED IF DAMAGED DURING CONSTRUCTION.
- 7. ANY WORK IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT PERMIT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THIS ENCROACHMENT PERMIT.

No.	Revision	Date	By	Chkd
1	PLAN CHECK COMMENTS	10-07-20	TT	TT
2	PLAN CHECK COMMENTS	06-02-21	TT	TT
3	PLAN CHECK COMMENTS	06-28-21	TT	TT
4	PLAN CHECK COMMENTS	08-23-21	TT	TT

Date: DECEMBER 7, 2018
 Drawn By: WA
 Designed By: RB

LEA & BRIZE ENGINEERING, INC.
 ENGINEERS
 BAY AREA REGION
 1100 W. ELAM AVENUE
 FAYETTEVILLE, CA 95758
 (916) 887-5018
 WWW.LEA-AND-BRIZE.COM

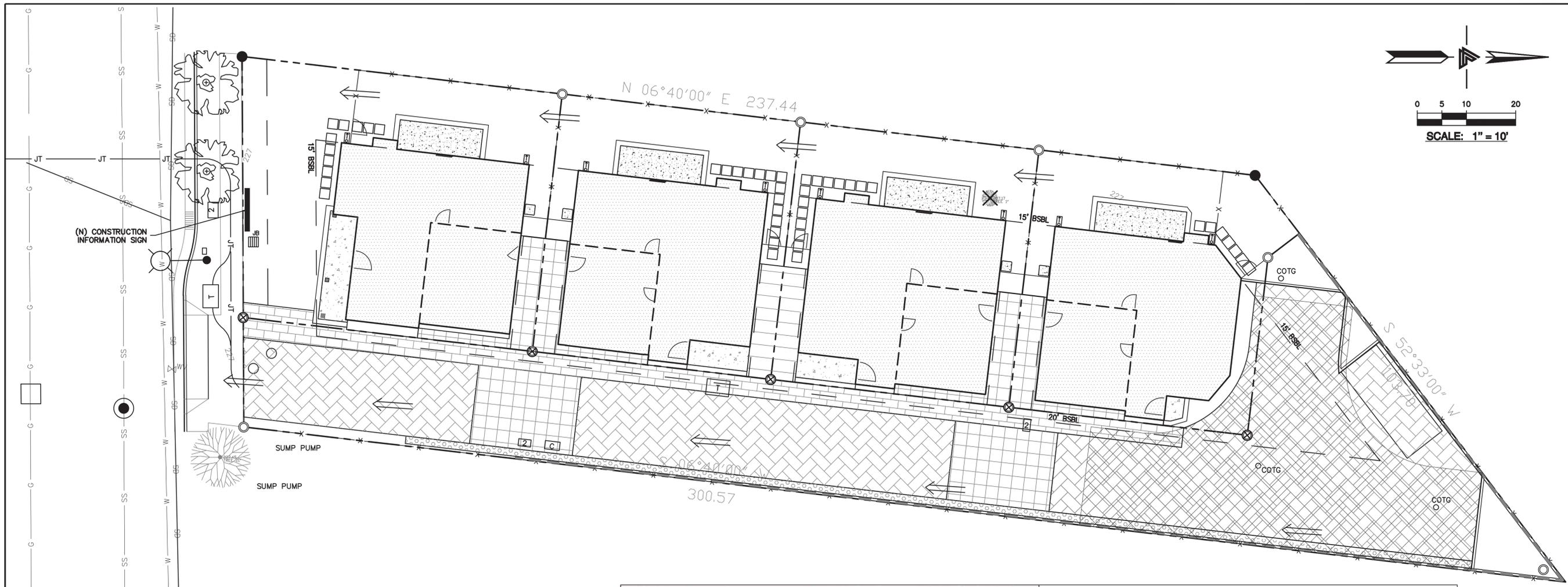
DEMOLITION PLAN
 ON-SITE GRADING & DRAINAGE PLANS
 1323 ELAM AVENUE
 BUILDING PERMIT NO. BLD2019-00823



SCALE:
AS NOTED

SHEET:
6
03 OF 24





PROJECT DATA

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 1830 GUINDA STREET
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 C/O GORDANA, LLC

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ASSESSOR'S PARCEL NO. 403-09-046

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 4 SINGLE FAMILY HOMES

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 SEWAGE DISPOSAL: WEST VALLEY SANITATION DISTRICT
 GAS & ELECTRICAL: PG&E
 TELEPHONE: AT&T
 CABLE: COMCAST
 FIRE: SANTA CLARA COUNTY

STREET TREES ANY NEW STREET TREES IN PUBLIC RIGHT-OF-WAY TO BE PLANTED IN ACCORDANCE WITH CITY OF CAMPBELL ORDINANCES.

AREA TO BE SUBDIVIDED 17,777 SQUARE FEET (0.408 AC) TO BE SUBDIVIDED TO 5 LOTS.

CONTOUR ELEVATION SEE BENCHMARK NOTE BELOW.

HATCH LEGEND

- CONCRETE PATIOS & WALKWAYS. SEE DETAIL 2/10
- 24 X 24 CONCRETE PAVING. SEE DETAIL 1/10
- 6 X 12 PERVIOUS PAVERS S.L.D.
- 12 X 12 PERVIOUS PAVERS. SEE SECTION A-A ON SHEET 9
- POROUS GRASS PAVER WITH DYMONDIA GROUNDCOVER S.L.D.
- FIRE TRUCK TURNAROUND

TRUE BENCHMARK

SCVWD BM NO. 618
 BRASS DISK (CA 005); ON TOP OF CURB, ON THE EASTERLY SIDE OF HARRIET AVENUE BETWEEN ADDRESSES 825 AND 835, AT 35 FEET SOUTH OF THE CENTERLINE PROJECTION OF ELAM AVENUE. DISK IS 1' WEST OF POWER POLE. CITY OF CAMPBELL. (NAVD88) 231.70 FT.

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NOTE: ALL DRY UTILITIES TO BE INSTALLED UNDERGROUND. TO BE DESIGNED BY OTHERS.

Exhibit A - Conditions of Approval
 PLN2017-101 - 1323 Elam Avenue - Planned Development Permit
 Page 3 of 9

8. CEQA Mitigation Measures:

The following measures shall be implemented pursuant to the Mitigated Negative Declaration:

AIR-1: The project applicant shall ensure that construction plans include the BAAQMD Best Management Practices for fugitive dust control. The following will be required for all construction activities within the project area. These measures will reduce fugitive dust emissions primarily during soil movement, grading and demolition activities, but also during vehicle and equipment movement on unpaved project sites:

- a. All active construction areas shall be watered twice daily or more often if necessary. Increased watering frequency shall be required whenever wind speeds exceed 15 miles-per-hour.
- b. Pave, apply water three times daily, or apply non-toxic soil stabilizers on all unpaved access roads and parking and staging areas at construction sites.
- c. Cover stockpiles of debris, soil, sand, and any other materials that can be windblown. Trucks transporting these materials shall be covered.
- d. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day. The use of dry power sweeping is prohibited.
- e. Subsequent to clearing, grading, or excavating, exposed portions of the Site shall be watered, landscaped, treated with soil stabilizers, or covered as soon as possible.
- f. Installation of sandbags or other erosion control measures to prevent silt runoff to public roadways.
- g. Replanting of vegetation in disturbed areas as soon as possible after completion of construction.
- h. Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to five minutes. Clear signage shall be provided for construction workers at all access points.
- i. All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation.
- j. Post a publicly visible sign with the telephone number and person to contact at the City of Campbell regarding dust complaints. This person shall respond and take corrective action within 48 hours. The BAAQMD's phone number shall also be visible to ensure compliance with applicable regulations.

CUL-1: If archaeological or paleontological resources are encountered during excavation or construction, construction personnel shall be instructed to immediately suspend all activity in the immediate vicinity of the suspected resources and the City and a licensed archeologist or paleontologist shall be

Exhibit A - Conditions of Approval
 PLN2017-101 - 1323 Elam Avenue - Planned Development Permit
 Page 4 of 9

contacted to evaluate the situation. A licensed archeologist or paleontologist shall be retained to inspect the discovery and make any necessary recommendations to evaluate the find under current CEQA guidelines prior to the submittal of a resource mitigation plan and monitoring program to the City for review and approval prior to the continuation of any on-site construction activity.

GEO-1: The applicant shall comply with the recommendations in the Geotechnical Investigation, dated August 2, 2016 prepared by Kristofer T. Korth, P.E. (No. 82838) and Andrew D. Murray, P.E. (No. C44562) of Murray Engineers. Such recommendations shall be incorporated into the project's final engineering design to minimize the damage from seismic shaking, unsuitable fill, and other geological deficiencies. The project shall use standard engineering techniques and conform to the requirements of the International Building Code to reduce the potential for seismic damage and risk to future occupants.

HAZ-1: Prior to issuance of a demolition permit, a qualified contractor shall assess the property for presence of Lead-based paint (LBP) and Asbestos containing building materials (ACBM), and if present, prepare a plan, to the satisfaction of the Building Official, to properly manage and dispose of such materials.

NOI-1: Windows must have a minimum STC rating of 20 dB, which is met by standard operable double-glazed thermal windows, with two 1/8" lights separated by a 1/2" air space and with good weather seals. For better reduction of loud vehicle noise, an STC performance of 30 STC is recommended, but not required.

NOI-2: Outside doors, such as for front entrances or patios, particularly for Unit 1, should meet a tested STC rating of 20 to 30 to match the overall sound transmission mitigation criteria.

NOI-3: Mitigation of outside noise is based upon windows that are closed in order to provide the required noise protection. Therefore, all units must have a ventilation system that provides a habitable interior air quality environment with the windows closed, regardless of outside temperature. In addition, noise levels produced by heating and air conditioning units for the project must not themselves create a noise problem for any of the residential units associated with the project or adjacent properties.

NOI-4: Good noise design must be implemented by good field construction practices or the design performance will not be achieved. This includes minimizing all penetrations of and connections between party wall and floor/ceiling assemblies, and acoustical sealant around any necessary penetrations.

NOI-5: A six to seven-foot solid wood property line fences and gates shall be required to protect back yard activity areas, which will provide the required outdoor activity area noise reduction.

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4	PLAN CHECK COMMENTS	08-23-21	TT	TT

Date: DECEMBER 7, 2018
 Drawn By: WA
 Designed By: RB

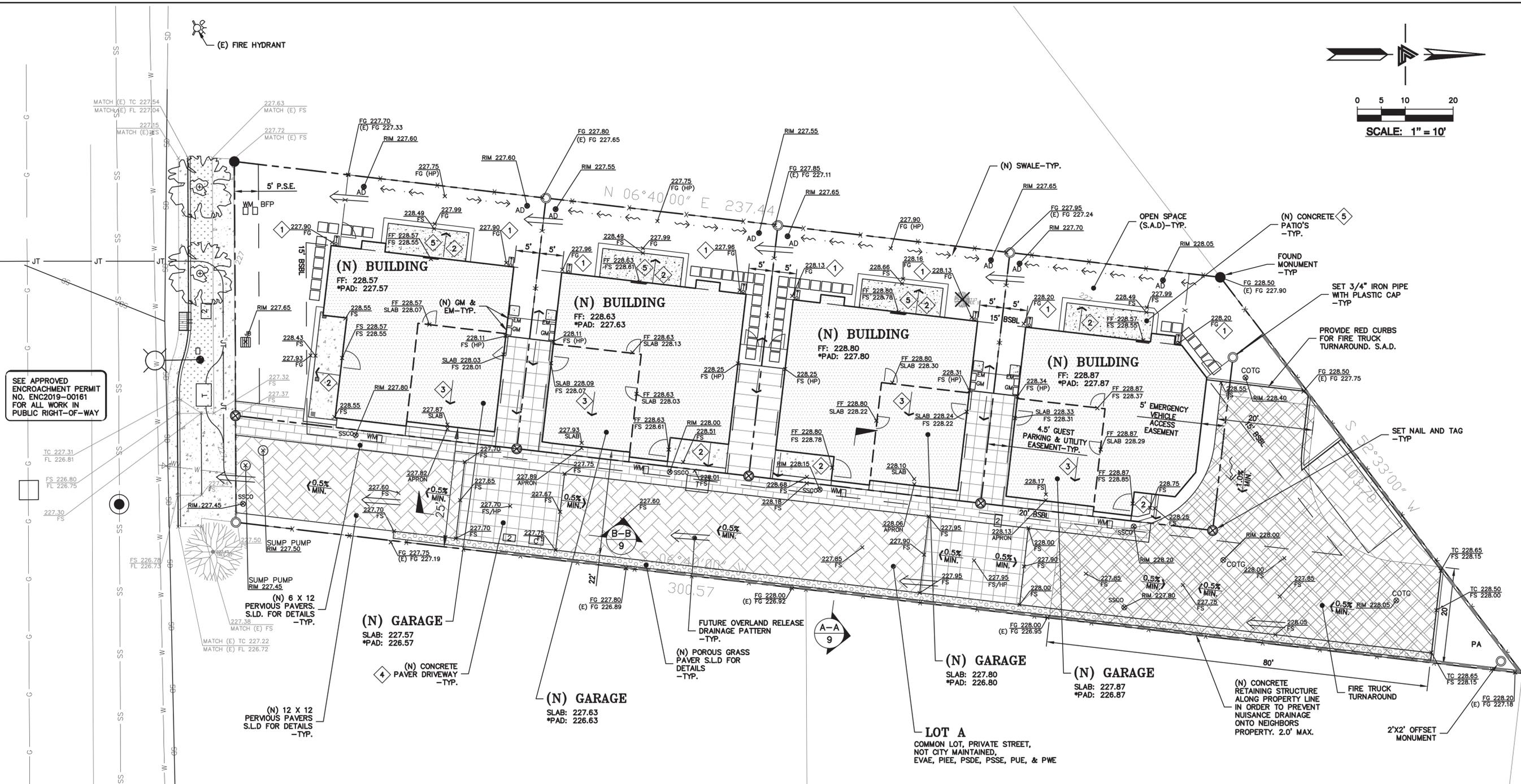
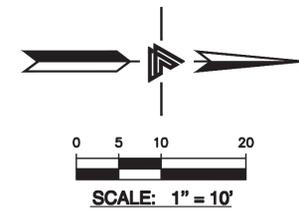
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**OVERALL SITE PLAN
 ON-SITE GRADING & DRAINAGE PLANS
 1323 ELAM AVENUE
 BUILDING PERMIT NO. BLD2019-00823**



SCALE:
 AS NOTED

SHEET:
 4
 04 OF 24



SEE APPROVED ENCROACHMENT PERMIT NO. ENC2019-00161 FOR ALL WORK IN PUBLIC RIGHT-OF-WAY

- FLATWORK KEYNOTES 1 TO 5**
- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.3 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES PER CBC 2304.11.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
 - 2 PROVIDE 2% (1% MIN.) SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 2304.11.2. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
 - 3 SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP
 - 4 (N) CONCRETE PAVER DRIVEWAY. SEE DETAIL 1 SHEET 10.
 - 5 (N) CONCRETE WALKWAYS AND PATIOS. SEE DETAIL 2 SHEET 10.

NOTE:
ALL EARTHWORK AND SITE DRAINAGE, INCLUDING PIER DRILLING SPREAD FOOTING EXCAVATIONS, PREPARATION OF SUBGRADE BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL, AND INSTALLATION OF SITE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED AUGUST 2, 2016. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-558-9900) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST, AS NECESSARY, THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

HATCH LEGEND

	CONCRETE PATIOS & WALKWAYS. SEE DETAIL 2/10
	24 X 24 CONCRETE PAVING. SEE DETAIL 1/10
	6 X 12 PERVIOUS PAVERS S.L.D.
	12 X 12 PERVIOUS PAVERS. SEE SECTION A-A ON SHEET 9
	POROUS GRASS PAVER WITH DYMONDIA GROUNDCOVER S.L.D.
	FIRE TRUCK TURNAROUND

TRUE BENCHMARK
SCVWD BM NO. 618
BRASS DISK (CA 005); ON TOP OF CURB, ON THE EASTERLY SIDE OF HARRIET AVENUE
BETWEEN ADDRESSES 825 AND 835, AT 35 FEET SOUTH OF THE CENTERLINE PROJECTION OF ELAM AVENUE. DISK IS 1' WEST OF POWER POLE. CITY OF CAMPBELL. (NAVDB8) 231.70 FT.
NOTE: ELEVATIONS SHOWN HEREON WERE BASED UPON AN ASSUMED DATUM. DEDUCT 0.78 FT TO OBTAIN TRUE ELEVATIONS TO BE COMPLIANT TO THE TRUE DATUM.

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Date: DECEMBER 7, 2018
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Designed By: RB

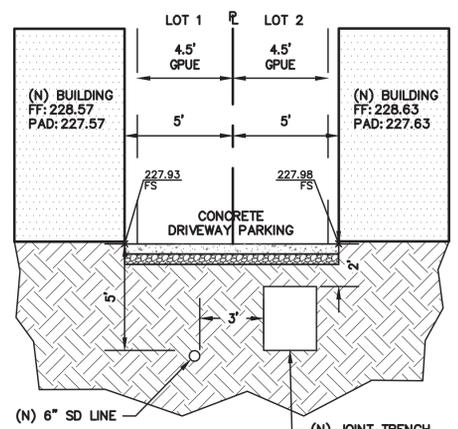
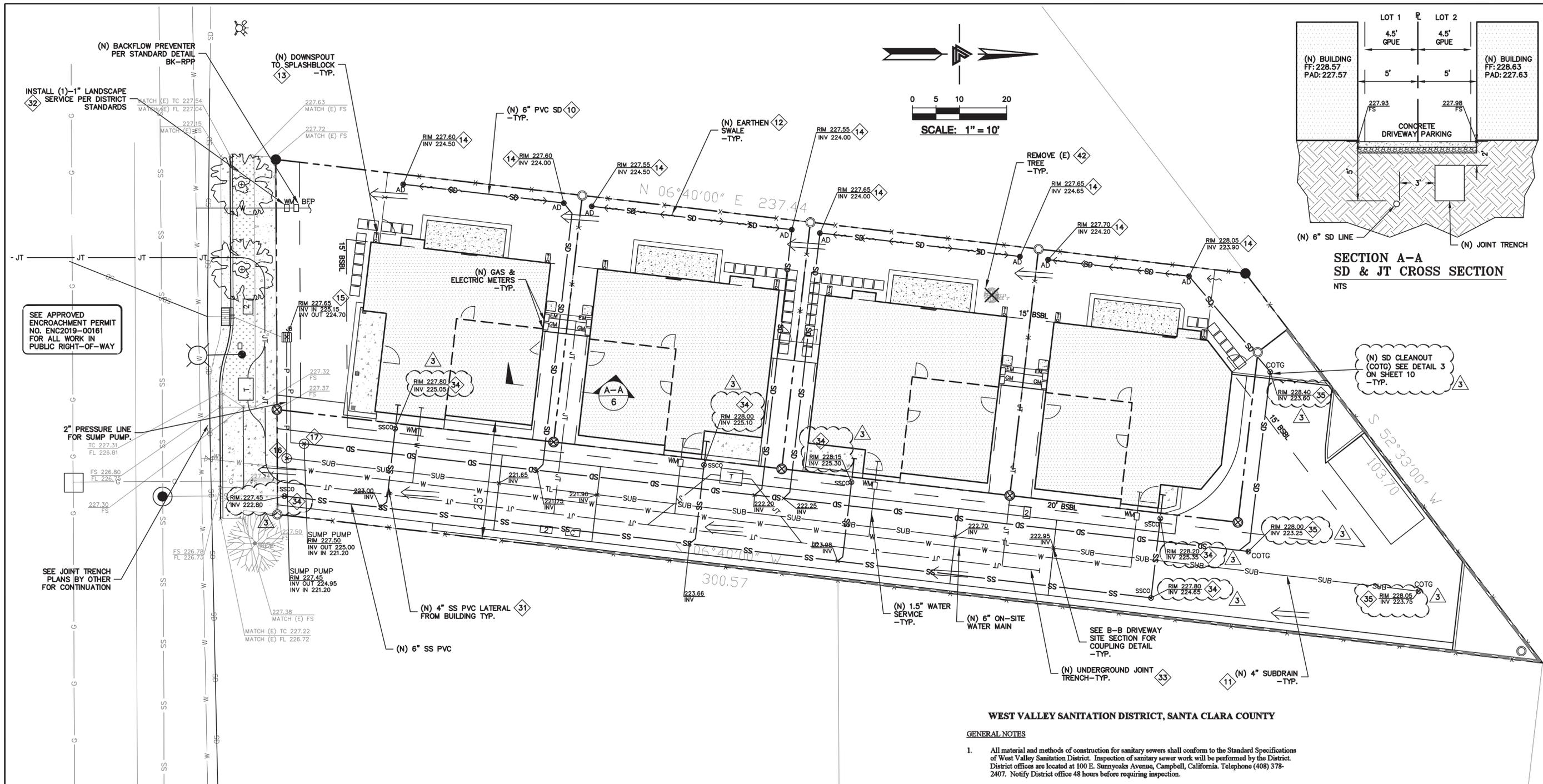
LEA & BRAZE ENGINEERING, INC.
ENGINEERS
BAY AREA REGION
SACRAMENTO REGION
1000 W. HARRIET AVENUE, SUITE 300
CAMPBELL, CALIFORNIA 95008
(916) 887-5099
(916) 887-1333
WWW.LEA-AND-BRAZE.COM

GRADING & DRAINAGE PLAN
ON-SITE GRADING & DRAINAGE PLANS
1323 ELAM AVENUE
BUILDING PERMIT NO. BLD2019-00823



SCALE:
AS NOTED

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SECTION A-A
SD & JT CROSS SECTION
NTS

- STORM DRAIN KEYNOTES 10 TO 17**
- 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEAN OUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.
 - 11 INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.
 - 12 CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL 5 ON SHEET 10.
 - 13 DIRECT DOWNSPOUTS TO 24" LONG PRECAST CONCRETE SPLASHBLOCKS OR OTHER HARD SURFACE. DIRECT AWAY FROM ANY STRUCTURE AND TOWARDS POSITIVE DRAINAGE. SEE DETAIL 4 ON SHEET 10.
 - 14 INSTALL (N) 4" DIAMETER BRASS ATRIUM GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78B OR 90B FOR 6" DIAMETER BRASS ATRIUM GRATE). DO NOT USE PLASTIC GRATES. SEE DETAIL 10 ON 11.
 - 15 INSTALL (N) CHRISTY V-24" JUNCTION BOX W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. INSTALL SOLID METAL RIM BOLTED DOWN. SEE DETAIL 7 ON SHEET 10.

- 16 INSTALL (N) SUMP PUMP FOR SUBDRAIN SYSTEM. SEE DETAIL 6 ON SHEET 10.
 - 17 INSTALL (N) SUMP PUMP FOR SURFACE RUNOFF SYSTEM. SEE DETAIL 9 ON SHEET 11.
- UTILITIES KEYNOTES 31 TO 35**
- 31 INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC MIN. (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.
 - 32 INSTALL (N) 2" WATER METER AND SERVICE PER WATER DISTRICT STANDARDS. UTILITY BOXES TO BE PAINTED/TREATED TO MATCH THE PREDOMINANT BACKDROP.
 - 33 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.
 - 34 INSTALL (N) SANITARY CLEANOUT (SSCO). SEE DETAIL 8 ON SHEET 10.
 - 35 INSTALL (N) CLEANOUT TO GRADE (COTG). SEE DETAIL 3 ON SHEET 10.

- DEMOLITION KEYNOTES 41 TO 43**
- 41 DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
 - 42 REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
 - 43 PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET 15.

TRUE BENCHMARK
SCVMD BM NO. 618
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WEST VALLEY SANITATION DISTRICT, SANTA CLARA COUNTY

GENERAL NOTES

1. All material and methods of construction for sanitary sewers shall conform to the Standard Specifications of West Valley Sanitation District. Inspection of sanitary sewer work will be performed by the District. District offices are located at 100 E. Sunnyvale Avenue, Campbell, California. Telephone (408) 378-2407. Notify District office 48 hours before requiring inspection.
2. Unless otherwise indicated on the improvement plans, sewer pipe materials shall be extra strength vitrified clay or PVC SDR 26 (or better).
3. 3/4" crushed aggregate (per Section 200-1.2) shall be used for pipe bedding as set forth in Section 306-1.2.1 of the Latest Edition of the "Greenbook" (Standard Specifications for Public Works Construction).
4. A building sewer shall be constructed for each residence, minimum slope 2%. The underground contractor shall install a clean-out for each building sewer.
5. Contractor shall be appropriately licensed and comply with District's insurance coverage and performance bond requirements.
6. Prior to construction in the Public Right of Way, Contractor shall obtain an encroachment permit from the appropriate agency.
7. Contractor shall contact USA North 811 prior to excavation.
8. West Valley Sanitation District, Ordinance Code Sec. 6.060, requires the installation of a back-flow protective device in the building plumbing system when the lowest plumbing fixture is less than one (1) foot above the surface elevation of the nearest upstream manhole, vertical riser or similar structure located in the District's sewer system.
9. It is the Contractor's responsibility to "pothole" any utility crossings or other underground obstructions before proceeding with construction. The Contractor shall coordinate with the Design Engineer to verify the elevation and alignment of any underground appurtenances.
10. Contractor shall exercise proper safety procedures when working in confined space in accordance with the latest CAL/OSHA provisions.
11. All sanitary sewer lines, including 4-inch building sewers, will be TV-inspected by the District.
12. To accommodate the TV-inspection of sewer lines 6" or larger, the Contractor shall air test, mandrel (for plastic pipe), and flush the system. It will be the responsibility of the Contractor to provide clear access to manholes and clean-outs. In the event TV-inspections cannot be performed due to obstructed access, the Contractor will be charged for the time spent by the District.

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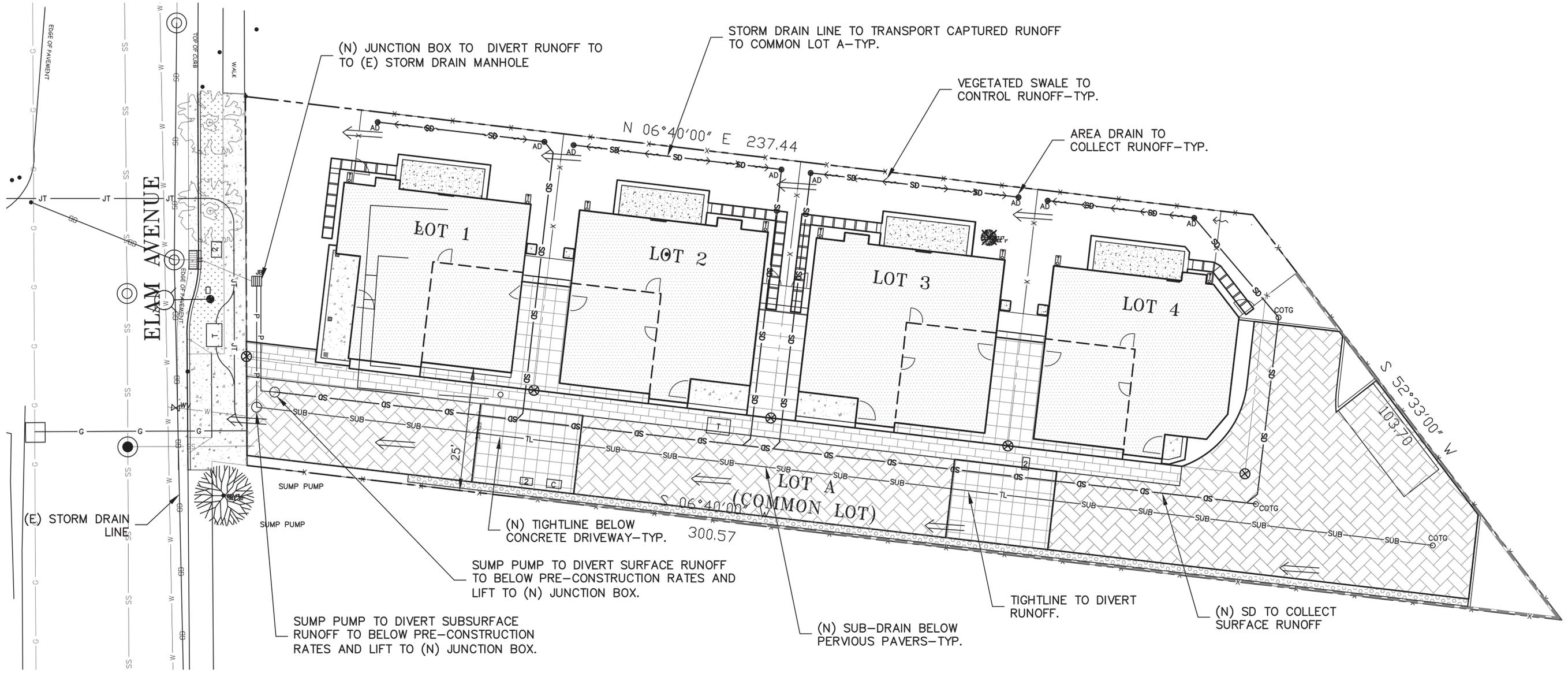
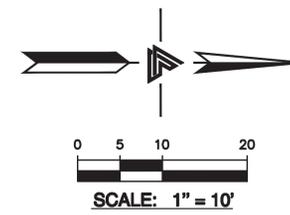
LEA & BRAZE ENGINEERING, INC.
ENGINEERS
SACRAMENTO REGION
1323 ELAM AVENUE
CAMPBELL, CA 95008
(916) 887-5088
(916) 887-1383
WWW.LEA-BAZE.COM

**UTILITY PLAN
ON-SITE GRADING & DRAINAGE PLANS
1323 ELAM AVENUE
BUILDING PERMIT NO. BLD2019-00823**



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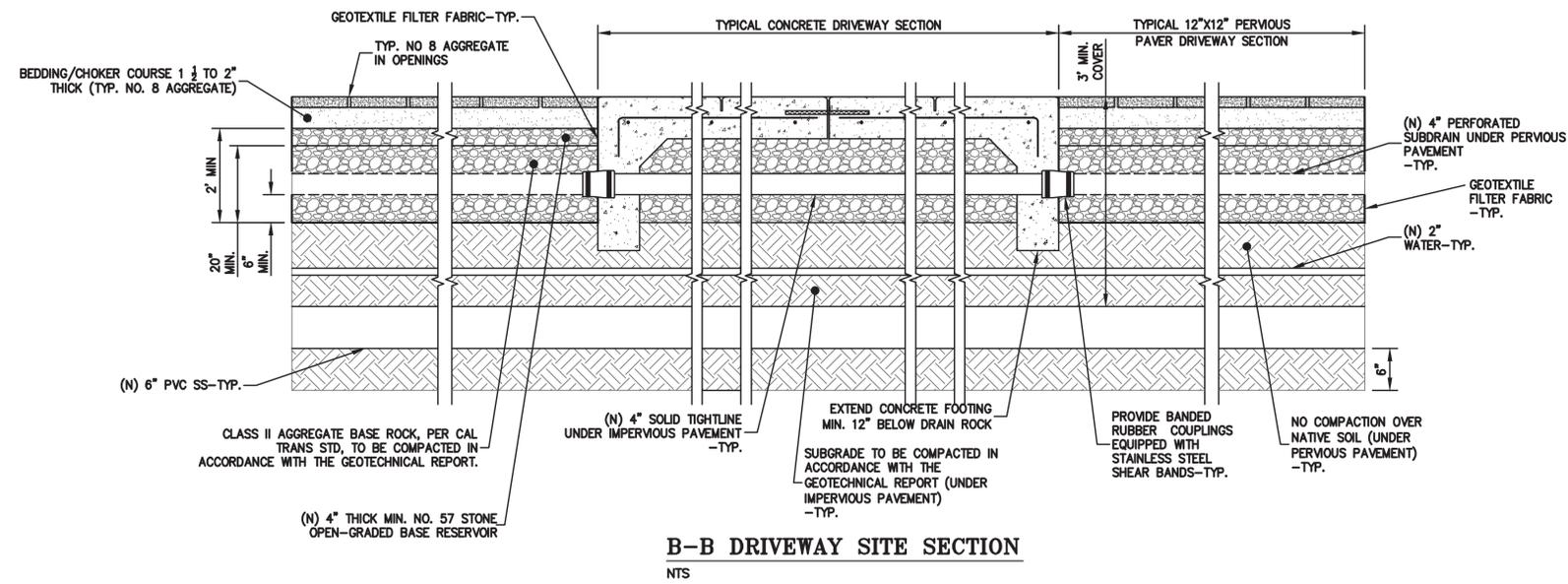
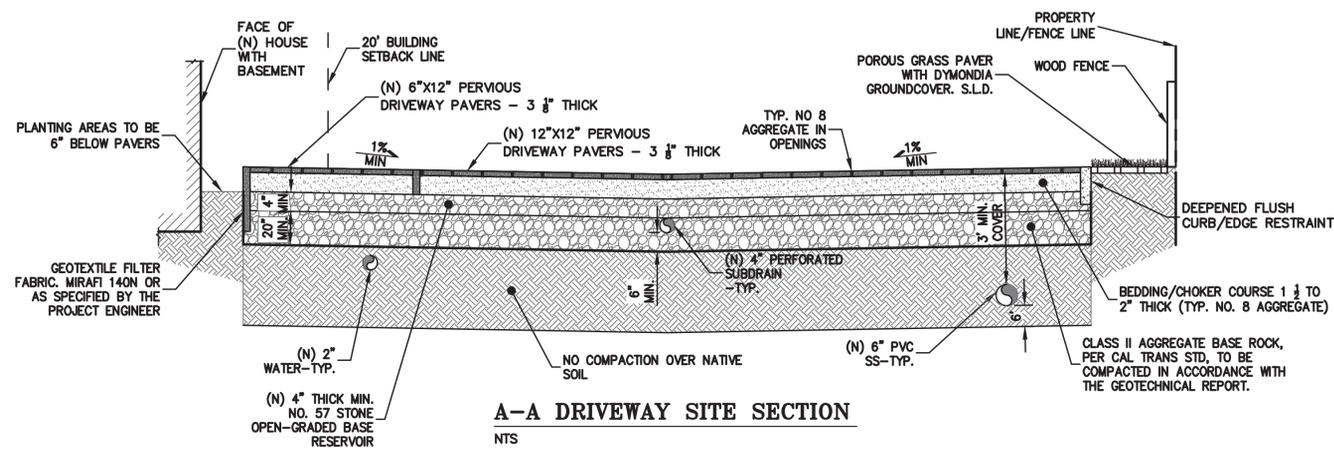
LEA & BRAZE ENGINEERING, INC.
 ENGINEERS
 BAY AREA REGION
 SACRAMENTO REGION
 1000 RIVERVIEW BLVD., SUITE 300
 FAYETTEVILLE, CA 95750
 (916) 887-5018
 WWW.LEA-BAZE.COM

**STORM DRAIN PLAN
 ON-SITE GRADING & DRAINAGE PLANS
 1323 ELAM AVENUE
 BUILDING PERMIT NO. BLD2019-00823**



SCALE:
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SHEET:
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PERVIOUS PAVER REQUIREMENTS

CONTRACTOR OR PERMITEE SHALL:

- PROVIDE CERTIFICATION FROM MANUFACTURER THAT THE PAVERS MEET THE REQUIREMENTS OF THE C3 STORMWATER HANDBOOK FOR PERVIOUS PAVERS. THIS INCLUDES, BUT IS NOT LIMITED TO HAVING A MINIMUM SURFACE INFILTRATION RATE OF 100"/HR WHEN TESTED IN ACCORDANCE WITH ASTM C1701.
- ONLY CONTRACTORS HOLDING CERTIFICATION OF COMPLETION IN THE INTERLOCKING CONCRETE PAVEMENT INSTITUTES PICIP INSTALLER TECHNICIAN COURSE SHALL BE USED TO INSTALL THE PAVERS AND AT LEAST ONE FOREMAN WITH THIS CERTIFICATION MUST BE ON THE JOBSITE AT ALL TIMES DURING CONCRETE PAVER INSTALLATION.
- PROTECT THE EXCAVATED AREA FOR PERVIOUS PAVERS FROM EXCESSIVE COMPACTION DUE TO CONSTRUCTION TRAFFIC AND PROTECT THE FINISHED PAVEMENT FROM CONSTRUCTION TRAFFIC.



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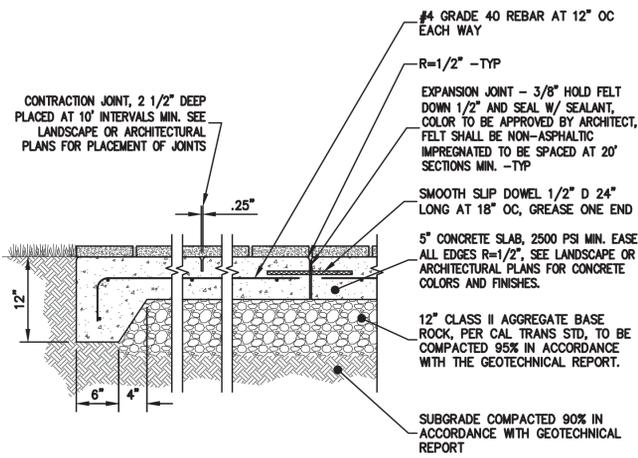
LEIF & BRAZE ENGINEERING, INC.
 ENGINEERS
 BAY AREA REGION
 1100 UNIVERSITY AVENUE, SUITE 300
 BERKELEY, CALIFORNIA 94704
 (916) 867-5018
 WWW.LEIFBRAZE.COM

**STORMWATER SECTIONS
 GRADING & DRAINAGE PLANS
 ON-SITE
 1323 ELAM AVENUE
 BUILDING PERMIT NO. BLD2019-00823**

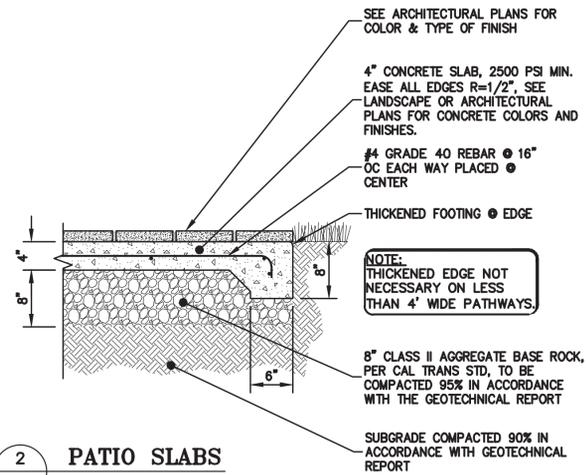


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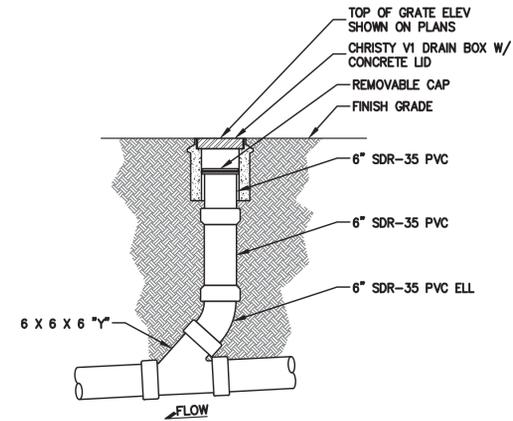
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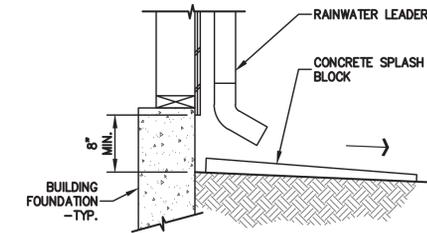
1 DRIVEWAY SLAB OR CONC. PAVING
10 NTS



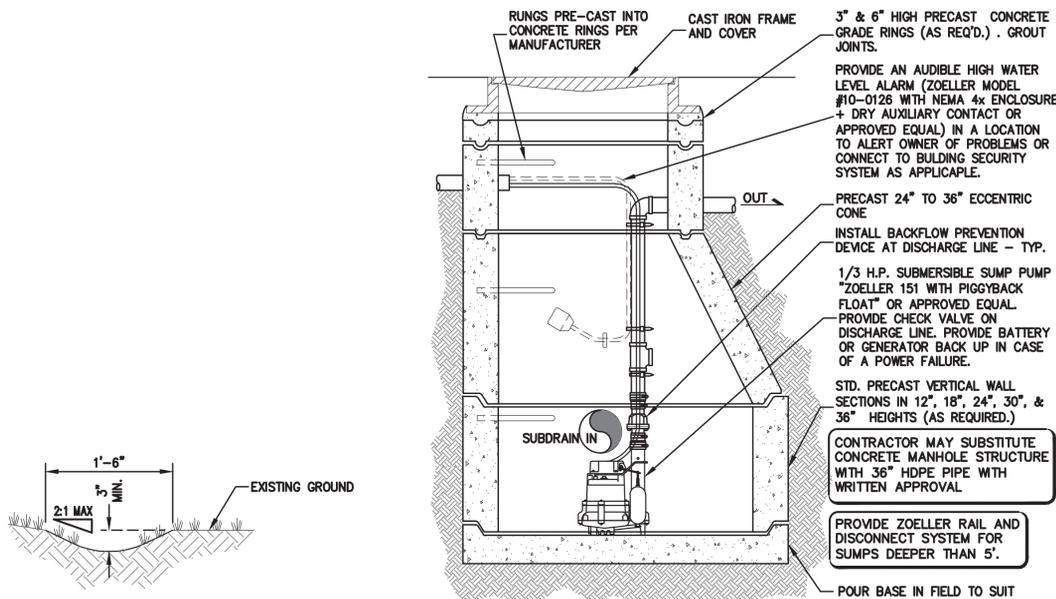
2 PATIO SLABS
10 NTS



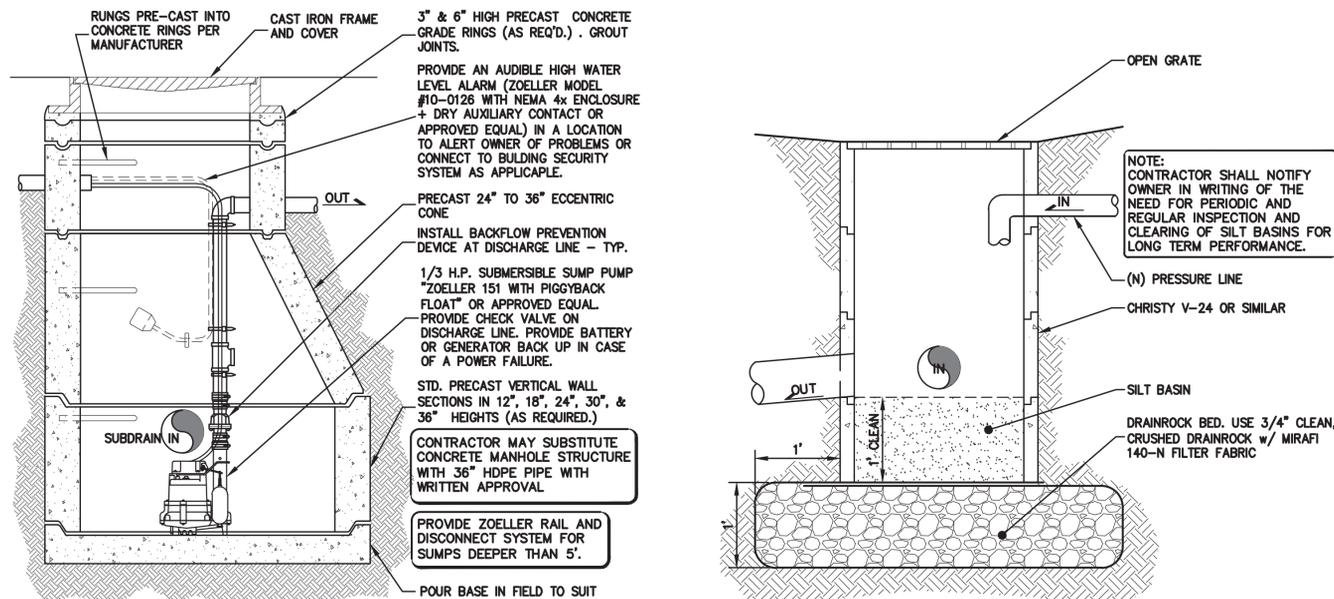
3 ON-SITE CLEANOUT
10 NTS



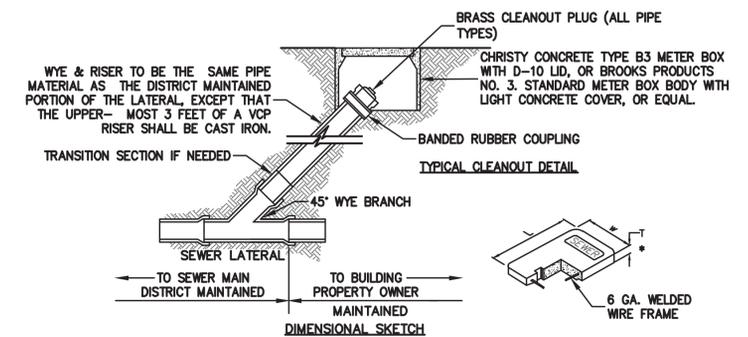
4 SPLASHBLOCK AT RAIN WATER LEADER
10 NTS



5 EARTHEN SWALE DETAIL
10 NTS



7 SILT BASIN w/ PRESSURE LINE
10 NTS



LID DIMENSIONS

	L	W	T	WT
CHRISTY D-10	14 1/2"	8 11/16"	11/16"	7 LB
BROOKS #3 NS	14 1/2"	8 3/4"	1"	13 LB

*PROVIDE STEEL TRAFFIC COVER FOR BOX WHEN INSTALLED IN LOCATION SUBJECT TO VEHICULAR LOADING

BOX DIMENSIONS

	A	B	C	D	E	F	G	H	I	APPROX WT. LBS.
CHRISTY B3	19"	14 13/16"	16 1/4"	13 1/4"	9"	9 7/8"	1"	12"	10 15/16"	59
BROOKS #3	19 1/8"	13 1/2"	16"	13 1/4"	7 5/8"	9 1/2"	1"	11"	N.A.	68

8 TYPICAL SEWER CLEANOUT BOX
10 NTS

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ENGINEERS
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SACRAMENTO REGION
SANTA ANA REGION
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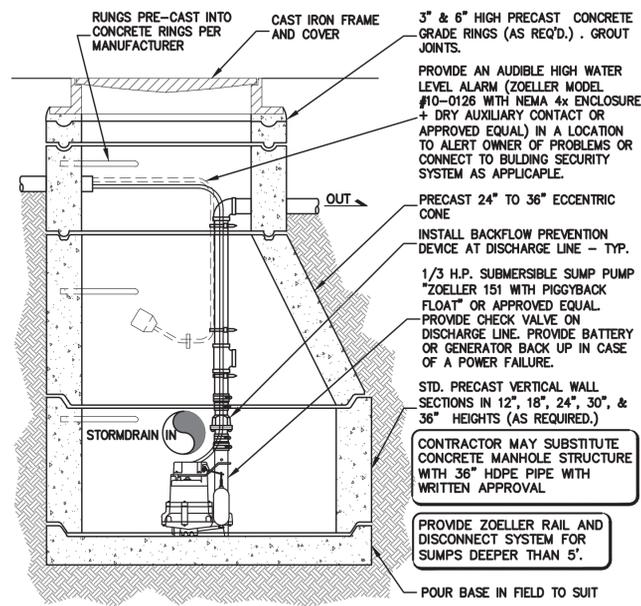
DETAILS
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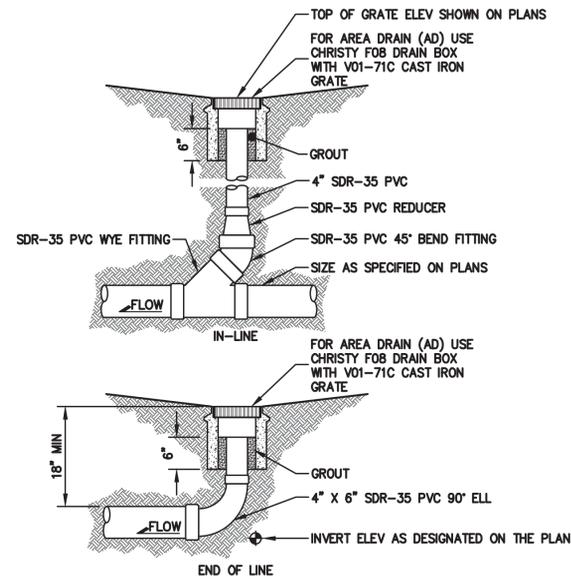
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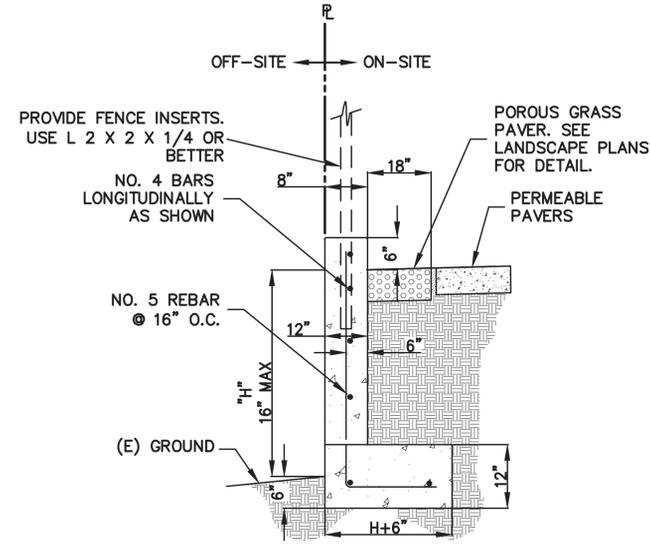


9 AREA DRAIN SURFACE LIFT STATION
11 NTS



10 AREA DRAIN
11 NTS

NOTE:
GLUED FITTINGS MAY BE SUBSTITUTED FOR GASKETED FITTINGS AT THE OPTION OF THE INSTALLATION CONTRACTOR.



11 PERIMETER RETAINING WALL
11 NTS

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DETAILS
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CAUTION:

- 1. CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION— PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.
- 2. THE LOCATION, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR TO ANY EXCAVATION OR IMPROVEMENT.

GENERAL SITE NOTES:

- 1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
- 2. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- 3. PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO OWNER'S PROJECT MANAGER AND CIVIL ENGINEER.
- 4. ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT. IF INCONSISTENCIES ARE FOUND IN THE VARIOUS NOTATIONS, NOTIFY THE ENGINEER IMMEDIATELY IN WRITING REQUESTING CLARIFICATION.
- 5. THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND BRAZE ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT; THEY ARE NOT TO BE USED BY ANY PERSONS ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ENGINEER.
- 6. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALTRANS STANDARDS AND SPECIFICATIONS, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.
- 7. COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.
- 8. DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBLE OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- 9. CONTRACTOR SHALL REPLACE ALL STRUCTURES AND GRATE LIDS FOR VAULTS, CATCH BASINS, ETC., WITH VEHICULAR-RATED STRUCTURES IN ALL TRAFFIC ACCESSIBLE AREAS.
- 10. THE CONTRACTOR SHALL ADJUST TO FINAL GRADE ALL EXISTING AND/OR NEW MANHOLES, CURB INLETS, CATCH BASIN, VALVES, MONUMENT COVERS, AND OTHER CASTINGS WITHIN THE WORK AREA TO FINAL GRADE IN PAVEMENT AND LANDSCAPE AREAS UNLESS NOTED OTHERWISE.
- 11. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE OWNER, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT. EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE CONSULTING ENGINEER.
- 12. EXISTING PEDESTRIAN WALKWAYS, BIKE PATHS AND ACCESSIBLE ACCESS PATHWAYS SHALL BE MAINTAINED, WHERE FEASIBLE, DURING CONSTRUCTION.
- 13. IF A CONFLICT ARISES BETWEEN THE SPECIFICATIONS AND THE PLANS NOTES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- 14. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 15. THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- 16. NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT OR RELIEVES THE CONTRACTOR OF LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIAL OR WORKMANSHIP.
- 17. THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THERE FROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- 18. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY MURRAY ENGINEERS INC., DATED AUGUST 2, 2016, JOB # 2534-1R1.

SITE FENCING NOTES:

- 1. CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
- 2. FENCE LOCATION MAY BE ADJUSTED FROM TIME TO TIME AS CONSTRUCTION PROCEEDS TO EXCLUDE SOME AREAS WHERE CONSTRUCTION WORK IS NOT BEING DONE AND THE AREA IS NOT OBJECTIONABLE IN VISUAL APPEARANCE, AT THE DISCRETION AND APPROVAL OF THE DISTRICT STAFF.
- 3. CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK FENCE WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- 4. CONTRACTOR SHALL REPLACE THE GREEN FABRIC AT LEAST ONCE A YEAR OR AT SUCH A TIME AS IT BECOMES TATTERED AND UNSIGHTLY DUE TO WIND OR CONSTRUCTION ACTIVITIES.

DEMOLITION NOTES:

- 1. CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- 2. THE CONTRACTOR SHALL LOCATE AND CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) THE LOCATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION.
- 3. CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND STATE JURISDICTIONS.
- 6. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH DISPOSAL OF MATERIALS.
- 7. BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION OF FOUNDATIONS & UTILITIES TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- 8. WITHIN LIMITS OF WORK, REMOVE CURBS, GUTTERS, LANDSCAPING, SIGNAGE, TREES, SCRUBS, ASPHALT, UNDERGROUND PIPES, ETC. AS INDICATED ON THE PLANS AND SPECIFICATIONS.
- 9. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- 10. PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION PLAN & DETAILS.
- 11. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING ALL DEMOLITION MATERIALS, OR STORING SELECTED ITEMS BY OWNER'S REPRESENTATIVE AT DESIGNATED LOCATIONS.
- 12. THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- 13. THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS/HER GENERAL OR SPECIAL AGENTS OR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
- 14. COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN / DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE DEVELOPER / OWNER. DO NOT INTERRUPT SERVICES ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
- 15. DEMOLITION INCLUDES REMOVAL OF ALL ITEMS ASSOCIATED WITH THE UTILITY, RETAINING WALL, FENCE, TREE OR BUILDING, INCLUDING BUT NOT LIMITED TO FOOTINGS, VALVES, ROOTS, BACKFILL, ETC. AND SHALL INCLUDE PREPARING THE SITE FOR NEW UTILITIES, BUILDINGS, RETAINING WALLS, ETC.
- 16. ALL MATERIALS TO BE DEMOLISHED AND REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF-SITE.
- 17. THE PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OR WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.
- 18. ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.
- 19. ALL ABANDONED SEPTIC TANKS AND ANY OTHER SUBSURFACE STRUCTURES EXISTING IN PROPOSED DEVELOPMENT AREAS SHALL BE REMOVED PRIOR TO ANY GRADING OR FILL OPERATION. ALL APPURTENANT DRAIN FIELDS AND OTHER CONNECTING LINES MUST ALSO BE TOTALLY REMOVED.
- 20. ALL ABANDONED UNDERGROUND IRRIGATION OR UTILITY LINES SHALL BE REMOVED OR DEMOLISHED. THE APPROPRIATE FINAL DISPOSITION OF SUCH LINES DEPEND UPON THEIR DEPTH AND LOCATION AND THE METHOD OF REMOVAL OR DEMOLITION SHALL BE DETERMINED BY THE SOILS ENGINEER. ONE OF THE FOLLOWING METHODS WILL BE USED:
 - A. EXCAVATE AND TOTALLY REMOVE THE UTILITY LINE FROM THE TRENCH.
 - B. EXCAVATE AND CRUSH THE UTILITY LINE IN THE TRENCH.
 - C. CAP THE ENDS OF THE UTILITY LINE WITH CONCRETE TO PREVENT THE ENTRANCE OF WATER. THE LOCATIONS AT WHICH THE UTILITY LINE WILL BE CAPPED WILL BE DETERMINED BY THE CITY ENGINEER. THE LENGTH OF THE CAP SHALL NOT BE LESS THAN FIVE FEET, AND THE CONCRETE MIX EMPLOYED SHALL HAVE MINIMUM SHRINKAGE.

EXISTING CONDITIONS:

- 1. EXISTING TOPOGRAPHIC SURVEY PERFORMED BY XXXX SURVEYING ON XXXX (JOB #XXXX) GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- 2. CLIENT SHALL HOLD HARMLESS LEA & BRAZE ENGINEERING FROM ANY AND ALL OCCURRENCES RESULTING FROM THE ACCURACY/INACCURACY OF THE CLIENT SUPPLIED TOPOGRAPHIC AND BOUNDARY SURVEY (AS PREPARED BY OTHERS).

SURVEYOR'S NOTES:

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF IT'S DELINEATE OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED. BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

GRADING AND EARTHWORK NOTES:

- 1. ALL PAVED AREAS ARE TO SLOPE AT A MINIMUM OF 1% ACCESSIBLE STALLS AND LOADING ZONES ARE TO SLOPE AT A MAXIMUM OF 2% IN ANY DIRECTION AND ACCESSIBLE PATHWAYS ARE TO SLOPE AT A MAXIMUM OF 8.33% WITH A MAXIMUM CROSS SLOPE OF 2%. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO OTHER ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH FORMWORK FOR CURBS AND/OR FLATWORK.
- 2. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE SOILS INVESTIGATION AND THE PROPOSED SURFACE GRADES AND BASE THE BID ACCORDINGLY. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE PROJECT SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE CIVIL ENGINEER.
- 3. ALL FILL SHALL BE COMPACTED PER THE CONSTRUCTION SPECIFICATIONS AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE OWNERS TESTING AGENCY TO TAKE THE APPROPRIATE TEST TO VERIFY COMPACTION VALUES.
- 4. IMPORT SOILS MUST MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
- 5. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND STREET LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASECOURSE, OR CONCRETE SURFACING. SEE LANDSCAPE AND SITE ELECTRICAL DRAWINGS.
- 6. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF ENGINEER
- 7. SPOT ELEVATIONS ARE TO FINISHED SURFACE.
- 8. TOP OF CONCRETE CURBS ARE 0.50" ABOVE TOP OF PAVING ELEVATIONS, U.N.O.
- 9. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITH IN 0.05'.
- 10. AFTER STAKING FOR HORIZONTAL CONTROL CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THEN 0.05' TO ARCH/ENGR.
- 11. ALL EXISTING UTILITY STRUCTURES WITHIN THE AREA OF WORK SHALL HAVE THE LIDS, GRATES, COVERS, ETC. ADJUSTED TO BE FLUSH WITH FINISHED GRADES. CONTRACTOR SHALL IDENTIFY ALL SUCH ITEMS BY USE OF THESE PLANS AND THOROUGH FIELD INVESTIGATION.
- 12. GEOTECHNICAL CONSULTANT TO BE NOTIFIED OF DELIVERY OF ALL IMPORTED SOILS TO SITE FOR HIS/HER INSPECTION AND APPROVAL PRIOR TO PLACING BY CONTRACTOR.
- 13. THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND EARTHWORK ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEARING AND GRUBBING, SITE PREPARATION, DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, STRIPPING, KEYING, EXCAVATION, OVER EXCAVATION, RECOMPACTION PREPARATION FOR SOIL RECEIVING FILL, PAVEMENT, FOUNDATION OF SLABS, EXCAVATION, IMPORTATION OF ANY REQUIRED FILL MATERIAL, PROCESSING, PLACEMENT AND COMPACTION OF FILL AND SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADING AND SLOPE SHOWN ON THE PROJECT GRADING PLANS.
- 14. ALL FILL MATERIALS SHALL BE DENSIFIED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557. FIELD DENSITY TEST WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION 2922 AND 3017. THE LOCATION AND FREQUENCY OF THE FIELD DENSITY TEST WILL BE AS DETERMINED BY THE SOIL ENGINEER. THE RESULTS OF THESE TEST AND COMPLIANCE WITH THE SPECIFICATIONS WILL BE THE BASIS UPON WHICH SATISFACTORY COMPLETION OF THE WORK WILL BE JUDGED BY THE SOIL ENGINEER. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED AS SHOWN ON PLANS, BUT NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER. BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO DOING ANY SITE GRADING AND EARTHWORK INCLUDING CLEARING.

STORM DRAIN NOTES:

- 1. ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 2% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION OR LONG SWEEP ELBOWS, REGULAR ELBOWS, AND TEE'S SHOULD BE AVOIDED.
- 2. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATE 6" BELOW THE SURFACE. TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION— STORM DRAIN LINE BELOW", CALPTICO TYPE 2 OR EQUAL.
- 3. PAINT THE TOP OF THE CURBS ADJACENT TO EACH CATCH BASIN INSTALLED UNDER THE WORK OR ADJACENT TO THIS SITE WITH THE WORDS "NO DUMPING". WORDING TO BE BLUE 4" HIGH LETTERS ON A PAINTED WHITE BACKGROUND.
- 4. ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- 5. ALL TRENCHES SHALL BE BACKFILLED PER THE SPECIFICATIONS WITH APPROPRIATE TEST BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- 6. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS ARE TO BE CONNECTED TO OR CROSSED PRIOR TO TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- 7. COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES, AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- 8. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12- INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35.
- 9. PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN 3 FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED 150 PSI GLASS PIPE.
- 10. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT IMPERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

STORM WATER POLLUTIONS PREVENTION REQUIREMENTS:

- 1. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- 2. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.
- 3. USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
- 4. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA IN WHICH RUNOFF IS CONTAINED AND TREATED.
- 5. DELINEATE CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DISCHARGE COURSE WITH FIELD MARKERS.
- 6. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OF FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- 7. PERFORM CLEARING AND EARTH MOVING ACTIVITIES DURING DRY WEATHER TO THE MAXIMUM EXTENT PRACTICAL.
- 8. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- 9. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- 10. AVOID TRACKING DIRT OR MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS TO THE MAXIMUM EXTENT PRACTICAL.
- 11. ALL CONSTRUCTION ON OFF-SITE IMPROVEMENTS SHALL ADHERE TO BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEM.
- 12. SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION SITE.

SUPPLEMENTAL MEASURES:

- A. THE PHRASE "NO DUMPING - DRAINS TO BAY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLAQUES) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WATER AND TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN.
- B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
- C. STABILIZING ALL DENUED AREAS AND MAINTAINING EROSION CONTROL MEASURES CONTINUOUSLY FROM OCTOBER 15 AND APRIL 15.
- D. REMOVING SPOILS PROMPTLY, AND AVOID STOCKPILING OF FILL MATERIALS, WHEN RAIN IS FORECAST. IF RAIN THREATENS, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TARP OR OTHER WATERPROOF MATERIAL.
- E. STORING, HANDLING, AND DISPOSING OF CONSTRUCTION MATERIALS AND WASTES SO AS TO AVOID THEIR ENTRY TO THE STORM DRAIN SYSTEMS OR WATER BODY.
- F. AVOIDING CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN AN AREA DESIGNATED TO CONTAIN AND TREAT RUNOFF.

SITE MAINTENANCE:

- 1. REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES ONTO THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELED AREAS DURING WET WEATHER.
- 2. SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPE C CAKED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEP MANUALLY.
- 3. CONTRACTOR SHALL: GATHER ALL CONSTRUCTION DEBRIS ON A REGULAR BASIS AND PLACE IT IN A DUMPSTER OR OTHER CONTAINER WHICH IS EMPTIED OR REMOVED ON A REGULAR BASIS. WHEN APPROPRIATE, USE TARPS ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORM WATER RUNOFF POLLUTION.
- 4. IF THE STREET, SIDEWALKS AND/OR PARKING LOT ARE PRESSURE WASHED, DEBRIS MUST BE TRAPPED AND COLLECTED TO PREVENT ENTRY INTO THE STORM DRAIN SYSTEM. NO CLEANING AGENT MAY BE DISCHARGED INTO THE STORM DRAIN. IF ANY CLEANING AGENT OR DEGREASER IS USED WASHED WATER MUST BE COLLECTED AND DISCHARGED TO THE SANITARY SEWER, SUBJECT TO THE APPROVAL OF THE OWNER'S PROJECT MANAGER, OR OTHERWISE DISPOSED OF THROUGH APPROVED DISPOSAL METHODS.
- 5. CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIAL USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
- 6. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- 7. ENSURE THAT CEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.
- 8. THE ON-SITE STORM DRAIN FACILITIES SHALL BE CLEANED A MINIMUM OF TWICE A YEAR AS FOLLOWS: IMMEDIATELY PRIOR TO OCTOBER 15TH AND ONCE IN JANUARY. ADDITIONAL CLEANING MAY BE REQUIRED IF FOUND NECESSARY BY THE CITY ENGINEER/INSPECTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR COST ASSOCIATED WITH CLEANING.
- 9. PREVENT DUST FROM LEAVING THE SITE AND ACCUMULATING ON ADJACENT AREAS AS REQUIRED IN THE DUST CONTROL NOTES ON THIS SHEET.
- 10. PREVENT SEDIMENT LADEN STORM RUN-OFF FROM LEAVING THE SITE OR ENTERING STORM DRAIN OR SANITARY SEWER SYSTEMS AS REQUIRED IN THE EROSION AND SEDIMENTATION CONTROL NOTES ON THIS SHEET.
- 11. MAINTAIN EXISTING TREES AND PLANTS THAT ARE TO REMAIN AS REQUIRED BY THE TREE AND PLANT PROTECTION NOTES ON THE SHEET.

NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.

No.	Revision	Date	By	Chkd
A	PLAN CHECK COMMENTS	10-07-20	TT	
A	PLAN CHECK COMMENTS	06-02-21	TT	
A	PLAN CHECK COMMENTS	06-28-21	TT	
A	PLAN CHECK COMMENTS	08-23-21	TT	

Date: DECEMBER 7, 2018
Drawn By: WA
Designed By: RB



GRADING SPECIFICATIONS
ON-SITE GRADING & DRAINAGE PLANS
1323 ELAM AVENUE
BUILDING PERMIT NO. BLD2019-00823



SCALE:
NTS

SHEET:
12 OF 24

DUST CONTROL NOTES:

- 1. WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE APPROPRIATE GOVERNMENTAL AGENCY IN ORDER TO ENSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
2. WATERING ASSOCIATED WITH ON-SITE CONSTRUCTION ACTIVITY SHALL TAKE PLACE BETWEEN THE ESTABLISHED CONSTRUCTION HOURS AND SHALL INCLUDE AT LEAST ONE LATE-AFTERNOON WATERING TO MINIMIZE THE EFFECTS OF BLOWING DUST.
3. ALL PUBLIC STREETS AND MEDIANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE OWNER'S ENGINEER/INSPECTOR, TO THE SATISFACTION OF THE CITY'S DEPARTMENT OF PUBLIC WORKS.
4. WATERING ON PUBLIC STREETS OR POWER WASHING SEDIMENTATION ON STREETS SHALL NOT OCCUR, UNLESS CONTRACTOR COLLECTS AND FILTERS THE WASH WATER PRIOR TO ITS ENTERING THE CITY'S STORM DRAIN SYSTEM.
5. ON-SITE PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS SHALL BE SWEEP DAILY WITH A WATER SWEEPER.
6. WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
7. GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT SWPPP AT ALL TIMES. THE SITE SHALL BE SPRINKLERED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CITY RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
8. THE PERMITEE IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. ALL GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND (OR WORSE) STAGE SMOG ALERTS.
9. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARP AULINS OR OTHER EFFECTIVE COVERS.

EARTHWORK QUANTITY NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITIES OF ALL FORMS OF EARTHWORK ON THIS PROJECT AND BASING THE BID ON THOSE QUANTITIES WITH FULL KNOWLEDGE THAT ADDITIONAL PROCESSES - INCLUDING ENGINEERING - AND QUANTITIES ARE ALSO TO BE INCLUDED IN THE BID PER THE FOLLOWING NOTES.
2. THE CONTRACTOR SHALL MAKE AN INITIAL DETERMINATION OF THE QUANTITIES, BASED ON A DETAILED SITE VISIT, THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL REPORT, THE FINISH GRADES SHOWN ON THESE DRAWINGS, THE SIZE AND EXTENT OF FOOTINGS, THE PREPARATION AND MATERIALS USED FOR BUILDING SLABS, PAVEMENT SECTIONS, AND THE SIZE AND DEPTH OF UTILITY TRENCHES, INCLUDING THE UTILITY CONTRACTORS ANTICIPATED RE-USE OF EXISTING MATERIAL FOR BACKFILL IF ANY.
3. THE CONTRACTOR SHALL MEET THE GRADES SHOWN ON THE DRAWINGS, ADJUSTING THE AMOUNT OF IMPORT OR EXPORT AS REQUIRED TO DO SO. NO ASSUMPTIONS SHOULD BE MADE ABOUT THE SITE BALANCING. NO ADJUSTMENTS TO THE GRADE SHALL BE PERMITTED UNLESS SPECIFICALLY APPROVED BY THE ARCH/ENGR. IN WRITING AFTER THE IMPACT OF ANY GRADE CHANGES (IMPACT TO RAMPS, STAIRS, WORK BY OTHERS, ETC.) HAS BEEN THOROUGHLY REVIEWED BY THE ARCH/ENGR. WHEN PREPARING THE EARTHWORK BIDS, DO NOT ASSUME ANY CHANGES TO THE FINISHED GRADES SHOWN ON THESE DRAWINGS WILL BE PERMITTED.

RECORD DRAWINGS:

- 1. THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY/TOWN ENGINEER AND DEVELOPER'S CIVIL ENGINEER.

SIGNING & STRIPING NOTES:

- 1. ALL SIGNING AND STRIPING TO BE PER CALTRANS STANDARDS UNLESS NOTED TO BE PER CITY STANDARDS.
2. ALL SIGNS FOR MOTORIST DIRECTIONS SHALL BE METAL WITH BEADED REFLECTIVE PAINT. SUPPORTING POSTS SHALL BE 2-1/2" DIAMETER GALVANIZED PIPE CAST INTO A 10" DIAMETER BY 24" DEEP CONCRETE FOOTING BOTTOM OF SIGN SHALL BE 72" ABOVE FINISH GRADE, UNLESS NOTED OTHERWISE.
3. WHERE THE FOLLOWING SYMBOLS OCCUR ON THE DRAWINGS PROVIDE THE SPECIFIED SIGNING AND/OR STRIPING.
A. PROVIDE A VAN ACCESSIBLE STALL WITH BOTH PAVEMENT MARKINGS AND FREE-STANDING SIGN AS IDENTIFIED IN DETAIL:
B. PROVIDE CALTRANS TYPE IV(L) (RSP A24A)
C. PROVIDE CALTRANS TYPE IV(R) (RSP A24A)
D. PROVIDE 1' WIDE x 10' LONG WHITE LINE W/ CALTRANS A24D STOP MARKER
E. FIRE LANE - MUST BE PAINTED RED WITH "FIRE LANE NO PARKING", 3" HEIGHT WHITE LETTER EVERY 25'.
F. LOADING AND UNLOADING ZONE - MUST BE PAINTED YELLOW WITH "LOADING / UNLOADING NO PARKING", 3" HEIGHT LETTER EVERY 25'.
4. TRAFFIC SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE PROTECTED WITH ADEQUATE BARRICADES, LIGHTS, SIGNS AND WARNING DEVICES AS PER THE CURRENT STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, MANUAL OF TRAFFIC CONTROLS AND TO THE DIRECTION OF THE CITY'S INSPECTOR.

GENERAL UTILITY SYSTEM NOTES:

- 1. ALL TRENCHES SHALL BE BACKFILLED PER THE GEOTECHNICAL ENGINEER RECOMMENDATIONS.
2. CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
3. CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, SATELLITE DISH, TRANSFORMER, GAS METER, ETC.) AND MEET WITH OWNER TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
4. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK. THE UTILITIES SHOWN ON THE CIVIL DRAWINGS, AND THE SITE POWER, CONDUITS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS. THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGN/BUILD UNDERGROUND FIRE SPRINKLER CONTRACTOR.
5. CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH SOIL, IF RECOMMENDED BY THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH THE OWNER'S PROJECT MANAGER.
6. COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES, AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
7. UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE ON THE ACCURACY OR COMPLETENESS FOR THE INFORMATION SHOWN. THE OWNER, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD THE UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED; NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING COMPACTION OF ROADWAY SUBGRADE AND PRIOR TO PLACEMENT OF FINAL PAVEMENT SECTIONS.
9. CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
10. EXISTING UTILITY CROSSINGS OF THE NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
11. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ENSURE THAT THERE IS SUFFICIENT CLEARANCE.
VERTICAL SEPARATION REQUIREMENTS:
A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10' MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS WHERE FEASIBLE.
HORIZONTAL SEPARATION REQUIREMENTS:
12. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5' FEET EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10' MINIMUM, UNLESS OTHERWISE NOTED.
A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.

GENERAL UTILITY SYSTEM NOTES:

- 1. THE UNDERGROUND FIRE PROTECTION SYSTEM SHOWN ON THIS DRAWING IS SCHEMATIC AND IS NOT INTENDED TO BE AN INSTALLATION DRAWING. THE UTILITY DRAWING IN THIS SET OF DOCUMENTS SHALL NOT BE USED AS A BASE SHEET FOR SHOP DRAWINGS WITHOUT WRITTEN APPROVAL FROM THE CIVIL ENGINEER.
2. THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHALL INCLUDING LOCATION, TYPE AND NUMBER OF ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV'S, FDC'S, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, AND FLOW CALCULATIONS TO FIRE HYDRANTS, AND SPRINKLER RISERS PER THE FIRE FLOW REQUIRED BY LOCAL FIRE DEPARTMENT.
3. SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHALL, THE RATING AGENCY, AND THE CIVIL ENGINEER, ALLOWING TIME TO REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
4. THE UNDERGROUND FIRE PROTECTION INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
5. BOTTOM OF BACKFLOW PREVENTOR OR ASSEMBLY TO BE INSTALLED NO GREATER OR LESS THEN 12" FROM FINISH GRADE UNLESS APPROVED BY CIVIL ENGINEER.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH THE ACTUAL FIELD CONDITIONS.
7. INSTALL MONITORED TAMPER SWITCHES AT ALL PIV'S AND VALVES ON DETCTOR CHECK ASSEMBLIES.
8. INSTALL DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" -12" BELOW THE SURFACE, BLUE, IMPRINTED WITH "CAUTION- FIRE SERVICE LINE BELOW", CALPICO TYPE 2 OR EQUAL.
9. MIN. 5 FEET CLEARANCE FROM BACK OF CURB TO FH'S, PIV'S, AND FDC'S.
10. UNDERGROUND FIRE PROTECTION SYSTEM INCLUDING HYDRANT ASSEMBLY, P.I.V., F.D.C., FITTING PIPE AND THRUSTBLOCKS TO BE IN ACCORDANCE WITH LOCAL FIRE PROTECTION DISTRICT SPECIFICATIONS, REQUIREMENTS AND NOTES.

WATER NOTES:

- 1. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE THE TOP OF THE SANITARY SEWER LINES.
2. WATER LINES ARE SHOWN SCHEMATICALLY; CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/ OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
3. USE DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6" BELOW THE SURFACE, TAPE SHALL BE A BRIGHT COLOR AND IMPRINTED WITH "CAUTION-WATER LINE BELOW", CALPICO TYPE 2 OR EQUAL.
4. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
5. PUBLIC AND PRIVATE WATER MAIN AND WATER SERVICE LINE 4-INCH THROUGH 12-INCH SHALL BE POLYVINYL CHLORIDE (PVC) AND SHALL MEET AWWA C900, RATED FOR 200 PSI CLASS PIPE WITH EPOXY COATED DUCTILE IRON FITTINGS AND FUSION EPOXY COATED GATE VALVES. ALL JOINTS SHALL FACTORY MANUFACTURED WITH BEL AND SPIGOT ENDS AND RUBBER GASKETS. NONMETALLIC WATER LINES HAVE TRACER WIRE INSTALLED PER CITY/TOWN STANDARDS
6. CONNECTION TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY/TOWN. THE DEVELOPER SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE VALVE AND ALL THRUST BLOCKS. BACKFILL, RESTORE THE SURFACE, AND CLEANUP. THE CITY WILL PROVIDE THE DEVELOPER WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
7. ALL WATER LINES 3" OR SMALLER SHALL BE TYPE K COPPER WITH SILVER BRAZED JOINTS. CONTRACTOR TO VERIFY PRESSURES FROM EXISTING LINES ARE ADEQUATE TO SERVICE BUILDINGS AS SPECIFIED BY THE PLUMBING PLANS.
8. ALL WATER LINES SHALL BE INSTALLED WITH 3' MINIMUM COVER.
9. ALL WATER VALVES SHALL BE PER CITY\WATER DISTRICT STANDARD.
10. ALL TEMPORARY AND/OR PERMANENT AIR-RELEASE AND BLOW-OFF VALVES SHALL BE PER CITY STANDARD AND AS DIRECTED BY THE CITY ENGINEER.
11. CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY STANDARD. AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
12. MECHANICALLY RESTRAINED JOINTS SHALL BE INSTALLED AT VERTICAL BENDS IN ACCORDANCE WITH CITY STANDARDS AND AS APPROVED BY THE CITY ENGINEER.
13. ALL WATER VALVES SHALL BE CLUSTERED, UNLESS OTHERWISE DIRECTED BY THE CITY ENGINEER OR WATER DISTRICT.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COLLECTING AND DELIVERING WATER SAMPLES FOR ANALYSIS TO A CITY APPROVED LAB.
15. ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.
16. INSTALL CITY/TOWN APPROVED PRESSURE REGULATOR AND REDUCED BACKFLOW PREVENTOR ON WATER LINE AT ENTRANCE TO BUILDING REFERENCE PLUMBING PLANS FOR MORE DETAIL.

SANITARY SEWER NOTES:

- 1. INSTALL DETECTABLE METALIZED WARNING TAPE APPROXIMATELY 6"-12" BELOW THE SERVICE IN NON-PAVED AREAS, AND AT THE BOTTOM OF BASEROCK FOR PAVED AREAS. GREEN IMPRINTED WITH "CAUTION- SANITARY SEWER LINE BELOW", CALPICO TYPE 2 OR EQUAL.
2. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE CITY/TOWN OR APPROPRIATE SANITARY SEWER DISTRICT.
3. PUBLIC AND PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 SEWER PIPE.
4. WHERE CONNECTION IS TO BE MADE TO AN EXISTING SEWER OR STRUCTURE, SAID EXISTING SEWER OR STRUCTURE SHALL BE UNCOVERED AND CHECKED FOR LOCATION AND ELEVATION PRIOR TO STAKING NEW SEWER DEPTH AND LOCATION. ANY DISCREPANCY BETWEEN THE PLANS AND THE FIELD INFORMATION SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
5. MINIMUM SLOPE FOR SITE SANITARY SEWER PIPES SHALL BE CURRENT UPC REQUIREMENTS:
4" 0.2%
6" 0.1%
8" & LARGER 0.05%
6. ALL LATERALS SHALL HAVE A CLEANOUT AT THE FACE OF THE BUILDING AND AT THE PROPERTY LINE, AS SHOWN ON THE PLANS AND PER THE CITY/TOWN STANDARDS OR APPROPRIATE SANITARY SEWER DISTRICT.

TREE/PLANT PROTECTION NOTES:

- 1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY, CONFIRM WITH OWNER AND PROTECT EXISTING TREES AND PLANTS DESIGNED AS TO REMAIN.
2. PROVIDE 6 FOOT TALL TREE PROTECTION FENCE WITH DISTINCTIVE MARKING VISIBLE TO CONSTRUCTION EQUIPMENT, ENCLOSED DRIP LINES OF TREES DESIGNED TO REMAIN.
3. WORK REQUIRED WITHIN FENCE LINE SHALL BE HELD TO A MINIMUM, AVOID USE OF HEAVY EQUIPMENT WITHIN FENCED AREA AND DO NOT PARK ANY VEHICLES UNDER DRIP LINE OF TREES. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN FENCE LINE.
4. PRIOR TO REMOVING ROOTS AND BRANCHES LARGER THAN 2" IN DIAMETER OF TREES OR PLANTS THAT IS TO REMAIN, CONSULT WITH THE OWNER'S PROJECT MANAGER.
5. ANY GRADE CHANGES GREATER THAN 6" WITHIN THE DRIPLINE OF EXISTING TREES SHALL NOT BE MADE WITHOUT FIRST CONSULTING THE LANDSCAPE ARCHITECT / CIVIL ENGINEER.
6. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIALS; AS WELL AS FROM PUDDLING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER / INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
7. PROVIDE TEMPORARY IRRIGATION TO ALL TREES AND PLANTS THAT ARE IN OR ADJACENT TO CONSTRUCTION AREAS WHERE EXISTING IRRIGATION SYSTEMS MAY BE AFFECTED BY THE CONSTRUCTION. ALSO PROVIDE TEMPORARY IRRIGATION TO RELOCATE TREES.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES AND PLANTS DESIGNED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES OR PLANTS THAT DIE DUE TO LACK OF MAINTENANCE. WORK INCLUDING CLEARING.

HORIZONTAL CONTROL NOTES:

- 1. CONTRACTOR SHALL LAYOUT THE CONTROL FOR THE SITE AS SPECIFIED ON HORIZONTAL CONTROL SHEET. CONTRACTOR SHALL CLEARLY SET AND MARK EACH OF THE CONTROL POINTS. PROTECTING THE POINTS THROUGHOUT CONSTRUCTION.
2. ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THERE OF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.
3. ALL BUILDINGS, DRIVEWAYS AND PARKING LOTS ARE TO BE PARALLEL AND RIGHT ANGLES TO THE BASIS OF BEARINGS UNLESS IDENTIFIED OR CLEARLY SHOWN AS A DIFFERENT ANGLE.
4. ALL RETURN RADII AND CURB DATA ARE TO FACE OF CURB, UNLESS OTHERWISE SHOWN OR INDICATED.

PAVEMENT SECTION:

- 1. SEE SHEET C-3 FOR ALL PAVEMENT SECTIONS.
2. SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
3. SEE GRADING AND DETAIL SHEETS FOR FLATWORK SECTIONS AND BASE REQUIREMENTS.
4. EXISTING PAVEMENT SHALL BE TACK COATED PRIOR TO CONSTRUCTING NEW PAVEMENT.
5. THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED. UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR DEVELOPER'S CITY ENGINEER.
6. ALL PAVING SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF CALTRAN STANDARD SPECIFICATIONS.

NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.

Table with columns: No., Revision, Date, By, Chkd. Row 1: No. 1, Revision 1, Date 10-07-20, By TT, Chkd TT. Row 2: No. 2, Revision 1, Date 06-02-21, By TT, Chkd TT. Row 3: No. 3, Revision 1, Date 06-28-21, By TT, Chkd TT. Row 4: No. 4, Revision 1, Date 08-23-21, By TT, Chkd TT.

Date: DECEMBER 7, 2018
Drawn By: WA
Designed By: RB
LEA & BRAZE ENGINEERING, INC.
ENGINEERS
SACRAMENTO REGION
1500 UNIVERSITY AVENUE, SUITE 300
FAYATVILLE, CALIFORNIA 95760
(916) 887-5000
WWW.LEA-AND-BRAZE.COM

GRADING SPECIFICATIONS
ON-SITE GRADING & DRAINAGE PLANS
1323 ELAM AVENUE
BUILDING PERMIT NO. BLD2019-00823



SCALE: NTS
SHEET: 13 OF 24

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15TH THRU APRIL 15TH, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

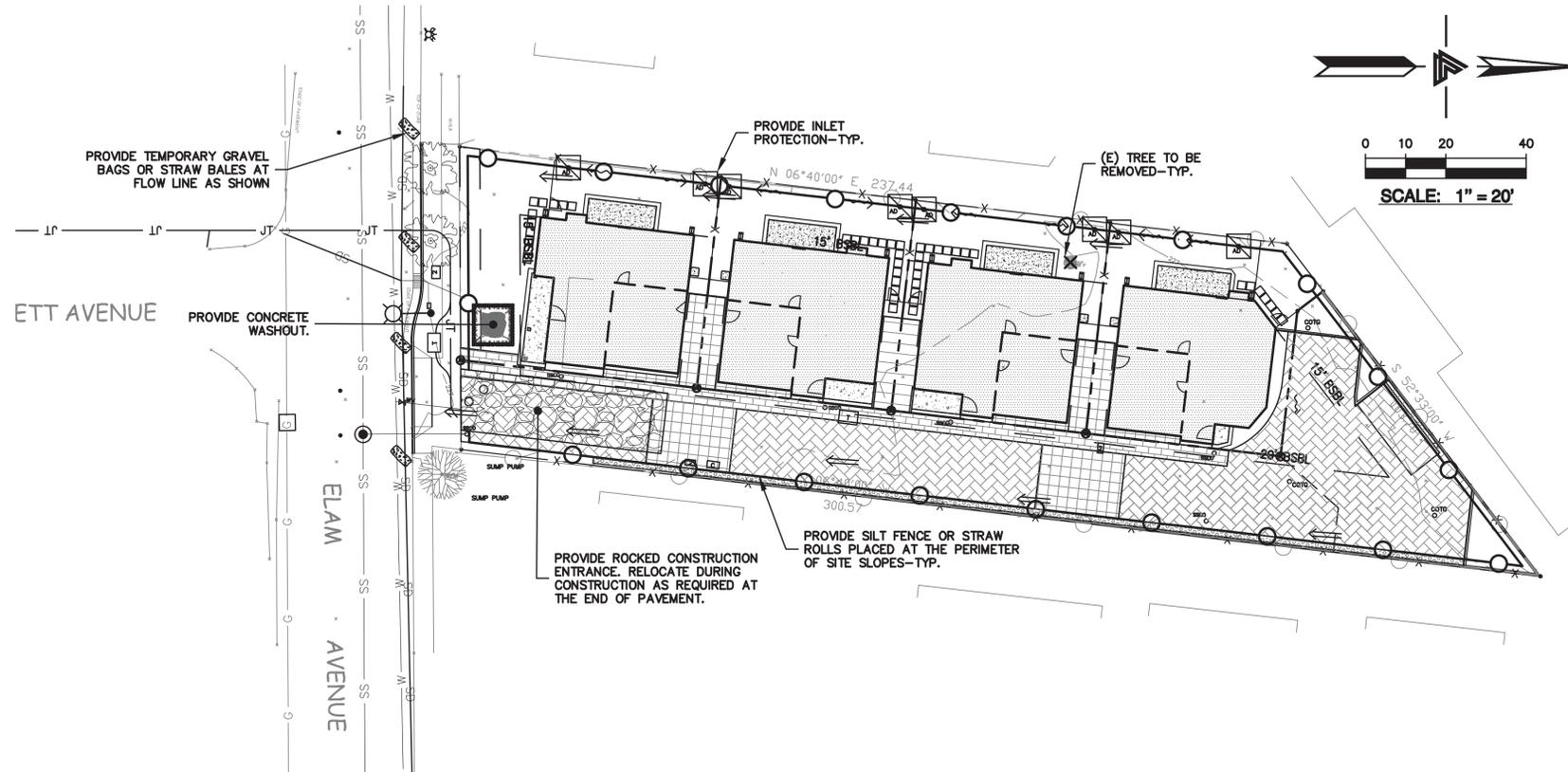
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 207 EROSION CONTROL AND HIGHWAY PLANTING OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURERS SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

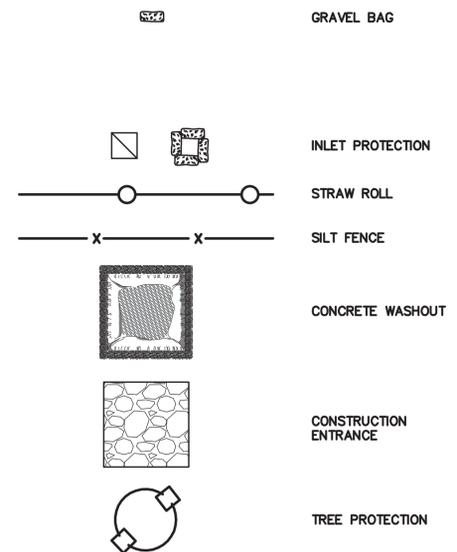
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP

No.	Revision	Date	By	Chkd
1	PLAN CHECK COMMENTS	10-07-20	TT	
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3	PLAN CHECK COMMENTS	06-28-21	TT	
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Date: DECEMBER 7, 2018
 Drawn By: WA
 Designed By: RB

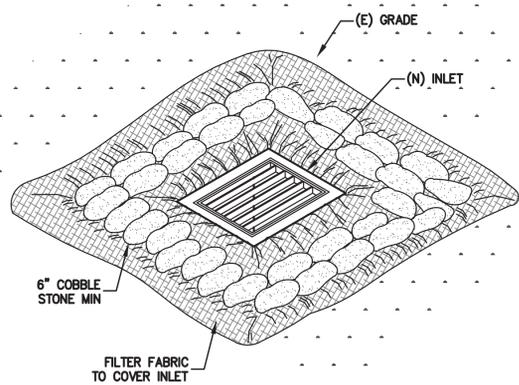


EROSION CONTROL PLAN
 GRADING & DRAINAGE PLANS
 ON-SITE
 1323 ELAM AVENUE
 BUILDING PERMIT NO. BLD2019-00823

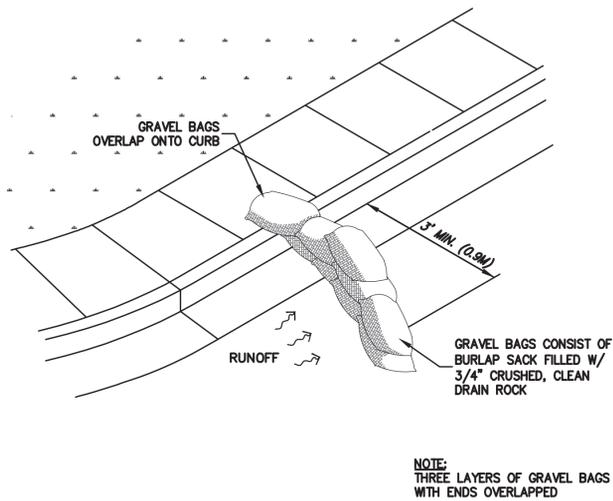


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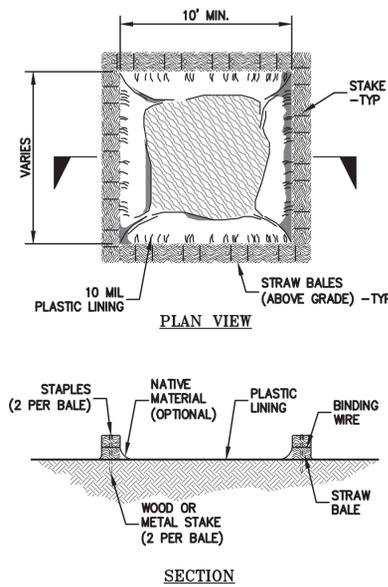
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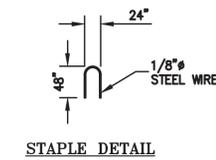
1 INLET PROTECTION
15 NTS



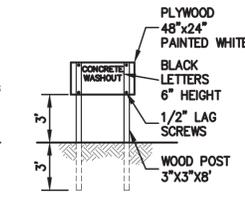
2 GRAVEL BAG AT STREET FLOW LINE
15 NTS



3 CONCRETE WASHOUT
15 NTS



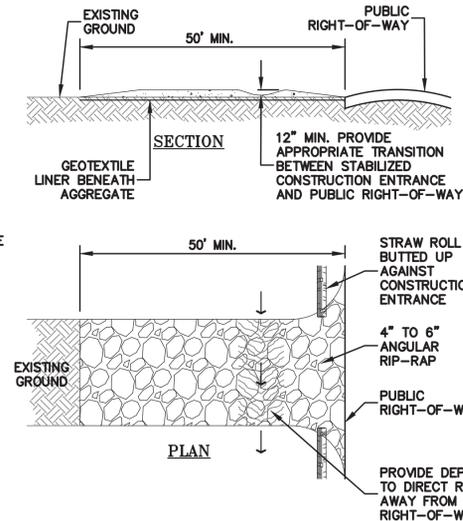
STAPLE DETAIL



CONCRETE WASHOUT SIGN DETAIL

NOTES:
ACTUAL LAYOUT DETERMINED IN FIELD.

THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 10' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



4 CONSTRUCTION ENTRANCE
15 NTS

NOTES:

STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 3" TO 4" WASHED, FRACTURED STONE AGGREGATE.

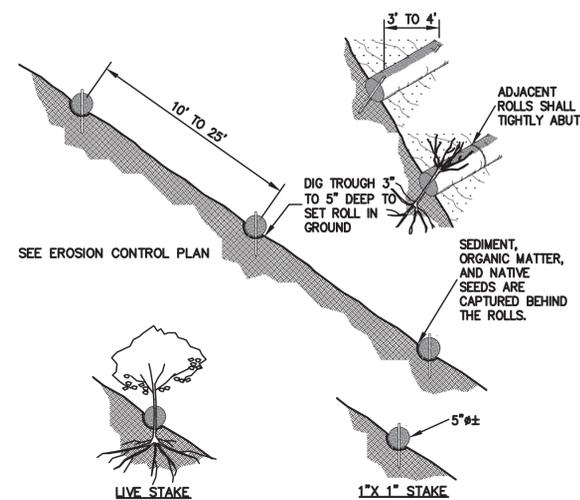
MATERIAL SHALL BE PLACED TO A MINIMUM THICKNESS OF 12". LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 50'.

WIDTH SHALL BE A MIN. OF 15' OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADII.

THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED IN ABOVE NOTE.

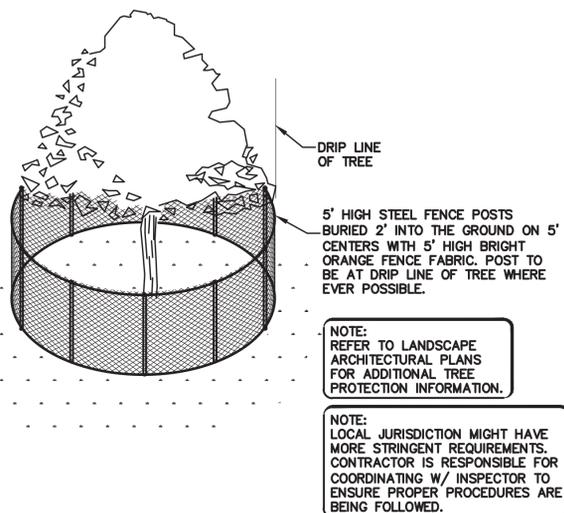
ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY.

PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.



- NOTE:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
 2. CONTRACTOR IS RESPONSIBLE FOR REGULAR MAINTENANCE AND INSPECTION. THE SILT SHALL BE CLEANED OUT WHEN IT REACHES HALF THE HEIGHT OF THE ROLL.

5 STRAW ROLLS
15 NTS



NOTE:
REFER TO LANDSCAPE ARCHITECTURAL PLANS FOR ADDITIONAL TREE PROTECTION INFORMATION.

NOTE:
LOCAL JURISDICTION MIGHT HAVE MORE STRINGENT REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING W/ INSPECTOR TO ENSURE PROPER PROCEDURES ARE BEING FOLLOWED.

6 EXISTING TREE PROTECTION DETAIL
15 NTS

No.	Revision	Date	By	Chkd
1	PLAN CHECK COMMENTS	10-07-20	TT	TT
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4	PLAN CHECK COMMENTS	08-23-21	TT	TT

Date: DECEMBER 7, 2018
Drawn By: WA
Designed By: RB

LEA & BRAZE ENGINEERING, INC.
ENGINEERS
BAY AREA REGION
SACRAMENTO REGION
SANTA ANA REGION
SAN JOSE REGION
SAN FRANCISCO REGION
SANTA MONICA REGION
SUNNYVALE REGION
TAMPA REGION
TUCUMAN REGION
UTAH REGION
VICTORIA REGION
WASHINGTON DC REGION
WWW.LEA-AND-BRAZE.COM

EROSION CONTROL DETAILS
ON-SITE GRADING & DRAINAGE PLANS
1323 ELAM AVENUE
BUILDING PERMIT NO. BLD2019-00823



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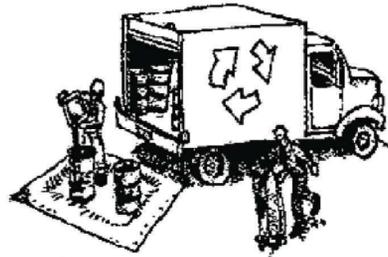
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Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



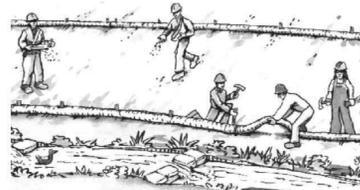
Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

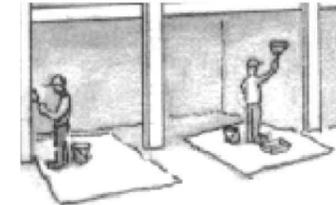
Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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LEA & BRAZE ENGINEERING, INC.
 ENGINEERS
 BAY AREA REGION SACRAMENTO REGION
 1000 UNIVERSITY AVENUE SUITE 300
 FAYATVILLE, CALIFORNIA 95762
 (916) 887-1500
 (916) 887-1508
 WWW.LEA-AND-BRAZE.COM

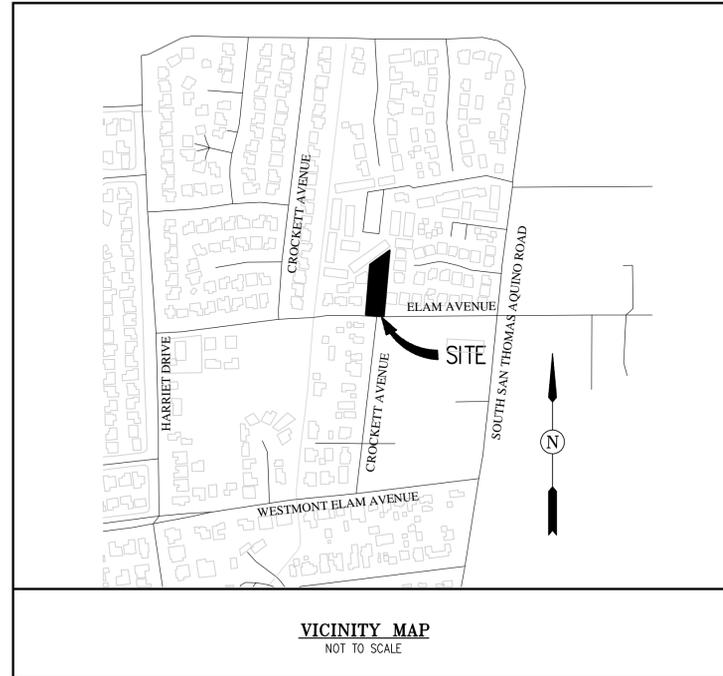
**BLUEPRINT FOR A CLEAN BAY
 ON-SITE GRADING & DRAINAGE PLANS
 1323 ELAM AVENUE
 BUILDING PERMIT NO. BLD2019-00823**

SCALE:
AS NOTED

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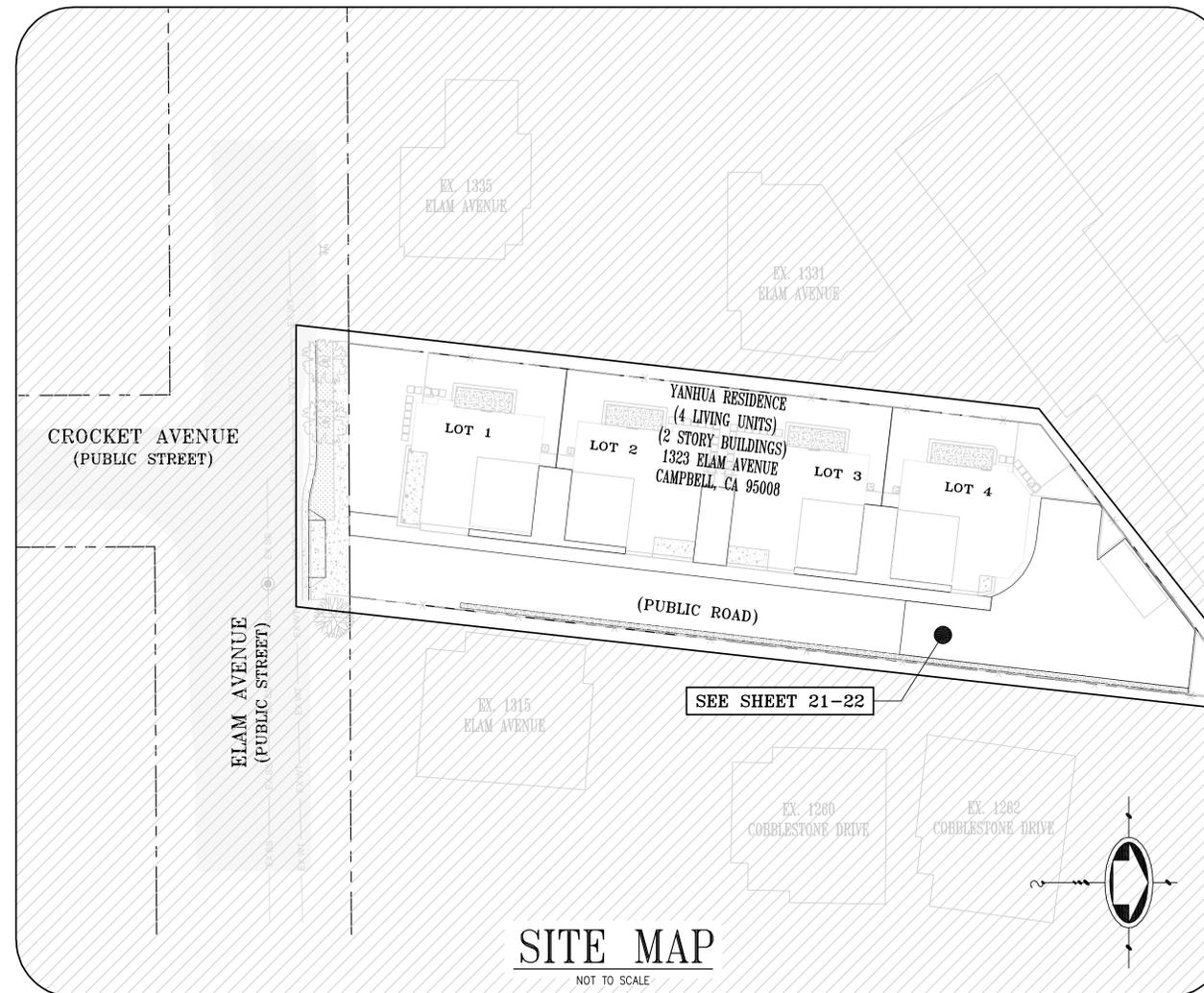


SC DESIGN GROUP
YANHUA RESIDENCE – ONSITE DEVELOPMENT
CAMPBELL SANTA CLARA COUNTY CALIFORNIA



SHEET INDEX

SHEET NO.	DESCRIPTION
17	JOINT TRENCH COMPOSITE TITLE SHEET
18	JOINT TRENCH GENERAL NOTES AND DETAILS
19	JOINT TRENCH DETAILS
20	JOINT TRENCH SECTIONS AND DETAILS
21 - 22	JOINT TRENCH COMPOSITE PLAN



LEGEND

	PROPOSED JOINT TRENCH
	PROPOSED JOINT TRENCH SERVICE
	PROPOSED GAS
	EXISTING GAS
	EXISTING UNDERGROUND ELECTRIC LINES
	EXISTING OVERHEAD UTILITY LINES
	EXISTING OVERHEAD TELEPHONE LINES
	DESIGNATES UTILITY LINES TO BE REMOVED
	EXISTING PRIMARY SPLICE BOX
	EXISTING SECONDARY SPLICE BOX
	PG&E SERVICE BOX, 17" x 30" x 18"
	PG&E SERVICE BOX, 17" x 30" x 24" (FVT)
	TELEPHONE SERVICE BOX, 30" x 48" x 32"
	TELEPHONE SERVICE BOX, 30" x 48" x 36" (F.V.T.)
	CATV SPLICE BOX, 20" x 36" x 18"
	CATV SPLICE BOX, 20" x 36" x 18" (F.V.T.)
	EXISTING JOINT/UTILITY POLE
	JOINT/UTILITY POLE
	PUBLIC ELECTROLINER, SINGLE ARM (BY CITY OF CAMPBELL)
	BELLHOLE, 6' x 8'
	JOINT TRENCH LABEL, XX INDICATES SECTION NUMBER- X' INDICATES TRENCH SECTION LENGTH
	PG&E SKETCH LOCATION NUMBER

560 L.F. OF JOINT TRENCH SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

4 NEW FULL SERVICE COMPLETIONS (ELECTRIC, GAS, TELEPHONE AND CATV) SINGLE FAMILY HOMES.

TARRAR UTILITY REP.:	KHALID TARRAR	JOB NO.	219080	PHONE NO.	(925) 240-2595
DEVELOPER:	SUSAN CHEN	JOB NO.	219080	PHONE NO.	(408) 421-5820
PG&E ELECTRIC COORDINATOR:	STEVE TAYLOR	JOB NO.	PM# 35148762	PHONE NO.	(408) 299-1084
PG&E GAS COORDINATOR:	STEVE TAYLOR	JOB NO.	PM# 35148344	PHONE NO.	(408) 299-1084
TELEPHONE REP.:	HOWARD PROCK	JOB NO.	-	PHONE NO.	(408) 635-8844
CABLE T.V. REP.:	BENJAMIN LOPEZ	JOB NO.	-	PHONE NO.	(832) 547-1803

FILES STATUS

DESCRIPTION:	BY:	DATE:	STATUS:
CIVIL PLANS (ELECTRONIC FILE)	LEA AND BRAZE ENGINEERING, INC	11/13/2020	R
ARCHITECTURAL PLANS (ELECTRONIC FILE)	SC DESIGN GROUP	11/13/2020	R
LANDSCAPE PLANS (ELECTRONIC FILE)	-	-	-
GAS DESIGN	TARRAR UTILITY CONSULTANTS	3/31/2020	A
ELECTRIC DESIGN	LOPES UTILITY DESIGN SERVICES	12/11/2020	A
TELEPHONE INTENT REPLY	AT&T	10/22/2020	R
CATV INTENT REPLY	QUANTA TELECOMMUNICATION SERVICES	10/28/2020	R
STREET LIGHT PLANS – PUBLIC	-	-	-
STREET LIGHT PLANS – PRIVATE	-	-	-
SOILS REPORT	-	-	-

A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED

DESIGN CHANGE COMPONENT
 ANY CHANGES TO THIS DESIGN
 MUST BE APPROVED BY
ANTHONY RICE (916) 760-3658
 PG&E GAS ADE

DEVELOPER
PLEASE NOTE AND SIGN
 ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER. ALL COSTS TO RELOCATE OR READJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB SUPT. VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND BOXES, AND SIGN AND DATE DRAWING. THANK YOU

SIGNED _____ DATE _____

TARRAR UTILITY CONSULTANTS
 APPROVED FOR SUBMITTAL
HAIDER KAMMOONAH
 QUALIFIED APPLICANT DESIGN ENGINEER

COMPOSITE DRAWING BY DEVELOPER

Estimate # E - PM# 35148762 / G - PM# 35148344

Approved ANTHONY RICE 3/31/2020
 Gas ADE Date

Approved JAN WEXNER _____
 Electric ADE Date

PG & E is not responsible for the accuracy of the specifications shown on this drawing.

COMPOSITE DRAWING BY DEVELOPER

Approved HOWARD PROCK 10/22/2020
 Telephone representative Date

Approved BENJAMIN LOPEZ 10/28/2020
 CATV representative Date

813 First Street
 Brentwood, CA 94513
 (925) 240-2595
 (925) 240-7013 fax
 www.tarrar.com

TARRAR

UTILITY CONSULTANTS

- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec. Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH COMPOSITE TITLE SHEET
 MAJESTIC TRUST, LLC.
 YANHUA RESIDENCE – ONSITE DEVELOPMENT
 CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: JUNE 2021 DATE LAST WORKED ON: 6/25/2021
 SCALE: NOT TO SCALE DRAWN: HK CHECKED: KT
 JOB NO.: 219080

SHEET **17** OF **24**

PROJECT NOTES:

- FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
- CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
- FIELD ADJUST SPLICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
- A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR TOES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
- TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET 19 (TYPICAL).
- CONTRACTOR SHALL PLACE ALL UTILITY SPLICE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
- ALL PG&E, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
- THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCROACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
- FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPLICE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
- RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
- UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
- INCIDENTAL TRENCHING TO SPLICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPLICE BOXES AND CABINETS (TYPICAL).
- ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
- ALL CONDUITS MUST BE MANDREL TESTED AND APPROVED.
- OFFSET SPLICE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
- PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
- ALL PG&E SPLICE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
- ALL CONDUITS NOT ENTERING SPLICE BOXES OR ENCLOSURES SHALL BE CAPPED.
- COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
- THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
- ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANDREL THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
- EDGE OF SPLICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
- ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS
- MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPLICE BOXES & XFMRs.
- DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
- FOR CLARITY - BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
- ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
- THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM LEA AND BRAZE (510) 887-4086.

ABBREVIATION LIST

B/C	BACK OF CURB	H.P.S.	HIGH PRESSURE SODIUM	RT	RETAINING WALL
B/W	BACK OF WALK	IRR.	IRRIGATION CONTROLLER	R/W	RIGHT OF WAY
BTU	BRITISH THERM UNITS	J.T.	JOINT TRENCH	SCH.	SCHEDULE
CB	CATCH BASIN	KV	KILO-VOLTS	SD	STORM DRAIN
CL	CENTERLINE	LE	LANDSCAPE EASEMENT	SH.	SHEET
CAT.	CATALOG	LF	LINEAR FOOT/FEET	S/W	SIDE WALK
C OR CATV	CABLE TELEVISION	MH	MANHOLE	SS	SANITARY SEWER
CFH	CUBIC FEET PER HOUR	MIN.	MINIMUM	SSE	SANITARY SEWER EASEMENT
C.I.P.	CAPITOL IMPROVEMENT PROJECT	MPOE	MINIMUM POINT OF ENTRY	ST. LT.-S/L	STREET LIGHT
CL	CENTER LINE	N.T.S.	NOT TO SCALE	SUBD'V	SUBDIVISION
CU	COPPER	O.D.	OUTER DIAMETER	Sqft.	SQUARE FOOTAGE
E	ELECTRIC	O.H.	OVER HEAD	T	TELEPHONE
EP	EDGE OF PAVEMENT	PIEUE	PRIVATE INGRESS, EGRESS, AND UTILITY EASEMENT	TUC	TARRAR UTILITY CONSULTANTS
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PL	PROPERTY LINE	TYP.	TYPICAL
EX.	EXISTING	P.S.	POWER SUPPLY	T/S	TRAFFIC SIGNAL
F/C	FACE OF CURB	P.R.O.J.	PROJECT	U.G.	UNDERGROUND
FH	FIRE HYDRANT	PSDE	PRIVATE STORM DRAIN EASEMENT	U.O.N.	UNLESS OTHERWISE NOTED
FUT.	FUTURE	PSE	PUBLIC SERVICE EASEMENT	V	VOLT
F.O.	FIBER OPTIC	PVAV	PRIVATE VEHICLE ACCESS WAY	W	WATT
G	GAS	P.V.C.	POLY VINYL CHLORIDE	WT	WATER
GALV.	GALVANIZE	P.W.E.	PUBLIC WATER LINE EASEMENT	W/	WITH
G.E.	GENERAL ELECTRIC	PWR	POWER	W/O	WITHOUT
GRD.	GROUND	PUE	PUBLIC UTILITY EASEMENT	WLE	WATER LINE EASEMENT
H.O.A.	HOME OWNERS ASSOCIATION			XFMR	TRANSFORMER

JOINT TRENCH AND UTILITY BOX LOCATION

JOINT TRENCH STREET SECTIONS
 NOT TO SCALE
 NOTE: SEE PLANS FOR CONFIGURATIONS AND ARRANGEMENTS.
 * UNLESS OTHERWISE SHOWN

WITHIN ROADWAY SECTION
 (95% RELATIVE COMPACTION FOR THE TOP 6" BELOW ROAD SUBGRADE AND 90% BELOW THAT)

GENERAL NOTES:

- ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH PG&E UTILITY OPERATIONS UO STANDARD 55453.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
- BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
- THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION 55453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRAR UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (KERN COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
- THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH. IF DISCREPANCY IS FOUND, NOTIFY TARRAR UTILITY CONSULTANTS PRIOR TO STARTING WORK.
- TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
- TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC.). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
- THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
- VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BIDDING.
- TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF PG&E'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
- THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
- THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
- PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING, AND INSTALLATION WORK.
- IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRAR UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
- TARRAR UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
- ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES, THAT THE WORK IS READY FOR INSPECTION.
- THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
- ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
- THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY. AS SHOWN.
- ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY OF CAMPBELL REQUIREMENTS.
- THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRAR UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRAR UTILITY CONSULTANTS.
- THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC., WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL, OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRAR UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC., THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
- "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF CAMPBELL ENCROACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF CAMPBELL AT THE TIME OF APPLICATION FOR THE ENCROACHMENT PERMIT."

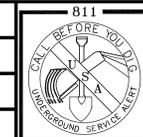
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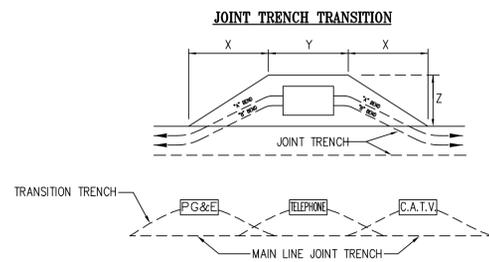
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JOINT TRENCH GENERAL NOTES AND DETAILS
 MAJESTIC TRUST, LLC.
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 CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE	DATE: JUNE 2021	DATE LAST WORKED ON: 6/25/2021
				SCALE: NOT TO SCALE	DRAWN: HK
				JOB NO: 219080	CHECKED: KT



SHEET
 18
 OF
 24



BEND	PRIMARY BOX SIZE	DISTANCE (when conduit enters box)			NOTES
		"x"	"y"	"z"	
"A"	3' x 5'	24'	7'	5'	BEND IS 60° RADIUS WITH AN ANGLE OF 10 DEG. USE 2-5 COUPLINGS WITH 1-5' CONDUIT SECTION FOR EACH BEND SHOWN.
	4'-6" x 8'-6"	24'	11'	7'	
"B"	3' x 5'	32'	7'	5'	BEND IS 30° RADIUS WITH AN ANGLE OF 15 DEG. USE 3-5 COUPLINGS WITH 2-2 1/2' CONDUIT SECTION FOR EACH BEND SHOWN.
	4'-6" x 8'-6"	32'	11'	7'	

NOTE:

- CONTRACTOR TO EXCAVATE TRANSITIONS FROM MAIN-LINE TRENCH TO VAULTS AS REQUIRED BY EACH UTILITY.
- TRANSITIONS NOT SHOWN ON COMPOSITE DRAWING FOR CLARITY.
- CONTRACTOR TO INCLUDE COST OF TRANSITIONS IN VAULT EXCAVATION COST.

DETAIL 1 TYPICAL PRIMARY BOX EXCAVATION USING CONDUIT
N.T.S. 19

CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

PUBLIC UTILITY SYSTEM (JOINT TRENCH)

TRENCHING: EXCAVATE, BACKFILL AND COMPACT	PG&E	ELECTRIC	CONTRACTOR
GAS MATERIAL: FURNISH	PG&E	GAS	CONTRACTOR
ELECTRIC CABLE: FURNISH	PG&E	TELEPHONE	CONTRACTOR
ELECTRIC CONDUIT: FURNISH	PG&E	C.A.T.V.	CONTRACTOR
ELECTRIC SPURGE BOXES: FURNISH	PG&E		
ELECTRIC TRENCH ENCL.: FURNISH	PG&E		
ELECTRIC EQUIP. ENCL.: FURNISH	PG&E		
ELECTRIC SWITCH PADS: FURNISH	PG&E		
ELECTRIC TRENCH PADS: FURNISH	PG&E		
TELEPHONE CONDUIT: FURNISH	PG&E		
TELEPHONE CABLE: FURNISH	PG&E		
TELEPHONE SPURGE BOX: FURNISH	PG&E		
TELEPHONE INTER. PADS: FURNISH	PG&E		
C.A.T.V. CONDUIT: FURNISH	PG&E		
C.A.T.V. SPURGE BOXES: FURNISH	PG&E		

STREET LIGHTING SYSTEM

WIRE: FURNISH	PG&E	CONTRACTOR
CONDUIT: FURNISH	PG&E	CONTRACTOR
BASES: FURNISH	PG&E	CONTRACTOR
LUMINAIRES: FURNISH	PG&E	CONTRACTOR
SEWER BOXES: FURNISH	PG&E	CONTRACTOR
POLES & ARMS: FURNISH	PG&E	CONTRACTOR

ADDITIONAL NOTES:

● DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.

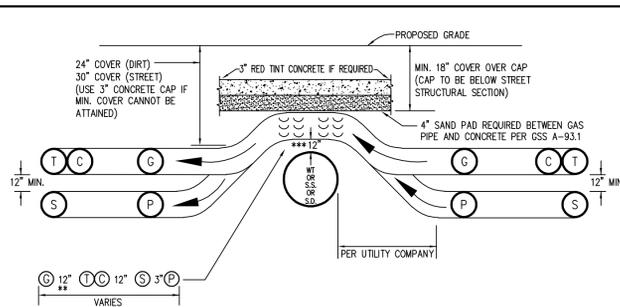
NOTES:

- THE SUBSURFACE ENCLOSURE MUST BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF AS MODIFIED BY THE PROVISIONS HEREIN.
 - LOW DESIGN GROUNDWATER LEVEL IS THE CONDITION WHERE THE DESIGN GROUNDWATER LEVEL IS AT OR BELOW THE EXCAVATION DEPTH OF THE ENCLOSURE.
 - HIGH DESIGN GROUNDWATER LEVEL IS THE CONDITION WHERE THE DESIGN GROUNDWATER LEVEL IS ABOVE THE EXCAVATION DEPTH OF THE ENCLOSURE.
- ALL REQUESTS TO USE SUBSURFACE TRANSFORMERS REQUIRE SOIL CHLORIDE TESTING, AND DETERMINATION OF DESIGN GROUND WATER LEVEL.
 - SOIL CHLORIDE TESTING AND DESIGN GROUNDWATER LEVEL DETERMINATION IS THE RESPONSIBILITY OF THE APPLICANT. PG&E DOES NOT REIMBURSE THE APPLICANT FOR THE COST.
 - SOIL CHLORIDE TESTING MAY BE OMITTED IF THE APPLICANT ELECTS TO PROVIDE EXTERIOR WATERPROOFING OF THE SUBSURFACE ENCLOSURE, OR WHERE WATERPROOFING OF THE EXTERIOR SURFACE IS OTHERWISE REQUIRED SUCH AS IN HIGH DESIGN GROUNDWATER TABLE.
 - SOIL CHLORIDE TESTING MUST BE PERFORMED UNDER THE SUPERVISION OF A STATE LICENSED PROFESSIONAL CORROSION OR GEOTECHNICAL ENGINEER.
 - SOIL CHLORIDE TESTS SHALL BE TAKEN IN THE VICINITY OF THE PROPOSED SUBSURFACE TRANSFORMER IN A LOCATION CHOSEN TO BE ADEQUATELY REPRESENTATIVE OF ALL SOIL STRATA THAT COULD IMPACT THE STRUCTURE OF THE ENCLOSURE OR THE EQUIPMENT IN THE ENCLOSURE, AS DETERMINED AND STATED ON THE REPORT SUBMITTED BY THE STATE LICENSED PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE.
 - THE SOIL MUST BE TESTED FOR CHLORIDE BY ONE OF THE FOLLOWING APPLICABLE STANDARDS: CHLORIDE CONTENT PER ASTM D4327, ASTM D512, CEM 422, OR AASHTO IF CHLORIDE CONTENT IS GREATER THAN 5,000 PARTS PER MILLION (PPM), ENCLOSURE REQUIRES WATERPROOFING.
- GROUNDWATER LEVEL DETERMINATION SHALL BE PERFORMED BY A STATE LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER AND SHALL BE BASED ON SITE SPECIFIC BORINGS AND OTHER INFORMATION AS DEEMED SUITABLE BY THE STATE LICENSED GEOTECHNICAL ENGINEER IN RESPONSIBLE CHARGE.
- ENCLOSURES IN LOW DESIGN GROUNDWATER LEVEL AREAS AND WHERE CHLORIDE CONTENT IS GREATER THAN 5,000 PPM REQUIRE WATERPROOFING. IF CHLORIDE CONTENT IS LESS THAN 5,000 PPM, INSTALL THE ENCLOSURE PER DOCUMENT 062000.
- ENCLOSURES IN HIGH DESIGN GROUNDWATER LEVEL AREAS REQUIRE WATERPROOFING.
- WATERPROOFING INCLUDES THE FOLLOWING:
 - SEALING OF ALL CONDUITS (TERMINATORS) ENTERING THE ENCLOSURE.
 - APPLICATION OF WATERPROOFING MEMBRANE ON ALL EXTERIOR SURFACES INCLUDING THE BOTTOM OF THE BOTTOM SLAB. WATERPROOFING MAY BE APPLIED BY THE SUPPLIER OR IT MAY BE APPLIED IN THE FIELD. WHERE EXTENSIONS ARE ADDED IN THE FIELD, SEAL THE JOINT WITH THE REQUIRED SEALANT PRIOR TO INSTALLATION OF THE EXTENSION, THEN APPLY THE WATERPROOFING OVER THE JOINT. NOTE: GROUND RODS SHALL BE INSTALLED BEFORE BACKFILLING AND WHILE TEMPORARY CONTROL OF GROUNDWATER IS IN PLACE. SEAL GROUND ROD HOLES WITH WET - USE EPOXY.
 - APPLICATION OF PROTECTION BOARDS ON ALL EXTERIOR SURFACES INCLUDING THE BOTTOM OF THE BOTTOM SLAB TO PREVENT MEMBRANE DAMAGE DURING BACKFILL OPERATIONS.
 - SEALING OF JOINTS BETWEEN ENCLOSURE SECTIONS OR EXTENSIONS
 - SEALING OF GROUND ROD HOLES.
 - DO NOT BREAK OUT THE FOUR KNOCKOUTS LOCATED ON THE BOTTOM SLAB OF THE ENCLOSURE.

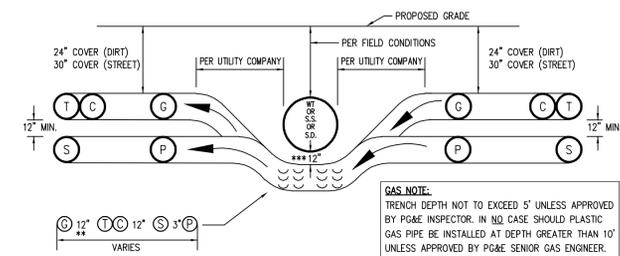
MATERIALS USED FOR WATERPROOFING THE ENCLOSURE

- WATERPROOFING MEMBRANE: TREMCO's TremProof 250 GC FLUID APPLIED ELASTOMERIC WATERPROOFING MEMBRANE, MINIMUM 215 MILS WET THICKNESS; CARLSLES CCW MIRADRI 860/861 SELF ADHERING SHEET MEMBRANE, WITH MANUFACTURER RECOMMENDED ADHESIVE PRIMER, OR APPROVED EQUAL.
- PROTECTION BOARD: TREMCO'S HPDP 60 PROTECTION SHEET; CARLSLES CCW 200V PROTECTION FABRIC, OR APPROVED EQUAL.
- RAYFLATE DUCT SEALING SYSTEM (RDSS) CONDUIT SEAL. REFER TO DOCUMENT 062288.

DETAIL 4 PG&E REQUIREMENTS FOR SUBSURFACE TRANSFORMERS
N.T.S. 19



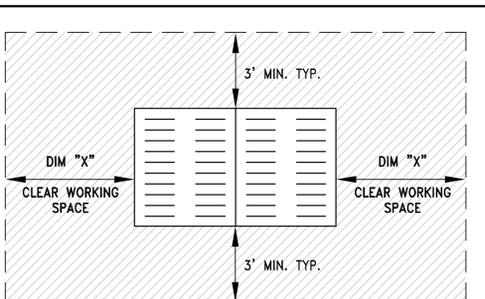
JOINT TRENCH OVER WATER, SANITARY SEWER OR STORM DRAIN CHOICE 1 (PREFERRED METHOD)



JOINT TRENCH UNDER WATER, SANITARY SEWER OR STORM DRAIN CHOICE 2 (OPTIONAL METHOD)

- SEE MINIMUM COVER & CLEARANCE CHART
- WITH MUTUAL AGREEMENT, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE & CATV).
- 6" MINIMUM REQUIRED BY PG&E-ADDITIONAL CLEARANCE MAYBE REQUIRED BY CITY OR COUNTY

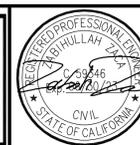
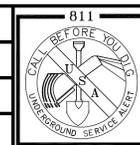
DETAIL 2 OVER UNDER DETAILS
N.T.S. 19



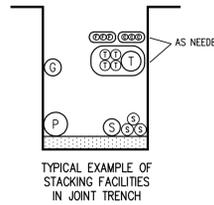
DETAIL 3 PG&E ENCLOSURE CLEARANCES
N.T.S. 19

NO.	REVISIONS	BY	DATE

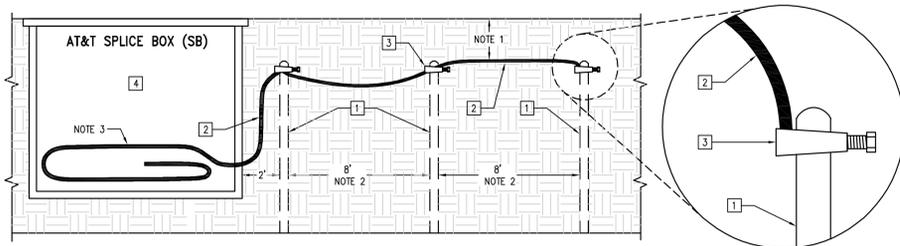
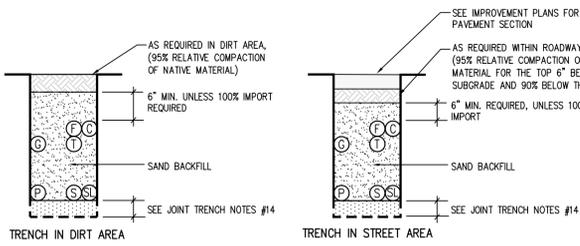
DATE: JUNE 2021	DATE LAST WORKED ON: 6/25/2021
SCALE: NOT TO SCALE	DRAWN: HK CHECKED: KT
JOB NO: 219080	



JOINT TRENCH MINIMUM COVER AND CLEARANCES												
MINIMUM SEPARATION FROM												
UTILITY	G	T	TD	C	S	P	SL	SLP	F	FE	MINIMUM COVER	
G (GAS)*	-	12"	12"	12"	6"	12"	12"	6"	12"	12"	24"; 30" IN STREET	
T (TELEPHONE) DUCT	12"	-	1"	1"	12"	12"	12"	1"	12"	12"	24"; 30" IN STREET	
TD (TELEPHONE) DIRECT BURY	12"	1"	-	1"	12"	12"	12"	1"	12"	12"	24"; 30" IN STREET	
C (CABLE T.V.)	12"	1"	1"	-	12"	12"	12"	1"	12"	12"	24"; 30" IN STREET	
S (ELECT. SECONDARY)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
P (ELECT. PRIMARY)	12"	12"	12"	12"	3"	3"	3"	3"	12"	12"	36"; 36" IN STREET	
SL (PUBLIC AND PRIVATE-STREET LIGHT)**	12"	12"	12"	12"	12"	-	12"	12"	12"	12"	24"; 30" IN STREET	
SLP (P.G.E.-STREET LIGHT)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
FE (FOREIGN ELECTRIC SOURCES, NON PG&E)	12"	12"	12"	12"	12"	12"	12"	12"	-	-	24"; 30" IN STREET	
F (FIBER OPTIC)	12"	1"	1"	1"	12"	12"	12"	-	12"	12"	24"; 30" IN STREET	



- LEGEND**
- MEETS UTILITY TRENCH ALLOTMENT
 - EXCEEDS UTILITY TRENCH ALLOTMENT
 - ⊙ GAS
 - ⊙ ELECTRIC PRIMARY
 - ⊙ ELECTRIC SECONDARY
 - ⊙ TELEPHONE (DUCT OR DIRECT BURY)
 - ⊙ CATV
 - ⊙ STREET LIGHT (PUBLIC OR PRIVATE)
 - ⊙ STREET LIGHT (PG&E)
 - ⊙ FOREIGN ELECTRIC
 - ⊙ FIBER OPTIC



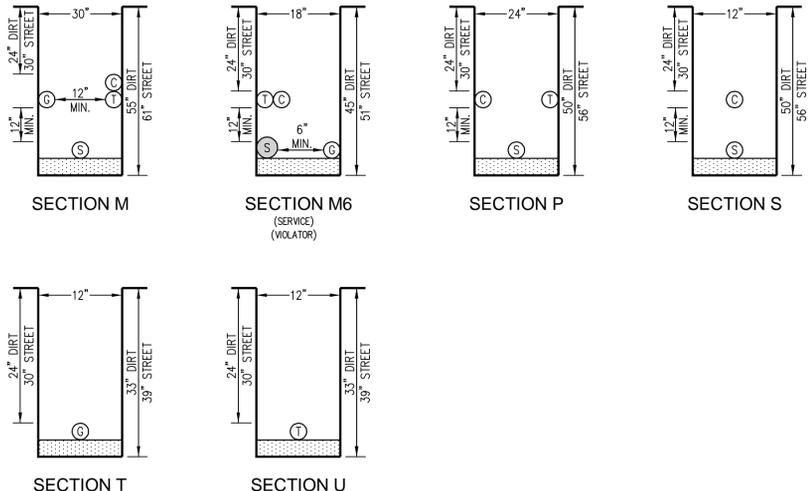
- LEGEND**
1. 8" LENGTH x 5/8" DIAMETER GROUND ROD POLES
 2. BARE CONTINUOUS SOLID NUMBER 6 AWG. WIRE
 3. GROUND CLAMP
 4. TELEPHONE SPLICE BOX

- NOTES**
1. MINIMUM DEPTH = 12 INCHES
 2. GROUND BEDS MAY BE PLACED IN ANY CONFIGURATION AS LONG AS THE 8 FOOT SEPARATION BETWEEN GROUND RODS IS MAINTAINED AND THE 2 FOOT SEPARATION FROM THE SB WALL IS NOT ENCROACHED UPON.
 3. BARE #6 GROUND WIRE TO ENTER THROUGH SIDEWALL OR BOTTOM OF SB AND WRAP SB ONCE.

DETAIL 1 AT&T AERIAL AND BURIED
N.T.S. 20 GROUND BED DESIGN

JOINT TRENCH NOTES:

1. TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
2. IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
3. * WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
4. * WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 12" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
5. ** WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
6. TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
7. THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
8. TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY; THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
9. TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
10. THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
11. THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
12. TYPE "M2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
13. THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEEP MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
14. CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION S5453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
15. ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF CAMPBELL ENGINEERING STANDARDS AND SPECIFICATIONS.
16. ALL PG&E, TELEPHONE, CABLE, AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETLIGHTS.



JOINT TRENCH OCCUPANCY GUIDE																							
TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRL.	X	X	X	X	X	X	X	X															
FIBER OPTICS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

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- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH SECTIONS AND DETAILS
MAJESTIC TRUST, LLC.
YANHUA RESIDENCE - ONSITE DEVELOPMENT
CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: JUNE 2021	DATE LAST WORKED ON: 6/25/2021
SCALE: NOT TO SCALE	DRAWN: HK CHECKED: KT
JOB NO: 219080	

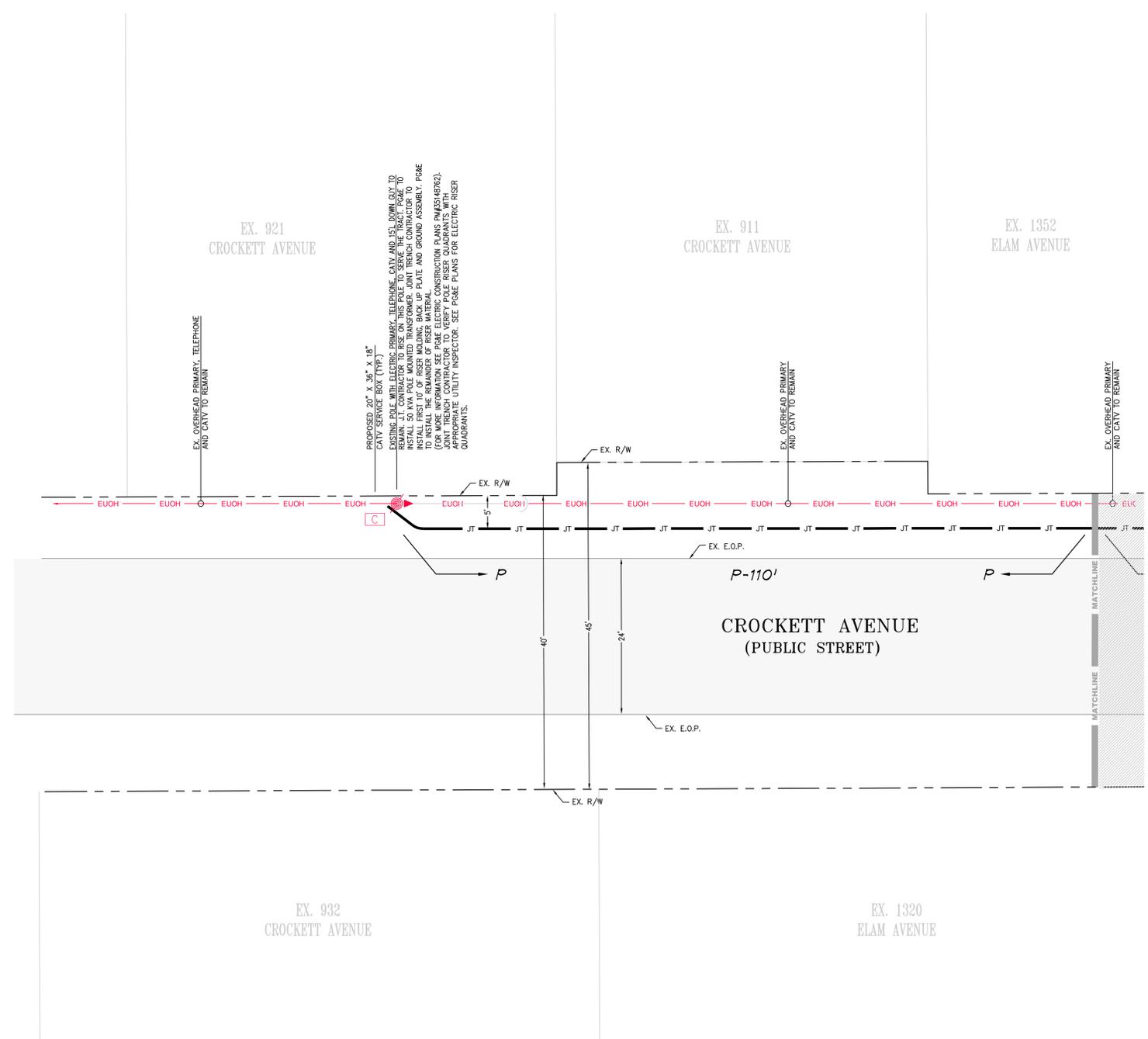


CAUTION !! CAUTION !! CAUTION !!
 EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR OF ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 2 WORKING DAYS IN ADVANCE.

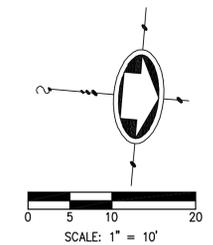
CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

JOINT TRENCH OCCUPANCY GUIDE																							
TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	
TELEPHONE	X	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	
CABLE T.V.	X	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRI.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY



MATCH LINE - SEE SHEET 21



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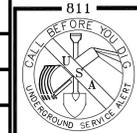
- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH COMPOSITE PLAN
 MAJESTIC TRUST, LLC.
 YANHUA RESIDENCE – ONSITE DEVELOPMENT
 CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE

DATE: JUNE 2021
 SCALE: 1" = 10'
 JOB NO.: 219080

DATE LAST WORKED ON: 6/25/2021
 DRAWN: HK
 CHECKED: KT



SHEET
 22
 OF
 24

YANHUA RESIDENCE

1323 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP

20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE

1323 ELAM AVE. CAMPBELL, CA 95008

MATERIALS LEGEND

	PLAY & LANDSCAPE MULCHING
	12 X 12 PERVIOUS UNIT PAVING
	6 X 12 PERVIOUS UNIT PAVING
	CONCRETE PAVING
	24 X 24 STEPPING STONE PAVING
	POROUS GRASS PAVER WITH DYMONDIA GROUND COVER, INVISIBLE STRUCTURES GRASSPAVE2 OR EQUAL

NOTE

A. LANDSCAPE PLAN TO COMPLY WITH THE WATER EFFICIENCY LANDSCAPE ORDINANCE (WELO)

TREE PLANTING LEGEND

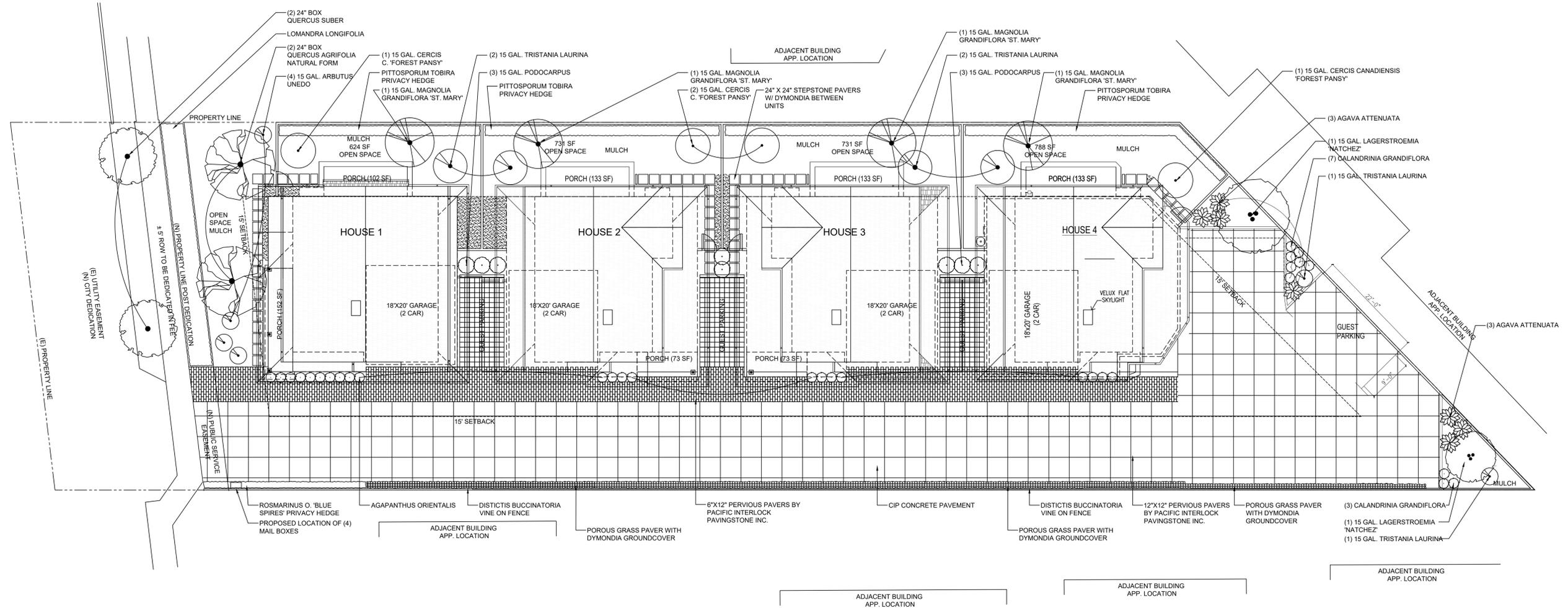
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USAGE
	CERCIS OCCIDENTALIS 'FOREST PANSY'	WESTERN REDBUD	15 GAL	4	VERY LOW
	LAGERSTROEMIA 'NATCHEZ'	CRAPE MYRTLE 'NATCHEZ'	24" BOX	2	LOW
	MAGNOLIA GRANDIFLORA 'ST. MARY'	ST. MARY MAGNOLIA	15 GAL	4	MED
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	2	VERY LOW
	QUERCUS SUBER	CORK OAK	24" BOX	2	VERY LOW
	TRISTANIA LAURINA	WATER GUM	15 GAL	5	MED
	TOTAL			19	

SHRUB PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USAGE
ARBUSUS UNEDO	DWARF STRAWBERRY TREE	5 GAL	7	LOW
PODOCARPUS MACROPHYLLUS	YEW PINE	5 GAL	6	MED
AGAVE ATTENUATA	FOX TAIL AGAVE	5 GAL	7	VERY LOW
ROSMARINUS O. 'BLUE SPIRES'	BLUE SPIRES ROSEMARY	5 GAL	41 S.F.	LOW
PITTOSPORUM TOBIRA	MOCK ORANGE	5 GAL	382 S.F.	LOW

GROUND COVER PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USAGE
CALANDRINA GRANDIFLORA	ROCK PURSLANE	5 GAL	25	LOW
AGAPANTHUS ORIENTALIS	LILY-OF-THE-NILE	5 GAL	44	MED
DYMONDIA MARGARETAE	DYMONDIA	1 GAL	259 S.F.	LOW
LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	1 GAL	222 S.F.	LOW
VINE PLANTING LEGEND				
BOUGAINVILLEA SPP.	RED BOUGAINVILLEA	1 GAL	80 S.F.	LOW



NET LOT AREA	+/- 18,152 SQ. FT.
MIN. LANDSCAPE AREA BY CODE	3,631 SQ. FT.
(20 PERCENT OF THE NET SITE AREA)	
PROPOSED LANDSCAPE AREA	4,803 SQ. FT.

HOUSE 1 OPEN SPACE	624 SQ. FT.
HOUSE 2 OPEN SPACE	731 SQ. FT.
HOUSE 3 OPEN SPACE	731 SQ. FT.
HOUSE 4 OPEN SPACE	788 SQ. FT.
TOTAL OPEN SPACE	2,874 SQ. FT.

MAWA (ANNUAL GALLONS ALLOWED)	80,681.25 GAL.
ETWU (ANNUAL GALLONS REQUIRED)	58,282.85 GAL.

PLANTING NOTE

- 1) Verify placement of all proposed plants.
- 2) Protect existing tree to remain. Verify placement of tree protection fencing.
- 3) Thoroughly prepare soil prior to planting. The contractor shall submit a soil sample for analysis to a local lab for analysis and recommendations for soil preparation prior to planting.
- 4) Incorporate 4 cy of compost per 1000 sf, 6" into native soil.
- 5) Spread 3" of earthtone mulch, Prochip or equal, after planting.
- 6) I have complied with the criteria of the water efficient landscape guidelines and the requirements of the prescriptive compliance option to the MWEL0. I applied them for the efficient use of water in the landscape design.

PROPOSED LANDSCAPE PLAN

SCALE: 3/32" = 1'-0"

REVISIONS:
12.20.18 BUILDING SUBMITTAL

PROJECT NO: DATE:

DRAFTED BY: REY MAPALO

ON-SITE LANDSCAPE PLAN

SHEET:

23

23 OF 24



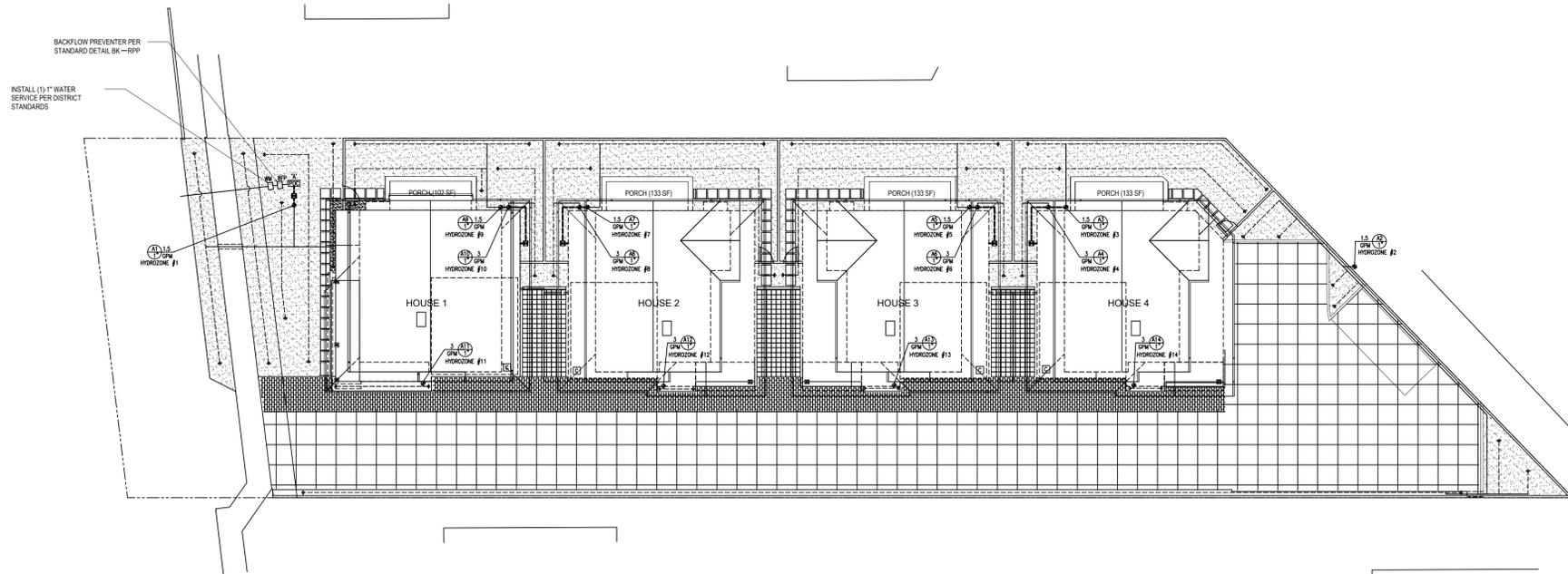
IRRIGATION NOTES

1. THE SYSTEM IS DESIGNED TO OPERATE WITH A STATIC WATER PRESSURE OF 70 PSI. VERIFY WATER PRESSURE PRIOR TO THE START OF CONSTRUCTION.
2. THE PLAN IS DIAGRAMMATIC AND DOES NOT NECESSARILY INDICATE ALL OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
3. LOCATE ALL PIPING IN PLANTING AREAS WHERE EVER POSSIBLE.
4. COORDINATE AUTOMATIC CONTROLLER ELECTRICAL HOOK-UP WITH PROJECT ELECTRICIAN.
5. VERIFY TYPE AND LOCATION OF BACKFLOW PREVENTION ASSEMBLY WITH LOCAL JURISDICTION, PRIOR TO INSTALLATION.
6. INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW-HEAD DRAINAGE.
7. DETECTOR TAPE SHOULD BE INSTALLED WITH ANY PRESSURE LINES NOT BURIED IN THE SAME TRENCH WITH CONTROL WIRES AND WITH ANY LINES OF ANY KIND UNDER PAVING NOT IN A TRENCH WITH CONTROL WIRES.

IRRIGATION LEGEND

KEY	DESCRIPTION
POC	POINT OF CONNECTION (CONNECT TO IRRIGATION WATER METER)
	IRRIGATION WATER METER - TO BE PROVIDED BY OTHERS
	IF STATIC PRESSURE AT WATER METER EXCEEDS 120 PSI - USE SCH 40 STEEL PIPE FROM IRRIGATION METER TO IRRIGATION B.F.P. (SIZE AS NOTE ON PLANS)
1	INDICATES CONTROLLER STATION NO.
1"	INDICATES VALVE SIZE
A	RAINBIRD IRRIGATION CONTROLLER - (ESP-SMT MODULAR SERIES)
B	
	SCHEDULE 40 -or- CLASS 315 PVC PRESSURE MAINLINE (SIZE AS NOTED)
	SCHEDULE 40 PVC NON-PRESSURE SLEEVE UNDER PAVEMENT (2X SIZE INSIDE PIPE)
	CLASS 200 PVC NON-PRESSURE LATERAL LINE (SIZE AS NOTED)
	UV RADIATION RESISTANT POLYETHYLENE LATERAL PIPE TO EMITTERS (1/2" SIZE, ROUTING SHOWN AS DIAGRAMMATIC)
	'IRRITROL' 100 SERIES 'ULTRA-FLOW' ELECTRIC VALVE (SIZE AS NOTED)
	FEBCO 825Y-A REDUCED PRESSURE ZONE ASSEMBLY DEVICE 3/4" SIZE
C	LANDSCAPE IRRIGATION CONTROLLER (TO BE MOUNTED INSIDE THE GARAGE)

KEY	DESCRIPTION
	RAINBIRD RD-12-S-P30-5Q (5R-0.1gpm) 12" SHRUB POP-UP - MPR SPRAY - 30PSI
	RAINBIRD RD-12-S-P30-5H (5R-0.2gpm) 12" SHRUB POP-UP - MPR SPRAY - 30PSI
	RAINBIRD RD-12-S-P30-12Q (12R-0.65gpm) 12" SHRUB POP-UP - MPR SPRAY - 30PSI
	RAINBIRD RD-12-S-P30-12H (12R-1.3gpm) 12" SHRUB POP-UP - MPR SPRAY - 30PSI



1
PROPOSED IRRIGATION PLAN
SCALE: 1/8" = 1'-0"

NOTE:

LANDSCAPING SHALL BE CONSISTENT WITH CAMPBELL'S WATER-EFFICIENT LANDSCAPE GUIDELINES.

MAWA (ANNUAL GALLONS ALLOWED) 80,681.25 GAL.
ETWU (ANNUAL GALLONS REQUIRED) 58,282.85 GAL.

WATER-EFFICIENT LANDSCAPE WORKSHEET SHOWS BELOW

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method*	Irrigation Efficiency (IE)†	ETAF (PFRE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)‡
Regular Landscape Areas							
#1 PUBLIC FRONT	0.3	DRIP	0.81	0.37	1190	440.74	1278.64
#2 PUBLIC SIDE	0.3	DRIP	0.81	0.37	744	275.28	773.11
#3 PRIVATE BACK	0.3	DRIP	0.81	0.37	538	199.26	556.40
#4 PRIVATE SIDE	0.6	DRIP	0.81	0.74	185	137.04	384.82
#5 PRIVATE BACK	0.3	DRIP	0.81	0.37	561	207.78	585.65
#6 PRIVATE SIDE	0.6	DRIP	0.81	0.74	185	137.04	384.82
#7 PRIVATE BACK	0.3	DRIP	0.81	0.37	561	207.78	585.65
#8 PRIVATE SIDE	0.6	DRIP	0.81	0.74	185	137.04	384.82
#9 PRIVATE BACK	0.3	DRIP	0.81	0.37	378	140.00	393.24
#10 PRIVATE SIDE	0.6	DRIP	0.81	0.74	185	137.04	384.82
#11 PRIVATE FRONT	0.5	DRIP	0.81	0.62	43	26.54	74.40
#12 PRIVATE FRONT	0.5	DRIP	0.81	0.62	16	9.88	27.39
#13 PRIVATE FRONT	0.5	DRIP	0.81	0.62	16	9.88	27.39
#14 PRIVATE FRONT	0.5	DRIP	0.81	0.62	16	9.88	27.39
Totals					4803 (A)	2075.15 (B)	58282.85
Special Landscape Areas							
				1			
Totals				0	(C) 0	(D)	
ETWU Total							58282.85
Maximum Allowed Water Allowance (MAWAW)							80681.25

*Irrigation Method
1) Front lawn
2) low water use plantings
3) medium water use plantings

†Irrigation Efficiency
0.75 for spray
0.81 for drip

‡ETWU (Annual Gallons Required) = E_a x 0.62 x ETAF x Area where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

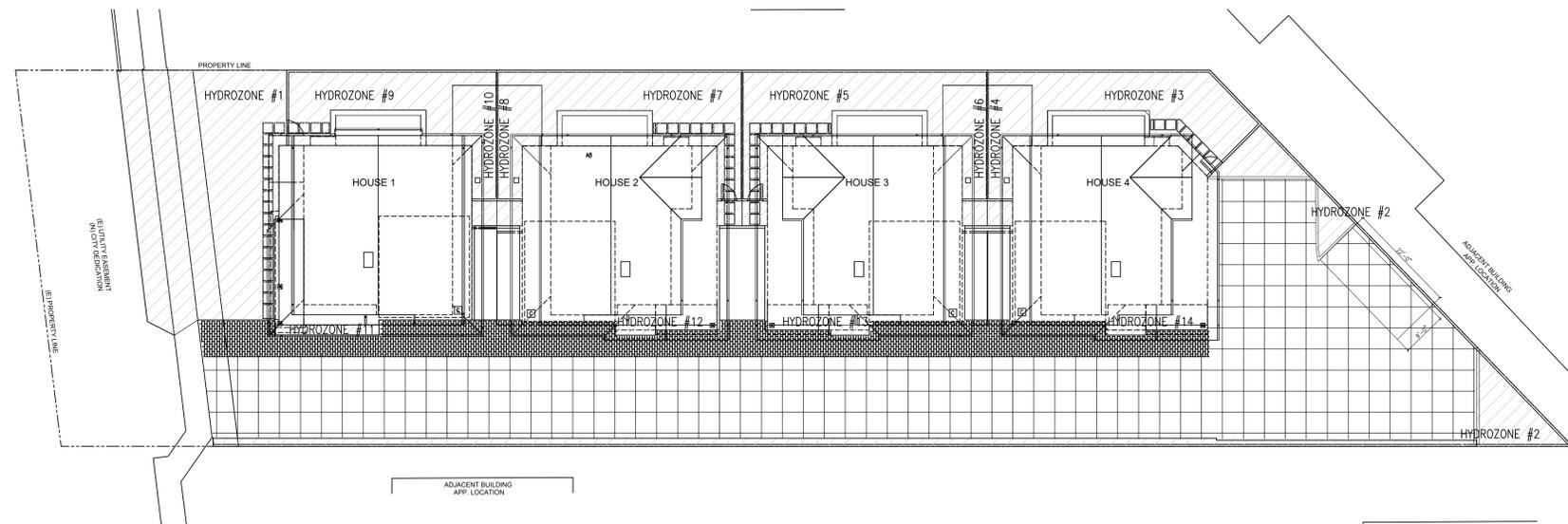
MAWAW (Annual Gallons Allowed) = E_a(A) (0.62) [(ETAF) x LA] = (1-ETAF) x SLA where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet, SLA is the total special landscape area in square feet, and ETAF is .55 for residential areas and 0.45 for non-residential areas.

ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	(B) 2016.32
Total Area	(A) 4644
Average ETAF	B ÷ A 0.4341774
Sitewide ETAF	(B+D) ÷ (A+C) 0.4341774

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

A copy of this form may be obtained from Department of Water Resources website: <http://www.water.ca.gov/wateruseefficiency/landscapeordnance/>



2
PROPOSED HYDROZONE PLAN
SCALE: 1/8" = 1'-0"

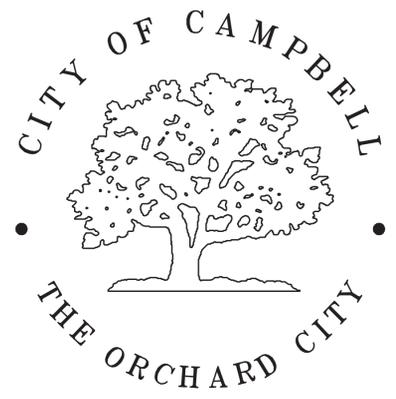
GENERAL NOTES

- ENCROACHMENT PERMIT**
OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT BEFORE PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. MAINTAIN A COPY OF THE PERMIT ON THE JOB SITE AT ALL TIMES.
- WORK CONFORMANCE REQUIREMENTS**
THE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CAMPBELL STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (CCSS) DATED JULY 1994, AND IN ACCORDANCE WITH THE PROJECT PLANS. ATTENTION IS ALSO DIRECTED TO THE CITY OF SAN JOSE STANDARD SPECIFICATIONS (SJS) AND STANDARD DETAILS (SDS) DATED JULY 1992, THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS (SS) AND STANDARD PLANS (SSP) DATED MAY 2006, PORTIONS OF WHICH ARE INCORPORATED INTO THE CCSS BY REFERENCE.
- WORK IN PUBLIC RIGHT-OF-WAY**
THESE PLANS ONLY APPROVE WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND PUBLIC EASEMENTS. SEPARATE PLAN APPROVALS AND PERMITS ARE REQUIRED FOR INSTALLATION OF ANY PUBLIC UTILITY FACILITY, AND ANY WORK ON PRIVATE PROPERTY.
- CONTRACTOR RESPONSIBILITIES**
THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE CITY, ITS OFFICERS, EMPLOYEES AND VOLUNTEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF THE WORK, EXCEPTING LIABILITY ARISING FROM THE NEGLIGENCE OF THE CITY, ITS OFFICERS, EMPLOYEES AND VOLUNTEERS.
- GEOTECHNICAL (SOILS) REPORT**
GEOTECHNICAL CONDITIONS ARE IDENTIFIED IN A REPORT ENTITLED "ZHUI RESIDENTIAL DEVELOPMENT," PREPARED BY MURRAY ENGINEERS, INC., DATED JULY 2016. THE REPORT IS FOR INFORMATION ONLY.
- PROJECT SCHEDULE**
PRIOR TO CONSTRUCTION, SUBMIT TO THE CITY ENGINEER A DETAILED PROJECT SCHEDULE SHOWING PRIMARY COMPONENTS OF WORK.
- UNDERGROUND SERVICE ALERT**
CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT 800-227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY EXCAVATIONS. CONTRACTOR SHALL HAND DIG TO EXPOSE EXISTING UTILITIES. FAILURE TO COMPLY MAY RESULT IN SUBSTANTIAL PENALTIES IN ACCORDANCE WITH GOVERNMENT CODE SECTION 4216.
- UNDERGROUND STRUCTURES**
THE EXISTENCE AND LOCATIONS OF UNDERGROUND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING FACILITIES EXCEPT AS SHOWN. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL SUBSTRUCTURES, WHETHER SHOWN ON THE PLANS OR NOT, MAKE EXPLORATORY EXCAVATIONS, AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THESE PLANS WHEN NECESSARY. THE CITY OF CAMPBELL MAKES NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN.
- TRAFFIC CONTROL PLAN**
PREPARE, SUBMIT TO THE CITY ENGINEER FOR REVIEW, AND IMPLEMENT TRAFFIC CONTROL PLANS AS REQUIRED IN THE STANDARD SPECIFICATIONS. PROVIDE AND MAINTAIN ALL NECESSARY TEMPORARY TRAFFIC CONTROL DEVICES, TO ENSURE SAFE PEDESTRIAN AND VEHICULAR ACCESS THROUGH AND AROUND THE JOB SITE. NOTIFY THE POLICE DEPARTMENT DAILY OF LANE CLOSURES OR DETOURS WITHIN ROADWAYS. PROVIDE A 24-HOUR EMERGENCY RESPONSE TELEPHONE NUMBER TO THE CITY ENGINEER.
- EROSION, DUST, AND DRAINAGE CONTROL**
PROVIDE TEMPORARY EROSION, DUST, AND DRAINAGE CONTROL MEASURES DURING CONSTRUCTION. FOLLOW BEST MANAGEMENT PRACTICES AS RECOMMENDED BY SANTA CLARA COUNTY NON-POINT SOURCE POLLUTION CONTROL PROGRAM. PRIOR TO CONCRETE SAWCUTTING OR WASHING, PLACE FILTER FABRIC MATERIAL IN THE FLOW LINE OF GUTTERS TO RETAIN DEBRIS AND TO PREVENT DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. PICK UP, SWEEP OR VACUUM, AND DISPOSE OF EXCESS SOIL AND DEBRIS FROM THE SITE. OBTAIN PERMITS AND PAY FEES REQUIRED TO DISPOSE OF EXCESS MATERIALS.
- PROTECTION AND REPAIR OF IMPROVEMENTS AND UTILITIES**
TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS AND UTILITIES WHICH ARE TO REMAIN IN PLACE. EXPEDITIOUSLY REPAIR IN KIND IMPROVEMENTS AND UTILITIES REMOVED OR DAMAGED BY THE CONTRACTOR'S OPERATIONS.
- INCONSISTENCIES BETWEEN PLANS AND FIELD CONDITIONS**
NOTIFY THE CITY ENGINEER IMMEDIATELY OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS. NO DEVIATION FROM THESE PLANS IS PERMITTED WITHOUT APPROVAL OF THE CITY ENGINEER.
- CONSTRUCTION STAKING**
SUBMIT TWO SETS OF CONSTRUCTION STAKING CUT SHEETS TO THE CITY PRIOR TO INSPECTION OF WORK REQUIRING STAKING.
- INSTALLATION OF UNDERGROUND UTILITIES**
INSTALL ALL UNDERGROUND UTILITIES IN PAVED AREAS PRIOR TO STARTING WORK ON NEW STREET STRUCTURAL SECTIONS OR OVERLAYS.
- IRRIGATION LINES IN PUBLIC RIGHT-OF-WAY**
REMOVE, PLUG OR RELOCATE EXISTING IRRIGATION LINES WITHIN THE PUBLIC RIGHT-OF-WAY AS DIRECTED BY THE CITY ENGINEER. REMOVE ABANDONED IRRIGATION LINES WITHIN 12 INCHES OF THE GRADING PLANE.
- GRADE UNIMPROVED AREAS TO CONFORM**
GRADE UNIMPROVED AREAS ADJACENT TO NEW CURBS, GUTTERS SIDEWALKS AND PAVEMENT TO CONFORM TO NEW IMPROVEMENTS AND TO PROVIDE FOR SAFETY AND DRAINAGE.
- STREET LIGHTS**
NEW STREET LIGHTS SHALL BE 240 VOLT. PG&E REQUIRED FEES, PERMITS, INSTALLATIONS AND INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER. PROVIDE A COPY OF PG&E RECEIPTS TO THE CITY ENGINEER.
- SURVEY REFERENCE POINTS**
PROTECT, OR RESTORE BY A LICENSED SURVEYOR CIVIL ENGINEER, SURVEY MONUMENTS AND BENCHMARKS DAMAGED, OR DESTROYED DURING CONSTRUCTION. FILE CORNER RECORD OR RECORD OF SURVEY AS REQUIRED.
- AS BUILT PLANS**
SUBMIT AS BUILT PLANS ON MYLARS, SIGNED BY THE ENGINEER OF WORK AND ACCEPTABLE TO THE CITY ENGINEER, PRIOR TO FINAL ACCEPTANCE.
- TRUCK ROUTE**
THE TRUCK ROUTE SHALL BE TO AND FROM THE SITE VIA ELAM TO HARRIET, THEN NORTH HARRIET. NO TRUCK TRAFFIC ON WESTMONT OR HACIENDA.
- UTILITY ENCROACHMENT PERMIT**
OBTAIN SEPARATE PERMITS WITH EACH UTILITY COMPANY FOR THE INSTALLATION OF ALL UTILITIES THAT WILL SERVE THE DEVELOPMENT (INCLUDING WATER, SEWER, GAS, ELECTRIC, ETC.). APPLICANT SHALL APPLY FOR AND PAY ALL NECESSARY FEES FOR UTILITY PERMITS FOR SANITARY SEWER, GAS, WATER, ELECTRIC AND ALL OTHER UTILITY WORK. THE PLAN SHALL CLEARLY SHOW THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND THE ASSOCIATED MAIN LINES; INDICATE WHICH UTILITIES AND SERVICES ARE TO REMAIN, WHICH UTILITIES AND SERVICES ARE TO BE ABANDONED, AND WHERE NEW UTILITIES AND SERVICES WILL BE INSTALLED. JOINT TRENCHES FOR NEW UTILITIES SHALL BE USED WHENEVER POSSIBLE. THE LOCATIONS OF THE UTILITIES SHALL NOT DEVIATE FROM THE PROPOSED LOCATIONS ON THE OFF-SITE STREET IMPROVEMENT PLANS.
- STORM SEWER SYSTEM REQUIREMENTS**
 - ALL STORM DRAIN LATERALS ARE TO BE 12" RCP UNLESS NOTED OTHERWISE.
 - BOLT-DOWN MANHOLE COVERS SHALL BE USED WHEN MANHOLES ARE NOT LOCATED IN THE ROADWAY.
 - CONTRACTOR SHALL PROVIDE VIDEO INSPECTION OF ALL NEWLY CONSTRUCTED STORM MAINS PRIOR TO PROJECT ACCEPTANCE.
 - CONTRACTOR SHALL INSTALL "NO DUMPING - FLOWS TO BAY" MEDALLIONS OR STENCILS AT ALL INLETS AND CATCH BASINS WITHIN THE PROJECT LIMITS.

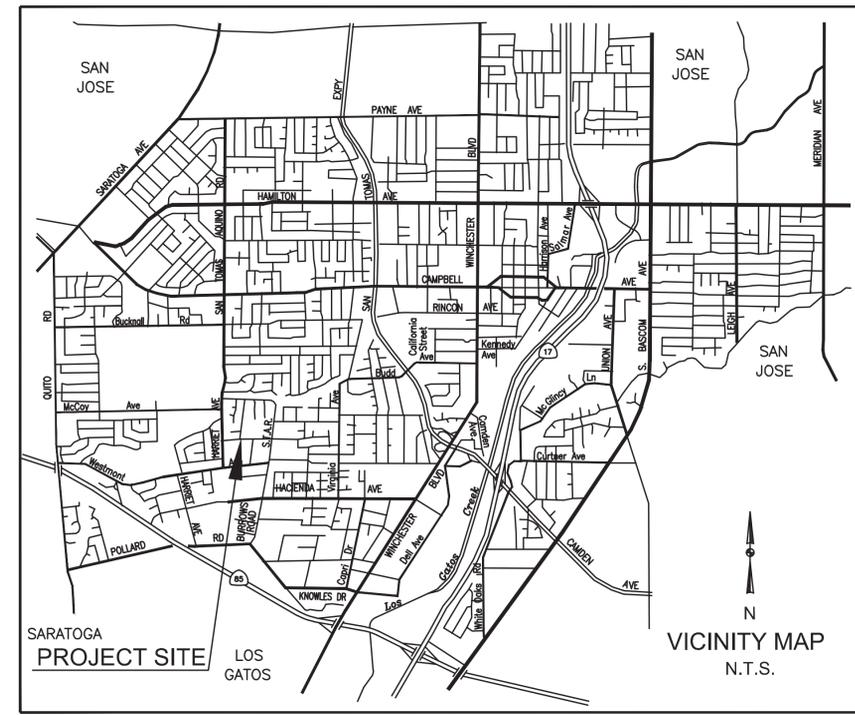
**STREET IMPROVEMENT PLANS - OFF-SITE
TRACT NO. 10557- 1323 ELAM AVENUE
ENCROACHMENT PERMIT NO. 2019-00161**

ABBREVIATIONS

AB	AGGREGATE BASE	IRR	IRRIGATION
AC	ASPHALT CONCRETE	MAX	MAXIMUM
BC	BEGIN CURVE	MH	MANHOLE
BCR	BEGIN CURB RETURN	MIN	MINIMUM
CL	CLASS/CENTERLINE	PB	PULL BOX
DIA	DIAMETER	PVC	POLYVINYL CHLORIDE
DWY	DRIVEWAY	R	RADIUS
EC	END CURVE	R/W	RIGHT-OF-WAY
ECR	END CURB RETURN	SCO	SEWER CLEAN OUT
ED	EDGE DRAIN	STA	STATION
EP	EDGE OF PAVEMENT	SW	SIDEWALK
EX	EXISTING	TC	TOP OF CURB
FC	FACE OF CURB	TEMP	TEMPORARY
FG	FINISH GRADE	TYP	TYPICAL
FL	FIRE HYDRANT	WM	WATER METER
INV	FLOW LINE		
	INVERT		



**CITY OF CAMPBELL
DEPARTMENT OF PUBLIC WORKS**



BENCHMARK
SCVWD BM NO. 618 BRASS DISK (CA 005); ON TOP OF CURB, ON THE EASTERLY SIDE OF HARRIET AVENUE BETWEEN ADDRESSES 825 AND 835, AT 35 FEET SOUTH OF THE CENTERLINE PROJECTION OF ELAM AVENUE. DISK IS 1' WEST OF POWER POLE. CITY OF CAMPBELL. (NAVD88) 231.70 FT.

NOTE: ELEVATIONS SHOWN HEREON WERE BASED UPON AN ASSUMED DATUM. DEDUCT 0.78 FT TO OBTAIN TRUE ELEVATIONS TO BE COMPLIANT TO THE TRUE DATUM.



AGENCY INDEX

SANTA CLARA COUNTY FIRE DEPARTMENT	(408) 378-4010
CITY OF CAMPBELL - PUBLIC WORKS	(408) 866-2150
CITY OF CAMPBELL - POLICE	(408) 866-2121
AT&T	(408) 980-2061
PACIFIC GAS & ELECTRIC	1-800-743-5000
SAN JOSE WATER COMPANY	(408) 279-7900
SANTA CLARA VALLEY WATER DISTRICT	(408) 265-2600
COMCAST (BETWEEN 7:00AM AND 3:00PM)	(408) 918-3245
COMCAST (AFTER NORMAL WORKING HOURS)	1-800-945-2288
WEST VALLEY SANITATION DISTRICT	(408) 378-2407
UNITED STATES POSTAL SERVICE	(408) 378-5780
WEST VALLEY COLLECTION & RECYCLING	(408) 283-8500
VALLEY TRANSPORTATION AUTHORITY - BUS SERVICE	(408) 321-5973

WEST VALLEY SANITATION DISTRICT, SANTA CLARA COUNTY

APPROVED AS TO DESIGN ONLY, BASED ON INFORMATION SUBMITTED HEREON.

Date _____ 20____

JON NEWBY, P.E.
DISTRICT MANAGER AND ENGINEER
WEST VALLEY SANITATION DISTRICT

GENERAL APPROVAL NOTE:

APPROVAL OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER/PERMITEE OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION, PUBLIC INTEREST REQUIRES A MODIFICATION OF THESE PLANS, OR THE STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF CAMPBELL, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE CONSTRUCTED, AT NO COST TO THE CITY.

APPROVED FOR IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY AS DESIGN ONLY BASED UPON INFORMATION SUBMITTED HEREON.

Date _____

AMY OLAY, P.E.
CITY ENGINEER
CITY OF CAMPBELL

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

SIGNATURE P.E.

PETE CARLINO
LEA & BRAZE ENGINEERING INC.
2405 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 95661
TELEPHONE: 510-887-4086

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LEGEND

EXISTING	PROPOSED
SIDEWALK, CURB AND GUTTER	
CENTER LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	
DRIVEWAY	
ACCESSIBILITY RAMP	
PCC OR AC REMOVAL	
STANDARD CITY MONUMENT	
BENCH MARK	
MANHOLE	
STORM DRAIN INLET	
WATER METER	
VALVE	
FIRE HYDRANT	
STREET LIGHT	
POWER POLE	
PULL BOX	
CABLE TELEVISION LINE	
ELECTRICAL LINE	
IRRIGATION LINE	
NATURAL GAS LINE	
OVERHEAD LINE	
SANITARY SEWER LINE	
STORM DRAIN LINE	
TELEPHONE LINE	
WATER LINE	
TRAFFIC SIGNAL CONDUIT	
LIGHTING CONDUIT	
ROADSIDE SIGN & SIGN CODE	
FENCE	
TREE/SHRUB	

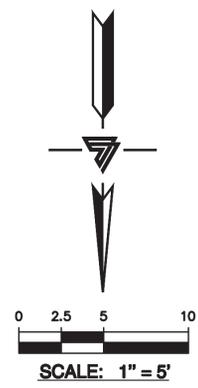
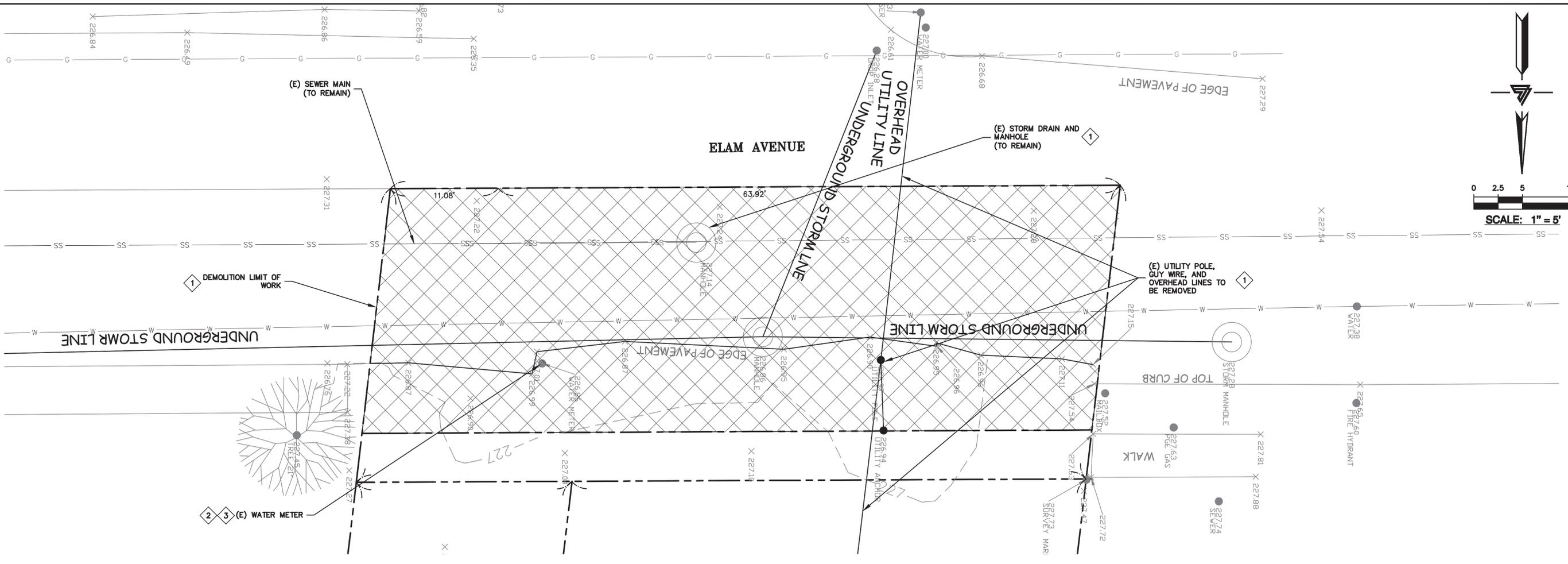
LEA & BRAZE ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEERS - CIVIL
SACRAMENTO REGION
BAY AREA REGION
HAYWARD, CALIFORNIA WEST
1000 RIVERVIEW DRIVE, SUITE 300
HAYWARD, CA 94541
(916) 887-4086
(916) 887-5088
WWW.LEA-BRAZE.COM

TITLE SHEET
OFF-SITE IMPROVEMENT PLANS
1323 ELAM AVENUE
ENCROACHMENT PERMIT NO. 2019-00161

TRACT NO.: 10557

SCALE:
AS NOTED

SHEET:
1
1 OF 17



- HATCH LEGEND:**
- LIMIT OF WORK
 - DEMOLITION AREA. ALL UNDERGROUND UTILITY TO REMAIN, UNLESS OTHERWISE NOTED.
 - TREE TO BE PROTECTED.
 - TREE TO BE REMOVED.
 - CAP UTILITY AT PROPERTY LINE.

- DEMOLITION NOTES:**
- 1 ALL (E) FEATURES WITHIN LIMIT OF WORK IS TO REMAIN, UNLESS NOTED OTHERWISE. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED ENCROACHMENT PERMIT.
 - 2 REMOVE (E) WATER METER.
 - 3 REMOVE (E) WATER LATERAL FROM METER TO MAIN.

- GENERAL NOTES:**
1. IF CONTRACTOR ENCOUNTERS UTILITIES NOT SHOWN ON THIS PLAN THEY ARE TO CONTACT THE ARCH/ENGINEER PRIOR TO REMOVING UTILITIES.
 2. SEE ELECTRICAL PLANS FOR RELOCATION OF ELECTRICAL/ COMMUNICATIONS UTILITIES.
 3. ALL WORK WITHIN ELAM AVENUE RIGHT-OF-WAY TO BE PER CITY STANDARDS.
 4. ANY (E) STREET SIGNAGE TO BE PROTECTED AN REPLACED IF DAMAGED DURING CONSTRUCTION.
 5. ANY WORK IN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE AN ENCROACHMENT PERMIT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SECURE THIS ENCROACHMENT PERMIT.

No.	Revision	Date	By	Chkd
1	PLAN CHECK COMMENTS	10-07-20	TT	TT
2	PLAN CHECK COMMENTS	06-02-21	TT	TT
3	PLAN CHECK COMMENTS	06-24-21	TT	TT
4	PLAN CHECK COMMENTS	08-13-21	TT	TT

Date: JUNE 10, 2019
 Drawn By: WA
 Designed By: RB

LEA & BRAZE ENGINEERING, INC.
 ENGINEERS
 BAY AREA REGION SACRAMENTO REGION
 1000 UNIVERSITY AVENUE SUITE 300
 FAYETTEVILLE, CA 95750
 (916) 887-5019
 WWW.LEAENR.COM

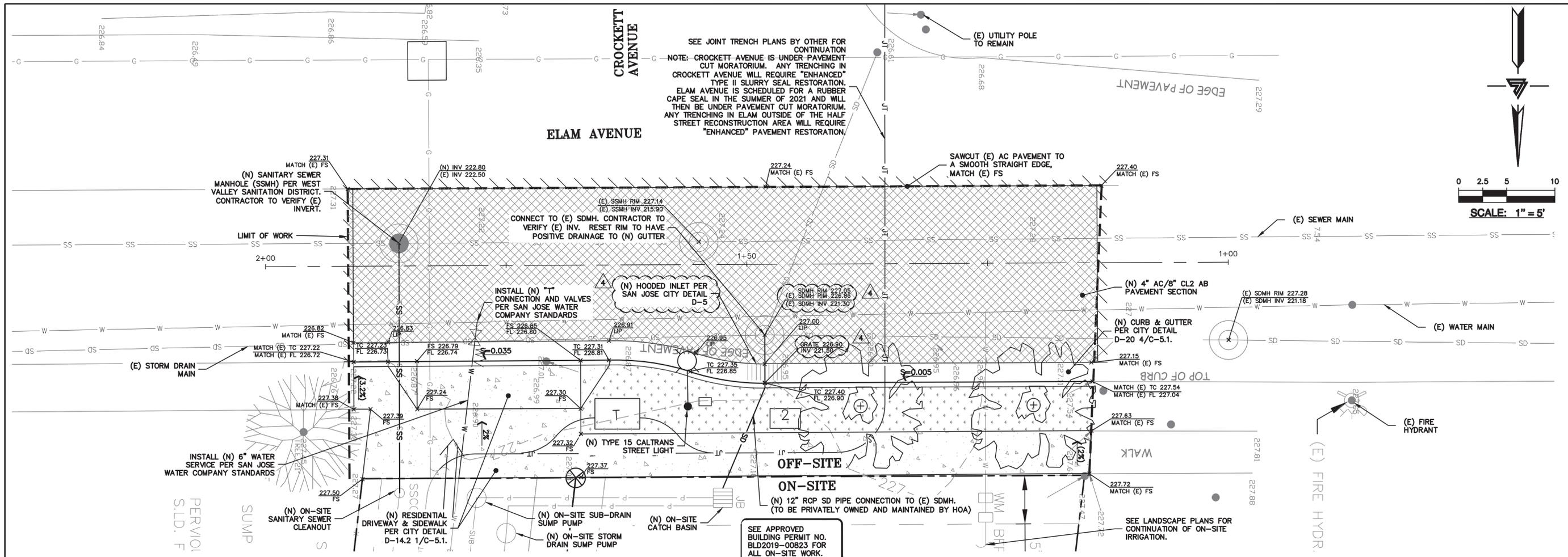
DEMOLITION PLAN
 OFF-SITE IMPROVEMENT PLANS
 1323 ELAM AVENUE
 ENCROACHMENT PERMIT NO.2019-00161



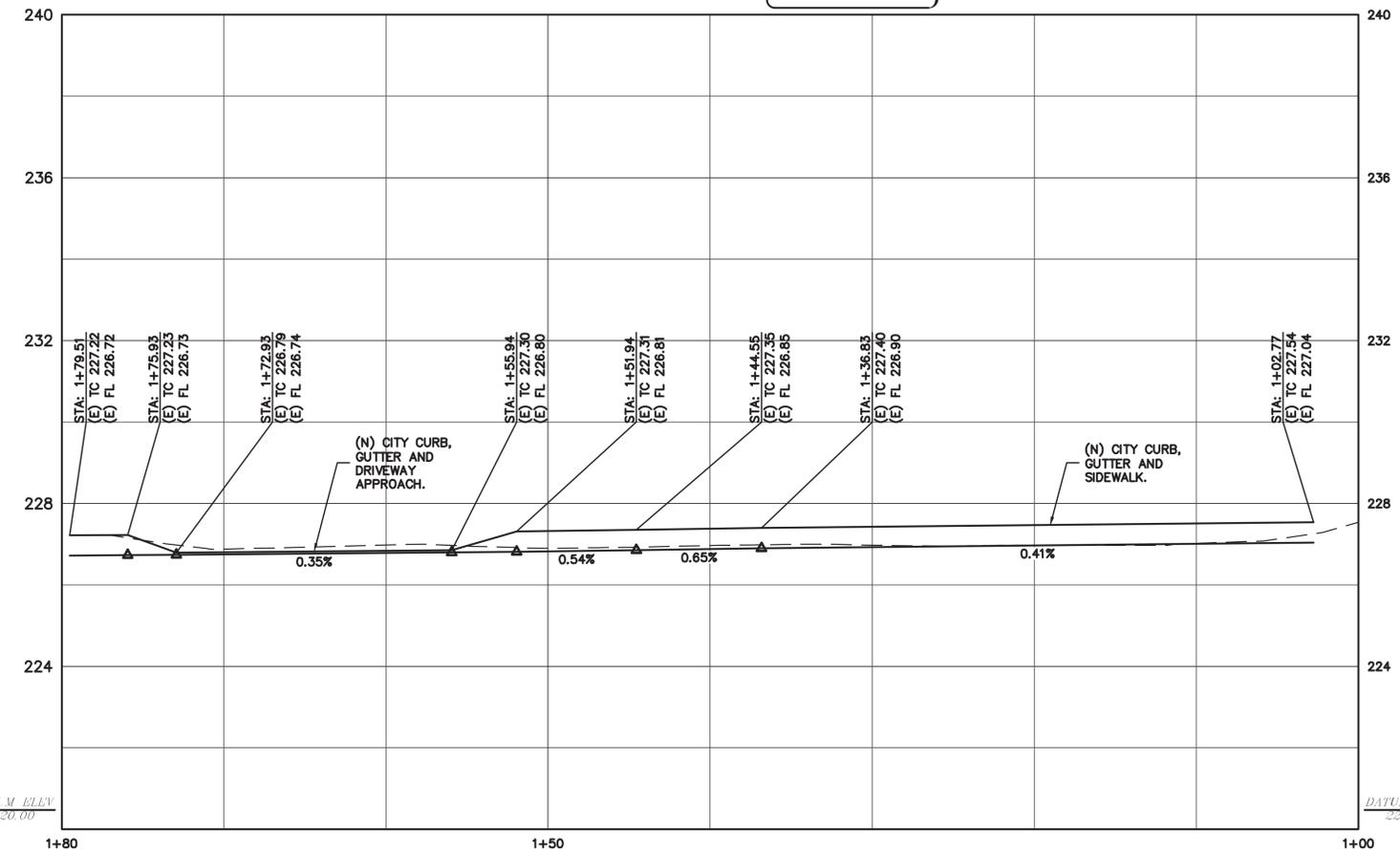
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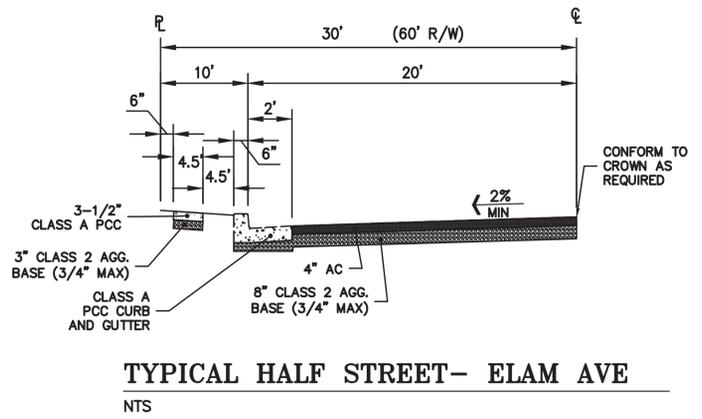
TRACT NO.:10557



WATER, SANITARY SEWER, ELECTRIC AND GAS SERVICE NOTE:
 WATER, SANITARY SEWER, ELECTRIC AND GAS SERVICES SHOWN FOR REFERENCE ONLY. SEPARATE UTILITY ENCROACHMENT PERMITS ARE REQUIRED FOR THE INSTALLATION OF THESE FACILITIES IN THE RIGHT-OF-WAY.



FLOWLINE PROFILE
 SCALE: 1" = 5' HORIZ
 1" = 4' VERT



TYPICAL HALF STREET- ELAM AVE
 NTS

PAVEMENT RESTORATION NOTE:
 THE CITY ENGINEER RESERVES THE RIGHT TO AMEND OR CHANGE THE PAVEMENT RESTORATION AREA SHOULD ANY UTILITY TRENCHES, CONNECTIONS, FACILITIES, ETC. CHANGE IN LOCATION FROM WHAT ARE SHOWN ON THESE PLANS. OR FOR PAVEMENT DAMAGE CAUSED BY THE CONTRACTOR'S CONSTRUCTION EQUIPMENT. ANY CHANGES THE CITY ENGINEER REQUIRES CAN INCLUDE BUT ARE NOT LIMITED TO: FULL REMOVAL OF EXISTING PAVEMENT STRUCTURAL SECTION, INSTALLATION OF PAVEMENT STRUCTURAL SECTION, GRINDING AND INSTALLATION OF PAVEMENT, OVERLAY OF PAVEMENT.

TRUE BENCHMARK
 SCVWD BM NO. 618
 BRASS DISK (CA 005); ON TOP OF CURB, ON THE EASTERLY SIDE OF HARRIET AVENUE BETWEEN ADDRESSES 825 AND 835, AT 35 FEET SOUTH OF THE CENTERLINE PROJECTION OF ELAM AVENUE. DISK IS 1' WEST OF POWER POLE. CITY OF CAMPBELL (NAVD88) 231.70 FT.

NOTE: ELEVATIONS SHOWN HEREON WERE BASED UPON AN ASSUMED DATUM. DEDUCT 0.78 FT TO OBTAIN TRUE ELEVATIONS TO BE COMPLIANT TO THE TRUE DATUM.

No.	Revision	Date	By	Chkd
1	PLAN CHECK COMMENTS	10-07-20	TT	TT
2	PLAN CHECK COMMENTS	06-02-21	TT	TT
3	PLAN CHECK COMMENTS	06-24-21	TT	TT
4	PLAN CHECK COMMENTS	08-13-21	TT	TT

Date: JUNE 10, 2019
 Drawn By: WA
 Designed By: RB

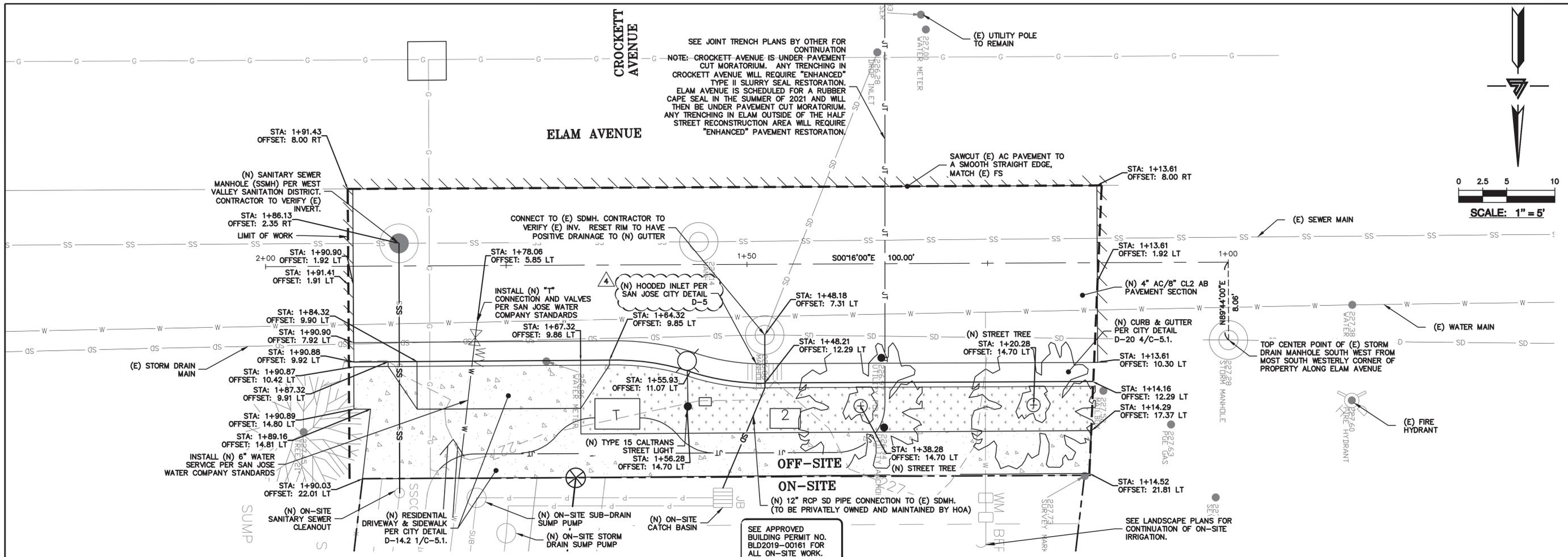
STREET PLAN AND PROFILE
OFF-SITE IMPROVEMENT PLANS
 1323 ELAM AVENUE
 ENCROACHMENT PERMIT NO. 2019-00161



SCALE:
 AS NOTED

SHEET:
 3 OF 17

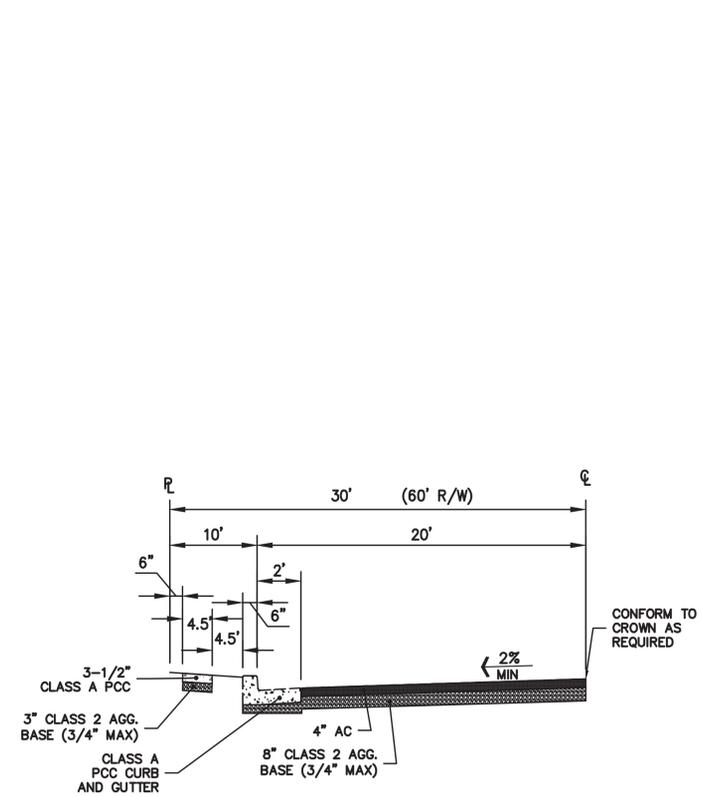
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4	PLAN CHECK COMMENTS	08-13-21	TT	TT

Date: JUNE 10, 2019
 Drawn By: WA
 Designed By: RB

LEA & BRAZE ENGINEERING, INC.
 ENGINEERS
 SACRAMENTO REGION
 1323 ELAM AVENUE
 CAMPBELL, CALIFORNIA 95008
 (916) 887-5018
 WWW.LEA-BAZE.COM



TYPICAL HALF STREET- ELAM AVE
 NTS

- WEST VALLEY SANITATION DISTRICT, SANTA CLARA COUNTY**
- GENERAL NOTES
- All material and methods of construction for sanitary sewers shall conform to the Standard Specifications of West Valley Sanitation District. Inspection of sanitary sewer work will be performed by the District. District offices are located at 100 E. Sunnyoaks Avenue, Campbell, California. Telephone (408) 378-2407. Notify District office 48 hours before requiring inspection.
 - Unless otherwise indicated on the improvement plans, sewer pipe materials shall be extra strength vitrified clay or PVC SDR 26 (or better.)
 - 3/4" crushed aggregate (per Section 200-1.2) shall be used for pipe bedding as set forth in Section 306-1.2.1 of the Latest Edition of the "Greenbook" (Standard Specifications for Public Works Construction).
 - A building sewer shall be constructed for each residence, minimum slope 2%. The underground contractor shall install a clean-out for each building sewer.
 - Contractor shall be appropriately licensed and comply with District's insurance coverage and performance bond requirements.
 - Prior to construction in the Public Right of Way, Contractor shall obtain an encroachment permit from the appropriate agency.
 - Contractor shall contact USA North 811 prior to excavation.
 - West Valley Sanitation District, Ordinance Code Sec. 6.060, requires the installation of a back-flow protective device in the building plumbing system when the lowest plumbing fixture is less than one (1) foot above the surface elevation of the nearest upstream manhole, vertical riser or similar structure located in the District's sewer system.
 - It is the Contractor's responsibility to "pothole" any utility crossings or other underground obstructions before proceeding with construction. The Contractor shall coordinate with the Design Engineer to verify the elevation and alignment of any underground appurtenances.
 - Contractor shall exercise proper safety procedures when working in confined space in accordance with the latest CAL/OSHA provisions.
 - All sanitary sewer lines, including 4-inch building sewers, will be TV-inspected by the District.
 - To accommodate the TV-inspection of sewer lines 6" or larger, the Contractor shall air test, mandrel (for plastic pipe), and flush the system. It will be the responsibility of the Contractor to provide clear access to manholes and clean-outs. In the event TV-inspections cannot be performed due to obstructed access, the Contractor will be charged for the time spent by the District.

PAVEMENT RESTORATION NOTE:

THE CITY ENGINEER RESERVES THE RIGHT TO AMEND OR CHANGE THE PAVEMENT RESTORATION AREA SHOULD ANY UTILITY TRENCHES, CONNECTIONS, FACILITIES, ETC. CHANGE IN LOCATION FROM WHAT ARE SHOWN ON THESE PLANS, OR FOR PAVEMENT DAMAGE CAUSED BY THE CONTRACTOR'S CONSTRUCTION EQUIPMENT. ANY CHANGES THE CITY ENGINEER REQUIRES CAN INCLUDE BUT ARE NOT LIMITED TO: FULL REMOVAL OF EXISTING PAVEMENT STRUCTURAL SECTION, INSTALLATION OF PAVEMENT STRUCTURAL SECTION, GRINDING AND INSTALLATION OF PAVEMENT, OVERLAY OF PAVEMENT.

TRUE BENCHMARK
 SCVWD BM NO. 618
 BRASS DISK (CA 005); ON TOP OF CURB, ON THE EASTERLY SIDE OF HARRIET AVENUE
 BETWEEN ADDRESSES 825 AND 835, AT 35 FEET SOUTH OF THE CENTERLINE PROJECTION OF ELAM AVENUE. DISK IS 1' WEST OF POWER POLE. CITY OF CAMPBELL (NAVD88) 231.70 FT.

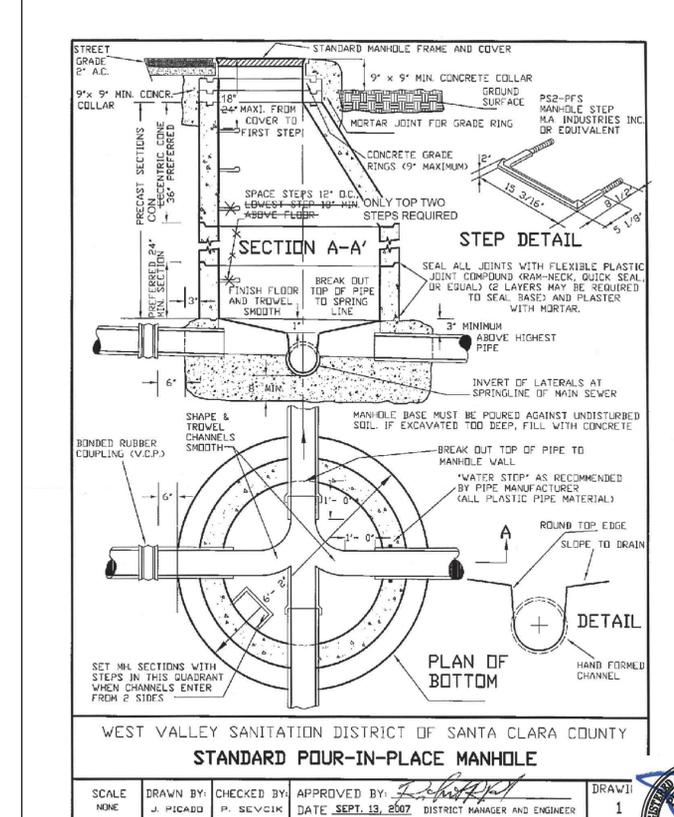
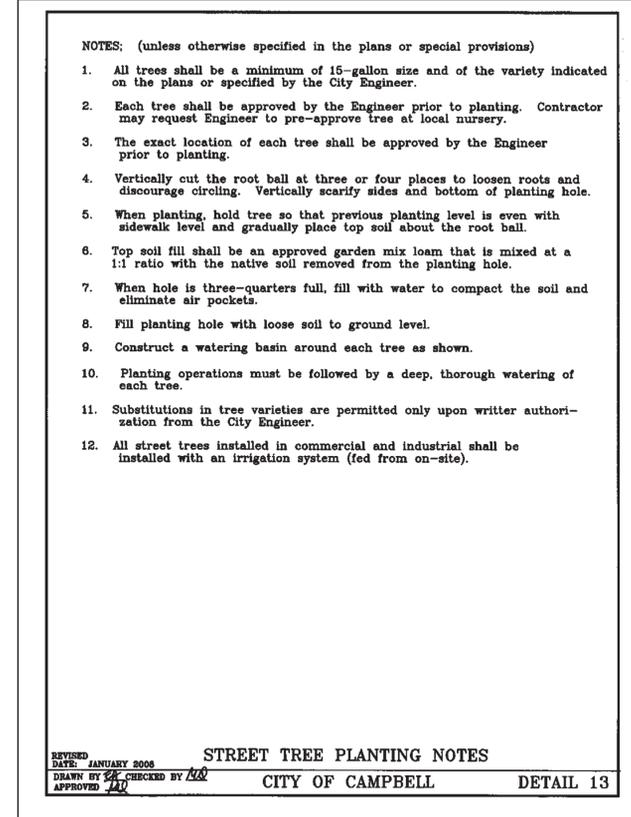
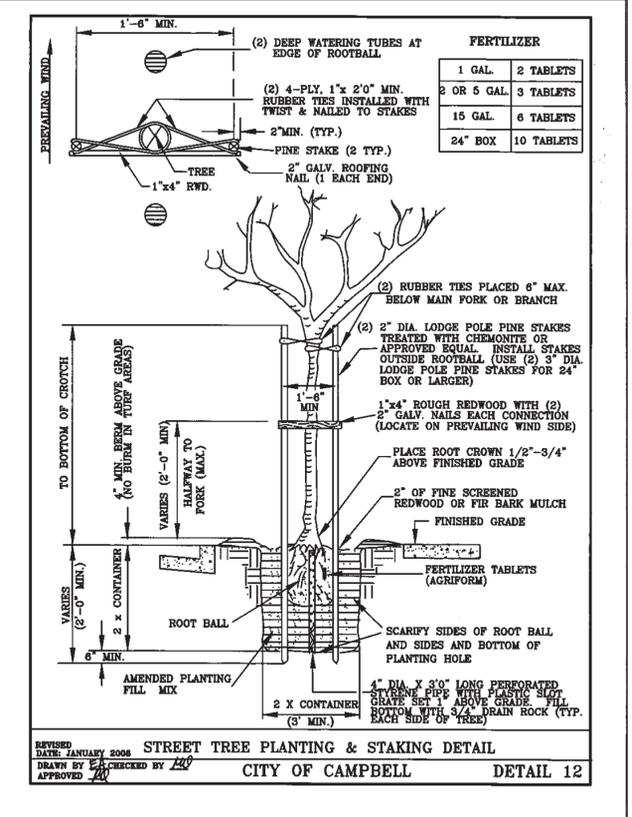
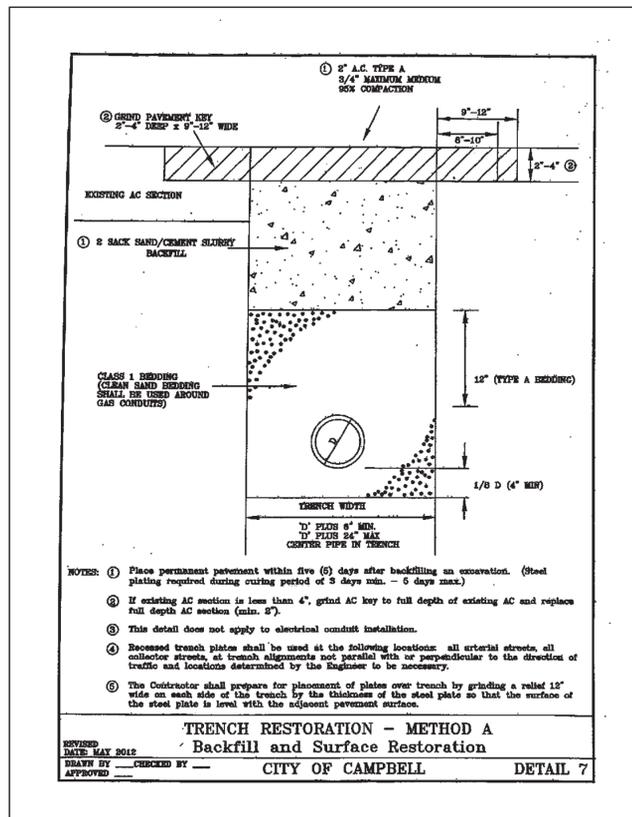
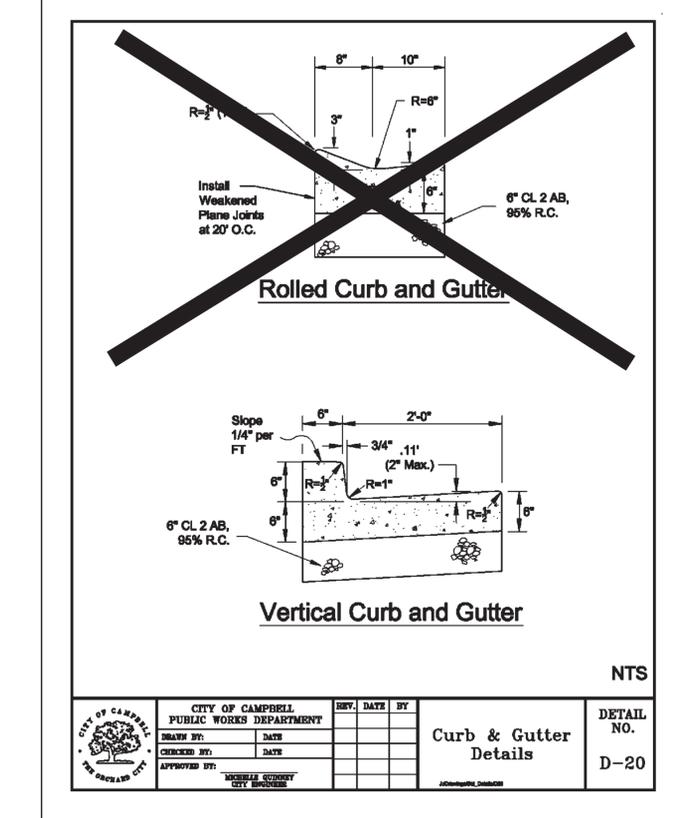
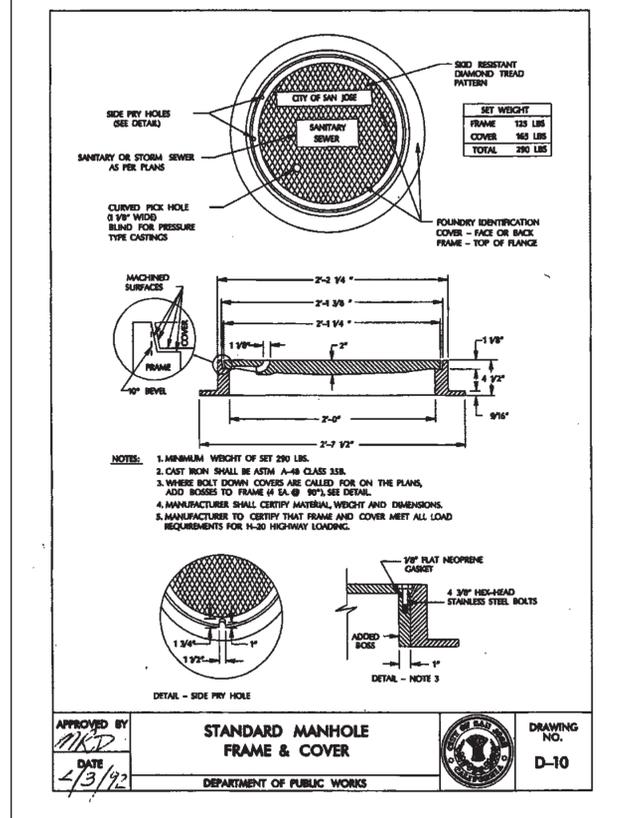
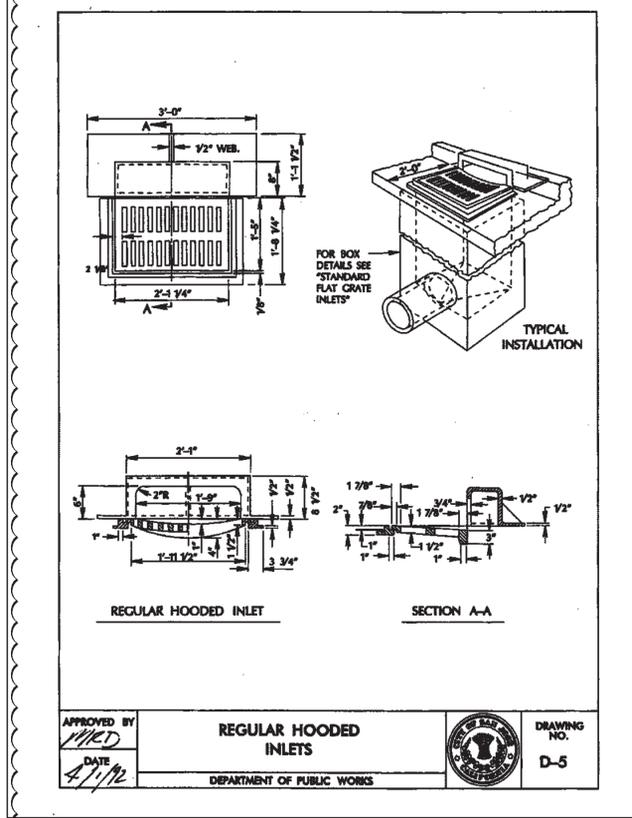
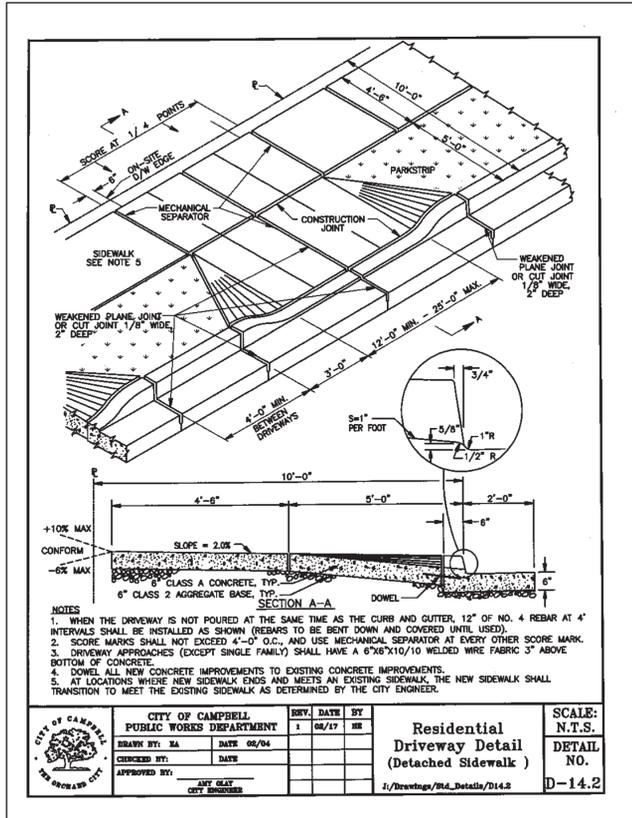
NOTE: ELEVATIONS SHOWN HEREON WERE BASED UPON AN ASSUMED DATUM. DEDUCT 0.78 FT TO OBTAIN TRUE ELEVATIONS TO BE COMPLIANT TO THE TRUE DATUM.

HORIZONTAL CONTROL PLAN
 OFF-SITE IMPROVEMENT PLANS
 1323 ELAM AVENUE
 ENCROACHMENT PERMIT NO.2019-00161

SCALE:
 AS NOTED

SHEET:
 4 OF 17

TRACT NO.:10557



No.	Revision	Date	By	Chkd
1	PLAN CHECK COMMENTS	10-07-20	TT	TT
2	PLAN CHECK COMMENTS	06-02-21	TT	TT
3	PLAN CHECK COMMENTS	06-24-21	TT	TT
4	PLAN CHECK COMMENTS	08-13-21	TT	TT

Date:	JUNE 10, 2019
Drawn By:	WA
Designed By:	RB

City of Campbell Public Works Department	City of Campbell Public Works Department
Drawn By: [Signature]	Checked By: [Signature]
DATE: []	DATE: []
APPROVED BY: [Signature]	APPROVED BY: [Signature]
DATE: []	DATE: []

LEA & BRAZE ENGINEERING, INC.
1000 UNIVERSITY AVENUE, SUITE 200
SACRAMENTO, CALIFORNIA 95833
PH: (916) 487-5000
F: (916) 487-5009
WWW.LEA-AND-BRAZE.COM

CITY DETAILS
OFF-SITE IMPROVEMENT PLANS
1323 ELAM AVENUE
ENCROACHMENT PERMIT NO. 2019-00161

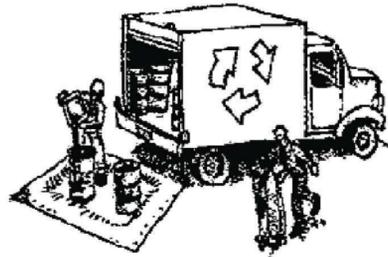
TRACT NO.: 10557

SCALE: AS NOTED
SHEET: 5 OF 17

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- Use (but don't overuse) reclaimed water for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- Keep site free of litter (e.g. lunch items, cigarette butts).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



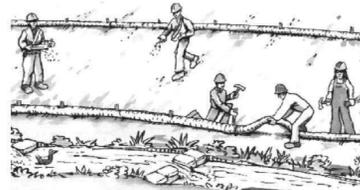
Maintenance and Parking

- Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



Concrete Management

- Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



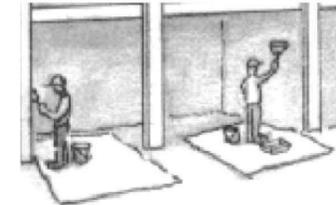
Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- If saw cut slurry enters a catch basin, clean it up immediately.
- Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

Storm drain polluters may be liable for fines of up to \$10,000 per day!

No.	Revision	Date	By	Chkd
1	PLAN CHECK COMMENTS	10-07-20	TT	
2	PLAN CHECK COMMENTS	06-02-21	TT	
3	PLAN CHECK COMMENTS	06-24-21	TT	
4	PLAN CHECK COMMENTS	08-13-21	TT	

Date: JUNE 10, 2019
 Drawn By: WA
 Designed By: RB

LEA & BRAZE ENGINEERING, INC.
 ENGINEERS
 SACRAMENTO REGION
 1323 ELAM AVENUE
 FAYATVILLE, CALIFORNIA 95762
 (916) 887-1509
 WWW.LEA-BAZE.COM

BLUEPRINT FOR A CLEAN BAY
OFF-SITE IMPROVEMENT PLANS
 1323 ELAM AVENUE
 ENCROACHMENT PERMIT NO. 2019-00161

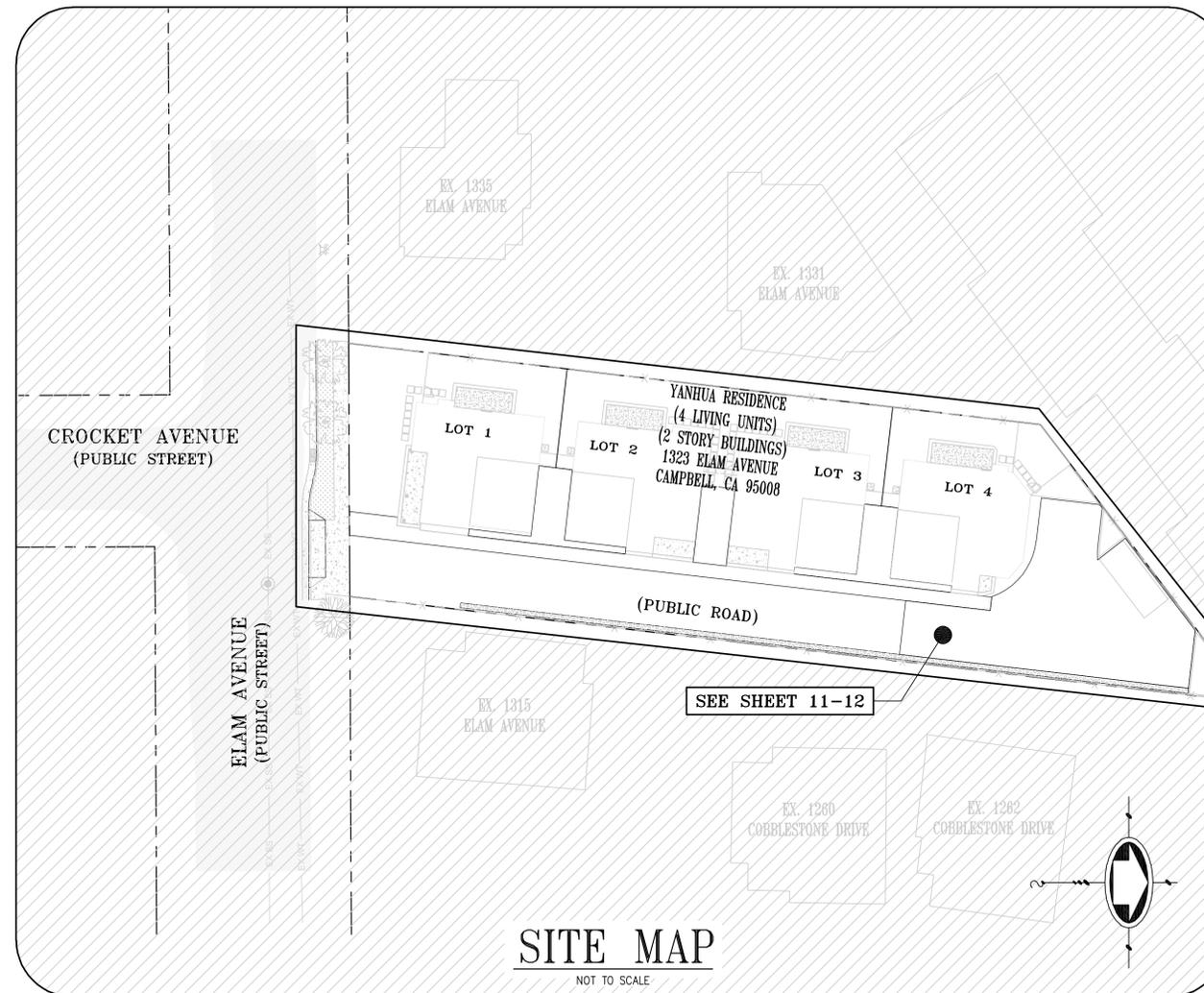
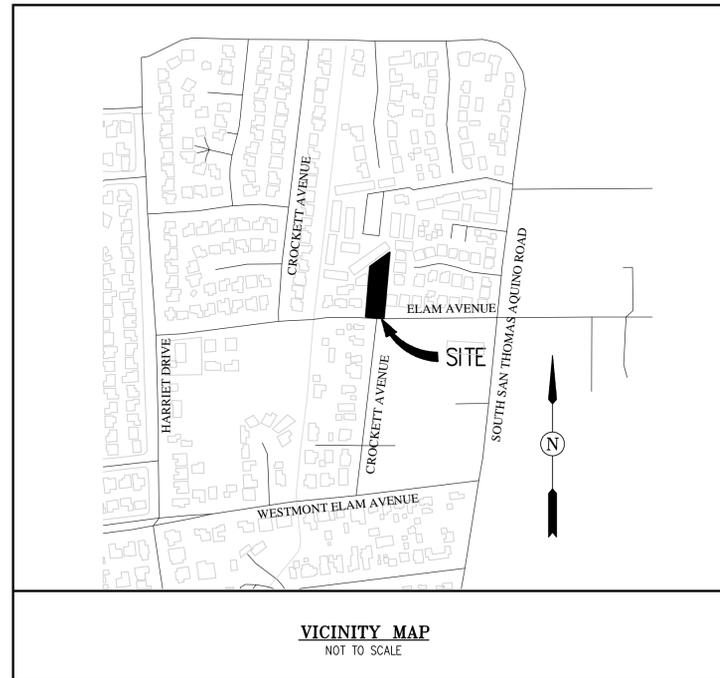
TRACT NO.: 10557



SCALE:
AS NOTED

SHEET:
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SC DESIGN GROUP
YANHUA RESIDENCE – OFFSITE IMPROVEMENTS
CAMPBELL SANTA CLARA COUNTY CALIFORNIA



LEGEND

- JT — PROPOSED JOINT TRENCH
- SVC — PROPOSED JOINT TRENCH SERVICE
- GAS — PROPOSED GAS
- EX GAS — EXISTING GAS
- EEUG — EXISTING UNDERGROUND ELECTRIC LINES
- EUOH — EXISTING OVERHEAD UTILITY LINES
- ETOH — EXISTING OVERHEAD TELEPHONE LINES
- — DESIGNATES UTILITY LINES TO BE REMOVED
- EXISTING PRIMARY SPLICE BOX
- EXISTING SECONDARY SPLICE BOX
- 2 PG&E SERVICE BOX, 17" x 30" x 18"
- FVT 2 PG&E SERVICE BOX, 17" x 30" x 24" (FVT)
- T TELEPHONE SERVICE BOX, 30" x 48" x 34"
- FVT T TELEPHONE SERVICE BOX, 30" x 48" x 34" (F.V.T.)
- CTV CATV SPLICE BOX, 20" x 36" x 18"
- FVT CTV CATV SPLICE BOX, 20" x 36" x 18" (F.V.T.)
- EXISTING JOINT/UTILITY POLE
- JOINT/UTILITY POLE
- PUBLIC ELECTROLIER, SINGLE ARM (BY CITY OF CAMPBELL)
- BELLHOLE, 6" X 8"
- XX-X' JOINT TRENCH LABEL, XX INDICATES SECTION NUMBER- X' INDICATES TRENCH SECTION LENGTH
- (X) PG&E SKETCH LOCATION NUMBER

SHEET INDEX

SHEET NO.	DESCRIPTION
7	JOINT TRENCH COMPOSITE TITLE SHEET
8	JOINT TRENCH GENERAL NOTES AND DETAILS
9	JOINT TRENCH DETAILS
10	JOINT TRENCH SECTIONS AND DETAILS
11 - 12	JOINT TRENCH COMPOSITE PLAN
13 - 14	STREET LIGHTING GENERAL NOTES AND DETAILS
15	STREET LIGHTING SITE PLAN

560 L.F. OF JOINT TRENCH SHALL BE INSTALLED WITH THIS JOINT TRENCH PLAN SET

4 NEW FULL SERVICE COMPLETIONS (ELECTRIC, GAS, TELEPHONE AND CATV) SINGLE FAMILY HOMES.

TARRAR UTILITY REP.:	KHALID TARRAR	JOB NO.	219080	PHONE NO.	(925) 240-2595
DEVELOPER:	SUSAN CHEN	JOB NO.	219080	PHONE NO.	(408) 421-5820
PG&E ELECTRIC COORDINATOR:	STEVE TAYLOR	JOB NO.	PM# 35148762	PHONE NO.	(408) 299-1084
PG&E GAS COORDINATOR:	STEVE TAYLOR	JOB NO.	PM# 35148344	PHONE NO.	(408) 299-1084
TELEPHONE REP.:	HOWARD PROCK	JOB NO.	-	PHONE NO.	(408) 635-8844
CABLE T.V. REP.:	BENJAMIN LOPEZ	JOB NO.	-	PHONE NO.	(832) 547-1803

FILES STATUS

DESCRIPTION:	BY:	DATE:	STATUS:
CIVIL PLANS (ELECTRONIC FILE)	LEA AND BRAZE ENGINEERING, INC	11/13/2020	R
ARCHITECTURAL PLANS (ELECTRONIC FILE)	SC DESIGN GROUP	11/13/2020	R
LANDSCAPE PLANS (ELECTRONIC FILE)	-	-	-
GAS DESIGN	TARRAR UTILITY CONSULTANTS	3/31/2020	A
ELECTRIC DESIGN	LOPES UTILITY DESIGN SERVICES	12/11/2020	A
TELEPHONE INTENT REPLY	AT&T	10/22/2020	R
CATV INTENT REPLY	QUANTA TELECOMMUNICATION SERVICES	10/28/2020	R
STREET LIGHT PLANS – PUBLIC	-	-	-
STREET LIGHT PLANS – PRIVATE	-	-	-
SOILS REPORT	-	-	-

A = APPROVED • ANS = APPROVED NOT SIGNED • NA = NOT APPROVED • F = FIRST SUBMITTAL • SS = SECOND SUBMITTAL • R = RECEIVED

DESIGN CHANGE COMPONENT
 ANY CHANGES TO THIS DESIGN MUST BE APPROVED BY
ANTHONY RICE (916) 760-3658
 PG&E GAS ADE

DEVELOPER PLEASE NOTE AND SIGN
 ALL PG&E ENCLOSURES AND BOXES HAVE BEEN SET TO GRADE ACCORDING TO GRADE STAKES PROVIDED BY DEVELOPERS ENGINEER. ALL COSTS TO RELOCATE OR READJUST BOXES AT A LATER DATE WILL BE BILLED TO THE DEVELOPER. PLEASE HAVE YOUR JOB SUPT. VERIFY THE CORRECT GRADE OF ALL ENCLOSURES AND BOXES, AND SIGN AND DATE DRAWING. THANK YOU

SIGNED _____ DATE _____

TARRAR UTILITY CONSULTANTS
 APPROVED FOR SUBMITTAL
HAIDER KAMMOONAH
 QUALIFIED APPLICANT DESIGN ENGINEER

COMPOSITE DRAWING BY DEVELOPER

Estimate # E - PM# 35148762 / G - PM# 35148344

Approved ANTHONY RICE 3/31/2020
Gas ADE Date

Approved JAN WEXNER 12/11/2020
Electric ADE Date

PG & E is not responsible for the accuracy of the specifications shown on this drawing.

COMPOSITE DRAWING BY DEVELOPER

Approved HOWARD PROCK 10/22/2020
Telephone representative Date

Approved BENJAMIN LOPEZ 10/28/2020
CATV representative Date

813 First Street
 Brentwood, CA 94513
 (925) 240-2595
 (925) 240-7013 fax
 www.tarrar.com

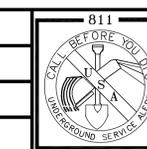
TARRAR
 UTILITY CONSULTANTS

- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH COMPOSITE TITLE SHEET
 MAJESTIC TRUST, LLC.
 YANHUA RESIDENCE – OFFSITE IMPROVEMENTS
 CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE
4	PLAN CHECK COMMENTS		8/13/2021

DATE: JUNE 2021	DATE LAST WORKED ON: 9/1/2021
SCALE: NOT TO SCALE	DRAWN: HK CHECKED: KT
JOB NO.: 219080	



SHEET
7
 OF
17

PROJECT NOTES:

- FIELD ADJUST SERVICES TO MINIMIZE INTERFERENCE WITH EXISTING FACILITIES (TYPICAL).
 - CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BACKFILLING AND OTHER WORK AS SHOWN OR NOTED ON PLANS, AND AS SPECIFIED ON UTILITY BID DOCUMENTS.
 - FIELD ADJUST SPLICE BOXES TO KEEP CLEAR OF SIDEWALK, DRIVEWAYS AND EXISTING FACILITIES (TYPICAL).
 - A 3 FOOT LEVEL WORKING AREA MUST BE MAINTAINED AROUND ALL ELECTRIC ENCLOSURES. PRIOR TO ENERGIZING THE SYSTEM, THE ELECTRIC UTILITY COMPANY INSPECTOR WILL DETERMINE IF RETAINING WALLS ARE REQUIRED TO MEET MINIMUM CLEARANCE BETWEEN ENCLOSURES AND THE TOPS OR TOES OF SLOPES. IF RETAINING WALLS ARE REQUIRED, THE DEVELOPER AND/OR CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE CITY/COUNTY BUILDING DEPARTMENT PRIOR TO WALL CONSTRUCTION.
 - TRANSITION TO VAULTS FROM TRENCH NOT SHOWN, SEE TRANSITION DETAIL SHEET 10 (TYPICAL).
 - CONTRACTOR SHALL PLACE ALL UTILITY SPLICE BOXES, ENCLOSURES & CONDUIT IN PROPER RELATIONSHIP TO FINAL GRADE (SHOWN SCHEMATICALLY).
 - ALL PG&E, TELEPHONE, CABLE T.V. AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER, WATER LATERALS AND DRIVEWAYS.
 - CONTRACTOR SHALL COORDINATE ALL CONNECTIONS BETWEEN PROPOSED AND EXISTING FACILITIES AS DIRECTED BY THE RESPECTIVE UTILITY COMPANY INSPECTOR. UTILITY COMPANY PERSONNEL SHALL MAKE ALL "HOT TIE-INS"; THE CONTRACTOR IS PROHIBITED FROM WORKING IN ANY ENERGIZED FACILITIES.
 - THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE STREET EXCAVATION AND ENCROACHMENT PERMIT(S) FROM THE CITY/COUNTY PRIOR TO STARTING WORK IN THE PUBLIC STREET AREA.
 - FIELD LOCATE JOINT TRENCH FACILITIES TO KEEP CLEAR OF SERVICE LATERALS. SERVICE LATERALS TO BE ROUTED TO AVOID SPLICE BOX (ADDITIONAL P.U.E MAY BE REQUIRED).
 - RESPECTIVE UTILITY COMPANY TO OBTAIN CITY APPROVAL OF ALL ABOVE GROUND EQUIPMENT.
 - UNLESS OTHERWISE SHOWN ON THE PLANS, NATURAL BENDS SHALL BE USED FOR ALL CONDUIT EXCEPT STREET LIGHT CONDUIT.
 - INCIDENTAL TRENCHING TO SPLICE BOXES NOT SHOWN (TYPICAL). CONTRACTOR TO PROVIDE ADDITIONAL TRENCHING AS REQUIRED FOR CONDUIT ROUTING TO SPLICE BOXES AND CABINETS (TYPICAL).
 - ALL CONDUITS SHALL ENTER OR EXIT PERPENDICULAR TO BOX WALLS.
 - ALL CONDUITS MUST BE MANDREL TESTED AND APPROVED.
 - OFFSET SPLICE BOXES TO ROUTE TELEPHONE/FIBER OPTIC CONDUIT AS NEEDED (TYPICAL).
 - PULL ROPES SHALL BE PLACED IN ALL EMPTY CONDUITS AS REQUIRED BY EACH UTILITY COMPANY.
 - ALL PG&E SPLICE BOXES ADJACENT TO TRANSFORMER SHALL BE 26" IN DEPTH (TYPICAL).
 - ALL CONDUITS NOT ENTERING SPLICE BOXES OR ENCLOSURES SHALL BE CAPPED.
 - COORDINATE TIE-IN WITH UTILITY COMPANY AS REQUIRED.
 - THE STREET LIGHT SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" AND LIGHT SCHEDULE AS SHOWN ON THESE PLANS.
 - ALL EXISTING DUCTS TO BE USED IN THESE PLANS SHALL BE "VERIFIED" BY PULLING A MANDREL THROUGH THE ENTIRE EXISTING LENGTH PRIOR TO CONNECTION.
 - EDGE OF SPLICE BOXES & PEDESTALS SHALL BE 5' FROM EDGE OF FIRE HYDRANT AND 3' FROM STREET LIGHT (TYPICAL). CONTRACTOR TO AVOID DISTURBING FIRE HYDRANT THRUST BLOCK.
 - ALL UTILITY SUBSTRUCTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE "MATERIAL AND LABOR RECAP" SHOWN ON THESE PLANS
 - MAINTAIN 3' CLEARANCE AND LEVEL AREA AROUND PRIMARY SPLICE BOXES & XFMRs.
 - DUE TO UNCERTAINTIES OF THE EXACT LOCATION OF EXISTING FACILITIES, FIELD LOCATION OF PROPOSED FACILITIES MAY BE REQUIRED. CONFIRM WITH VARIOUS UTILITIES FOR EXACT PLACEMENT.
 - FOR CLARITY - BOXES/PEDESTALS ARE SHOWN AT LARGER SIZE THAN ACTUAL. FIELD ADJUST TO KEEP CLEAR OF DRIVEWAYS (TYPICAL).
 - ALL SERVICE FACILITIES SHALL BE EXTENDED TO EITHER THE PROPERTY LINE OR TO POSITION SHOWN ON THE PLANS, AND THEN CAPPED, BURIED AND LOCATION STAKED.
- THESE PLANS WERE PREPARED UTILIZING PLANS RECEIVED FROM LEA AND BRAZE (510) 887-4086.

ABBREVIATION LIST

B/C	BACK OF CURB	H.P.S.	HIGH PRESSURE SODIUM	RT	RETAINING WALL
B/W	BACK OF WALK	IRR.	IRRIGATION CONTROLLER	R/W	RIGHT OF WAY
BTU	BRITISH THERM UNITS	J.T.	JOINT TRENCH	SCH.	SCHEDULE
CB	CATCH BASIN	KV	KILO-VOLTS	SD	STORM DRAIN
CL	CENTERLINE	LE	LANDSCAPE EASEMENT	SH.	SHEET
CAT.	CATALOG	LF	LINEAR FOOT/FEET	S/W	SIDE WALK
C OR CATV	CABLE TELEVISION	MH	MANHOLE	SS	SANITARY SEWER
CFH	CUBIC FEET PER HOUR	MIN.	MINIMUM	SSE	SANITARY SEWER EASEMENT
C.I.P.	CAPITOL IMPROVEMENT PROJECT	MPOE	MINIMUM POINT OF ENTRY	ST. LT.-S/L	STREET LIGHT
CL	CENTER LINE	N.T.S.	NOT TO SCALE	SUBD'V	SUBDIVISION
CU	COPPER	O.D.	OUTER DIAMETER	Sqft.	SQUARE FOOTAGE
E	ELECTRIC	O.H.	OVER HEAD	T	TELEPHONE
EP	EDGE OF PAVEMENT	PIEUE	PRIVATE INGRESS, EGRESS, AND UTILITY EASEMENT	TUC	TARRAR UTILITY CONSULTANTS
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PL	PROPERTY LINE	TYP.	TYPICAL
EX.	EXISTING	P.S.	POWER SUPPLY	T/S	TRAFFIC SIGNAL
F/C	FACE OF CURB	P.R.O.J.	PROJECT	U.G.	UNDERGROUND
FH	FIRE HYDRANT	PSDE	PRIVATE STORM DRAIN EASEMENT	U.O.N.	UNLESS OTHERWISE NOTED
FUT.	FUTURE	PSE	PUBLIC SERVICE EASEMENT	V	VOLT
F.O.	FIBER OPTIC	PVAV	PRIVATE VEHICLE ACCESS WAY	W	WATT
G	GAS	P.V.C.	POLY VINYL CHLORIDE	WT	WATER
GALV.	GALVANIZE	P.W.E.	PUBLIC WATER LINE EASEMENT	W/	WITH
G.E.	GENERAL ELECTRIC	PWR	POWER	W/O	WITHOUT
GRD.	GROUND	PUE	PUBLIC UTILITY EASEMENT	WLE	WATER LINE EASEMENT
H.O.A.	HOME OWNERS ASSOCIATION			XFMR	TRANSFORMER

JOINT TRENCH AND UTILITY BOX LOCATION

JOINT TRENCH STREET SECTIONS
 NOT TO SCALE
 NOTE: SEE PLANS FOR CONFIGURATIONS AND ARRANGEMENTS.
 * UNLESS OTHERWISE SHOWN

WITHIN ROADWAY SECTION
 (95% RELATIVE COMPACTION FOR THE TOP 6" BELOW ROAD SUBGRADE AND 90% BELOW THAT)

GENERAL NOTES:

- ALL JOINT TRENCH CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH PG&E UTILITY OPERATIONS UO STANDARD 55453.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION AND SATISFACTION OF ALL PARTICIPATING UTILITIES AND CITY INSPECTORS.
- BACKFILL SELECTION SHALL BE SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY COMPANIES, THE SOILS ENGINEER AND THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED. CONSULT PARTICIPATING UTILITIES, SOILS ENGINEER, AND THE CITY FOR APPROVED BACKFILL MATERIAL. COMPACTION TO MEET LOCAL AGENCIES REQUIREMENTS.
- THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION 55453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE PAVEMENT AND/OR SIDEWALK WHERE REMOVED OR DAMAGED AS A RESULT OF ITS OPERATION (UNLESS OTHERWISE NOTED). REPLACEMENT OF PAVEMENT AND/OR SIDEWALK TO BE PER CITY SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND NOTIFY ALL PARTICIPATING UTILITY INSTALLATIONS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT FIRST NOTIFYING TARRAR UTILITY CONSULTANTS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXISTENCE AND/OR PRECISE LOCATION OF ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. TARRAR UTILITY CONSULTANTS MAKES NO WARRANTY WHATSOEVER THAT THE EXISTING UNDERGROUND UTILITIES AND/OR STRUCTURES DEPICTED ON THE PLANS HAVE BEEN ACCURATELY LOCATED OR THAT THERE ARE NO OTHER UNDERGROUND UTILITIES AND STRUCTURES IN ADDITION TO WHAT HAS BEEN SHOWN. CALL U.S.A. A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION. FOR CALIFORNIA NORTH, (KERN COUNTY AND NORTHERLY, AND NEVADA) CALL (800)227-2600. FOR CALIFORNIA SOUTH, (SAN BERNARDINO COUNTY AND SOUTHERLY) CALL (800)422-4133.
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES AND WITH THE REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, O.S.H.A. AND ANY OTHER GOVERNMENTAL AGENCY RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT AND LABOR PERSONNEL.
- THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE COMPLEMENTARY TO EACH OTHER. ANYTHING SHOWN ON THE DRAWINGS AND NOT MENTIONED IN THE SPECIFICATIONS, OR MENTIONED IN THE SPECIFICATIONS AND NOT SHOWN ON THE DRAWINGS, SHALL BE OF LIKE EFFECT AS IF SHOWN ON OR MENTIONED IN BOTH. IF DISCREPANCY IS FOUND, NOTIFY TARRAR UTILITY CONSULTANTS PRIOR TO STARTING WORK.
- TRENCH AND CONDUIT LAYOUTS ARE SHOWN SCHEMATICALLY.
- TRENCHING OR SUBSTRUCTURE EXCAVATION MAY NECESSITATE OPERATION OVER, UNDER, OR ADJACENT TO OTHER UNDERGROUND UTILITIES (STORM, SEWER, WATER, ETC.). THE CONTRACTOR IS RESPONSIBLE TO LOCATE, PROSPECT, EXPOSE AND PROTECT ALL ADJACENT OR CROSSING UNDERGROUND UTILITIES. THIS WORK TO PROTECT THOSE UTILITIES IS NOT CONSIDERED AS EXTRA WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW IMPROVEMENT PLANS, IN CONJUNCTION WITH THIS PLAN, AND BID THE WORK ACCORDINGLY.
- THE QUANTITIES SHOWN ON THESE PLANS ARE ONLY ESTIMATES OF WHAT WILL ACTUALLY BE REQUIRED FOR THE CONSTRUCTION OF THE OVERALL PROJECT. FINAL QUANTITIES MAY VARY ACCORDING TO CHANGES, ADDITIONS, DELETIONS OR OMISSIONS ON THE ORIGINAL PLAN.
- VERIFY ALL SUBSTRUCTURE EXCAVATION DIMENSIONS WITH SUPPLIER(S) BEFORE BIDDING.
- TARRAR UTILITY CONSULTANTS ASSUMES NO RESPONSIBILITY FOR ANY VARIANCE BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHOULD REVIEW THE PROJECT SITE PRIOR TO SUBMITTING ITS BID.
- THE CONTRACTOR IS REQUIRED TO EXCAVATE BELL HOLE(S) AT TIE-IN LOCATIONS AS DIRECTED BY PARTICIPATING UTILITY.
- CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AS-BUILT DRAWINGS AFTER INSTALLATION OF PG&E'S GAS AND ELECTRIC SYSTEMS (PRIOR TO "HOT TIE-INS").
- THE CITY INSPECTOR SHALL BE NOTIFIED TWO WORKING DAYS PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH THE INSPECTOR ANY SERVICES TO BE ABANDONED.
- THE CONTRACTOR IS TO VERIFY THE RIGHT OF WAY, PUBLIC UTILITY EASEMENT AND/OR PUBLIC SERVICE EASEMENT ACQUISITION WITH THE APPLICANT PRIOR TO CONSTRUCTION WITHIN AREAS OF QUESTION.
- PG&E'S GENERAL TERM AND CONDITIONS FOR GAS AND ELECTRIC EXTENSION AND SERVICE CONSTRUCTION BY "APPLICANT" (EFFECTIVE 07/1/95) TO BE UTILIZED FOR ALL TRENCHING, BACKFILLING, AND INSTALLATION WORK.
- IN THE EVENT OF DISPUTES OR DISAGREEMENT OVER ANY INSTALLATIONS, DESIGNS, PLANS OR DRAWINGS, THE SPECIFICATIONS AND REQUIREMENTS OF THE INDIVIDUAL UTILITY COMPANIES AND THEIR INSPECTORS SHALL TAKE PRECEDENCE. IN CASE OF DISCREPANCIES WITHIN THE DRAWINGS AND SPECIFICATIONS HEREIN, THE CONTRACTOR SHALL CONSULT TARRAR UTILITY CONSULTANTS FOR INTERPRETATION BEFORE WORK IS STARTED.
- TARRAR UTILITY CONSULTANTS HEREIN, ASSUMES NO RESPONSIBILITY WHATSOEVER FOR THE QUALITY, QUANTITY OR TIMING OF WORK TO BE PERFORMED BY THE CONTRACTOR, UTILITY COMPANY CONSTRUCTION CREWS, OR OTHER SUB-CONTRACTOR OF DEVELOPER.
- ALL TRENCHING, BACKFILLING AND INSTALLATION WORK IS TO BE IN ACCORDANCE WITH THE STANDARD PRACTICES AND SPECIFICATIONS OF EACH UTILITY COMPANY PARTICIPATING IN THE UTILITY TRENCHES WITHIN THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POINTS OF ACCESS THAT ARE AGREEABLE TO ADJACENT LAND USES AND TENANTS AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING WHAT INSPECTIONS WILL BE REQUIRED FOR APPROVAL OF THE WORK AND FOR COORDINATING ALL SUCH INSPECTIONS. THE CONTRACTOR SHALL GIVE AT LEAST 48 HOURS PRIOR NOTICE TO THE CITY, SOILS ENGINEER, UTILITY COMPANIES OR ANY OTHER INDIVIDUALS OR PUBLIC AGENCIES, THAT THE WORK IS READY FOR INSPECTION.
- THE CONTRACTOR SHALL NOTIFY DEVELOPER 48 HOURS PRIOR TO THE NEED FOR SURVEY STAKING. THE CONTRACTOR IS RESPONSIBLE FOR THE PRESERVATION OF ALL CONSTRUCTION STAKING SET BY THE DEVELOPER'S SURVEYORS AND WILL BE BACK CHARGED FOR ANY RE-STAKING THAT IS REQUIRED. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE WILL BE CHARGED TO AND PAID FOR BY THE CONTRACTOR.
- ALL TRANSFORMERS AND TRANSFORMER PADS ARE TO BE INSTALLED PER PG&E SPECIFICATIONS. PROTECTIVE BOLLARDS ARE TO BE PLACED WHERE NEEDED.
- THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH THE PROJECT IMPROVEMENT PLANS AND CONDUCT HIS WORK ACCORDINGLY.
- KEEP ALL BOXES AND PEDESTALS WITHIN PUBLIC UTILITY EASEMENTS OR RIGHT OF WAY. AS SHOWN.
- ALL SAND BACKFILL MUST HAVE TESTING OF PH LEVEL AS WELL AS SAND EQUIVALENT. SEE CITY OF CAMPBELL REQUIREMENTS.
- THE PROPOSED CONSTRUCTION OPERATION MAY TAKE PLACE AT OR NEAR FENCE LINES, PROPERTY LINES AND PROPERTY IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THESE AREAS AND FOR MAINTAINING THESE AREAS AND FACILITIES AT ALL TIMES DURING THE CONSTRUCTION OPERATION.
- THE CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITION AND SHALL DEFEND AND HOLD THE DEVELOPER AND TARRAR UTILITY CONSULTANTS HARMLESS FROM ANY ALLEGED CLAIMS OR LIABILITIES, EXCEPT THOSE ARISING FROM SOLE NEGLIGENCE OF THE DEVELOPER OR TARRAR UTILITY CONSULTANTS.
- THE APPROXIMATE LOCATIONS OF ALL EXISTING UTILITY COMPANY UNDERGROUND LINES, POLES BOXES, ETC., WERE OBTAINED FROM A REVIEW OF AVAILABLE UTILITY COMPANY RECORDS, REPRESENTATIONS OF UTILITY COMPANY PERSONAL, OR FIELD OBSERVATIONS. NEITHER THE DEVELOPER NOR TARRAR UTILITY CONSULTANTS ASSUME ANY RESPONSIBILITY FOR VARIANCES BETWEEN THESE PLANS AND THE ACTUAL FIELD CONDITIONS. NO EXTRA PAYMENT WILL BE MADE TO THE CONTRACTOR FOR ANY ADDITIONAL TRENCHING, BOX EXCAVATIONS, MATERIALS, ETC., THAT MAY BE REQUIRED TO COMPLETE THIS PROJECT IN THE EVENT AN EXISTING TIE-IN POINT SUBSTRUCTURE IS EITHER NON-EXISTING OR IS NOT SHOWN ON THE PLANS IN ITS ACTUAL FIELD POSITION. IT IS THE CONTRACTOR'S OBLIGATION AND RESPONSIBILITY TO SAFELY LOCATE ALL EXISTING UNDERGROUND FACILITIES BY SURFACE MARKING AND/OR HAND EXCAVATION PRIOR TO STARTING CONSTRUCTION.
- "DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE TO OBTAIN A CITY OF CAMPBELL ENCROACHMENT PERMIT FOR ALL WORK DONE IN THE PUBLIC RIGHT OF WAY. DEVELOPER AND/OR CONTRACTOR IS ALSO RESPONSIBLE TO PROVIDE JOINT TRENCH PLANS TO THE CITY OF CAMPBELL AT THE TIME OF APPLICATION FOR THE ENCROACHMENT PERMIT."

813 First Street
 Brentwood, CA 94513
 (925) 240-2595
 (925) 240-7013 fax
 www.tarrar.com

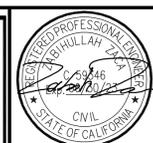
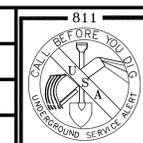


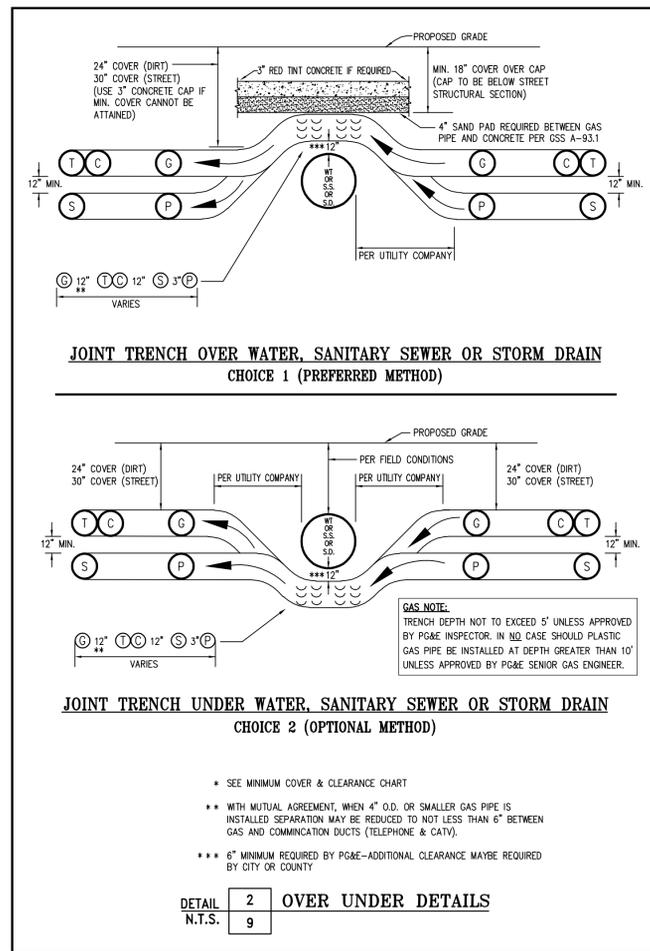
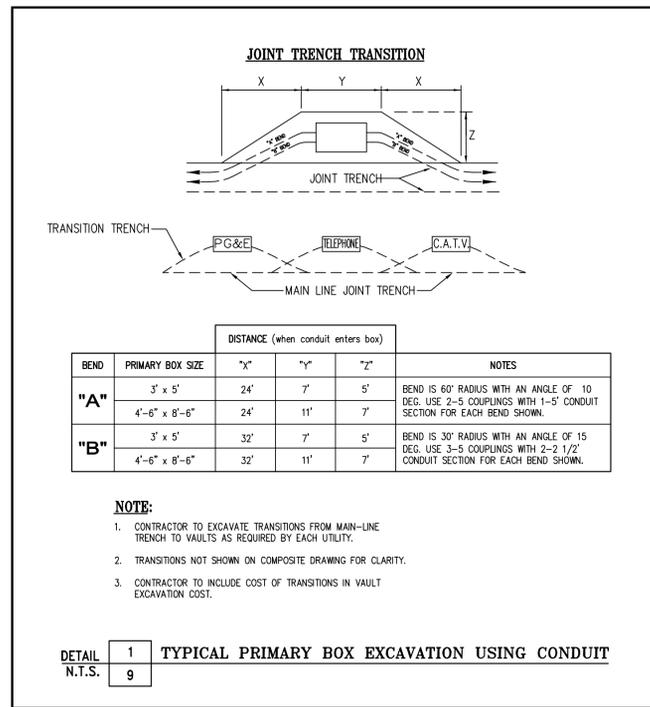
- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec. Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH GENERAL NOTES AND DETAILS
 MAJESTIC TRUST, LLC.
 YANHUA RESIDENCE - OFFSITE IMPROVEMENTS
 CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE
4	PLAN CHECK COMMENTS		8/13/2021

DATE: JUNE 2021	DATE LAST WORKED ON: 9/1/2021
SCALE: NOT TO SCALE	DRAWN: HK
JOB NO: 219080	CHECKED: KT

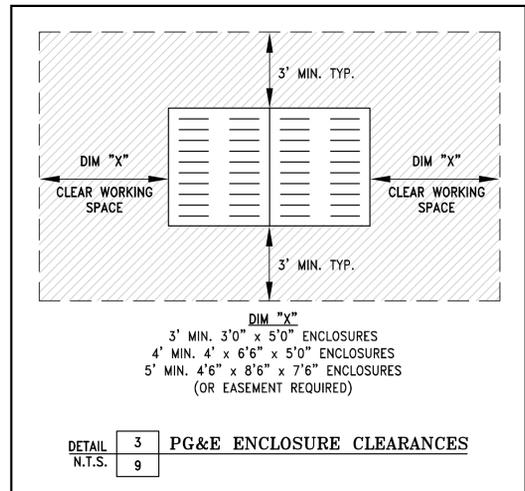




CONSTRUCTION LABOR AND MATERIAL RESPONSIBILITY

PUBLIC UTILITY SYSTEM (JOINT TRENCH)		STREET LIGHTING SYSTEM	
TRENCHING:	PG&E, ELECTRIC, TELEPHONE, C.A.T.V., CONTRACTOR	WIRE:	PG&E, CONTRACTOR
EXCAVATE, BACKFILL AND COMPACT:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	FURNISH:	CONTRACTOR
GAS MATERIAL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL:	CONTRACTOR
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	CONDUIT:	CONTRACTOR
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL:	CONTRACTOR
ELECTRIC CABLE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	BASES:	CONTRACTOR
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	FURNISH:	CONTRACTOR
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL:	CONTRACTOR
ELECTRIC CONDUIT:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	LUMINAIRES:	CONTRACTOR
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	FURNISH:	CONTRACTOR
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL:	CONTRACTOR
ELECTRIC SPICE BOXES:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	SPICE BOXES:	CONTRACTOR
EXCAVATE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	FURNISH:	CONTRACTOR
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL:	CONTRACTOR
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	EXCAVATE:	CONTRACTOR
ELECTRIC TMR. ENCLS.:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	FURNISH:	CONTRACTOR
EXCAVATE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL:	CONTRACTOR
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	POLES & ARMS:	CONTRACTOR
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	FURNISH:	CONTRACTOR
ELECTRIC EQUIP. ENCLS.:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL:	CONTRACTOR
EXCAVATE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	SCHEDULE:	LSZA
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL IN JOINT TRENCH:	NO/YES
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	INSTALL IN SEPARATE TRENCH:	YES/NO
ELECTRIC TMR. PADS:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	GRADE:	1 1/2"
EXCAVATE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	FURNISH:	SCH. 40
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	CONDUIT TYPE:	# TYPE: CU
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR	WIRE SIZE:	
ELECTRIC SWITCH PADS:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
GRADE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
TELEPHONE CONDUIT:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
TELEPHONE CABLE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
TELEPHONE SPICE BOX:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
EXCAVATE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
TELEPHONE INTER. PADS:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
GRADE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
C.A.T.V. CONDUITS:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
C.A.T.V. SPICE BOXES:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
EXCAVATE:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
FURNISH:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		
INSTALL:	PG&E, GAS, TELEPHONE, C.A.T.V., CONTRACTOR		

● DESIGNATES THE WORK TO BE PERFORMED BY THE CONTRACTOR AND EACH UTILITY COMPANY.



NOTES:

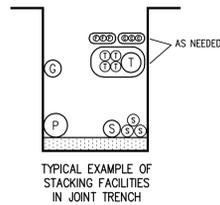
- THE SUBSURFACE ENCLOSURE MUST BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF AS MODIFIED BY THE PROVISIONS HEREIN.
 - LOW DESIGN GROUNDWATER LEVEL IS THE CONDITION WHERE THE DESIGN GROUNDWATER LEVEL IS AT OR BELOW THE EXCAVATION DEPTH OF THE ENCLOSURE.
 - HIGH DESIGN GROUNDWATER LEVEL IS THE CONDITION WHERE THE DESIGN GROUNDWATER LEVEL IS ABOVE THE EXCAVATION DEPTH OF THE ENCLOSURE.
- ALL REQUESTS TO USE SUBSURFACE TRANSFORMERS REQUIRE SOIL CHLORIDE TESTING, AND DETERMINATION OF DESIGN GROUND WATER LEVEL.
 - SOIL CHLORIDE TESTING AND DESIGN GROUNDWATER LEVEL DETERMINATION IS THE RESPONSIBILITY OF THE APPLICANT. PG&E DOES NOT REIMBURSE THE APPLICANT FOR THE COST.
- SOIL CHLORIDE TESTING MAY BE OMITTED IF THE APPLICANT ELECTS TO PROVIDE EXTERIOR WATERPROOFING OF THE SUBSURFACE ENCLOSURE, OR WHERE WATERPROOFING OF THE EXTERIOR SURFACE IS OTHERWISE REQUIRED SUCH AS IN HIGH DESIGN GROUNDWATER TABLE.
 - SOIL CHLORIDE TESTING MUST BE PERFORMED UNDER THE SUPERVISION OF A STATE LICENSED PROFESSIONAL CORROSION OR GEOTECHNICAL ENGINEER.
 - SOIL CHLORIDE TESTS SHALL BE TAKEN IN THE VICINITY OF THE PROPOSED SUBSURFACE TRANSFORMER IN A LOCATION CHOSEN TO BE ADEQUATELY REPRESENTATIVE OF ALL SOIL STRATA THAT COULD IMPACT THE STRUCTURE OF THE ENCLOSURE OR THE EQUIPMENT IN THE ENCLOSURE, AS DETERMINED AND STATED ON THE REPORT SUBMITTED BY THE STATE LICENSED PROFESSIONAL ENGINEER IN RESPONSIBLE CHARGE.
 - THE SOIL MUST BE TESTED FOR CHLORIDE BY ONE OF THE FOLLOWING APPLICABLE STANDARDS: CHLORIDE CONTENT PER ASTM D4327, ASTM D512, CEM 422, OR AASHTO IF CHLORIDE CONTENT IS GREATER THAN 5,000 PARTS PER MILLION (PPM), ENCLOSURE REQUIRES WATERPROOFING.
- GROUNDWATER LEVEL DETERMINATION SHALL BE PERFORMED BY A STATE LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER AND SHALL BE BASED ON SITE SPECIFIC BORINGS AND OTHER INFORMATION AS DEEMED SUITABLE BY THE STATE LICENSED GEOTECHNICAL ENGINEER IN RESPONSIBLE CHARGE.
- ENCLOSURES IN LOW DESIGN GROUNDWATER LEVEL AREAS AND WHERE CHLORIDE CONTENT IS GREATER THAN 5,000 PPM REQUIRE WATERPROOFING. IF CHLORIDE CONTENT IS LESS THAN 5,000 PPM, INSTALL THE ENCLOSURE PER DOCUMENT 062000.
- ENCLOSURES IN HIGH DESIGN GROUNDWATER LEVEL AREAS REQUIRE WATERPROOFING.
- WATERPROOFING INCLUDES THE FOLLOWING:
 - SEALING OF ALL CONDUITS (TERMINATORS) ENTERING THE ENCLOSURE.
 - APPLICATION OF WATERPROOFING MEMBRANE ON ALL EXTERIOR SURFACES INCLUDING THE BOTTOM OF THE BOTTOM SLAB. WATERPROOFING MAY BE APPLIED BY THE SUPPLIER OR IT MAY BE APPLIED IN THE FIELD, WHERE EXTENSIONS ARE ADDED IN THE FIELD. SEAL THE JOINT WITH THE REQUIRED SEALANT PRIOR TO INSTALLATION OF THE EXTENSION, THEN APPLY THE WATERPROOFING OVER THE JOINT. NOTE: GROUND RODS SHALL BE INSTALLED BEFORE BACKFILLING AND WHILE TEMPORARY CONTROL OF GROUNDWATER IS IN PLACE. SEAL GROUND ROD HOLES WITH WET - USE EPOXY.
 - APPLICATION OF PROTECTION BOARDS ON ALL EXTERIOR SURFACES INCLUDING THE BOTTOM OF THE BOTTOM SLAB TO PREVENT MEMBRANE DAMAGE DURING BACKFILL OPERATIONS.
 - SEALING OF JOINTS BETWEEN ENCLOSURE SECTIONS OR EXTENSIONS
 - SEALING OF GROUND ROD HOLES.
 - DO NOT BREAK OUT THE FOUR KNOCKOUTS LOCATED ON THE BOTTOM SLAB OF THE ENCLOSURE.

MATERIALS USED FOR WATERPROOFING THE ENCLOSURE

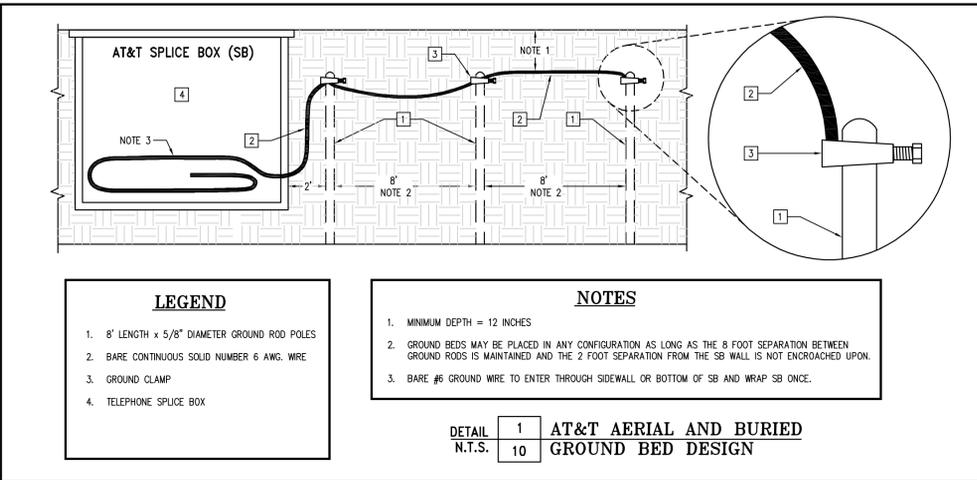
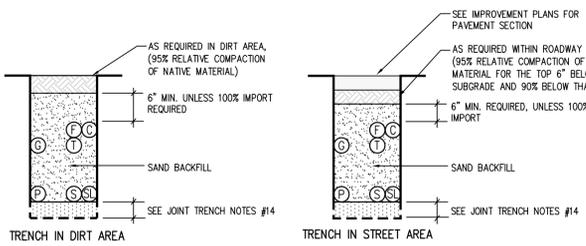
- WATERPROOFING MEMBRANE: TREMCOS TREMPROOF 250 GC FLUID APPLIED ELASTOMERIC WATERPROOFING MEMBRANE, MINIMUM 215 MILS WET THICKNESS; CARLISLES CCW MIRADRI 860/861 SELF ADHERING SHEET MEMBRANE, WITH MANUFACTURER RECOMMENDED ADHESIVE PRIMER; OR APPROVED EQUAL.
- PROTECTION BOARD: TREMCOS HPDP 60 PROTECTION SHEET; CARLISLES CCW 200V PROTECTION FABRIC, OR APPROVED EQUAL.
- RAYFLATE DUCT SEALING SYSTEM (ROSS) CONDUIT SEAL. REFER TO DOCUMENT 062288.

DETAIL 4 PG&E REQUIREMENTS FOR SUBSURFACE TRANSFORMERS
N.T.S. 9

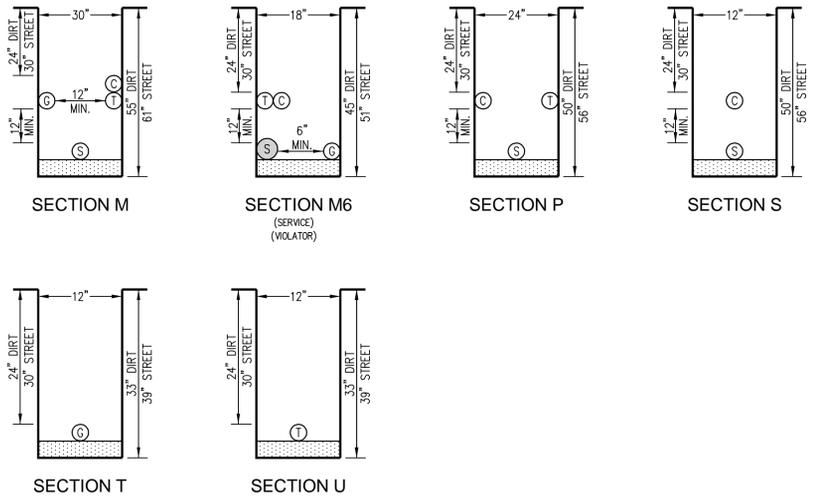
JOINT TRENCH MINIMUM COVER AND CLEARANCES												
MINIMUM SEPARATION FROM												
UTILITY	G	T	TD	C	S	P	SL	SLP	F	FE	MINIMUM COVER	
G (GAS)*	-	12"	12"	12"	6"	12"	12"	6"	12"	12"	24"; 30" IN STREET	
T (TELEPHONE) DUCT	12"	-	1"	1"	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
TD (TELEPHONE) DIRECT BURY	12"	1"	-	1"	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
C (CABLE T.V.)	12"	1"	1"	-	12"	12"	12"	12"	1"	12"	24"; 30" IN STREET	
S (ELECT. SECONDARY)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
P (ELECT. PRIMARY)	12"	12"	12"	12"	3"	3"	3"	3"	12"	12"	36"; 36" IN STREET	
SL (PUBLIC AND PRIVATE-STREET LIGHT)**	12"	12"	12"	12"	12"	12"	-	12"	12"	12"	24"; 30" IN STREET	
SLP (P.G.E.-STREET LIGHT)	6"	12"	12"	12"	1.5"	3"	12"	1.5"	12"	12"	24"; 30" IN STREET	
FE (FOREIGN ELECTRIC SOURCES, NON PG&E)	12"	12"	12"	12"	12"	12"	12"	12"	12"	-	24"; 30" IN STREET	
F (FIBER OPTIC)	12"	1"	1"	1"	12"	12"	12"	-	12"	12"	24"; 30" IN STREET	



- LEGEND**
- MEETS UTILITY TRENCH ALLOTMENT
 - EXCEEDS UTILITY TRENCH ALLOTMENT
 - GAS
 - ELECTRIC PRIMARY
 - ELECTRIC SECONDARY
 - TELEPHONE (DUCT OR DIRECT BURY)
 - CATV
 - STREET LIGHT (PUBLIC OR PRIVATE)
 - STREET LIGHT (PG&E)
 - FOREIGN ELECTRIC
 - FIBER OPTIC



- JOINT TRENCH NOTES:**
- TRENCH COVER & CLEARANCES SHOWN ARE MINIMUMS ONLY AND MAY REQUIRE ALTERATIONS TO SUIT FIELD CONDITIONS.
 - IT IS RECOMMENDED THAT ALL FACILITIES ARE TO BE A MINIMUM OF 12" BELOW SUB-BASE DISTURBANCE.
 - * WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, WHEN 4" O.D. OR SMALLER GAS PIPE IS INSTALLED, SEPARATION MAY BE REDUCED TO NOT LESS THAN 6" BETWEEN GAS AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
 - * WHERE 6" GAS MAIN IS LOCATED IN THE JOINT TRENCH A 12" MINIMUM SEPARATION FROM GAS MAIN TO ALL UTILITIES WILL BE REQUIRED.
 - ** WITH MUTUAL AGREEMENT FROM PARTICIPATING UTILITIES, STREET LIGHT SEPARATION MAY BE REDUCED TO 0" BETWEEN STREET LIGHT AND COMMUNICATION DUCTS (TELEPHONE, C.A.T.V. & FIBER OPTIC).
 - TRENCH CONFIGURATIONS SHOWN ARE FOR INSTALLATION WHERE EACH OCCUPANT IS UTILIZING HIS ENTIRE SPACE ALLOCATION. OTHER CONFIGURATIONS OR REDUCED DIMENSIONS MAY BE USED, PROVIDED THAT MINIMUM COVER AND CLEARANCES ARE MAINTAINED.
 - THE CONTRACTOR IS TO ADJUST TRENCH DEPTHS AT ALL JOINT TRENCH LATERAL CROSSINGS TO MAINTAIN REQUIRED CLEARANCES BETWEEN ALL PARTICIPATING UTILITIES.
 - TRENCH SECTIONS ARE SHOWN SCHEMATICALLY AND INDICATE AREAS OF OCCUPANCY ONLY; THEY DO NOT REFLECT SIZE OR QUANTITY OF FACILITIES TO BE INSTALLED.
 - TRENCH FOOTAGES PER SECTION ARE APPROXIMATE. SECTIONS ARE DESIGNED TO ACCOMMODATE ALL REQUIRED FACILITIES AS INDICATED ON EACH TRENCH PARTICIPANT'S CONSTRUCTION DRAWINGS.
 - THE CONTRACTOR SHALL VERIFY TRENCH FOOTAGES FOR ACCURACY PRIOR TO EXCAVATION AND TAKE NECESSARY PRECAUTION CROSSING WATER AND SEWER FACILITIES.
 - THE CONTRACTOR SHALL REFER TO THE COMPOSITE, CONDUIT, AND/OR EACH RESPECTIVE UTILITY INSTALLATION PLAN FOR THE NECESSARY CONDUIT CABLE AND/OR PIPE TO BE INSTALLED IN THIS PROJECT.
 - TYPE "M2" TRENCH SHALL BE INSTALLED AFTER CURB AND GUTTER INSTALLATION. CONTRACTOR SHALL COORDINATE ADDITIONAL MOVE-INS NECESSARY TO COMPLETE THE SERVICES TO THE DWELLING UNITS WITH THE DEVELOPER, ALL AGENCIES AND THE UTILITY COMPANIES. THE COST OF THESE MOVE-INS SHALL BE INCLUDED IN THE CONTRACTOR'S UNIT PRICE FOR TRENCHING.
 - THE AVERAGE TRENCH DEPTHS SHOWN ARE BASED ON THE MINIMUM UTILITY COMPANY REQUIREMENTS FOR DEPTH AND SEPARATION. CONTRACTOR SHALL ADJUST TRENCH WIDTH & DEPTH AS REQUIRED TO ADEQUATELY CLEAR EXISTING UNDERGROUND FACILITIES AND MAINTAIN MINIMUM UTILITY CLEARANCES. ALL TRENCHES OVER 60" DEEP MUST COMPLY WITH OSHA REQUIREMENTS. (SEE THE JOINT TRENCH MINIMUM COVER AND CLEARANCE TABLE)
 - CONTRACTOR SHALL USE SAND BEDDING AND SHADING AS REQUIRED BY THE UTILITY COMPANIES. THE BOTTOM OF THE TRENCH SHALL BE CLEARED OF ROCKS AND OTHER HARD SURFACES. DISTRIBUTION TRENCHES WITHOUT TELEPHONE CONDUIT DO NOT REQUIRE BEDDING MATERIAL. SERVICE TRENCHES WITHOUT TELEPHONE CONDUIT REQUIRE 2" SAND BEDDING AS A PAD ON WHICH UTILITY FACILITIES CAN REST. SERVICE TRENCHES CONTAINING TELEPHONE CONDUIT ONLY REQUIRE A 1" SAND BEDDING. ALL OTHER TRENCHES CONTAINING TELEPHONE CONDUIT REQUIRE A 3" SAND BEDDING. REFER TO PG&E GREEN BOOK PUBLICATION 55453, EXHIBIT B AND AT&T SPEC95 "AT&T SPECIFICATIONS" TRENCHING AND CONDUIT GUIDE FOR FURTHER INFORMATION.
 - ALL TRENCHING AND BACKFILLING TO BE DONE IN ACCORDANCE WITH THE CITY OF CAMPBELL ENGINEERING STANDARDS AND SPECIFICATIONS.
 - ALL PG&E, TELEPHONE, CABLE, AND FIBER OPTIC BOXES AND JOINT TRENCH FACILITIES ARE TO MAINTAIN A MINIMUM OF 3' SEPARATION FROM SEWER AND WATER LATERALS AND DRIVEWAYS. ALL UTILITY VAULTS, BOXES, PEDESTALS, ETC. MUST MAINTAIN A 5' MINIMUM CLEARANCE FROM FIRE HYDRANTS, AND 3' MINIMUM FROM STREETLIGHTS.



JOINT TRENCH OCCUPANCY GUIDE																							
TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRL.	X	X	X	X	X	X	X	X															
FIBER OPTICS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

813 First Street
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(925) 240-2595
(925) 240-7013 fax
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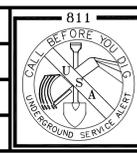


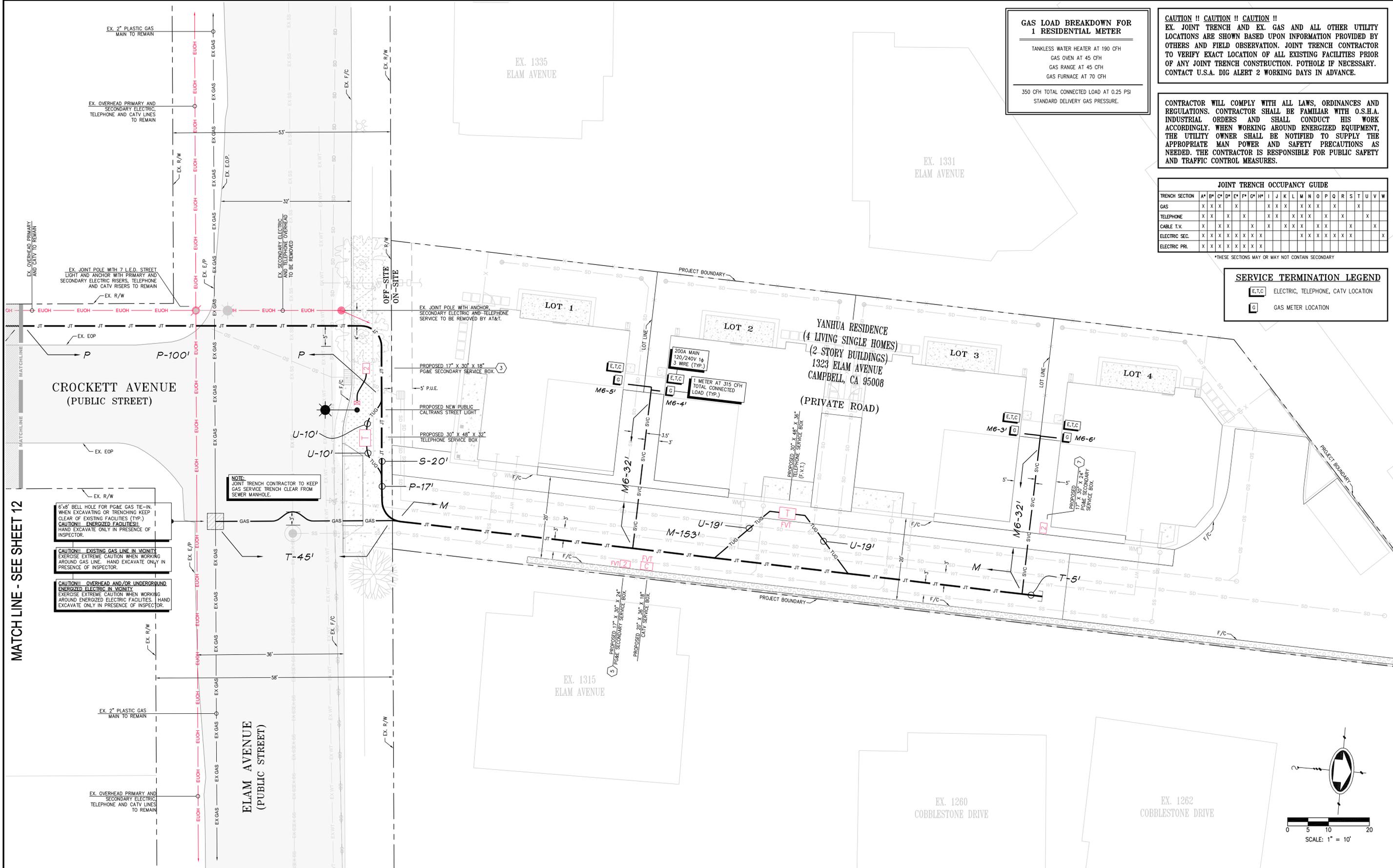
- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec. Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH SECTIONS AND DETAILS
MAJESTIC TRUST, LLC.
YANHUA RESIDENCE - OFFSITE IMPROVEMENTS
CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE
4	PLAN CHECK COMMENTS		8/13/2021

DATE: JUNE 2021	DATE LAST WORKED ON: 9/1/2021
SCALE: NOT TO SCALE	DRAWN: HK CHECKED: KT
JOB NO: 219080	





GAS LOAD BREAKDOWN FOR 1 RESIDENTIAL METER

TANKLESS WATER HEATER AT 190 CFH
 GAS OVEN AT 45 CFH
 GAS RANGE AT 45 CFH
 GAS FURNACE AT 70 CFH

350 CFH TOTAL CONNECTED LOAD AT 0.25 PSI
 STANDARD DELIVERY GAS PRESSURE.

CAUTION !! CAUTION !! CAUTION !!
 EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR OF ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 2 WORKING DAYS IN ADVANCE.

CONTRACTOR WILL COMPLY WITH ALL LAWS, ORDINANCES AND REGULATIONS. CONTRACTOR SHALL BE FAMILIAR WITH O.S.H.A. INDUSTRIAL ORDERS AND SHALL CONDUCT HIS WORK ACCORDINGLY. WHEN WORKING AROUND ENERGIZED EQUIPMENT, THE UTILITY OWNER SHALL BE NOTIFIED TO SUPPLY THE APPROPRIATE MAN POWER AND SAFETY PRECAUTIONS AS NEEDED. THE CONTRACTOR IS RESPONSIBLE FOR PUBLIC SAFETY AND TRAFFIC CONTROL MEASURES.

JOINT TRENCH OCCUPANCY GUIDE

TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRI.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY

SERVICE TERMINATION LEGEND

[E.T.C.] ELECTRIC, TELEPHONE, CATV LOCATION
[G] GAS METER LOCATION

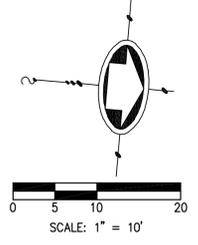
MATCH LINE - SEE SHEET 12

6"x8" BELL HOLE FOR PG&E GAS TIE-IN. WHEN EXCAVATING OR TRENCHING KEEP CLEAR OF EXISTING FACILITIES (TYP.)
CAUTION!! ENERGIZED FACILITIES!! HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

CAUTION!! EXISTING GAS LINE IN VICINITY EXERCISE EXTREME CAUTION WHEN WORKING AROUND GAS LINE. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

CAUTION!! OVERHEAD AND/OR UNDERGROUND ENERGIZED ELECTRIC IN VICINITY EXERCISE EXTREME CAUTION WHEN WORKING AROUND ENERGIZED ELECTRIC FACILITIES. HAND EXCAVATE ONLY IN PRESENCE OF INSPECTOR.

NOTE: JOINT TRENCH CONTRACTOR TO KEEP GAS SERVICE TRENCH CLEAR FROM SEWER MANHOLE.

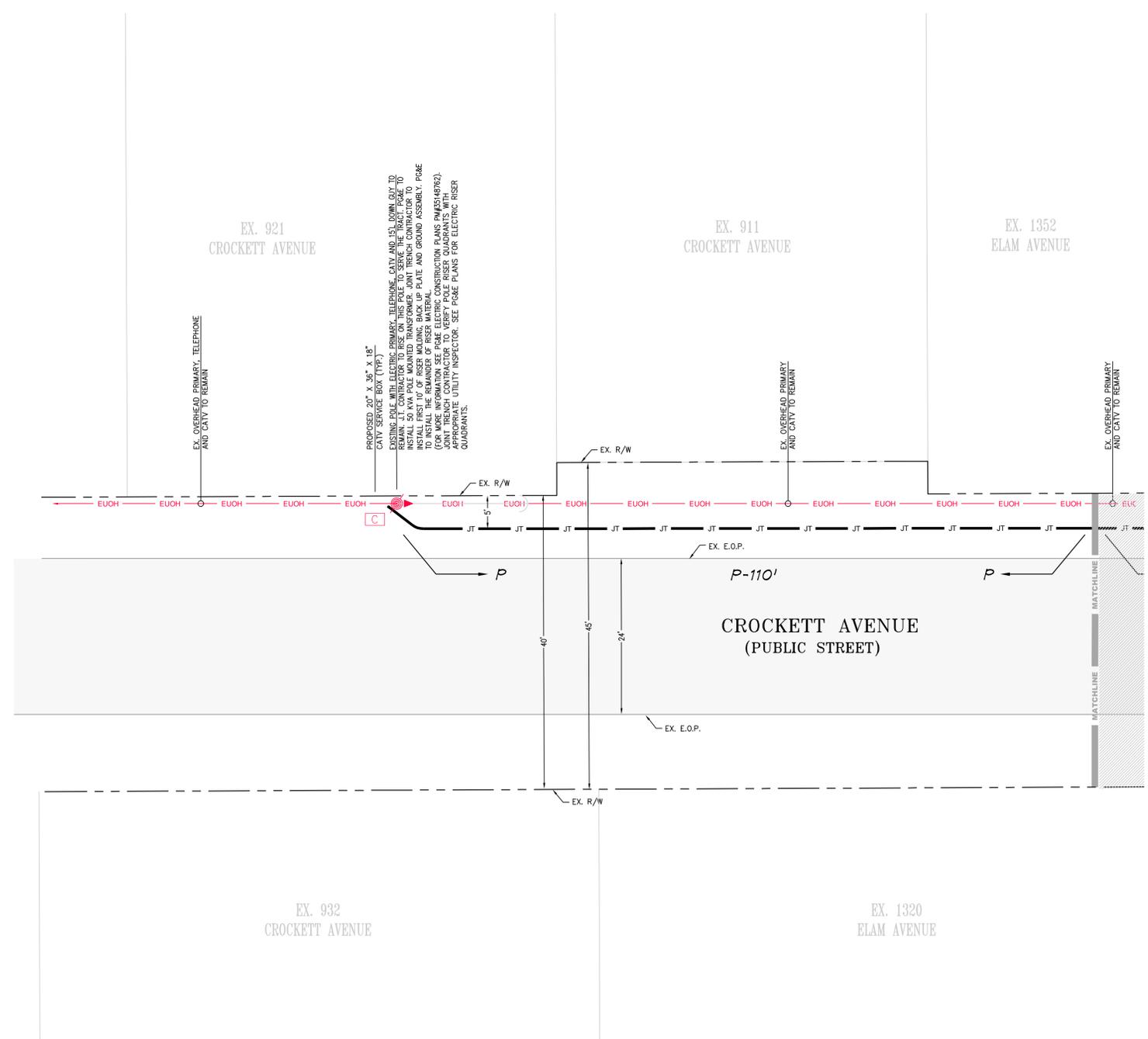


CAUTION !! CAUTION !! CAUTION !!
 EX. JOINT TRENCH AND EX. GAS AND ALL OTHER UTILITY LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED BY OTHERS AND FIELD OBSERVATION. JOINT TRENCH CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EXISTING FACILITIES PRIOR OF ANY JOINT TRENCH CONSTRUCTION. POTHOLE IF NECESSARY. CONTACT U.S.A. DIG ALERT 2 WORKING DAYS IN ADVANCE.

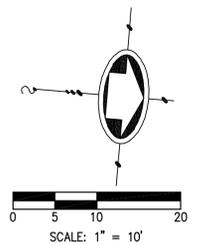
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JOINT TRENCH OCCUPANCY GUIDE																							
TRENCH SECTION	A*	B*	C*	D*	E*	F*	G*	H*	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W
GAS	X	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X
TELEPHONE	X	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X
CABLE T.V.	X	X	X	X	X					X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC SEC.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
ELECTRIC PRI.	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X

*THESE SECTIONS MAY OR MAY NOT CONTAIN SECONDARY



MATCH LINE - SEE SHEET 11



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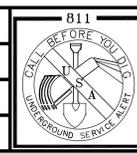


- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

JOINT TRENCH COMPOSITE PLAN
 MAJESTIC TRUST, LLC.
 YANHUA RESIDENCE – OFFSITE IMPROVEMENTS
 CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE
4	PLAN CHECK COMMENTS		8/13/2021

DATE: JUNE 2021	DATE LAST WORKED ON: 9/1/2021
SCALE: 1" = 10'	DRAWN: HK CHECKED: KT
JOB NO.: 219080	



SHEET
 12
 OF
 17

STREET LIGHTING POLES & FIXTURES

Unless otherwise indicated on the Plans, street lighting fixtures shall be LED, with details as noted on the project plans.

The PEC (photoelectric cell) shall be an Acuity Dark to Light #DLL127F-1.5 or approved equal (NEMA 7-pin twist-lock, Fail Off, 120-277V).

Unless otherwise indicated on the Plans, lighting standards shall be galvanized Caltrans type 15 lighting standard, per most current Caltrans Standard Plans, and luminaire arm length shall be 8 feet for 2 lane roads and 12 feet for roads 4 lanes or more.

Unless otherwise indicated on the Plans, lighting standards shall have underground feed and that voltage shall be 240 VAC.

CONSTRUCTION DETAILS

Construction and installation of street lighting pull boxes, conduits and conductors shall conform to the specific project Plans, to City of Campbell Details No. E-1, E-2, E-3, E-4, E-5, E-6 and to the following:

Unless otherwise indicated on the Plans or as directed by the Engineer, street lighting foundations shall be constructed per most current Caltrans Standard Plans and located at 30" (thirty inches) from face of curb to pole foundation centerline.

The foundation anchor bolts shall be set at the appropriate height so that when the pole is set and plumbed on leveling nuts with washers, and secured with the top nuts with washers, at least 4 threads or 1/2", but no more than 1", of clear anchor bolt thread will be exposed above the top nut. The leveling nuts shall be above the cap and in the grout area and washers shall be placed between the pole flange and the nuts used to secure the pole. There should remain a minimum of 1 inch and a maximum of 2 inches between the bottom of the pole flange and the top of the sidewalk or PCC cap.

After the pole is erected and plumbed, the Contractor shall place grout between the sidewalk or PCC cap and the pole flange.

In unimproved or landscaped areas a PCC pad shall be placed around the base of the lighting standard. This pad shall also encompass the street lighting pull box located at the base of the standard and shall conform to City of Campbell Detail No. E-6.

Unless otherwise noted on the Plans, conduits placed between pull boxes shall be 1 1/2" schedule 40 PVC. Conduits into street light foundations shall be 1 1/2" rigid galvanized steel (RGS). PVC conduits shall have bell ends and RGS conduits shall have grounding bushings.

Unless otherwise indicated on the Plans or where the street light will be sourced from a PG & E secondary box less than 10 (ten) feet from the street light pole, a pull box shall be placed within 3 feet of the base of the new lighting standard and it shall contain the 5/8" x 8' copper-clad or 1/2" x 10' galvanized steel ground rod and the fuse holder for the street light fixture. The lid for this box shall read "CAMPBELL STREET LIGHTING". Pull box installation shall conform to City of Campbell Details No. E-3 and E-4.

Unless otherwise indicated on the Plans, a service pull box shall be placed within 3 feet of the PG&E secondary pull box as depicted in City of Campbell Detail No. E-1. The lid for this pull box shall read "CAMPBELL SERVICE" and pull box installation shall conform to City of Campbell Detail No. E-5.

Unless otherwise indicated on the Plans, all street lighting pull boxes shall be Caltrans #3 1/4 (Christy N9 or equal).

Conduit placed in a trench in paved areas shall be placed at 18" depth, back-filled with 2-sack sand-cement slurry and capped with 1 1/2" A.C. as per Detail 9 of the City of Campbell Standard Specifications (CCSS). Conduit placed in a trench under future sidewalk or driveway shall be installed at a depth of 18" and back-filled with 6" of 2-sack sand-cement slurry and the remainder with compacted back-fill per Detail 10 of the CCSS. Conduit placed in a trench in unimproved or landscaped areas shall be placed at 18" depth, back-filled with 6" of 2-sack sand-cement slurry and 12" of compacted native material as per Detail 11 of the CCSS.

A bare, stranded #8 AWG copper bond wire shall be placed in all new conduits and shall be tied to the lighting standard's grounding bolt inside the hand hole area, the grounding bushings of the foundation's RGS conduit and to the ground rod in the pull box adjacent to the new lighting standard. Bonding and grounding of street lighting standards and the conduit system shall conform to City of Campbell Details No. E-3 and E-4.

Street lighting conductors between pull boxes shall be #8 AWG stranded copper with type TW or THW insulation for 240 volt street lighting (red and black or black and black). Conductors from lighting fixture down to fuse holder in pull box shall be solid copper #10 AWG with type TW or THW insulation for 240 volt street lighting (red and black or black and black). TWN, THHN or THWN (nylon jacketed) insulation is NOT acceptable for any street lighting conductors.

Splicing of conductors shall be performed only in pull boxes and shall be made with crimped copper "C-taps". Wire nuts shall NOT be used. Splice insulation on conductor splices and on fuse holders shall be mastic-lined, heat-shrinkable, heavy wall polyolefin shrink tubing. Self-fusing rubber tape, PVC electrical tape and/or brush-on waterproofing shall NOT be used as fuse holder or splice insulation.

The fuse holders for 240 volt street lighting shall be Busman "HEX" or Littelfuse "LEX" type. The fuses in the "CAMPBELL STREET LIGHTING" pull box shall be "ATDR3" or equal and the fuses in the "CAMPBELL SERVICE" pull box shall be "BAF-30", "OTM-30" or equal.

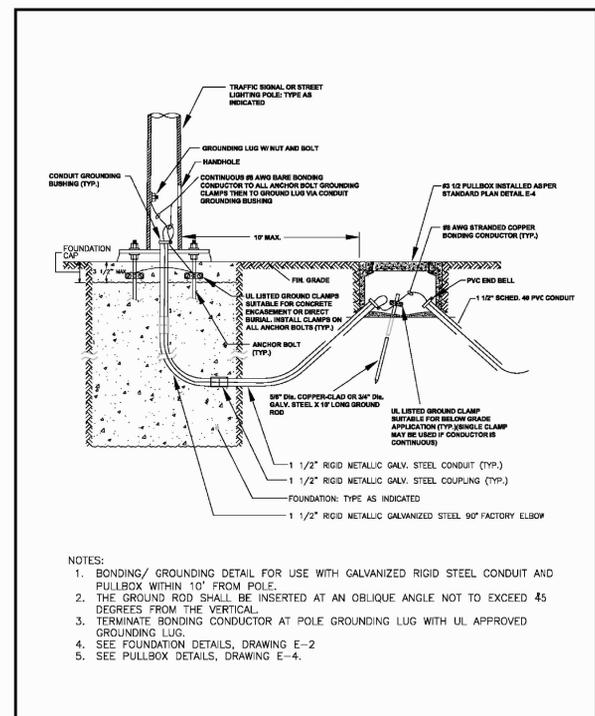
A 2" schedule 40 PVC conduit stub shall be placed from the "CAMPBELL SERVICE" pull box into the PG & E secondary box. The minimum radius for bends and sweeps used between the "CAMPBELL SERVICE" pull box and the PG & E secondary box shall be 18 inches for a 90 bend and 24 inches for a 45 bend.

The street lighting conductors shall be run in this stub from the "CAMPBELL SERVICE" pull box to the PG & E secondary box and the pigtail from the "LINE" side of the fuse holder shall be coiled in the PG&E secondary box left with 3 feet of slack and the loose ends of the conductors shall be waterproofed with PVC tape.

When the Contractor has completed all work as specified in the Plans regarding the street lighting installation and it is the opinion of the Contractor that said installation is in conformance with the applicable City of Campbell Specifications, the City of Campbell's Public Works Inspector shall be notified that the street light installation is ready to be inspected.

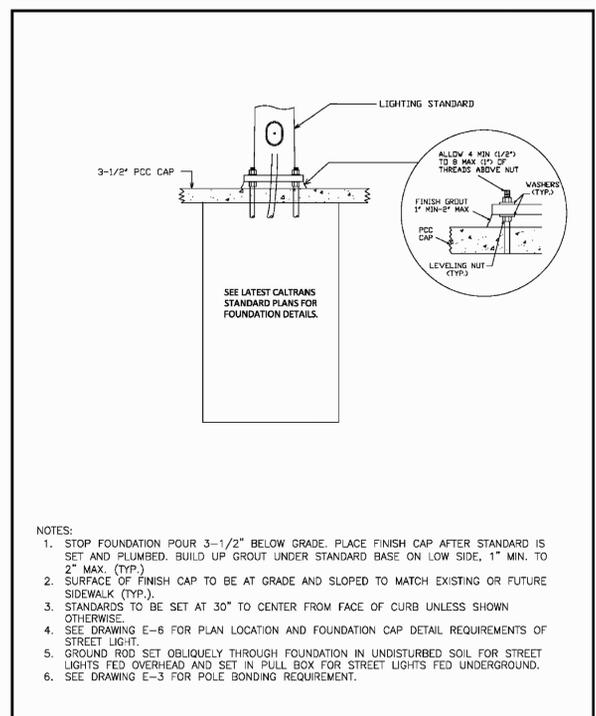
After the street light installation has been inspected and all deficiencies, if any, are corrected and the installation has been approved by the City of Campbell's Public Works Inspector and Lighting and Traffic Signal Supervisor, Campbell's Public Works Inspector will formally request of PG & E that the new street lighting standard(s) be connected. This is contingent upon the submittal of adequate proof to the City of payment to PG & E of the associated street lighting connection fee. A photocopy of the receipt for fees paid to the PG & E clerk, showing date and amount paid, is acceptable and preferred.

Unless otherwise indicated on the Plans or as directed by the Engineer, the City of Campbell will furnish and apply the appropriate street light number labels to the new street light standard(s).



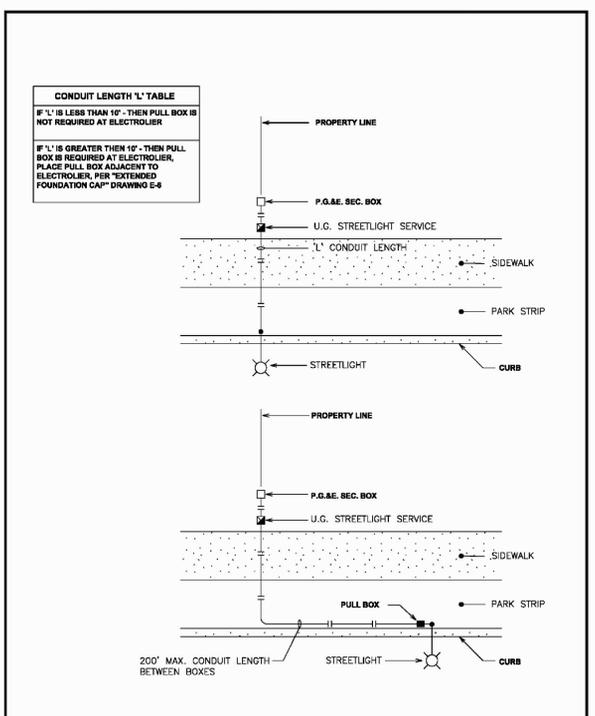
CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT	DRAWN BY: _____	DATE: _____	POLE BONDING	DETAIL NO. E-3
	CHECKED BY: _____	DATE: _____		
	APPROVED BY: _____ AMY GLAY CITY ENGINEER			

3 STANDARD CITY DETAIL E-3
14 NOT TO SCALE



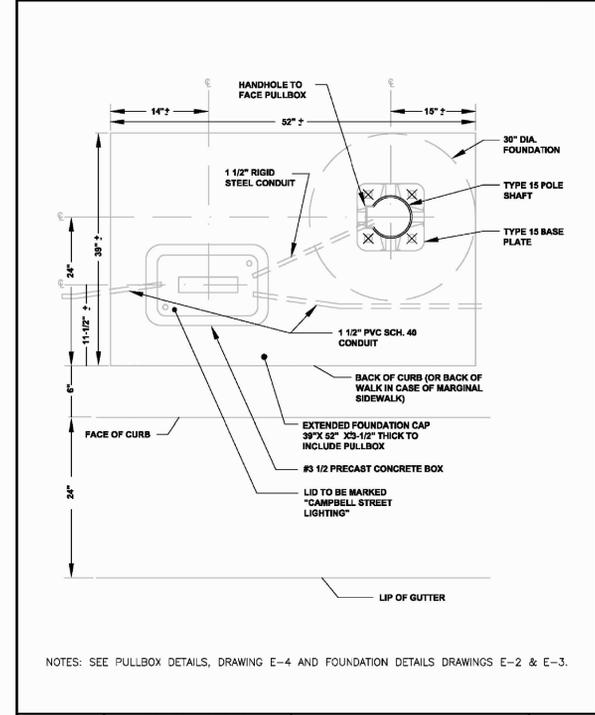
CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT	DRAWN BY: _____	DATE: _____	LIGHTING STANDARD - GALVANIZED TYPE 15 FOUNDATION DETAIL	DETAIL NO. E-2
	CHECKED BY: _____	DATE: _____		
	APPROVED BY: _____ AMY GLAY CITY ENGINEER			

2 STANDARD CITY DETAIL E-2
14 NOT TO SCALE



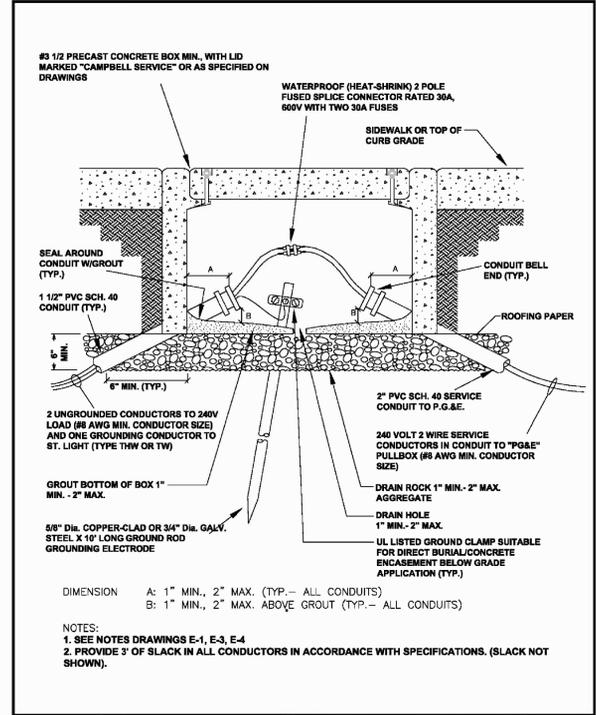
CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT	DRAWN BY: _____	DATE: _____	P.G.&E. SECONDARY/U.G. STREETLIGHT SERVICE PULL BOX LOCATION FOR NEW U.G. RESIDENTIAL DEVELOPMENT	DETAIL NO. E-1
	CHECKED BY: _____	DATE: _____		
	APPROVED BY: _____ AMY GLAY CITY ENGINEER			

1 STANDARD CITY DETAIL E-1
14 NOT TO SCALE



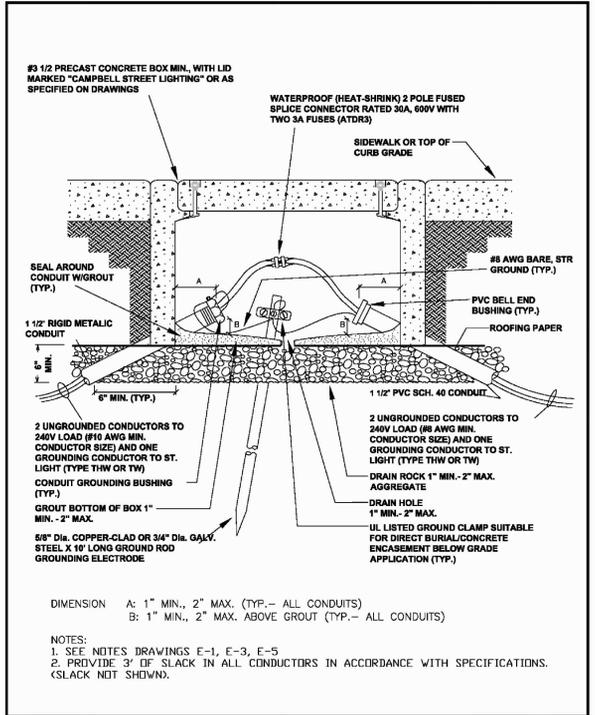
CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT	DRAWN BY: _____	DATE: _____	ELECTROLIER / PULLBOX & FOUNDATION CAP DETAIL	DETAIL NO. E-6
	CHECKED BY: _____	DATE: _____		
	APPROVED BY: _____ AMY GLAY CITY ENGINEER			

6 STANDARD CITY DETAIL E-6
14 NOT TO SCALE



CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT	DRAWN BY: _____	DATE: _____	UNDERGROUND STREETLIGHT SERVICE PULLBOX, 240V	DETAIL NO. E-5
	CHECKED BY: _____	DATE: _____		
	APPROVED BY: _____ AMY GLAY CITY ENGINEER			

5 STANDARD CITY DETAIL E-5
14 NOT TO SCALE



CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT	DRAWN BY: _____	DATE: _____	UNDERGROUND STREETLIGHT PULLBOX, 240V	DETAIL NO. E-4
	CHECKED BY: _____	DATE: _____		
	APPROVED BY: _____ AMY GLAY CITY ENGINEER			

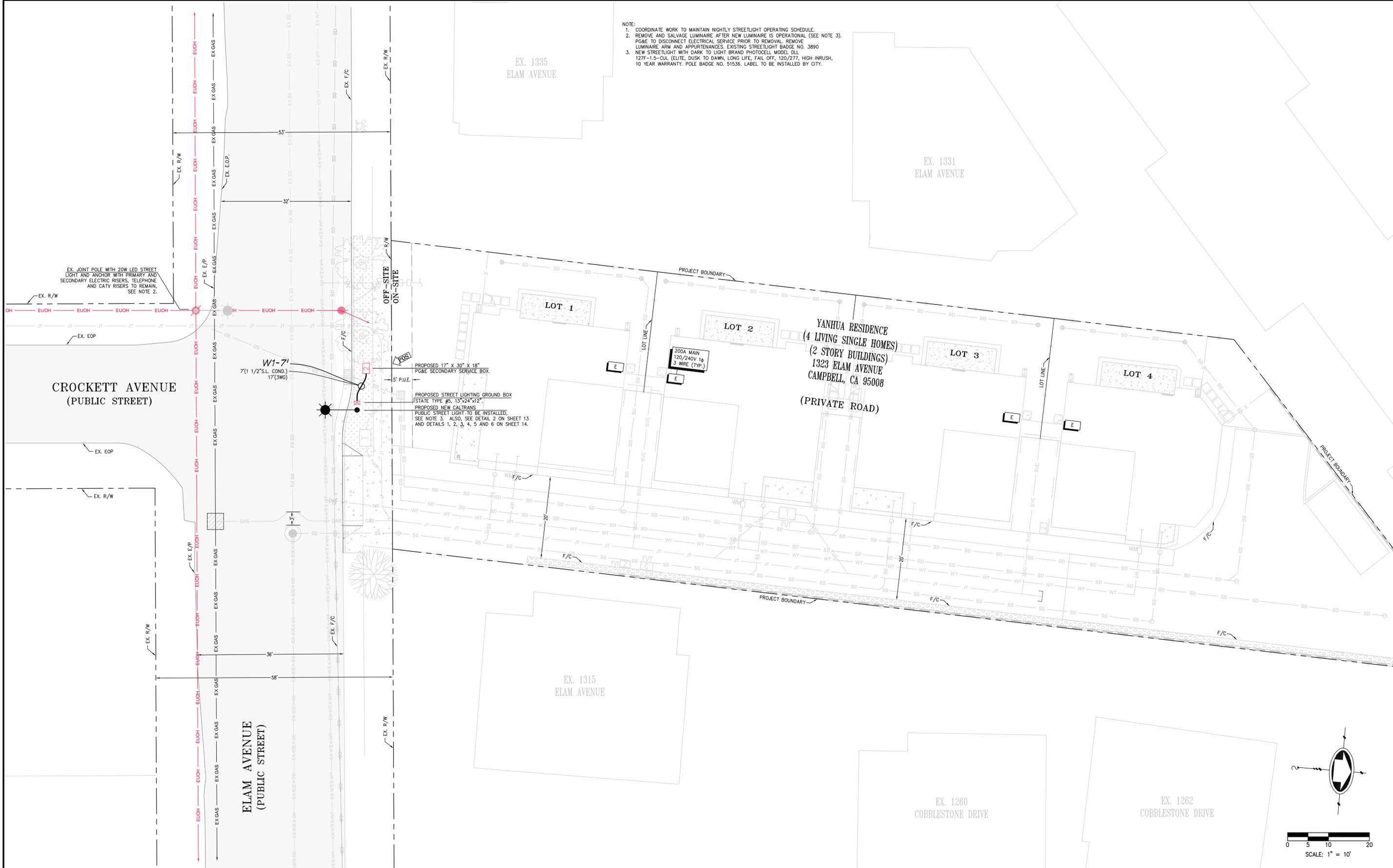
4 STANDARD CITY DETAIL E-4
14 NOT TO SCALE

NO.	REVISIONS	BY	DATE
4	PLAN CHECK COMMENTS		8/13/2021

DATE: JUNE 2021	DATE LAST WORKED ON: 9/1/2021
SCALE: NOT TO SCALE	DRAWN: SM
CHECKED: KT	
JOB NO.: 219000	



NOTE:
 1. COORDINATE WORK TO MAINTAIN NIGHTLY STREETLIGHT OPERATING SCHEDULE.
 2. REMOVE AND SALVAGE LUMINAIRE AFTER NEW LUMINAIRE IS OPERATIONAL (SEE NOTE 3).
 PG&E TO DISCONNECT ELECTRICAL SERVICE PRIOR TO REMOVAL. REMOVE LUMINAIRE ARM AND APPURTENANCES. EXISTING STREETLIGHT BADGE NO. 3890
 3. NEW STREETLIGHT WITH DARK TO LIGHT BRAND PHOTOCELL MODEL DLL 127F-1.5-CUL (ELITE, DUSK TO DAWN, LONG LIFE, FAIL OFF, 120/277, HIGH INRUSH, 10 YEAR WARRANTY, POLE BADGE NO. 51536. LABEL TO BE INSTALLED BY CITY.



813 First Street
 Brentwood, CA 94513
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 (925) 240-7013 fax
 www.tarrar.com

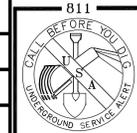


- Planning
- Design
- Estimating
- Joint Trench
- Street Lighting
- Fiber Optic
- T-24
- PG&E Gas Design
- PG&E Elec. Design
- M.E.P. Design
- Cost Analysis
- Due Diligence

STREET LIGHTING SITE PLAN
 MAJESTIC TRUST, LLC.
 YANHUA RESIDENCE – OFFSITE IMPROVEMENTS
 CAMPBELL CALIFORNIA

NO.	REVISIONS	BY	DATE
4	PLAN CHECK COMMENTS		8/13/2021

DATE: NOVEMBER 2020
 DATE LAST WORKED ON: 9/1/2021
 SCALE: 1" = 10'
 DRAWN: HK
 CHECKED: KT
 JOB NO.: 219080



SHEET
 15
 OF
 17



SC DESIGN GROUP

20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE
1323 ELAM AVE. CAMPBELL, CA 95008

MATERIALS LEGEND

	PLAY & LANDSCAPE MULCHING
	12 X 12 PERVIOUS UNIT PAVING
	6 X 12 PERVIOUS UNIT PAVING
	CONCRETE PAVING
	24 X 24 STEPPING STONE PAVING
	POROUS GRASS PAVER WITH DYMONDIA GROUNDCOVER, INVISIBLE STRUCTURES GRASSPAVE2 OR EQUAL

NOTE

A. LANDSCAPE PLAN TO COMPLY WITH THE WATER EFFICIENCY LANDSCAPE ORDINANCE (WELO)

TREE PLANTING LEGEND

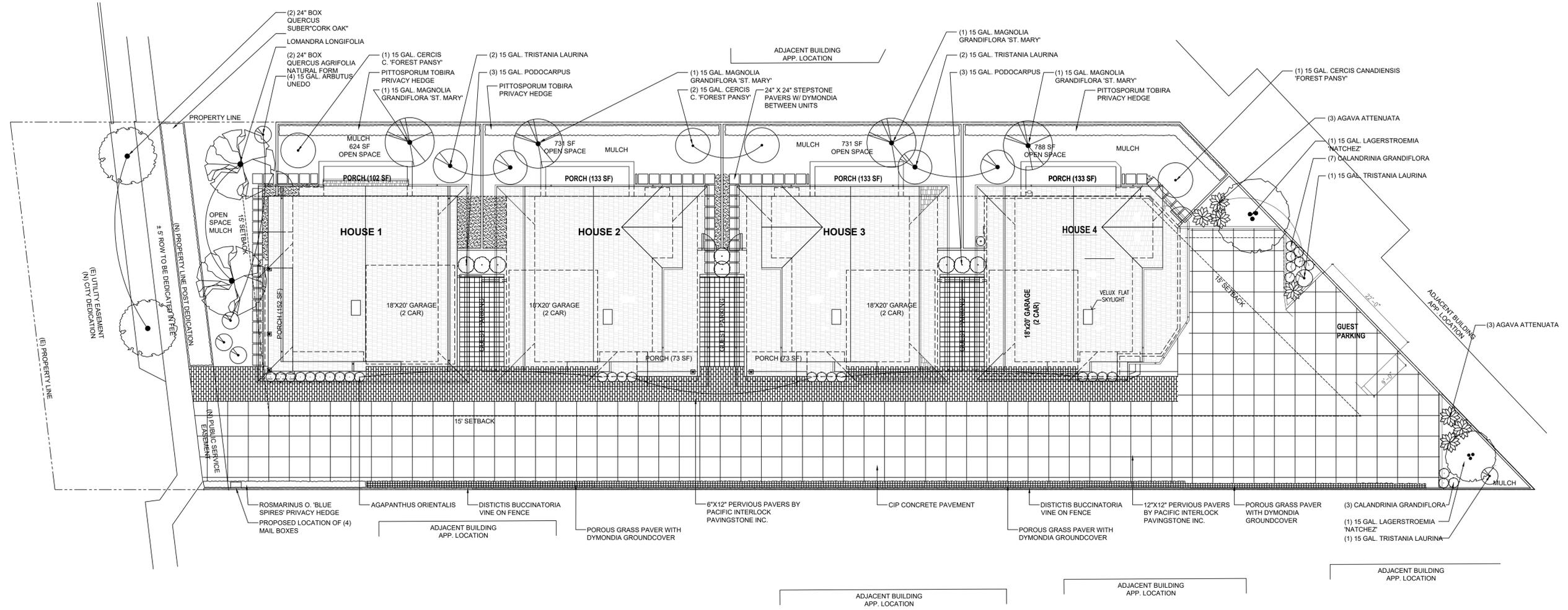
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USAGE
	CERCIS OCCIDENTALIS 'FOREST PANSY'	WESTERN REDBUD	15 GAL	4	VERY LOW
	LAGERSTROEMIA 'NATCHEZ'	CRAPE MYRTLE 'NATCHEZ'	24" BOX	2	LOW
	MAGNOLIA GRANDIFLORA 'ST. MARY'	ST. MARY MAGNOLIA	15 GAL	4	MED
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	2	VERY LOW
	QUERCUS SUBER	CORK OAK	24" BOX	2	VERY LOW
	TRISTANIA LAURINA	WATER GUM	15 GAL	5	MED
	TOTAL			19	

SHRUB PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USAGE
ARBUSUS UNEDO	DWARF STRAWBERRY TREE	5 GAL	7	LOW
PODOCARPUS MACROPHYLLUS	YEW PINE	5 GAL	6	MED
AGAVE ATTENUATA	FOX TAIL AGAVE	5 GAL	7	VERY LOW
ROSMARINUS O. 'BLUE SPIRES'	BLUE SPIRES ROSEMARY	5 GAL	41 S.F.	LOW
PITTIOSPORUM TOBIRA	MOCK ORANGE	5 GAL	382 S.F.	LOW

GROUNDCOVER PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USAGE
CALANDRINA GRANDIFLORA	ROCK PURSLANE	5 GAL	25	LOW
AGANTHUS ORIENTALIS	LILY-OF-THE-NILE	5 GAL	44	MED
DYMONDIA MARGARETAE	DYMONDIA	1 GAL	259 S.F.	LOW
LOMANDRA LONGIFOLIA	SPINY HEADED MAT RUSH	1 GAL	222 S.F.	LOW
VINE PLANTING LEGEND				
BOUGAINVILLEA SPP.	RED BOUGAINVILLEA	1 GAL	80 S.F.	LOW



NET LOT AREA	+/- 18,152 SQ. FT.
MIN. LANDSCAPE AREA BY CODE	3,631 SQ. FT.
(20 PERCENT OF THE NET SITE AREA)	
PROPOSED LANDSCAPE AREA	4,803 SQ. FT.
HOUSE 1 OPEN SPACE	
HOUSE 1 OPEN SPACE	624 SQ. FT.
HOUSE 2 OPEN SPACE	731 SQ. FT.
HOUSE 3 OPEN SPACE	731 SQ. FT.
HOUSE 4 OPEN SPACE	788 SQ. FT.
TOTAL OPEN SPACE	2,874 SQ. FT.
MAWA (ANNUAL GALLONS ALLOWED)	
MAWA (ANNUAL GALLONS ALLOWED)	80,681.25 GAL.
ETWU (ANNUAL GALLONS REQUIRED)	
ETWU (ANNUAL GALLONS REQUIRED)	58,282.85 GAL.

- PLANTING NOTE**
- 1) Verify placement of all proposed plants.
 - 2) Protect existing tree to remain. Verify placement of tree protection fencing.
 - 3) Thoroughly prepare soil prior to planting. The contractor shall submit a soil sample for analysis to a local lab for analysis and recommendations for soil preparation prior to planting.
 - 4) Incorporate 4 cy of compost per 1000 sf, 6" into native soil.
 - 5) Spread 3" of earthtone mulch, Prochip or equal, after planting.
 - 6) I have complied with the criteria of the water efficient landscape guidelines and the requirements of the prescriptive compliance option to the MWEL0. I applied them for the efficient use of water in the landscape design.

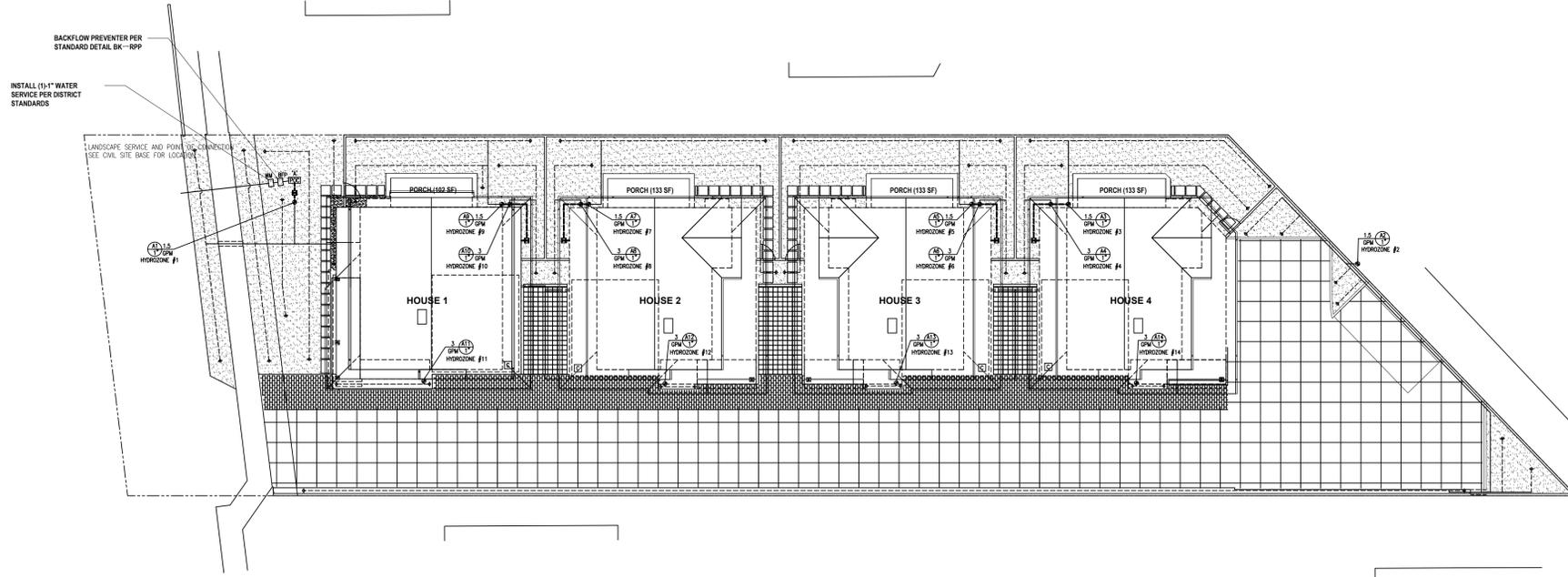
All on-site landscaping to be per approved on-site improvement permit BLD2019-00823

REVISIONS:
12.20.18 BUILDING SUBMITTAL
08-13-21 PLAN CHECK COMMENTS

PROJECT NO: DATE:
DRAFTED BY: REY MAPALO

**OFF-SITE
LANDSCAPE
PLAN**

All on-site landscaping to be per approved on-site improvement permit BLD2019-00823



1 PROPOSED IRRIGATION PLAN
SCALE: 1/8" = 1'-0"

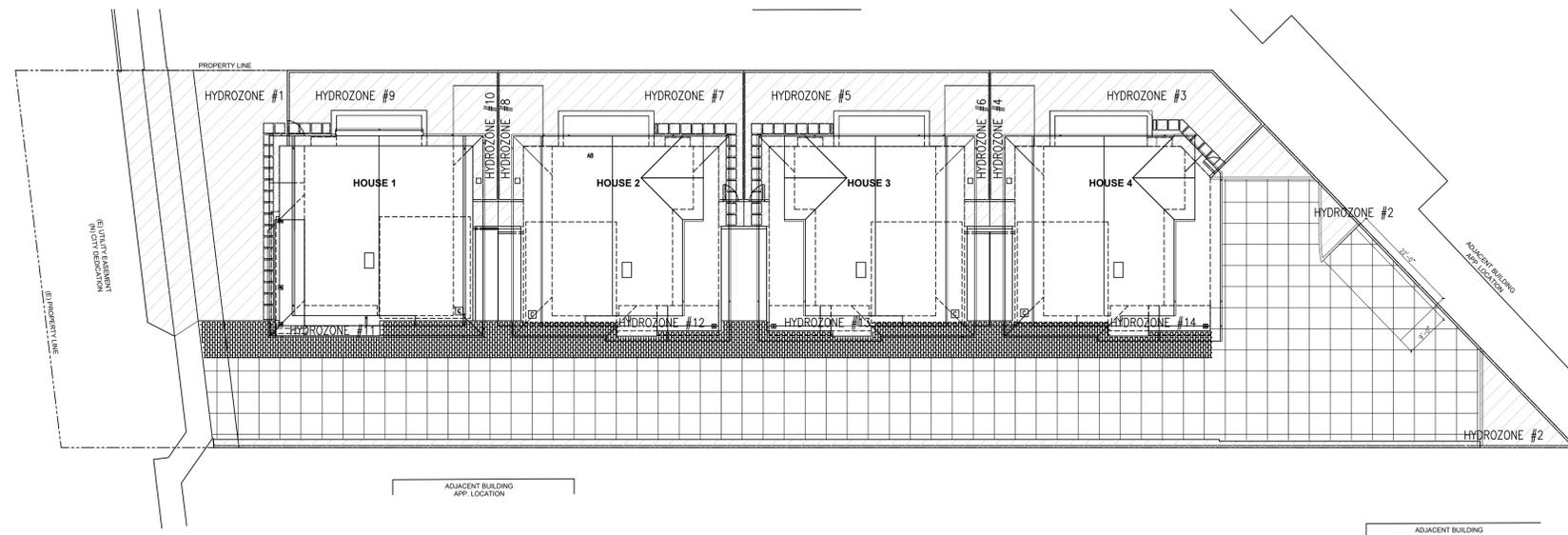
NOTE:
LANDSCAPING SHALL BE CONSISTENT WITH CAMPBELL'S WATER-EFFICIENT LANDSCAPE GUIDELINES.
MWA (ANNUAL GALLONS ALLOWED) 80,681.25 GAL.
ETWU (ANNUAL GALLONS REQUIRED) 58,282.85 GAL.
WATER-EFFICIENT LANDSCAPE WORKSHEET SHOWS BELOW

- IRRIGATION NOTES
1. THE SYSTEM IS DESIGNED TO OPERATE WITH A STATIC WATER PRESSURE OF 70 PSI. VERIFY WATER PRESSURE PRIOR TO THE START OF CONSTRUCTION.
 2. THE PLAN IS DIAGRAMMATIC AND DOES NOT NECESSARILY INDICATE ALL OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE IRRIGATION SYSTEM.
 3. LOCATE ALL PIPING IN PLANTING AREAS WHERE EVER POSSIBLE.
 4. COORDINATE AUTOMATIC CONTROLLER ELECTRICAL HOOK-UP WITH PROJECT ELECTRICIAN.
 5. VERIFY TYPE AND LOCATION OF BACKFLOW PREVENTION ASSEMBLY WITH LOCAL JURISDICTION, PRIOR TO INSTALLATION.
 6. INSTALL CHECK VALVES AS REQUIRED TO PREVENT LOW-HEAD DRAINAGE.
 7. DETECTOR TAPE SHOULD BE INSTALLED WITH ANY PRESSURE LINES NOT BURIED IN THE SAME TRENCH WITH CONTROL WIRES AND WITH ANY LINES OF ANY KIND UNDER PAVING NOT IN A TRENCH WITH CONTROL WIRES.

IRRIGATION LEGEND

KEY	DESCRIPTION
POC	POINT OF CONNECTION (CONNECT TO IRRIGATION WATER METER)
	IRRIGATION WATER METER - TO BE PROVIDED BY OTHERS
	IF STATIC PRESSURE AT WATER METER EXCEEDS 120 PSI - USE SCH 40 STEEL PIPE FROM IRRIGATION METER TO IRRIGATION B.F.P. (SIZE AS NOTE ON PLANS)
1	INDICATES CONTROLLER STATION NO.
1"	INDICATES VALVE SIZE
A	RAINBIRD IRRIGATION CONTROLLER - (ESP-SMT MODULAR SERIES)
B	
—	SCHEDULE 40 -or- CLASS 315 PVC PRESSURE MAINLINE (SIZE AS NOTED)
—	SCHEDULE 40 PVC NON-PRESSURE SLEEVE UNDER PAVEMENT (2X SIZE INSIDE PIPE)
—	CLASS 200 PVC NON-PRESSURE LATERAL LINE (SIZE AS NOTED)
—	UV RADIATION RESISTANT POLYETHYLENE LATERAL PIPE TO EMITTERS (1/2" SIZE, ROUTING SHOWN AS DIAGRAMMATIC)
⊙	'IRRITROL' 100 SERIES 'ULTRA-FLOW' ELECTRIC VALVE (SIZE AS NOTED)
⊠	FEBCO 825Y-A REDUCED PRESSURE ZONE ASSEMBLY DEVICE 3/4" SIZE
C	LANDSCAPE IRRIGATION CONTROLLER (TO BE MOUNTED INSIDE THE GARAGE)

KEY	DESCRIPTION
⊙	RAINBIRD RD-12-S-P30-5Q (5R-0.1gpm) 12" SHRUB POP-UP - MPR SPRAY - 30PSI
⊙	RAINBIRD RD-12-S-P30-5H (5R-0.2gpm) 12" SHRUB POP-UP - MPR SPRAY - 30PSI
⊠	RAINBIRD RD-12-S-P30-12Q (12R-0.65gpm) 12" SHRUB POP-UP - MPR SPRAY - 30PSI
⊠	RAINBIRD RD-12-S-P30-12H (12R-1.3gpm) 12" SHRUB POP-UP - MPR SPRAY - 30PSI



2 PROPOSED HYDROZONE PLAN
SCALE: 1/8" = 1'-0"

YANHUA RESIDENCE

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REVISIONS:
12.20.18 BUILDING SUBMITTAL
08-13-21 PLAN CHECK COMMENTS

PROJECT NO: DATE:
DRAFTED BY: REY MAPALO

OFF-SITE LANDSCAPE PLAN

SHEET:
17

YANHUA RESIDENCE

HOUSE 1



CAMPBELL, CALIFORNIA

YANHUA
RESIDENCE

1323 ELAM AVE.
CAMPBELL, CA 95008



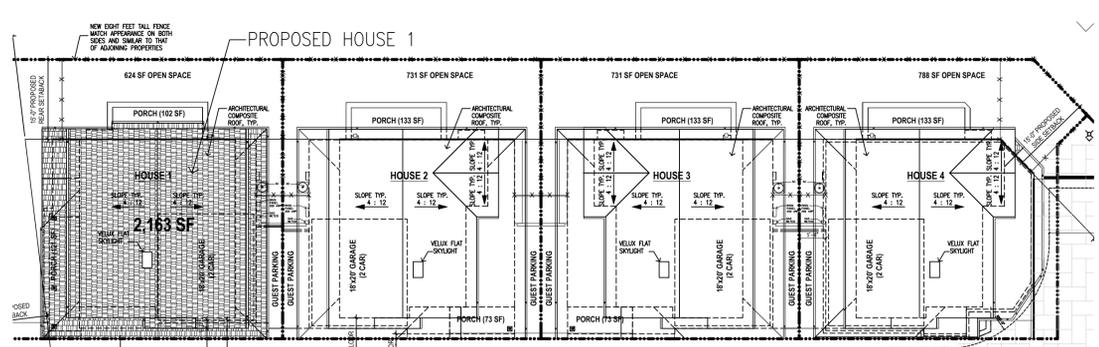
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YANHUA RESIDENCE
1323 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHUB303@GMAIL.COM
4085990163

PROJECT INFORMATION	SHEET INDEX	NOTES																																																															
<p>VICINITY MAP</p> <p>GENERAL INFORMATION</p> <p>PROPERTY ADDRESS: 1323 ELAM AVE., CAMPBELL, CA 95008 A.P.N.: 40-30-90-046 DESCRIPTION OF WORK: NEW 2-STORY 4 SINGLE-FAMILY HOUSES WITH ATTACHED GARAGE (RESIDENTIAL (0-4.4 DU/AC)) LAND USE: R-M-PD OCCUPANCY GROUP: U-3 GARAGE OCCUPANCY GROUP: U-3 TYPE OF CONSTRUCTION: 2-STORY V-B STORIES: 2 AVERAGE SLOPE: FLAT</p> <p>LOT SIZE: 4,167 SQ. FT.</p> <p>FLOOR CALCULATION</p> <table border="1"> <tr><td>PROPOSED FLOOR AREA:</td><td>860 SQ. FT.</td></tr> <tr><td>FIRST FLOOR:</td><td>924 SQ. FT.</td></tr> <tr><td>SECOND FLOOR:</td><td>924 SQ. FT.</td></tr> <tr><td>TOTAL LIVING AREA:</td><td>1,784 SQ. FT.</td></tr> <tr><td>GARAGE:</td><td>379 SQ. FT.</td></tr> <tr><td>TOTAL BUILDING AREA:</td><td>2,163 SQ. FT.</td></tr> <tr><td>MAXIMUM ALLOWABLE LOT COVERAGE:</td><td>40%</td></tr> <tr><td>PROPOSED LOT COVERAGE:</td><td>31%</td></tr> <tr><td>NET LOT AREA:</td><td>17,777 SQ. FT.</td></tr> </table> <p>BLDG. HEIGHT (PROPOSED GRADE): +/- 27'-0" BLDG. HEIGHT (AVG. NAT. GRADE): +/- 26'-6 1/2" OPEN SPACE: 624 SQ. FT.</p> <p>PAVED/LANDSCAPED PROPOSED</p> <table border="1"> <tr><td>PAVED AREAS</td><td>1,461 SF</td></tr> <tr><td>LANDSCAPED AREAS</td><td>1,212 SF</td></tr> <tr><td>TOTAL</td><td>2,673 SF</td></tr> </table> <p>SETBACKS</p> <table border="1"> <tr><th>FRONT OF STRUCTURE/DWELLING</th><th>WALL HEIGHT</th><th>REQUIRED SETBACK</th><th>PROPOSED SETBACK</th></tr> <tr><td>FRONT OF</td><td>21'-0"</td><td>15'-0"</td><td>23'-0"</td></tr> <tr><td>FRONT OF GARAGE/CARPORT</td><td>11'-0"</td><td>15'-0"</td><td>18'-2"</td></tr> <tr><td>LEFT SIDE 1ST FLOOR</td><td>11'-0"</td><td>15'-0"</td><td>18'-0"</td></tr> <tr><td>LEFT SIDE 2ND FLOOR</td><td>28'-11"</td><td>15'-0"</td><td>20'-0"</td></tr> <tr><td>RIGHT SIDE 1ST FLOOR</td><td>11'-0"</td><td>15'-0"</td><td>18'-11"</td></tr> <tr><td>RIGHT SIDE 2ND FLOOR</td><td>23'-7"</td><td>15'-0"</td><td>23'-11"</td></tr> <tr><td>REAR 1ST FLOOR</td><td>11'-0"</td><td>15'-0"</td><td>18'-11"</td></tr> <tr><td>REAR 2ND FLOOR</td><td>21'-0"</td><td>15'-0"</td><td>31'-5"</td></tr> </table>	PROPOSED FLOOR AREA:	860 SQ. FT.	FIRST FLOOR:	924 SQ. FT.	SECOND FLOOR:	924 SQ. FT.	TOTAL LIVING AREA:	1,784 SQ. FT.	GARAGE:	379 SQ. FT.	TOTAL BUILDING AREA:	2,163 SQ. FT.	MAXIMUM ALLOWABLE LOT COVERAGE:	40%	PROPOSED LOT COVERAGE:	31%	NET LOT AREA:	17,777 SQ. FT.	PAVED AREAS	1,461 SF	LANDSCAPED AREAS	1,212 SF	TOTAL	2,673 SF	FRONT OF STRUCTURE/DWELLING	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK	FRONT OF	21'-0"	15'-0"	23'-0"	FRONT OF GARAGE/CARPORT	11'-0"	15'-0"	18'-2"	LEFT SIDE 1ST FLOOR	11'-0"	15'-0"	18'-0"	LEFT SIDE 2ND FLOOR	28'-11"	15'-0"	20'-0"	RIGHT SIDE 1ST FLOOR	11'-0"	15'-0"	18'-11"	RIGHT SIDE 2ND FLOOR	23'-7"	15'-0"	23'-11"	REAR 1ST FLOOR	11'-0"	15'-0"	18'-11"	REAR 2ND FLOOR	21'-0"	15'-0"	31'-5"	<p>ARCHITECTURAL</p> <p>A-0.01 COVERSHEET A-1.01 EXISTING TOPOGRAPHIC MAP/DEMOLITION PLAN A-1.11 PROPOSED SITE PLAN A-2.01 HOUSE 1 1ST FLOOR PLAN A-2.11 HOUSE 1 2ND FLOOR PLAN & ROOF PLAN A-3.01 HOUSE 1 FRONT & REAR ELEVATIONS / DOOR & WINDOW SCHEDULE A-3.11 HOUSE 1 RIGHT & LEFT ELEVATIONS A-4.01 HOUSE 1 SECTIONS A-5.01 TYPICAL DETAILS</p> <p>ELECTRICAL</p> <p>MEP1 HOUSE 1 1ST FLOOR ELECTRICAL PLAN MEP2 HOUSE 1 2ND FLOOR ELECTRICAL PLAN</p> <p>CIVIL</p> <p>ON-SITE GRADING & DRAINAGE PLANS</p> <p>1. TITLE SHEET 2. TOPOGRAPHIC MAP 3. DEMOLITION PLAN 4. OVERALL SITE PLAN 5. GRADING & DRAINAGE PLAN 6. UTILITY PLAN 7. IMPERVIOUS AREA PLAN 8. STORM DRAIN PLAN 9. STORMWATER SECTIONS 10. DETAILS 11. GRADING SPECIFICATIONS 12. GRADING SPECIFICATIONS 13. EROSION CONTROL PLAN 14. EROSION CONTROL DETAILS 15. BUILDING FOR A CLEAN BAY 16. BUILDING FOR A CLEAN BAY</p> <p>OFF-SITE GRADING & DRAINAGE PLANS</p> <p>1. TITLE SHEET 2. DEMOLITION PLAN 3. STREET PLAN AND PROFILE 4. HORIZONTAL CONTROL PLAN 5. CITY DETAILS 6. STREET LIGHT ELECTRICAL DETAILS 7. BUILDING FOR A CLEAN BAY</p>	<p>LANDSCAPING</p> <p>L-1 ON-SITE LANDSCAPE PLAN L-2 OFF-SITE LANDSCAPE PLAN L-3 ON-SITE LANDSCAPE PLAN L-4 OFF-SITE LANDSCAPE PLAN</p> <p>TITLE 24</p> <p>T-24.1 ENERGY CALCULATIONS T-24.2 ENERGY CALCULATIONS</p> <p>STRUCTURAL</p> <p>S-15 GENERAL NOTES S-25 FOUNDATION PLAN S-35 2ND FLOOR FRAMING PLAN S-45 ROOF + CEILING FRAMING PLANS S-55 FOUNDATION DETAILS S-65 HARDY FRAME DETAILS S-75 FRAMING DETAILS S-85 FRAMING DETAILS S-95 FRAMING DETAILS</p> <p>UTILITY</p> <p>U-11 JOINT TRENCH COMPOSITE TITLE SHEET U-12 JOINT TRENCH GENERAL NOTES AND DETAILS U-13 JOINT TRENCH DETAILS U-14 JOINT TRENCH SECTIONS AND DETAILS U-15 JOINT TRENCH COMPOSITE PLAN U-16 JOINT TRENCH COMPOSITE PLAN</p>	<p>ADDITIONAL NOTES</p> <p>1- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION, THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.</p> <p>2- THE ROOF WILL COMPLY WITH COOL ROOF REQUIREMENTS OF THE 2016 C.E.D. 110.8 2016</p> <p>3- AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM WILL BE INSTALLED PER CRC SEC 313.2, AS ADOPTED AND AMENDED BY CUPMPC, NPFA 13B, 2016 EDITION STANDARD. PLANS TO BE DEFERRED TO DMV RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS (SEE CITY WEBSITE UNDER FIRE HANDOUTS) COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. MIN 1 1/2" WATER MAIN, 1 1/2" SERVICE LINE UNLESS HYDRAULIC CALCULATIONS PROVE EXISTING ADEQUATE).</p> <p>4- FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.</p> <p>5- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION 2016 (CMC 303.1 AND 2016 CPC 310.4</p> <p>6- PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.</p> <p>7- BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.</p> <p>8- COMPLETED CD-22-LTG-01-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.</p> <p>9- THE BUILDING MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRES SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS PART (10-103.1B) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.</p> <p>10- THE SOIL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION, CONTRACTOR, AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION TO VERIFY ELEMENTS OF THE SOILS REPORT. SITE VISIT REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT INSPECTOR OF RECORD (IDR)</p> <p>11- THIS PROJECT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE. LANGUAGE FOR THE LETTER MUST BE AS WRITTEN AS PER CAMPBELL'S SURVEYOR HANDOUT AVAILABLE THROUGH THE BUILDING DEPARTMENT.</p>	<p>APPLICABLE CODES</p> <p>2016 CALIFORNIA BUILDING CODE (CBC) 2016 CALIFORNIA RESIDENTIAL CODE (CRC) 2016 CALIFORNIA MECHANICAL CODE (CMC) 2016 CALIFORNIA PLUMBING CODE (CPC) 2016 CALIFORNIA ELECTRICAL CODE (CEC) 2016 CALIFORNIA ENERGY CODE (CENC) 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC) AND THE CITY OF CAMPBELL ORDINANCES</p> <p>CALGREEN NOTES</p> <p>A. DIVERT A MINIMUM OF 65% OF THE CONSTRUCTION & DEMOLITION WASTE FOR RECYCLE OR REUSE PER CGBSC 4.408.1 B. PLEASE PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1 C. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FRAME INSPECTION SHALL BE WEATHER BASED 94.304.1 D. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2 HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED. E. PROTECT ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALL AGAINST THE PASSAGE OF RODENTS 94.406.1 F. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION 4.504.2.1 G. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUNDS DURING CONSTRUCTION 4.504.2.1 H. PAINT, STAIN AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS 4.504.2.2 I. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MFR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS 4.504.2.3 DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANCE J. CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS 4.504.3 K. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS PER SECTIONS 4.504.4 L. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEM SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS 4.504.5 M. INSTALL CAPILLARY BREAK AND VAPOR RETARDED AT SLAB ON GRADE FOUNDATION 4.505.2 N. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE 4.505.3 O. PROJECT MODELED WITH COMPLIANCE WITH COOL ROOF AND PIPE INSULATIONS - ALL LINES P. HERB VERIFICATION REQUIRED FOR THE HVAC DISTRIBUTION SYSTEMS AND IAQ (INDOOR AIR QUALITY). PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERB) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS BUILDING INCORPORATES FEATURES THAT REQUIRE FIELD TESTING AND/OR VERIFICATION BY A CERTIFIED RATER UNDER THE SUPERVISION OF A CEC APPROVED HERB Q. EXHAUST FANS IN BATHROOMS WILL BE ENERGY STAR COMPLIANT, TERMINATE OUTSIDE THE BUILDING, AND WILL BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO 80 PERCENT PER CGBSC 4.506.1 R. PER CAL GREEN 4.504 THERE SHALL BE NO USE OF PRODUCTS INCLUDING MATERIALS, PAINTS, SOLVENTS, PRIMERS, CAULKS, OR GLUES THAT EXCEEDS CALIFORNIA'S LIMIT ON VOLATILE ORGANIC COMPOUNDS (VOC) ON THIS PROJECT.</p>	<p>GENERAL NOTES</p> <p>1. WORKING HOURS: NO WORK SHALL COMMENCE ON THE JOB SITE PRIOR TO 7:00 A.M. NOR CONTINUE LATER THAN 7:00 P.M., MONDAY THROUGH FRIDAY, 9:00 A.M. NOR CONTINUE LATER THAN 6:00 P.M. SATURDAY AND 10:00 A.M. - 6:00 PM ON SUNDAY AND HOLIDAYS.</p> <p>2. GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN REROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. G. C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSE AT ALL TIMES.</p> <p>3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES, AND REGULATIONS. G. C. SHALL BECOME FAMILIAR WITH ALL CITY OF CAMPBELL ASPECTS OF WORKING. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF THE WORK SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND PROCEDURES.</p> <p>4. GENERAL CONTRACTOR SHALL COORDINATE ALL FACETS OF HIS WORK AND ALL TRADES INVOLVED TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. IF ANY WORK IS TO BE INSTALLED BY THE OWNER DIRECTLY, ALLOWANCES FOR THE OWNER'S WORK MUST BE MADE. COORDINATE WITH ARCHITECT / OWNER.</p> <p>5. GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE "BROOM CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORED IN A NEAT AND SAFE PLACE TO AVOID ACCIDENTS, FOR CONSTRUCTION AND FOR THE OWNER.</p> <p>6. IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE ARCHITECT BEFORE PROCEEDING.</p> <p>7. NO DIMENSIONS SHALL BE TAKEN BY SCALING FROM THE DRAWINGS. DETAILS TAKE PRECEDENCE OVER GENERAL SECTIONS OR FLOOR PLANS. IF DIMENSIONS MUST BE CLARIFIED, CONSULT THE ARCHITECT. REFER TO THE COVER SHEET FOR DIMENSIONING STANDARDS.</p> <p>8. VERIFY ALL DIMENSIONS ON THE JOB SITE PRIOR TO ORDERING OR MANUFACTURING.</p> <p>9. GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL DRAWINGS BEFORE FRAMING. COORDINATE RECESSED LIGHT FIXTURE LOCATIONS, SHAFTS, AND HVAC DUCTWORK PRIOR TO FRAMING. IT IS IMPERATIVE THAT FRAMING MEMBER LOCATIONS DO NOT CONFLICT WITH LOCATIONS OF RECESSED LIGHT FIXTURES. IF CONFLICT EXISTS, NOTIFY ARCHITECT.</p> <p>10. GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS. ALL GUARANTEES, INSTRUCTION BOOKLETS, AND INFORMATION REGARDING NEW EQUIPMENT SHALL BE HANDED DIRECTLY TO THE OWNER IN ONE MANILA ENVELOPE AT THE TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL VERIFY THAT EVERY PIECE OF EQUIPMENT AND EVERY APPLIANCE IS IN PERFECT WORKING ORDER AND THAT INFORMATION ABOUT ALL WARRANTIES AND GUARANTEES IS MADE KNOWN TO THE OWNER.</p> <p>11. THE INSTALLER OF EACH MAJOR UNIT OF WORK IS REQUIRED TO INSPECT THE SUBSTRATE AND CONDITIONS TO RECEIVE WORK AND SHALL REPORT ALL UNSATISFACTORY CONDITIONS TO THE GENERAL CONTRACTOR AND NOT PROCEED UNTIL SATISFACTORY CONDITIONS ARE ATTAINED.</p> <p>12. FOR MOUNTING HEIGHTS NOT CLEARLY OUTLINED IN THE PLANS OR SCHEDULES, COORDINATE WITH THE ARCHITECT. ARCHITECT SHALL CONFIRM ALL ELECTRICAL DEVICE AND LIGHT FIXTURE LOCATIONS BEFORE CONTRACTOR PULLS WIRE.</p> <p>13. PROVIDE SOLID BLOCKING AS NECESSARY FOR WALL MOUNTED SHELVES, FIXTURES, AND FITTINGS. EVEN WHEN WORK IS TO BE DONE BY OWNER DIRECTLY, REVIEW SCOPE OF WORK AND LOCATIONS FROM INTERIOR ELEVATIONS AND COORDINATE WITH OWNER/ARCHITECT.</p> <p>14. ALL FASTENING DEVICES NOT CLEARLY OUTLINED IN THE PLANS OR SCHEDULES, COORDINATE WITH THE ARCHITECT. ARCHITECT SHALL CONFIRM ALL ELECTRICAL DEVICE AND LIGHT FIXTURE LOCATIONS BEFORE CONTRACTOR PULLS WIRE.</p> <p>15. WEATHER STRIP ALL EXTERIOR DOORS AND WINDOWS.</p> <p>16. CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.</p> <p>17. GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATER TIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.</p>
PROPOSED FLOOR AREA:	860 SQ. FT.																																																																
FIRST FLOOR:	924 SQ. FT.																																																																
SECOND FLOOR:	924 SQ. FT.																																																																
TOTAL LIVING AREA:	1,784 SQ. FT.																																																																
GARAGE:	379 SQ. FT.																																																																
TOTAL BUILDING AREA:	2,163 SQ. FT.																																																																
MAXIMUM ALLOWABLE LOT COVERAGE:	40%																																																																
PROPOSED LOT COVERAGE:	31%																																																																
NET LOT AREA:	17,777 SQ. FT.																																																																
PAVED AREAS	1,461 SF																																																																
LANDSCAPED AREAS	1,212 SF																																																																
TOTAL	2,673 SF																																																																
FRONT OF STRUCTURE/DWELLING	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK																																																														
FRONT OF	21'-0"	15'-0"	23'-0"																																																														
FRONT OF GARAGE/CARPORT	11'-0"	15'-0"	18'-2"																																																														
LEFT SIDE 1ST FLOOR	11'-0"	15'-0"	18'-0"																																																														
LEFT SIDE 2ND FLOOR	28'-11"	15'-0"	20'-0"																																																														
RIGHT SIDE 1ST FLOOR	11'-0"	15'-0"	18'-11"																																																														
RIGHT SIDE 2ND FLOOR	23'-7"	15'-0"	23'-11"																																																														
REAR 1ST FLOOR	11'-0"	15'-0"	18'-11"																																																														
REAR 2ND FLOOR	21'-0"	15'-0"	31'-5"																																																														
<p>FIRE DEPARTMENT NOTES</p> <p>1) THIS PROJECT SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC), 2016 CITY OF CAMPBELL MUNICIPAL CODE (CUPMPC) & CALIFORNIA CODE OF REGULATIONS (CCR).</p> <p>2) ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7, PER CFC CHP-33</p> <p>3) POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. PER 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.</p> <p>4) APPROVED BUILDING NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. PER CFC SEC. 505.1.</p>	<p>FIRE SPRINKLER NOTES</p> <p>AN AUTOMATED RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN THE (N) SINGLE FAMILY DWELLING UNITS PER CRC R313.2</p> <p>CONTACT CITY OF CAMPBELL UTILITIES & SUBMIT A UTILITY APPLICATION WHICH INCLUDES 40 GPM FOR FIRE SPRINKLER DEMAND. WATER METER SIZE NEEDS TO BE DETERMINED PRIOR TO FIRE DEPARTMENT APPROVAL OF PROJECT.</p> <p>FIRE SPRINKLER SYSTEM TO BE APPROVED UNDER A SEPARATE PERMIT.</p>	<p>PUBLIC WORKS NOTES</p> <p>1. WATER METER MAY BE UPGRADED / UPSIZED TO 1" RADIO READ PER CITY'S APPROVAL FIRE SPRINKLER SYSTEM DESIGN PLAN</p> <p>2. NEW SEWER CLEANSUIT PER CITY'S STANDARD DETAIL 15A PER AVAILABLE CITY'S UTILITY BLOCK MAP. PLEASE FIELD VERIFY THE EXISTING SEWER BEFORE INSTALLATION.</p> <p>3. REMOVE THE EXISTING DRIVEWAY APPROACH AND RECONSTRUCT A NEW DRIVEWAY APPROACH PER CURRENT CITY'S STANDARD REQUIREMENTS AND NOT COMPLY WITH ADA REQUIREMENTS.</p> <p>4. CITY STREET TREE IN PARK-STRIP</p>																																																															



-0-1.0 BLOCK DIAGRAM
SCALE: 1/16" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 1
COVER SHEET
BLOCK DIAGRAM

A-0.01

**YANHUA
RESIDENCE**

1323 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP

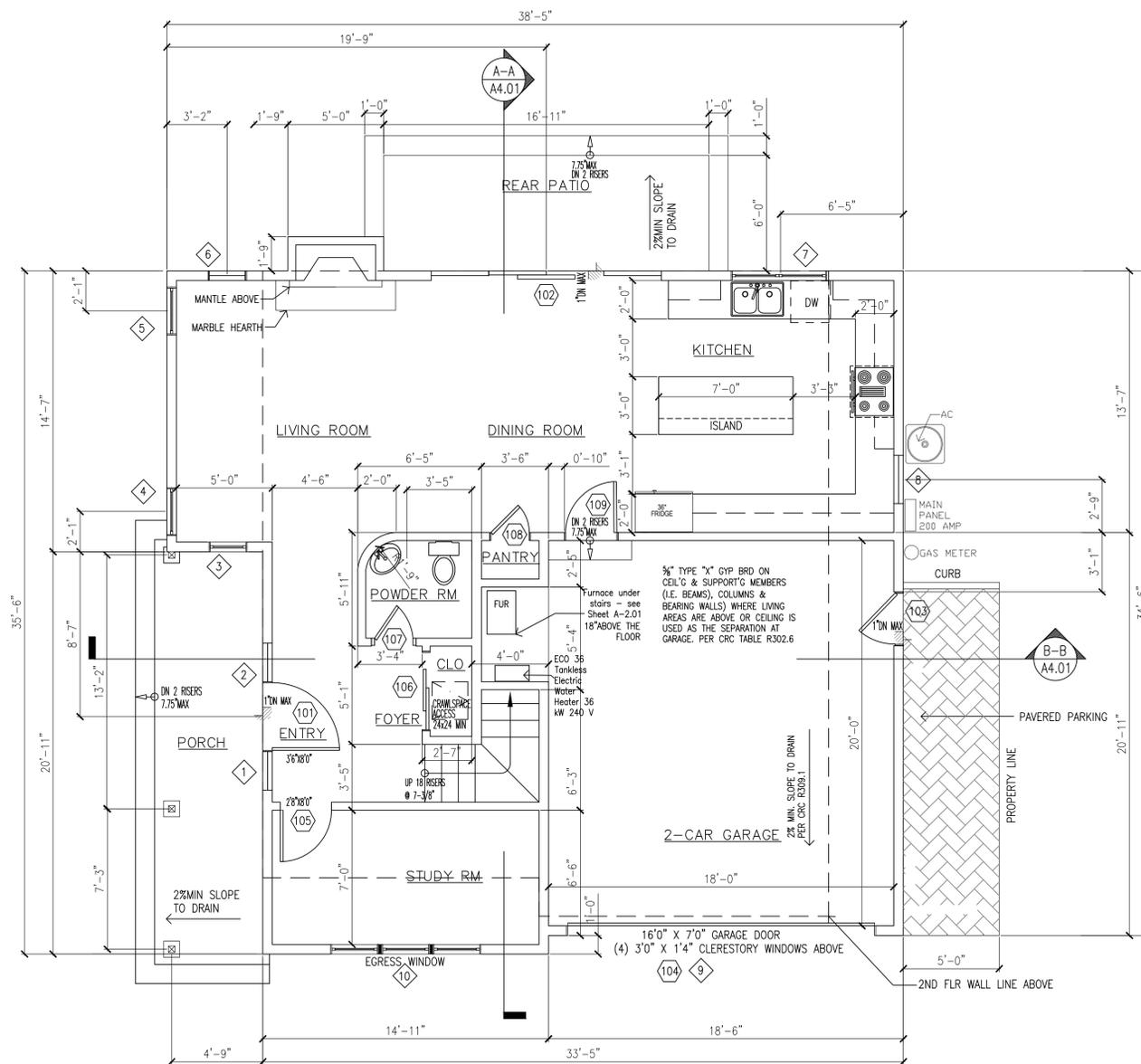
20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE
1323 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHUBO@GMAIL.COM
4085990163

SHEET NOTES:

- E: EGRESS WINDOW - WINDOW OPENINGS IN BEDROOMS ARE TO BE A MAX. OF 44" ABOVE FINISHED FLOOR FOR EMERGENCY EGRESS.
 E: DWELLING UNIT EGRESS DOOR.
 T: TEMPERED GLASS
 F: FIXED WINDOW
- ALL DIMENSIONS ARE TAKEN FROM STUDS TO STUDS. 2) EXTERIOR WINDOW AND DOOR TO BE CENTERED TO THE WALL, UNLESS OTHERWISE NOTED, TYP.
 - SHOWER AND TUB/SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
 - THE MAXIMUM HOT WATER TEMP DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEG F.
 - RAISED PLATFORM SHOULD BE 18" ABOVE FLOOR, THAT THE GAS WATER HEATER WILL HAVE TWO SEISMIC STRAPS AND PRESSURE RELIEF VALVE WILL BE TERMINATE AT THE EXTERIOR OF THE HOUSE.
 - 30"x24" MIN. FLOOR ACCESS.
 - PROVIDE 1-HOUR FIRE RATED DOOR OR SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1-3/8" THICK DOOR.
 - TEMP. GLASS DOOR AND ENCLOSURE, TYP. WALL COVERING SHALL BE TILE WITH CEMENT BED 7/8" MIN. ABOVE DRAIN AT SHOWER OR TUB WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT, TYP.
 - WALLS AND CEILING IN GARAGE SEPARATING AND SUPPORTING LIVING AREA SHALL BE COVERED WITH 5/8" TYPE "X" GYPSUM BD.
 - KITCHEN HOOD: PROVIDE A BACK-DRAFT DAMPER, HOOD SHALL BE INSTALLED DIRECTLY OVER THE COOK TOP, BE AS WIDE AS THE STOVE AND CENTERED OVER STOVE, 30" MIN. CLEARANCE FROM THE COOKING SURFACE, AND MUST BE SEPARATED BY 1/4" MIN. GAR FROM THE COMBUSTIBLES OR METAL CABINET. FURNACE AT ABOVE CEILING.
 KITCHEN EXHAUST FAN REQUIRED CFM AND DUCT SIZE SHOULD COMPLY WITH CA ENERGY CODE SECTION 150(O) AND ASHRAE 62.2.
 - PROPOSED ELECTRICAL FUSEBOX LOCATION, CONTRACTOR TO VERIFY SPECIFIC MODEL WITH OWNER.
 - PROPOSED HOME NETWORK PANEL LOCATION, CONTRACTOR TO VERIFY SPECIFIC MODEL WITH OWNER.
 - MARBLE HEARTH, MAJESTIC GAS FIREPLACE & FLUE SYSTEM W/ REMOTE CONTROL. THERMAL VENT DAMPER, U.L. LISTING # MH6018.0 DINING ROOM.
 - CEILING ACCESS W/ 20" MAX. OF ATTIC FURNACE
 - DRYER VENT THROUGH UNDERFLOOR TO EXTERIOR, MIN 4" DIA., BACKDRAFT DAMPER AT TERMINATION. NO MORE THAN 2 ELBOWS.
 - AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MIN. CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES. THE MIN. CLEAR HEIGHT OF THE THRESHOLD TO THE BOTTOM OF THE STOP, OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MIN. DIMENSIONS. INDICATE ON THE PLAN THE DESIGNED EGRESS DOORS AND INDICATE THIS DOOR SHALL BE READILY OPERABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
 - PENETRATIONS THROUGH FIRE-RATED RESISTANT WALL OR FLOOR/CEILING ASSEMBLIES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R302.4
 - OR FLOOR-CEILING ASSEMBLIES SEPARATING DWELLING UNITS, AIR-BORNE & IMPACT SOUND INSULATION SHALL BE PROVIDED. (CRC APPENDIX K AK101.1)
 - AIR-BORNE SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES SHALL MEET A SOUND TRANSMISSION CLASS (STC) RATING OF 45 WHEN TESTING IN ACCORDANCE WITH ASTM E90. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING: ELECTRICAL DEVICES, RECESSED CABINETS, BATHTUBS, SOFFITS, OR HEATING, VENTILATING, OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATING. FLOOR-CEILING ASSEMBLY THAT COMPLIES.
 - IMPACT SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES SHALL HAVE AN IMPACT INSULATION CLASS (IIC) RATING OF NOT LESS THAN 45 WHEN TESTED IN ACCORDANCE WITH ASTM E 492.
 - VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1 THROUGH R327.6.3 OF THE 2016 CRC TO RESIST BUILDING IGNITION FROM THE INSTRUCTION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.
 - THE TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN SHALL SLOPE 1/4" PER FOOT TO THE EXTERIOR AND TURN DOWN BETWEEN 6" AND 24" ABOVE FINISHED GRADE. FOOT TO THE EXTERIOR AND TURN DOWN BETWEEN 6" AND 24" ABOVE FINISHED GRADE.
 - THE ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS SHALL BE PROTECTED WITH 1/2" GYP. BD. ON THE ENCLOSED SIDE OF THE WALLS. UNDER-STAIR SURFACE AND SOFFITS. BD. ON THE ENCLOSED SIDE OF THE WALLS. UNDER-STAIR SURFACE AND SOFFITS.
 - IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. PER CRC R302.11.
 - CONTRACTOR IS NOT TO WASH THE WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES.
 - AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER IN A CONSPICUOUS LOCATION IN THE BUILDING STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24 PART 2 CHAPTER 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE.
 - PROVIDE EMERGENCY EGRESS WINDOW AT EACH SLEEPING ROOM. SPECIFY THAT THE ESCAPE OPENING HAS A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE-FLOOR OPENING SHALL BE MIN. 5 SQ. FT.); MIN. NET CLEAR OPENING HEIGHT OF 24"; AND MIN. NET CLEAR OPENING WIDTH OF 20". FURTHER, SPECIFY THAT SUCH WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR AND OPEN DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO A PUBLIC WAY. [R310]
- ATTIC ACCESS NOTE:**
 CRC R807.1 ATTIC ACCESS LOCATIONS TO ANY LOWER ROOF ATTIC SPACES THAT EXCEED 30 SQ. FT. & HAVE A VERTICAL HT. OF 30" OR GREATER. ROUGH-FRAMED OPENINGS SHALL NOT BE LESS THAN 22"x30"
- THRESHOLD NOTE:**
 2016 CBC. THRESHOLDS FOR DOORWAYS TO HAVE 1/2" MAX. & 3/4" FOR SLIDING DOORS. THRESHOLDS GREATER THAN 1/4" REQUIRE BEVELING AT A 50% SLOPE. WHERE ALLOWED, DOOR THRESHOLDS COMBINED WITH RISERS ARE TO HAVE A COMBINED MAX HT. OF 7-3/4"
- CRAWLSPACE VENTILATION NOTES:**
- NFVA PROVIDED
 TOTAL = 6 SQ. FT. > 5.8 SQ. FT.
- REQ. VENT AREA FOR ENTIRE HOUSE: 869.5/150 = 5.8 SQ. FT.
 VENT PROVIDED: (10) 14" X 6" = 10 X .60 = 6 SQ. FT.
 PROVIDE TOTAL: 10 FOUNDATION VENTS
 COVER VENTS WITH 1/4" CORROSION RESISTANT WIRE MESH.
 NO VENTS OCCUR AT THE SHEARWALL LOCATIONS
- CRAWLSPACE VENTILATION CALCULATIONS:**
- | SPACE | VENTED AREA | NFVA REQD. | REMARKS |
|------------|--------------|---------------------------|---|
| CRAWLSPACE | 869.5 SQ.FT. | 869.5 / 150 = 5.8 SQ. FT. | (10) 14"x6" FOUNDATION VENT= 10X.60 = 6 SQ. FT. |



- 2-1 HOUSE 1 1ST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

**HOUSE 1
1ST FLOOR
PLAN**

A-2.01

ROOF PLAN NOTES:

- 2" DIA. EAVE VENT HOLES AT EA. BLOCK, TYP. COVERED W/ CORROSION RESISTANT METAL MESH OPENING OF 1/4".
- DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- RWL, TYP. DIRECTED TO SPLASH BLOCKS OR OTHER IMPERVIOUS SURFACE THAT DEFLECTS WATER AWAY FROM THE BUILDING, 5% SLOPE TO LANDSCAPING AREA.
- VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS (2016 CRC R 327.6.2):
 - * THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
 - * THE MATERIALS USED SHALL BE NONCOMBUSTIBLE.
 - * THE MATERIALS USED SHALL BE CORROSION RESISTANT.
- VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1 THROUGH R327.6.3 OF THE 2016 CRC TO RESIST BUILDING IGNITION FROM THE INSTRUCTION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.

VENTILATION NOTES:

KEEP ALL THE EXISTING VENTILATION OPENINGS TO OPEN, BOTH @ ROOF AND FOUNDATION.
PURCH 2" Ø HOLES ON ROOF SHEATHING UNDER THE CALIFORNIA ROOF FRAMING AREA.
NO VENTS SHALL OCCUR AT THE SHEARWALL LOCATIONS.

ATTIC ACCESS NOTE:

A) ATTIC ACCESS LOCATIONS TO ANY LOWER ROOF ATTIC SPACES THAT EXCEED 30 SQ. FT. & HAVE A VERTICAL HEIGHT OF 30" OR GREATER. ROUGH-FRAMED OPENINGS SHALL NOT BE LESS 22"x30" PER CRC R807.1.

VENTILATION SYSTEM CALCULATION:

1784 SQ.FT. / 100 = 17.8
7.5 X 5 = 37.5
17.8 + 37.5 = 55.3

UPPER ROOF VENT CALCULATION:

REQ. VENT AREA: $1,227.2 / 150 = 8.18$ SQ. FT.

EAVE VENTS: AT EACH BAY WHERE JOISTS ARE 24" O. C. (S. S. D.) PROVIDE (4) 2" Ø VENTILATION HOLES THROUGH STRUCT'L. BLOCKING. PROVIDE CERTIFIED RADIANT BARRIER- POLAR PLY AT UNDERSIDE OF THE PLYWOOD. PROVIDE PVC INSULATION SHIELD TO HOLD INSULATION AND KEEP 1" MIN. SPACE FOR FREE FLOW OF AIR.

- EAVE VENTS: TOTAL 35 BAYS X 4 X 0.022 = 3 SQ. FT.
- GABLE VENTS
PROVIDE 6 GABLE VENTS: 6 X 4.6 = 27.6 SQ. FT.

TOTAL PROVIDED VENT AREA: 27.6 + 3 = 30.6 SQ. ST > 8.18 SQ. FT.

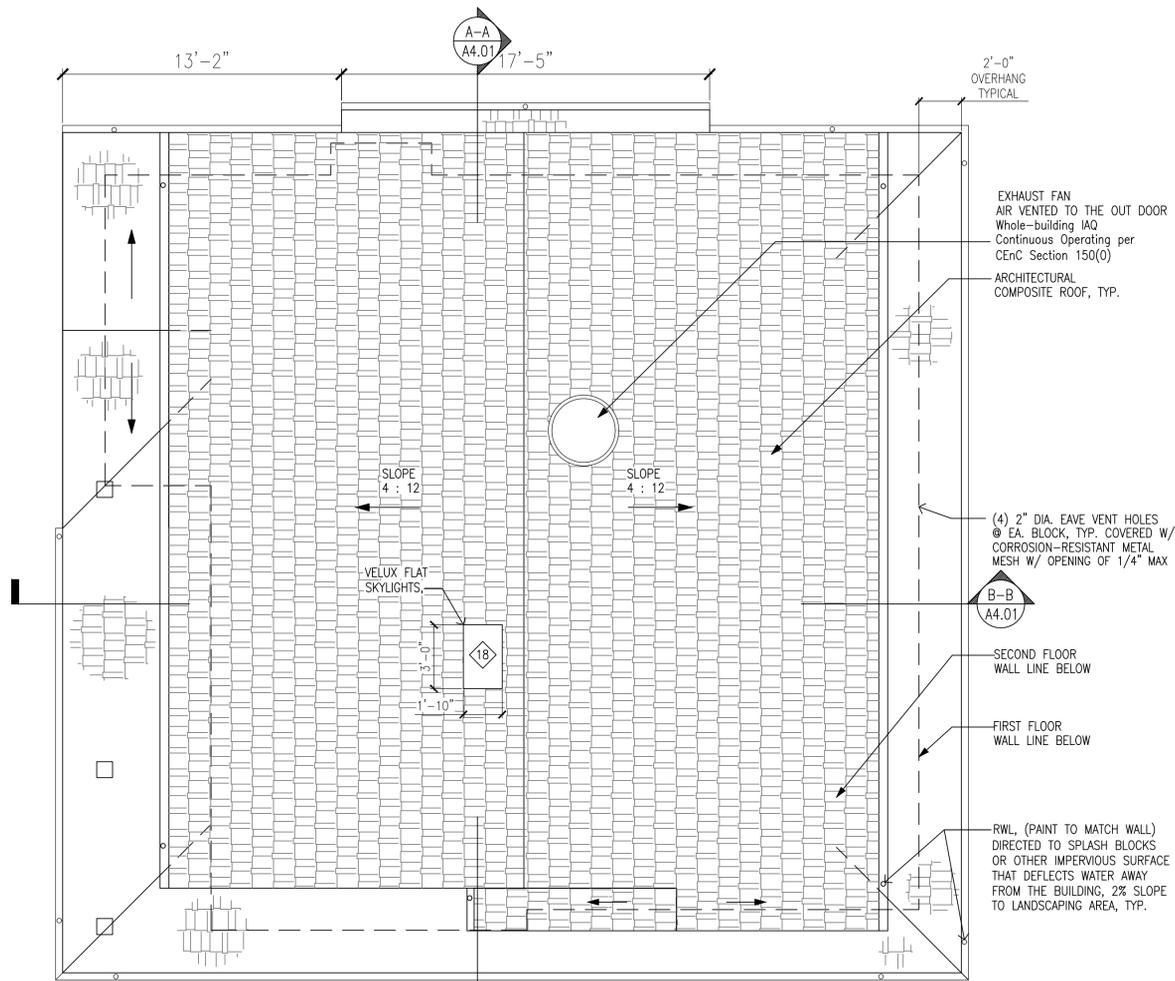
LOWER ROOF VENT CALCULATION:

REQ. VENT AREA: $732.2 / 150 = 4.88$ SQ. FT.

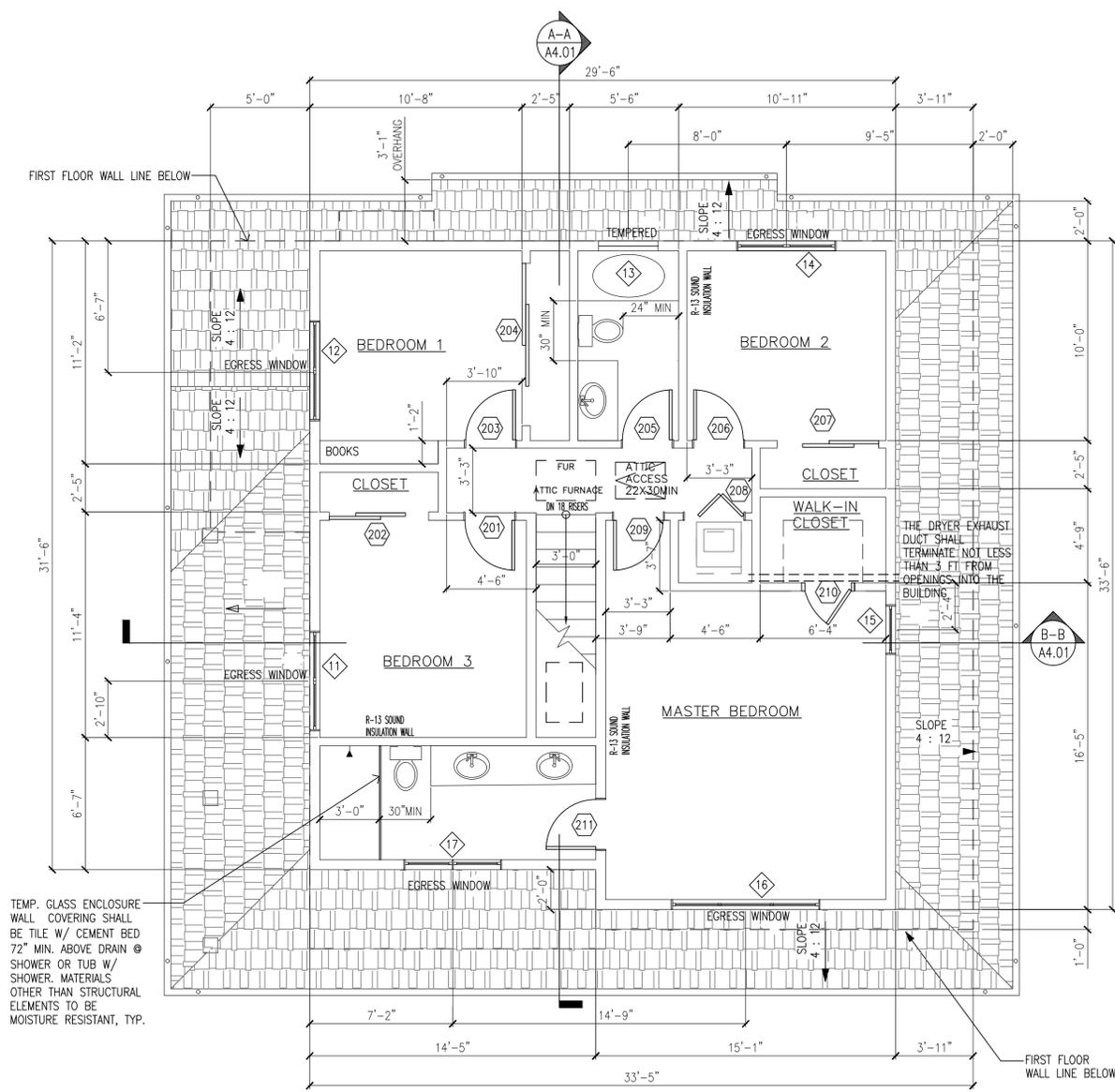
EAVE VENTS: AT EACH BAY WHERE JOISTS ARE 24" O. C. (S. S. D.) PROVIDE (4) 2" Ø VENTILATION HOLES THROUGH STRUCT'L. BLOCKING. PROVIDE CERTIFIED RADIANT BARRIER- POLAR PLY AT UNDERSIDE OF THE PLYWOOD. PROVIDE PVC INSULATION SHIELD TO HOLD INSULATION AND KEEP 1" MIN. SPACE FOR FREE FLOW OF AIR.

- EAVE VENTS: TOTAL 71 BAYS X 4 X 0.022 = 6.2 SQ. FT.
- GABLE VENTS
PROVIDE 2 GABLE VENTS: 2 X 4.6 = 9.2 SQ. FT.

TOTAL PROVIDED VENT AREA: 9.2 + 6.2 = 15.4 SQ. ST > 4.88 SQ. FT.



HOUSE 1 ROOF PLAN
SCALE: 1/4" = 1'-0"



HOUSE 1 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 1 2ND FLOOR PLAN & ROOF PLAN

#	ROOM	Size (W x H)	Type	Door Mat.	Door Fin. (In/Out)	Frame Mat.	Frame Fin. (In/Out)	Safety Glazing	Rating	Hdwr Group	Remarks
101	ENTRY	3'6" x 8'0"	IS	WD	P/P	WD	P/P	YES			
102	DINING/REAR PATIO	12'0" x 8'0"	SL	V	FP	V	FP	YES			
103	GARAGE/SIDE PARKING	2'8" x 6'8"	H	AL	FP	AL	FP	YES			
104	GARAGE	16'0" x 7'0"	G	AL	FP	AL	FP	YES			
105	STUDY	2'8" x 8'0"	IS	WD	P/P	WD	P/P				
106	FOYER/CLOSET	4'0" x 8'0"	SL	WD	P/P	WD	P/P				
107	POWDER	2'4" x 8'0"	IS	WD	P/P	WD	P/P				
108	PANTRY	2'4" x 8'0"	OS	WD	P/P	WD	P/P				
109	GARAGE/DINING	2'8" x 8'0"	IS	WD	P/P	WD	P/P	FIRE-RATED			1 3/4" THK SCW SELF-CLOSING TIGHT-FITTING
201	BEDROOM 3	2'8" x 6'8"	IS	WD	P/P	WD	P/P				
202	BEDROM 3/CLOSET	2'8" x 6'8"	IS	WD	P/P	WD	P/P				
203	BEDROOM 1	3'0" x 6'8"	IS	WD	P/P	WD	P/P				
204	BEDROOM 1/CLOSET	8'0" x 6'8"	SL	WD	P/P	WD	P/P				
205	HALLWAY BATH	2'8" x 6'8"	IS	WD	P/P	WD	P/P				
206	BEDROOM 2	2'8" x 6'8"	IS	WD	P/P	WD	P/P				
207	BEDROOM 2/CLOSET	5'0" x 6'8"	SL	WD	P/P	WD	P/P				
208	LAUNDRY	3'0" x 6'8"	BF	WD	P/P	WD	P/P				
209	MASTER BEDROOM	2'8" x 6'8"	IS	WD	P/P	WD	P/P				
210	MASTER WALK-IN CLO	2'8" x 6'8"	OS	WD	P/P	WD	P/P				
211	MASTER BATH	2'8" x 6'8"	IS	WD	P/P	WD	P/P				

Type: BF= Bi-Folding G= Garage H= Half-Light IS= Inswinging M.= Mirrored
OS= Outswinging P= Panel PK= Pocket SF= Sliding French SL= Sliding P= Pair
Materials: AL= Aluminum GL= Glass HM= Hollow Metal Vinyl= V SCW= Solid Core Wood WC= Wood Clad WD= Wood
Finish: C= Clad CC= Custom Clad FP= Factory Painted FS= Factory Stained P= Primed, GC Painted S= Stained P/P= Primed & Painted
Glazing: C= Custom Glass Panel D= Double Glazed S= Single Glazed (All door lights shall be safety glazed with 1/4" min. thick safety glass)
Hardware: B= Blind E= Exterior I= Interior P= Pocket S= Slider STD= Std. Manuf. Hardware
Sill: AL= Aluminum BZ= Bronze ST= Stone STD= Standard WD= Wood

1. VERIFY ROUGH OPENING DIMENSIONS WITH DOOR MANUFACTURER PRIOR TO ORDERING AND FRAMING
2. WOOD CASING ON ALL DOORS

- 3-3 HOUSE 1 DOOR SCHEDULE

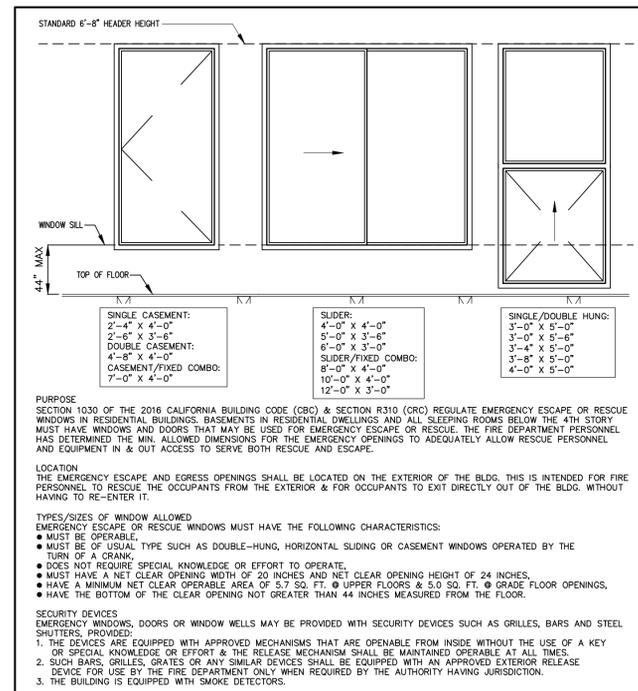
#	ROOM	Size (W x H)	Type	Mat.	(In/Out)	Frame Mat.	Frame Fin. (In/Out)	Safety Glazing	EGRESS	Remarks
1	ENTRY	1'10" x 7'6"	F	V	V/V	V		YES		
2	ENTRY	1'10" x 7'6"	F	V	V/V	V		YES		
3	LIVING	2'0" x 5'6"	DH	V	V/V	V				
4	LIVING	2'6" x 5'6"	DH	V	V/V	V				
5	LIVING	2'6" x 5'6"	DH	V	V/V	V				
6	LIVING	2'0" x 5'6"	DH	V	V/V	V				
7	KITCHEN	5'0" x 5'0"	S	V	V/V	V		YES		
8	KITCHEN	2'6" x 5'0"	DH	V	V/V	V				
9	GARAGE	(4) 3'2" x 1'4"	F	V	V/V	V		YES		
10	STUDY	(3) 2'6" x 5'6"	S	V	V/V	V		YES		
11	BEDROOM #3	5'0" x 5'0"	S	V	V/V	V		YES		
12	BEDROOM #1	5'0" x 5'0"	S	V	V/V	V		YES		
13	HALLWAY BATH	3'0" x 3'0"	S	V	V/V	V		YES		
14	BEDROOM #2	5'0" x 5'0"	S	V	V/V	V		YES		
15	MASTER BEDROOM	2'6" x 5'0"	DH	V	V/V	V				
16	MASTER BEDROOM	7'6" x 5'0"	S	V	V/V	V		YES		
17	MASTER BATH	5'0" x 4'0"	S	V	V/V	V				
18	SKYLIGHT	1'10" x 3'0"	F	AL	AL	AL				

WINDOW & SKYLIGHT SCHEDULE NOTES:

TYPE: DH= Double Hung C=Casement SL=Sliding A=Awning F= Fixed
MATERIAL: AL= Aluminum STL= Steel V= Vinyl WC= Wood Clad WD= Wood
FINISH: C= Clad CC= Custom Clad FP= Factory Painted P= Paint grade
GLAZING: I= Clear Insulated Glass L= Clear Laminated Glass P= Single Float Glass
LIGHTS: TDL= True Divided Light. Upper sash single glazed with storm panel, lower sash clear insulated glass.

1. SEE EXTERIOR ELEVATIONS FOR SILL/HEAD HEIGHTS AND WINDOW SWING INFO. VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING.
2. COORDINATE THE WINDOW STYLES AND LIGHT PATTERNS WITH THE EXTERIOR ELEVATIONS PROVIDED ON A3
3. VERIFY ROUGH OPENING DIMENSIONS WITH DOOR MANUFACTURER PRIOR TO ORDERING AND FRAMING.
4. VINYL ON ALL WINDOWS.

- 3-4 HOUSE 1 GENERAL WINDOW SCHEDULE



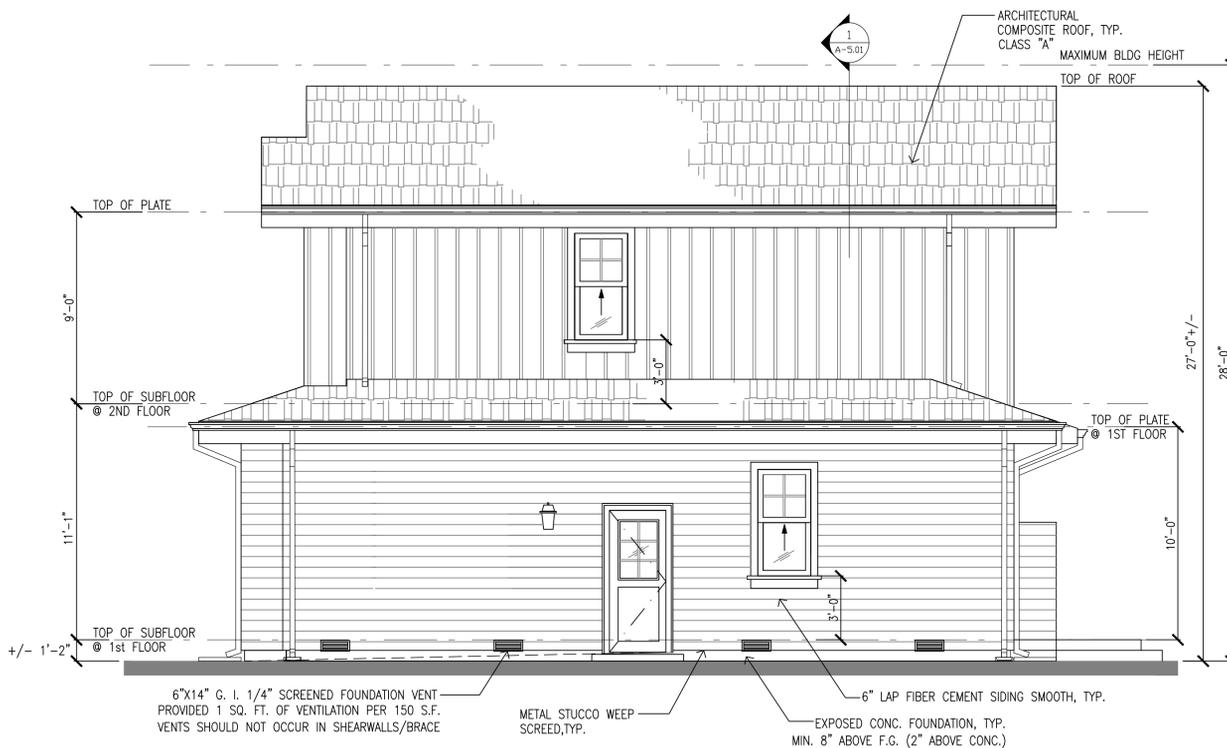
RESIDENTIAL EGRESS WINDOWS (2016 CBC) SECTION 1030 EMERGENCY ESCAPE & RESCUE

- 3-5 EGRESS WINDOWS



- 3-1 HOUSE 1 FRONT (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"



- 3-2 HOUSE 1 REAR (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"

YANHUA RESIDENCE

1323 ELAM AVE.
CAMPBELL, CA 95008

SC DESIGN GROUP

20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE

1323 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHU183@GMAIL.COM
4085990163

REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 1
FRONT (SOUTH)
& REAR (NORTH)
ELEVATIONS
DOOR & WINDOW
SCHEDULES
EGRESS WINDOWS

A-3.01

**YANHUA
RESIDENCE**

1323 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP
20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE

1323 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHUI830@GMAIL.COM
4085990163

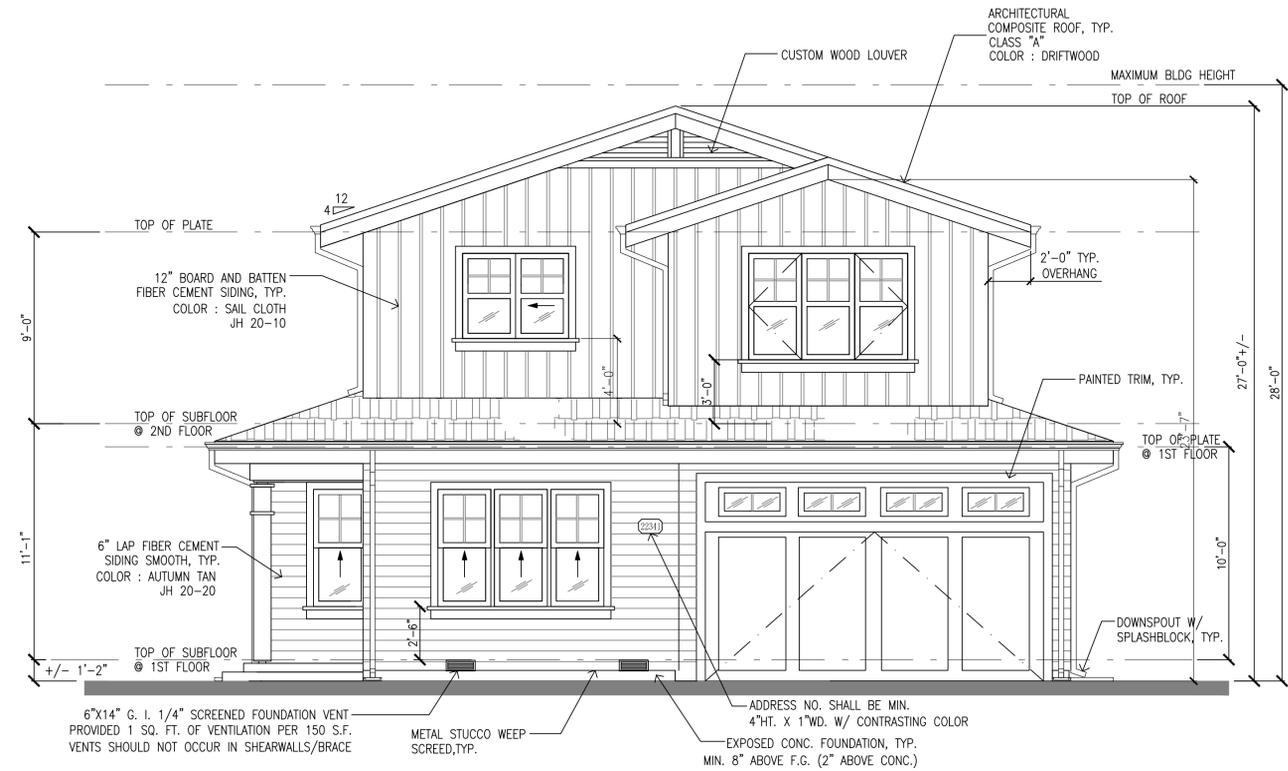
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PROJECT NO: DATE: 10/27/21

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**HOUSE 1
LEFT (WEST) &
RIGHT (EAST)
ELEVATIONS**

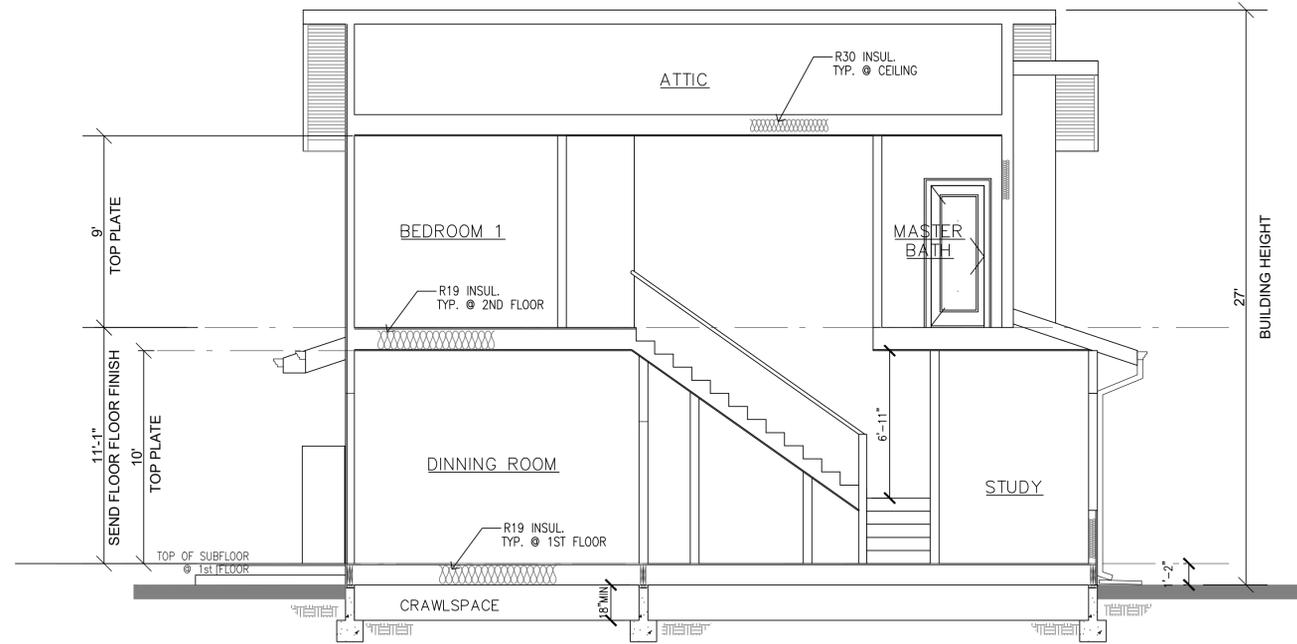
A-3.11



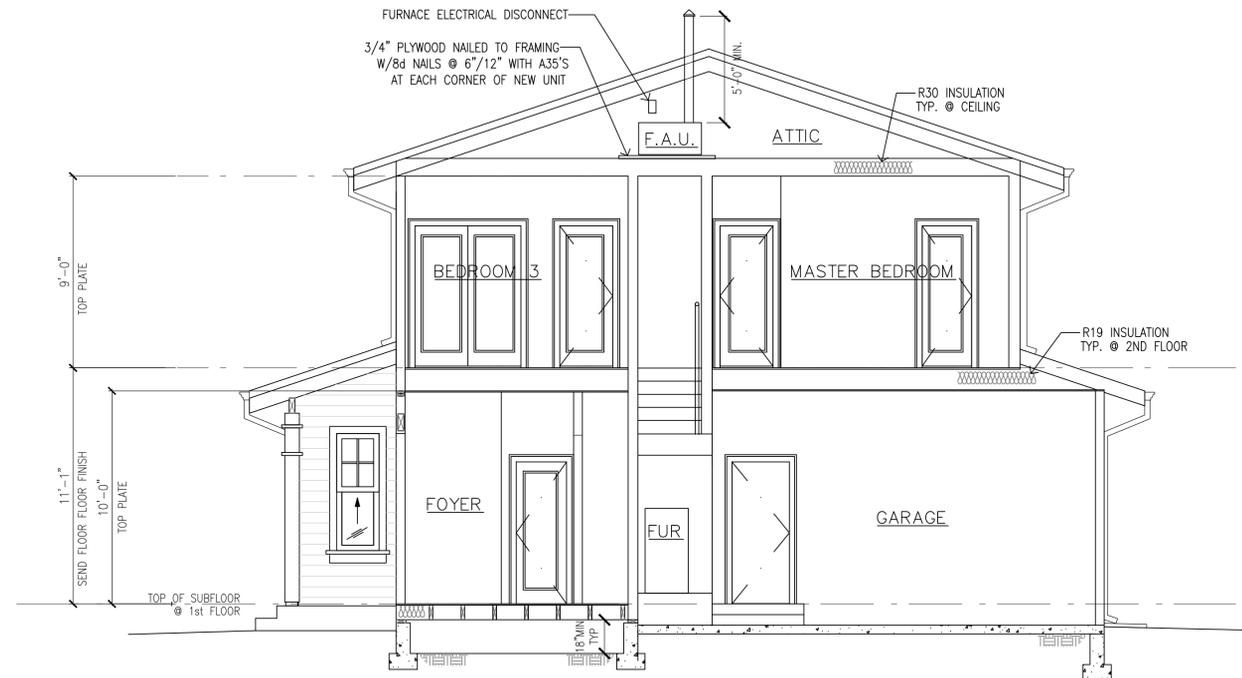
- 3-6 HOUSE 1 RIGHT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



- 3-7 HOUSE 1 LEFT (WEST) ELEVATION
SCALE: 1/4" = 1'-0"



- A-A HOUSE 1 CROSS SECTION
SCALE: 1/4" = 1'-0"



- B-B HOUSE 1 CROSS SECTION
SCALE: 1/4" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21

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HOUSE 1
CROSS
SECTIONS

YANHUA RESIDENCE HOUSE 2



CAMPBELL, CALIFORNIA

YANHUA
RESIDENCE

1325 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP

20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE
1325 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHU@GMAIL.COM
4085990163

PROJECT INFORMATION

VICINITY MAP



GENERAL INFORMATION

PROPERTY ADDRESS: 1325 ELAM AVE., CAMPBELL, CA 95008
A.P.N.: 40-30-30-046
DESCRIPTION OF WORK: NEW 2-STORY 4 SINGLE-FAMILY HOUSES WITH ATTACHED GARAGE
LAND USE: RESIDENTIAL (0-4.4 DU/AC)
ZONING: R1-7.5
OCCUPANCY GROUP: U
GARAGE OCCUPANCY GROUP: U
TYPE OF CONSTRUCTION: TYPE V-B
STORIES: 2-STORY
AVERAGE SLOPE: FLAT

FLOOR CALCULATION

PROPOSED FLOOR AREA:
FIRST FLOOR 913 SQ. FT.
SECOND FLOOR 780 SQ. FT.
TOTAL LIVING AREA 1,693 SQ. FT.
GARAGE 379 SQ. FT.
TOTAL BUILDING AREA 2,072 SQ. FT.
MAXIMUM ALLOWABLE LOT COVERAGE 40%
PROPOSED LOT COVERAGE 31%
NET LOT AREA 17,777 SQ. FT.

PAVED/LANDSCAPED AREAS	PROPOSED
PAVED AREAS	1,348 SF
LANDSCAPED AREAS	771 SF
TOTAL	2,119 SF

SETBACKS	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK
FRONT OF STRUCTURE/DWELLING	14'-3"	15'-0"	23'-0"
FRONT OF GARAGE/CARPOR	11'-0"	15'-0"	18'-0"
LEFT SIDE 1ST FLOOR	11'-0"	5'-0"	5'-0"
LEFT SIDE 2ND FLOOR	21'-0"	5'-0"	10'-9"
RIGHT SIDE 1ST FLOOR	11'-0"	5'-0"	5'-0"
RIGHT SIDE 2ND FLOOR	23'-0"	5'-0"	10'-7"
REAR 1ST FLOOR	14'-0"	15'-0"	15'-0"
REAR 2ND FLOOR	24'-11"	15'-0"	15'-0"

SHEET INDEX

ARCHITECTURAL

A-0.02 COVERSHEET
A-1.02 EXISTING TOPOGRAPHIC MAP/DEMOLITION PLAN
A-1.12 PROPOSED SITE PLAN
A-2.02 HOUSE 1 1ST FLOOR PLAN
A-2.12 HOUSE 1 2ND FLOOR PLAN & ROOF PLAN
A-3.02 HOUSE 1 FRONT & REAR ELEVATIONS / DOOR & WINDOW SCHEDULE
A-3.12 HOUSE 1 RIGHT & LEFT ELEVATIONS
A-4.02 HOUSE 1 SECTIONS
A-5.02 TYPICAL DETAILS

ELECTRICAL

MEP1 HOUSE 2 1ST FLOOR ELECTRICAL PLAN
MEP2 HOUSE 2 2ND FLOOR ELECTRICAL PLAN

CIVIL

ON-SITE GRADING & DRAINAGE PLANS

1 TITLE SHEET
2 TOPOGRAPHIC MAP
3 DEMOLITION PLAN
4 OVERALL SITE PLAN
5 GRADING & DRAINAGE PLAN
6 UTILITY PLAN
7 IMPERVIOUS AREA PLAN
8 STORM DRAIN PLAN
9 STORMWATER SECTIONS
10 DETAILS
11 DETAILS
12 GRADING SPECIFICATIONS
13 GRADING SPECIFICATIONS
14 EROSION CONTROL PLAN
15 EROSION CONTROL DETAILS
16 BUILDING FOR A CLEAN BAY

OFF-SITE GRADING & DRAINAGE PLANS

1 TITLE SHEET
2 DEMOLITION PLAN
3 STREET PLAN AND PROFILE
4 HORIZONTAL CONTROL PLAN
5 CITY DETAILS
6 STREET LIGHT ELECTRICAL DETAILS
7 BUILDING FOR A CLEAN BAY

LANDSCAPING

L-1 ON-SITE LANDSCAPE PLAN
L-2 OFF-SITE LANDSCAPE PLAN
L-3 ON-SITE LANDSCAPE PLAN
L-4 OFF-SITE LANDSCAPE PLAN

TITLE 24

T-24.1 ENERGY CALCULATIONS
T-24.2 ENERGY CALCULATIONS

STRUCTURAL

15 GENERAL NOTES
25 FOUNDATION PLAN
35 2ND FLOOR FRAMING PLAN
45 ROOF & CEILING FRAMING PLANS
55 FOUNDATION DETAILS
65 HARDY FRAME DETAILS
75 FRAMING DETAILS
85 FRAMING DETAILS
95 FRAMING DETAILS

UTILITY

JT1 JOINT TRENCH COMPOSITE TITLE SHEET
JT2 JOINT TRENCH GENERAL NOTES AND DETAILS
JT3 JOINT TRENCH DETAILS
JT4 JOINT TRENCH SECTIONS AND DETAILS
JT5 JOINT TRENCH COMPOSITE PLAN
JT6 JOINT TRENCH COMPOSITE PLAN

NOTES

ADDITIONAL NOTES

1- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.

2- THE ROOF WILL COMPLY WITH COOL ROOF REQUIREMENTS OF THE 2016 C.C. 110.B 2016

3- AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM WILL BE INSTALLED PER CRC 313.2, AS ADOPTED AND AMENDED BY CUPMD, NFPA 13D 2016 EDITION STANDARD. PLANS TO BE DEFERRED TO CMV RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS (SEE CITY WEBSITE UNDER FIRE HANDOUTS) COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. MIN "1-1/2" METER "1-1/2" SERVICE LINE UNLESS HYDRAULIC CALCULATIONS PROVE EXISTING ADEQUATE.

4- FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.

5- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION 2016, (CMC 303.1 AND 2016 CPC 310.4

6- PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

7- BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.

8- COMPLETED OF 2R-LD-01-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

9- THE BUILDING MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRES SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS PART (10-103.1B) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.

10- THE SOIL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION, COMPACTION, AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION TO VERIFY ELEMENTS OF THE SOILS REPORT. SITE VISIT REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT INSPECTOR OF RECORD (IDR)

11- THIS PROJECT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE. LANGUAGE FOR THE LETTER MUST BE AS WRITTEN AS PER CAMPBELL'S SURVEYOR HANDOUT AVAILABLE THROUGH THE BUILDING DEPARTMENT.

APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA ENERGY CODE (CENC)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC) AND THE CITY OF CAMPBELL ORDINANCES

CALGREEN NOTES

A. DIVERT A MINIMUM OF 65% OF THE CONSTRUCTION & DEMOLITION WASTE FOR RECYCLE OR REUSE PER CGBSC 4.405.1
B. PLEASE PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1
C. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BASED 94.304.1
D. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2 HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
E. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALL AGAINST THE PASSAGE OF RODENTS 94.406.1
F. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION 4.504.1
G. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUNDS DURING CONSTRUCTION 4.504.2.1
H. PAINT, STAIN AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS 4.504.2.2
I. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS . 4.504.2.3 DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANCE
J. CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS . 4.504.3
K. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS PER SECTIONS 4.504.4
L. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEM SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS 4.504.5
M. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATION 4.505.2
N. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE 4.505.3
O. PROJECT MODELED WITH COMPLIANCE WITH COOL ROOF AND PIPE INSULATIONS - ALL LINES.
P. HERS VERIFICATION REQUIRED FOR HVAC - DISTRIBUTION SYSTEMS AND IAQ (INDOOR AIR QUALITY), PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS BUILDING INCORPORATES FEATURES THAT REQUIRE FIELD TESTING AND/OR VERIFICATION BY A CERTIFIED RATER UNDER THE SUPERVISION OF A DEC-APPROVED HERS RATER.
Q. EXHAUST FANS IN BATHROOMS WILL BE ENERGY STAR COMPLIANT, TERMINATE OUTSIDE THE BUILDING, AND WILL BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO 90 PERCENT PER CGBSC 4.506.1
R. PER CAL GREEN , 4.504.4 THERE SHALL BE NO USE OF PRODUCTS INCLUDING MATERIALS, PAINTS, SOLVENTS, PRIMERS, CAULKS, OR GLUES THAT EXCEEDS CALIFORNIA'S LIMIT ON VOLATILE ORGANIC COMPOUNDS (VOC) ON THIS PROJECT.

FIRE DEPARTMENT NOTES

1) THIS PROJECT SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC), 2016 CITY OF CAMPBELL MUNICIPAL CODE (CUPMD) & CALIFORNIA CODE OF REGULATIONS (CCR).
2) ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 93 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PER CFC CHP.33
3) POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. PER 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.
4) APPROVED BUILDING NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. PER CFC SEC. 505-1.

FIRE SPRINKLER NOTES

AN AUTOMATED RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN THE (N) SINGLE FAMILY DWELLING UNITS PER CRC R313.2 CONTACT CITY OF CAMPBELL UTILITIES & SUBMIT A UTILITY APPLICATION WHICH INCLUDES 40 GPM FOR FIRE SPRINKLER DEMAND. WATER METER SIZE NEEDS TO BE DETERMINED PRIOR TO FIRE DEPARTMENT APPROVAL OF PROJECT.

FIRE SPRINKLER SYSTEM TO BE APPROVED UNDER A SEPARATE PERMIT.

PUBLIC WORKS NOTES

1. WATER METER MAY BE UPGRADED / UPSIZED TO 1" RADIO READ PER CITY'S APPROVAL FIRE SPRINKLER SYSTEM DESIGN PLAN
2. NEW SEWER CLEANOUT PER CITY'S STANDARD DETAIL 1.5A PER AVAILABLE CITY'S UTILITY BLOCK MAP. PLEASE FIELD VERIFY THE EXISTING SEWER BEFORE INSTALLATION.
3. REMOVE THE EXISTING DRIVEWAY APPROACH AND RECONSTRUCT A NEW DRIVEWAY APPROACH PER CURRENT CITY'S STANDARD REQUIREMENTS AND NOT COMPLY WITH ADA REQUIREMENTS.
4. CITY STREET TREE IN PARK-STRIP

GENERAL NOTES

1. WORKING HOURS: NO WORK SHALL COMMENCE ON THE JOB SITE PRIOR TO 7:00 A.M. NOR CONTINUE LATER THAN 7:00 P.M., MONDAY THROUGH FRIDAY, 9:00 A.M. NOR CONTINUE LATER THAN 6:00 P.M. SATURDAY AND 10:00 A.M. - 6:00 PM ON SUNDAY AND HOLIDAYS.
2. GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR GRADING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN REROUTING ELECTRICAL, TELEPHONE, CABLE TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. G. C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSE AT ALL TIMES.
3. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES, AND REGULATIONS. G. C. SHALL BECOME FAMILIAR WITH ALL CITY OF CAMPBELL ASPECTS OF WORKING. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF THE WORK SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS AND IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, AND PROCEDURES.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL FACETS OF HIS WORK AND ALL TRADES INVOLVED TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. IF ANY WORK IS TO BE INSTALLED BY THE OWNER DIRECTLY ALLOWANCES FOR THE OWNER'S WORK MUST BE MADE. COORDINATE WITH ARCHITECT / OWNER.
5. GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE "BROOM CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORED IN A NEAT AND SAFE PLACE TO AVOID ACCIDENTS, FOR CONSTRUCTION AND FOR THE OWNER.
6. IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE ARCHITECT BEFORE PROCEEDING.
7. NO DIMENSIONS SHALL BE TAKEN BY SCALING FROM THE DRAWINGS. DETAILS TAKE PRECEDENCE OVER GENERAL SECTIONS OR FLOOR PLANS. IF DIMENSIONS MUST BE CLARIFIED, CONSULT THE ARCHITECT. REFER TO THE COVER SHEET FOR DIMENSIONING STANDARDS.
8. VERIFY ALL DIMENSIONS ON THE JOB SITE PRIOR TO ORDERING OR MANUFACTURING.
9. GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL DRAWINGS BEFORE FRAMING. COORDINATE RECESSED LIGHT FIXTURE LOCATIONS, SHAFTS, AND HVAC DUCTWORK PRIOR TO FRAMING. IT IS IMPERATIVE THAT FRAMING MEMBER LOCATIONS DO NOT CONFLICT WITH LOCATIONS OF RECESSED LIGHT FIXTURES. IF CONFLICT EXISTS, NOTIFY ARCHITECT.
10. GENERAL CONTRACTOR SHALL INSTALL ALL APPLIANCES SPECIFIED AND ALL NEW EQUIPMENT ACCORDING TO MANUFACTURER'S INSTRUCTIONS. ALL GUARANTEES, INSTRUCTION BOOKLETS, AND INFORMATION REGARDING NEW EQUIPMENT SHALL BE HANDED DIRECTLY TO THE OWNER IN ONE MANILA ENVELOPE AT THE TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR SHALL VERIFY THAT EVERY PIECE OF EQUIPMENT AND EVERY APPLIANCE IS IN PERFECT WORKING ORDER AND THAT INFORMATION ABOUT ALL WARRANTIES AND GUARANTEES IS MADE KNOWN TO THE OWNER.
11. THE INSTALLER OF EACH MAJOR UNIT OF WORK IS REQUIRED TO INSPECT THE SUBSTRATE AND CONDITIONS TO RECEIVE WORK AND SHALL REPORT ALL UNSATISFACTORY CONDITIONS TO THE GENERAL CONTRACTOR AND NOT PROCEED UNTIL SATISFACTORY CONDITIONS ARE ATTAINED.
12. FOR MOUNTING HEIGHTS NOT CLEARLY OUTLINED IN THE PLANS OR SCHEDULES, COORDINATE WITH THE ARCHITECT. ARCHITECT SHALL CONFIRM ALL ELECTRICAL DEVICE AND LIGHT FIXTURE LOCATIONS BEFORE CONTRACTOR PULLS WIRE.
13. PROVIDE SOLID BLOCKING AS NECESSARY FOR WALL MOUNTED SHELVES, FIXTURES, AND FITTINGS. EVEN WHEN WORK IS TO BE DONE BY OWNER DIRECTLY. REVIEW SCOPE OF WORK AND LOCATIONS FROM INTERIOR ELEVATIONS AND COORDINATE WITH OWNER/ARCHITECT.
14. ALL FASTENING DEVICES TO BE CONCEALED, UNLESS OTHERWISE SHOWN.
15. WEATHER-STRIP ALL EXTERIOR DOORS AND WINDOWS.
16. CAULK OR OTHERWISE SEAL AROUND ALL OPENINGS TO LIMIT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND FLOORS AND BETWEEN EXTERIOR WALL PANELS.
17. GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WATER-TIGHT. ALL JOINTS EXPOSED TO THE ELEMENTS SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.

WASTE MANAGEMENT STATEMENT

CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM. TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION. OR CALL WEST VALLEY COLLECTION AND RECYCLING 283-9250) 40B(WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE

REVISIONS:

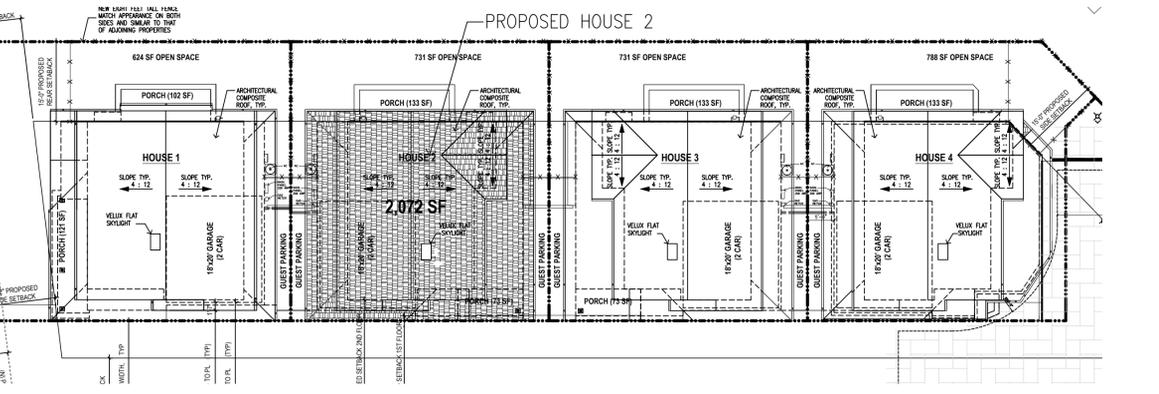
PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 2 COVER SHEET

A-0.02

SCALE: 1/16" = 1'-0"



YANHUA
RESIDENCE

1325 ELAM AVE.
CAMPBELL, CA 95008



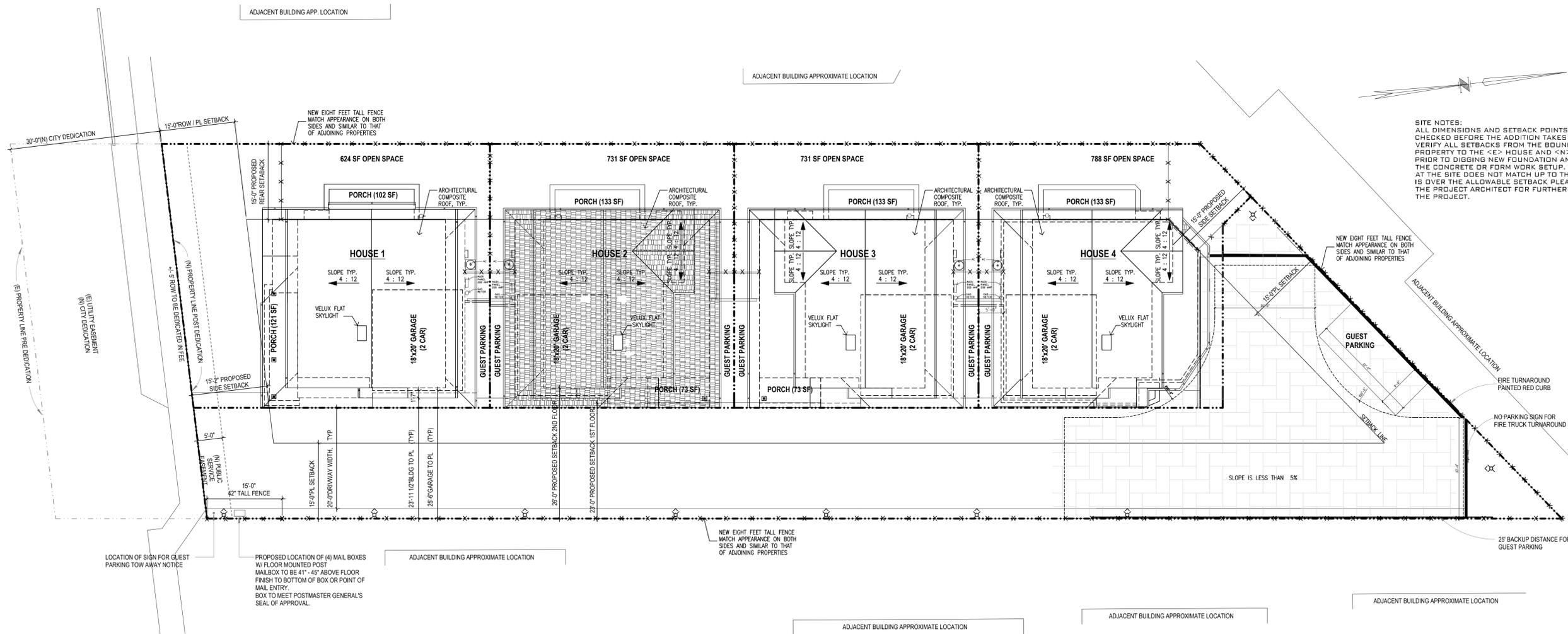
SC DESIGN GROUP

20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE

1323 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHUI830@GMAIL.COM
4085990163



SITE NOTES:
ALL DIMENSIONS AND SETBACK POINTS NEED TO BE CHECKED BEFORE THE ADDITION TAKES PLACE. PLEASE VERIFY ALL SETBACKS FROM THE BOUNDARY OF THE PROPERTY TO THE <E> HOUSE AND <N> ADDITIONS PRIOR TO DIGGING NEW FOUNDATION AND POURING OF THE CONCRETE OR FORM WORK SETUP. IF THE SETBACK AT THE SITE DOES NOT MATCH UP TO THE DRAWING OR IS OVER THE ALLOWABLE SETBACK PLEASE CONTACT THE PROJECT ARCHITECT FOR FURTHER GUIDANCE ON THE PROJECT.

-1-2 PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 2
PROPOSED
SITE PLAN

A-1.12



SHEET NOTES:

- E: EGRESS WINDOW - WINDOW OPENINGS IN BEDROOMS ARE TO BE A MAX. OF 44" ABOVE FINISHED FLOOR FOR EMERGENCY EGRESS.
 E: DWELLING UNIT EGRESS DOOR.
 T: TEMPERED GLASS
 F: FIXED WINDOW
- ALL DIMENSIONS ARE TAKEN FROM STUDS TO STUDS. 2) EXTERIOR WINDOW AND DOOR TO BE CENTERED TO THE WALL, UNLESS OTHERWISE NOTED, TYP.
 - SHOWER AND TUB/SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
 - THE MAXIMUM HOT WATER TEMP DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEG F.
 - RAISED PLATFORM SHOULD BE 18" ABOVE FLOOR, THAT THE GAS WATER HEATER WILL HAVE TWO SEISMIC STRAPS AND PRESSURE RELIEF VALVE WILL BE TERMINATE AT THE EXTERIOR OF THE HOUSE.
 - 30"x24" MIN. FLOOR ACCESS.
 - PROVIDE 1-HOUR FIRE RATED DOOR OR SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1-3/8" THICK DOOR.
 - TEMP. GLASS DOOR AND ENCLOSURE, TYP. WALL COVERING SHALL BE TILE WITH CEMENT BED 72" MIN. ABOVE DRAIN AT SHOWER OR TUB WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT, TYP.
 - WALLS AND CEILING IN GARAGE SEPARATING AND SUPPORTING LIVING AREA SHALL BE COVERED WITH 5/8" TYPE "X" GYPSUM BD.
 - KITCHEN HOOD: PROVIDE A BACK-DRAFT DAMPER, HOOD SHALL BE INSTALLED DIRECTLY OVER THE COOK TOP, BE AS WIDE AS THE STOVE AND CENTERED OVER STOVE, 30" MIN. CLEARANCE FROM THE COOKING SURFACE, AND MUST BE SEPARATED BY 1/4" MIN. GAR FROM THE COMBUSTIBLES OR METAL CABINET. FURNACE AT ABOVE CEILING. KITCHEN EXHAUST FAN REQUIRED CFM AND DUCT SIZE SHOULD COMPLY WITH CA ENERGY CODE SECTION 150(O) AND ASHRAE 62.2.
 - PROPOSED ELECTRICAL FUSEBOX LOCATION, CONTRACTOR TO VERIFY SPECIFIC MODEL WITH OWNER.
 - PROPOSED HOME NETWORK PANEL LOCATION, CONTRACTOR TO VERIFY SPECIFIC MODEL WITH OWNER.
 - MARBLE HEARTH, MAJESTIC GAS FIREPLACE & FLUE SYSTEM W/ REMOTE CONTROL THERMAL VENT DAMPER, U.L. LISTING # MH6018 @ DINING ROOM.
 - CEILING ACCESS W/ 20" MAX. OF ATTIC FURNACE
 - DRYER VENT THROUGH UNDERFLOOR TO EXTERIOR, MIN 4" DIA., BACKDRAFT DAMPER AT TERMINATION. NO MORE THAN 2 ELBOWS.
 - AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MIN. CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES. THE MIN. CLEAR HEIGHT OF THE THRESHOLD TO THE BOTTOM OF THE STOP, OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MIN. DIMENSIONS. INDICATE ON THE PLAN THE DESIGNED EGRESS DOORS AND INDICATE THIS DOOR SHALL BE READILY OPERABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
 - PENETRATIONS THROUGH FIRE-RATED RESISTANT WALL OR FLOOR/CEILING ASSEMBLIES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R302.4
 - OR FLOOR-CEILING ASSEMBLIES SEPARATING DWELLING UNITS, AIR-BORNE & IMPACT SOUND INSULATION SHALL BE PROVIDED. (CRC APPENDIX K AK101.1)
 - AIR-BORNE SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES SHALL MEET A SOUND TRANSMISSION CLASS (STC) RATING OF 45 WHEN TESTING IN ACCORDANCE WITH ASTM E90. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING, ELECTRICAL DEVICES, RECESSED CABINETS, BATHUBS, SOFFITS, OR HEATING, VENTILATING, OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATING. FLOOR-CEILING ASSEMBLY THAT COMPLIES.
 - IMPACT SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES SHALL HAVE AN IMPACT INSULATION CLASS (IIC) RATING OF NOT LESS THAN 45 WHEN TESTED IN ACCORDANCE WITH ASTM E 492.
 - VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS (2016 CRC R 327.6.2):
 - THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
 - THE MATERIALS USED SHALL BE NONCOMBUSTIBLE.
 - THE MATERIALS USED SHALL BE CORROSION RESISTANT.

- VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1 THROUGH R327.6.3 OF THE 2016 CRC TO RESIST BUILDING IGNITION FROM THE INSTRUCTION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.
 - THE TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN SHALL SLOPE 1/4" PER FOOT TO THE EXTERIOR AND TURN DOWN BETWEEN 6" AND 24" ABOVE FINISHED GRADE. FOOT TO THE EXTERIOR AND TURN DOWN BETWEEN 6" AND 24" ABOVE FINISHED GRADE.
 - THE ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS SHALL BE PROTECTED WITH 1/2" GYP. BD. ON THE ENCLOSED SIDE OF THE WALLS. UNDER-STAIR SURFACE AND SOFFITS. BD. ON THE ENCLOSED SIDE OF THE WALLS. UNDER-STAIR SURFACE AND SOFFITS.
 - IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. PER CRC R302.11.
 - CONTRACTOR IS NOT TO WASH THE WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES.
 - AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER IN A CONSPICUOUS LOCATION IN THE BUILDING STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24 PART 2 CHAPTER 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE.
 - PROVIDE EMERGENCY EGRESS WINDOW AT EACH SLEEPING ROOM. SPECIFY THAT THE ESCAPE OPENING HAS A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE-FLOOR OPENING SHALL BE MIN. 5 SQ. FT.); MIN. NET CLEAR OPENING HEIGHT OF 24" AND MIN. NET CLEAR OPENING WIDTH OF 20". FURTHER, SPECIFY THAT SUCH WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR AND OPEN DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO A PUBLIC WAY. [R310]
- ATTIC ACCESS NOTE:
 CRC R807.1 ATTIC ACCESS LOCATIONS TO ANY LOWER ROOF ATTIC SPACES THAT EXCEED 30 SQ. FT. & HAVE A VERTICAL HT. OF 30" OR GREATER. ROUGH-FRAMED OPENINGS SHALL NOT BE LESS THAN 22"x30"

THRESHOLD NOTE:

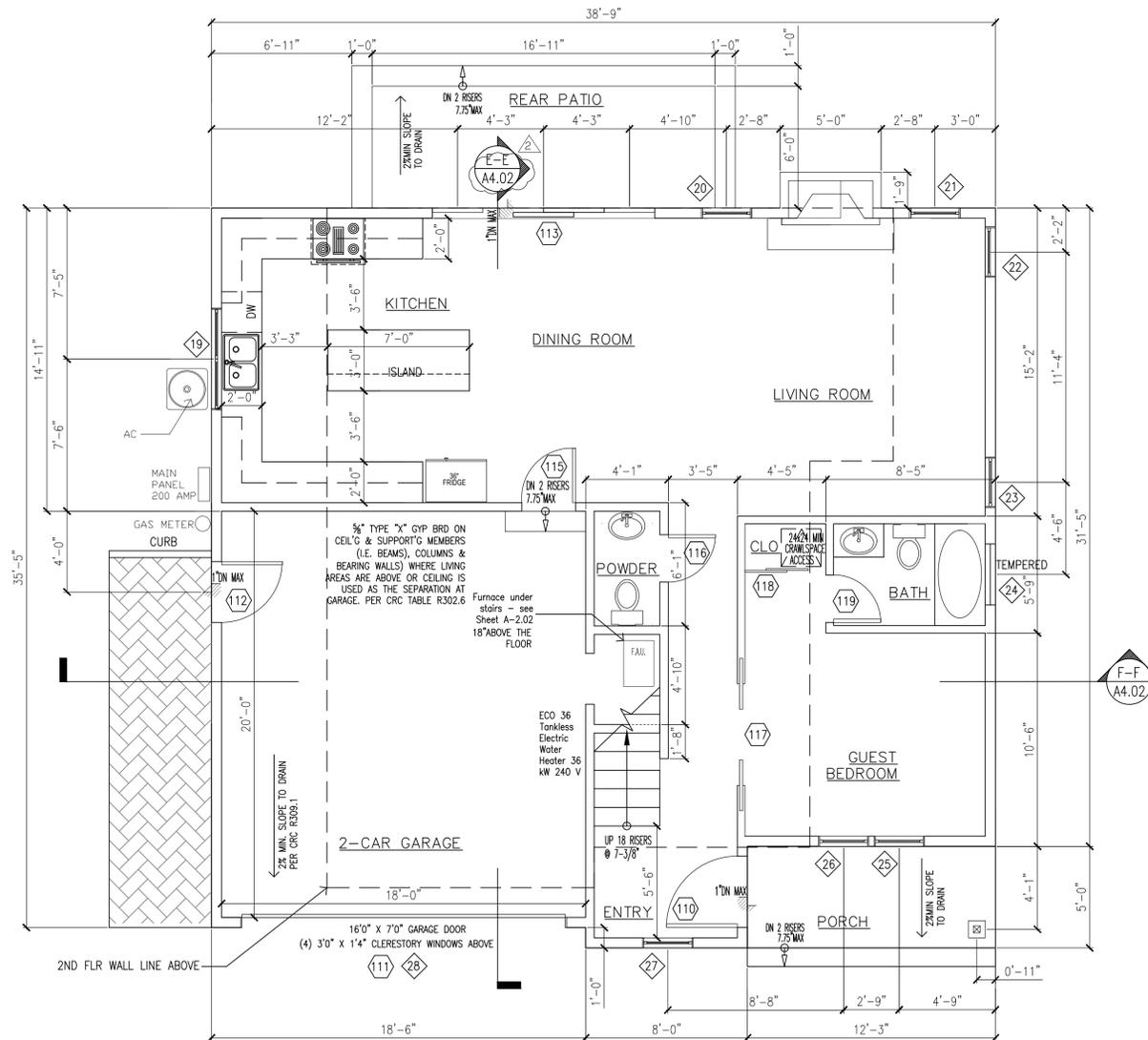
2016 CBC. THRESHOLDS FOR DOORWAYS TO HAVE 1/2" MAX. & 3/4" FOR SLIDING DOORS. THRESHOLDS GREATER THAN 1/4" REQUIRE BEVELING AT A 50% SLOPE. WHERE ALLOWED, DOOR THRESHOLDS COMBINED WITH RISERS ARE TO HAVE A COMBINED MAX HT. OF 7-3/4"

CRAWLSPACE VENTILATION NOTES:

- REQ. VENT AREA FOR ENTIRE HOUSE: 952.4/150 = 6.3 SQ. FT. VENT PROVIDED: (11) 14" X 6" = 10 X .70 = 7 SQ. FT. PROVIDE TOTAL: 10 FOUNDATION VENTS COVER VENTS WITH 1/4" CORROSION RESISTANT WIRE MESH. NO VENTS OCCUR AT THE SHEARWALL LOCATIONS

CRAWLSPACE VENTILATION CALCULATIONS:

SPACE	VENTED AREA	NFVA REQD.	(11) 14"x6" FOUNDATION VENT=
CRAWLSPACE	952.4 SQ.FT.	952.4 / 150 = 6.3 SQ. FT.	10X.70 = 7 SQ. FT.



HOUSE 2 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 2
1ST FLOOR
PLAN

A-2.02

ROOF PLAN NOTES:

- 2" DIA. EAVE VENT HOLES AT EA. BLOCK, TYP. COVERED W/ CORROSION RESISTANT METAL MESH OPENING OF 1/4".
- DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- RWL, TYP. DIRECTED TO SPLASH BLOCKS OR OTHER IMPERVIOUS SURFACE THAT DEFLECTS WATER AWAY FROM THE BUILDING, 5% SLOPE TO LANDSCAPING AREA.
- VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS (2016 CRC R 327.6.2):
 - * THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
 - * THE MATERIALS USED SHALL BE NONCOMBUSTIBLE.
 - * THE MATERIALS USED SHALL BE CORROSION RESISTANT.
- VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1 THROUGH R327.6.3 OF THE 2016 CRC TO RESIST BUILDING IGNITION FROM THE INSTRUCTION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.

VENTILATION NOTES:

KEEP ALL THE EXISTING VENTILATION OPENINGS TO OPEN, BOTH @ ROOF AND FOUNDATION.
PURCH 2" Ø HOLES ON ROOF SHEATHING UNDER THE CALIFORNIA ROOF FRAMING AREA.
NO VENTS SHALL OCCUR AT THE SHEARWALL LOCATIONS.

ATTIC ACCESS NOTE:

- ATTIC ACCESS LOCATIONS TO ANY LOWER ROOF ATTIC SPACES THAT EXCEED 30 SQ. FT. & HAVE A VERTICAL HEIGHT OF 30" OR GREATER. ROUGH-FRAMED OPENINGS SHALL NOT BE LESS 22"x30" PER CRC R807.1.

VENTILATION SYSTEM CALCULATION:

$$1693 \text{ SQ.FT.} / 100 = 16.9$$

$$7.5 \times 5 = 37.5$$

$$17.8 + 37.5 = 54.4$$

UPPER ROOF VENT CALCULATION:

$$\text{REQ. VENT AREA: } 1,090.5 / 150 = 7.27 \text{ SQ. FT.}$$

EAVE VENTS: AT EACH BAY WHERE JOISTS ARE 24" O. C. (S. S. D.) PROVIDE (4) 2" Ø VENTILATION HOLES THROUGH STRUCT'L. BLOCKING. PROVIDE CERTIFIED RADIANT BARRIER- POLAR PLY AT UNDERSIDE OF THE PLYWOOD. PROVIDE PVC INSULATION SHIELD TO HOLD INSULATION AND KEEP 1" MIN. SPACE FOR FREE FLOW OF AIR.

- EAVE VENTS: TOTAL 27 BAYS X 4 X 0.022 = 2.4 SQ. FT.
 - GABLE VENTS: PROVIDE 8 GABLE VENTS: 8 X 4.6 = 36.8 SQ. FT.
- TOTAL PROVIDED VENT AREA: 36.8 + 2.4 = 39.2 SQ. FT. > 7.27 SQ. FT..

LOWER ROOF VENT CALCULATION:

$$\text{REQ. VENT AREA: } 880.7 / 150 = 5.87 \text{ SQ. FT.}$$

EAVE VENTS: AT EACH BAY WHERE JOISTS ARE 24" O. C. (S. S. D.) PROVIDE (4) 2" Ø VENTILATION HOLES THROUGH STRUCT'L. BLOCKING. PROVIDE CERTIFIED RADIANT BARRIER- POLAR PLY AT UNDERSIDE OF THE PLYWOOD. PROVIDE PVC INSULATION SHIELD TO HOLD INSULATION AND KEEP 1" MIN. SPACE FOR FREE FLOW OF AIR.

- EAVE VENTS: TOTAL 70 BAYS X 4 X 0.022 = 6.16 SQ. FT.
 - GABLE VENTS: PROVIDE 2 GABLE VENTS: 2 X 4.6 = 9.6 SQ. FT.
- TOTAL PROVIDED VENT AREA: 9.6 + 6.16 = 15.76 SQ. FT. > 5.87 SQ. FT..

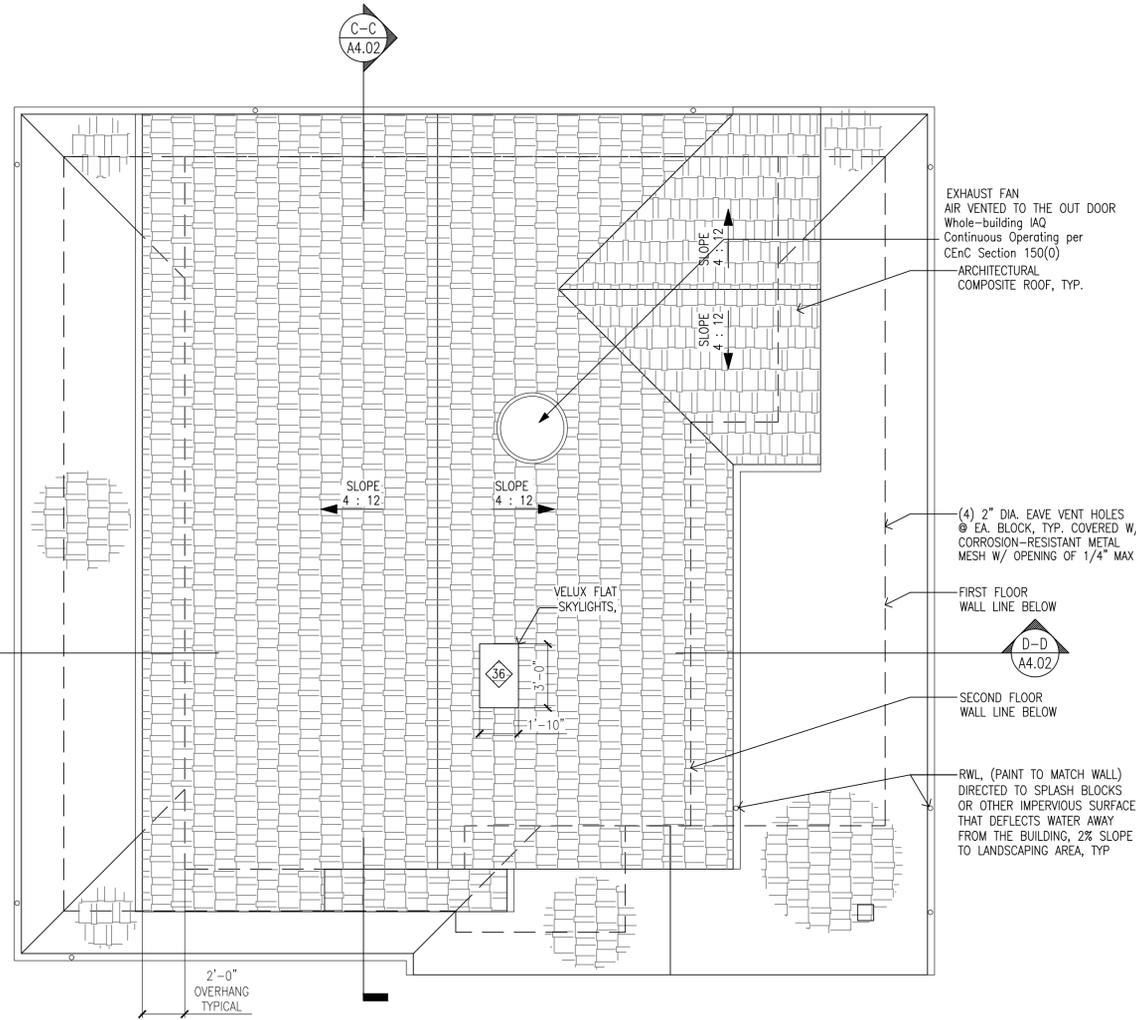


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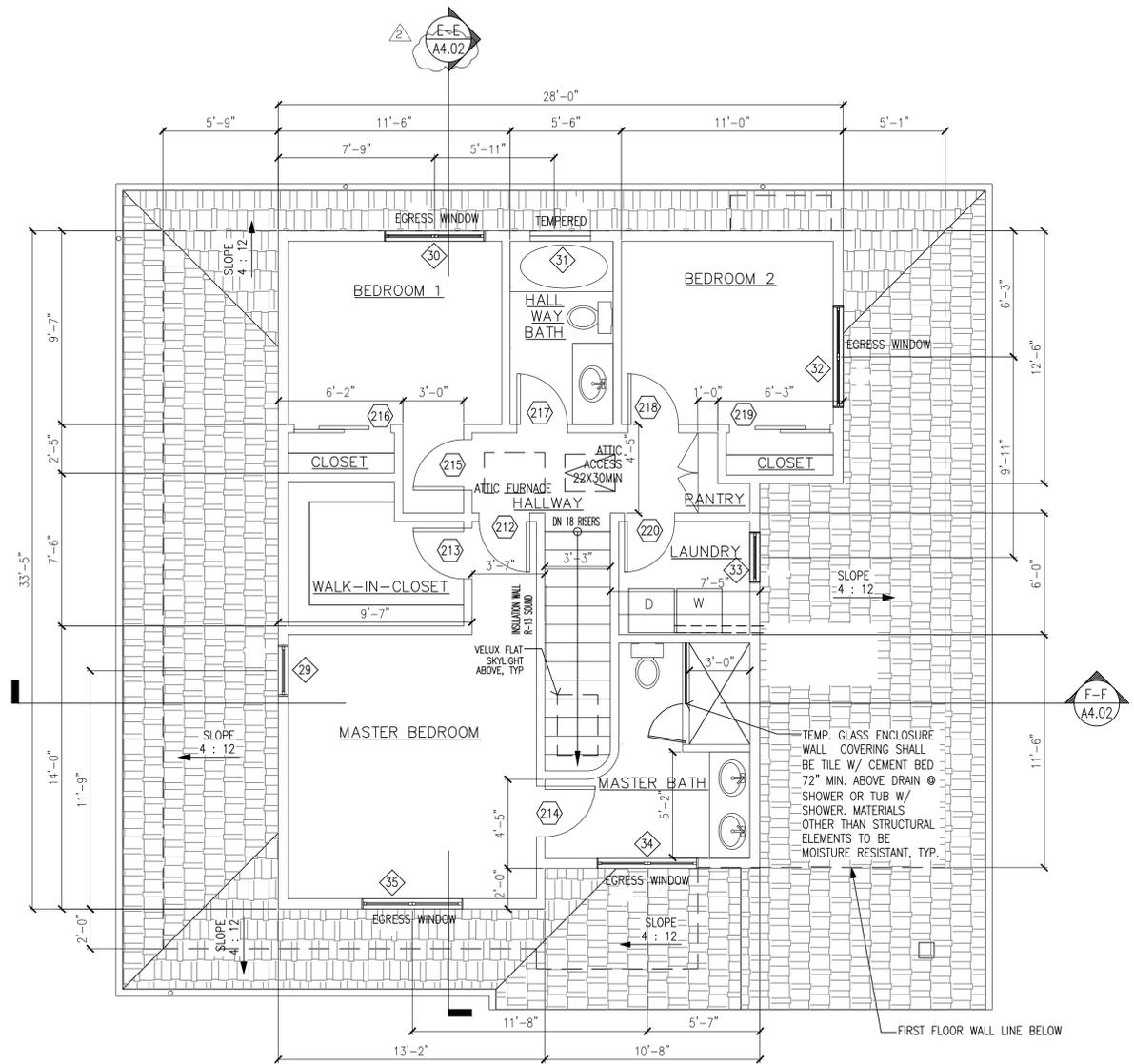
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**HOUSE 2
2ND FLOOR
PLAN &
ROOF PLAN**



- 2-6 HOUSE 2 ROOF PLAN
SCALE: 1/4" = 1'-0"



- 2-5 HOUSE 2 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

YANHUA RESIDENCE

1325 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP

20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



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1325 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHU1830@GMAIL.COM
4085990163

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HOUSE 2 FRONT (EAST) & REAR (WEST) ELEVATIONS DOOR & WINDOW SCHEDULES EGRESS WINDOWS

A-3.02

#	ROOM	Size (W x H)	Type	Door Mat.	Door Fin. (In/Out)	Frame Mat.	Frame Fin. (In/Out)	Safety Glazing	Rating	Hdw. Group	Remarks
209	MASTER BEDROOM	2'8" X 6'8"	IS	WD	P/P	WD	P/P				
210	MASTER WALK-IN CLO	2'8" X 6'8"	OS	WD	P/P	WD	P/P				
211	MASTER BATH	2'8" X 6'8"	IS	WD	P/P	WD	P/P				
110	ENTRY	3'6" X 8'0"	IS	WD	P/P	WD	P/P	YES			
111	GARAGE	16'0" X 7'0"	G	AL	FP	AL	FP	YES			
112	GARAGE/SIDE PARKING	2'8" X 6'8"	H	AL	FP	AL	FP	YES			
113	DINING/REAR PATIO	11'0" X 8'0"	SL	V	FP	V	FP	YES			
115	GARAGE/DINING	2'8" X 8'0"	IS	WD	P/P	WD	P/P	FIRE-RATED			1 3/4" THK SCW SELF-CLOSING TIGHT-FITTING
116	POWDER	2'4" X 8'0"	OS	WD	P/P	WD	P/P				
117	GUEST BEDROOM	5'0" X 8'0" (PAIR)	PK	WD	P/P	WD	P/P				
118	GUEST BEDRM/CLOSET	4'0" X 8'0"	SL	WD	P/P	WD	P/P				
119	GUEST BEDRM/BATH	2'4" X 8'0"	IS	WD	P/P	WD	P/P				
212	MASTER BEDROOM	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
213	MASTER/WALK-IN CLO	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
214	MASTER BATH	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
215	BEDROOM 1	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
216	BED ROOM 1/CLOSET	4'10" X 6'8"	SL	WD	P/P	WD	P/P				
217	HALLWAY BATH	2'6" X 6'8"	IS	WD	P/P	WD	P/P				

Type: BF= Bi-Folding G= Garage H= Half-Light IS= Inswinging M.= Mirrored
 OS= Outswinging P= Panel PK= Pocket SF= Sliding French SL= Sliding P= Pair
 Materials: AL= Aluminum GL= Glass HM= Hollow Metal Vinyl= V SCW= Solid Core Wood WC= Wood Clad WD= Wood
 Finish: C= Clad CC= Custom Clad FP= Factory Painted FS= Factory Stained P= Primed, GC Painted S= Stained P/P= Primed & Painted
 Glazing: C= Custom Glass Panel D= Double Glazed S= Single Glazed (All door lights shall be safety glazed with 1/4" min. thick safety glass)
 Hardware: B= Blind E= Exterior I= Interior P= Pocket S= Slider STD= Std. Manuf. Hardware
 Sill: AL= Aluminum BZ= Bronze ST= Stone STD= Standard WD= Wood

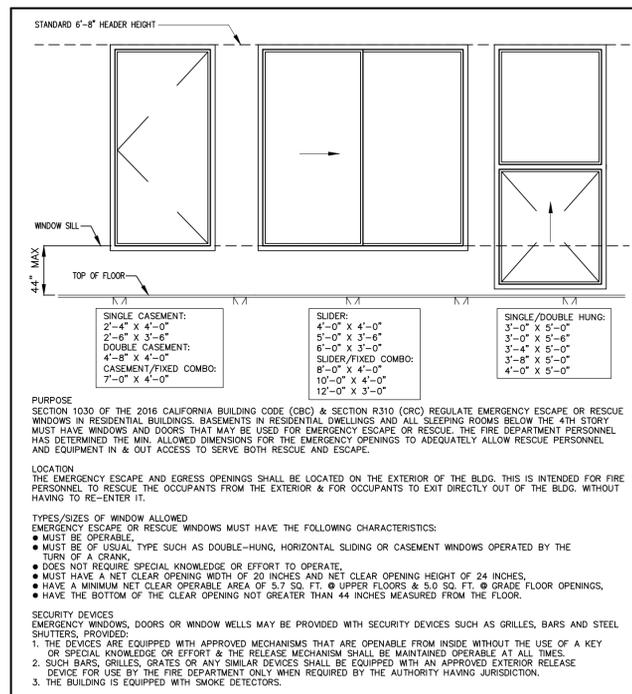
1. VERIFY ROUGH OPENING DIMENSIONS WITH DOOR MANUFACTURER PRIOR TO ORDERING AND FRAMING
 2. WOOD CASING ON ALL DOORS

- 3-10 HOUSE 2 DOOR SCHEDULE

#	ROOM	Size (W x H)	Type	Mat.	(In/Out)	Frame Mat.	Frame Fin. (In/Out)	Safety Glazing	EGRESS	Remarks
19	KITCHEN	5'0" X 5'0"	SL	V	V/V	V				
20	LIVING ROOM	2'6" X 5'6"	DH	V	V/V	V				
21	LIVING ROOM	2'6" X 5'6"	DH	V	V/V	V				
22	LIVING ROOM	2'6" X 5'6"	DH	V	V/V	V				
23	LIVING ROOM	2'6" X 5'6"	DH	V	V/V	V				
24	GUEST BATH	3'0" X 3'0"	SL	V	V/V	V				
25	GUEST BEDROOM	2'6" X 5'6"	DH	V	V/V	V				
26	GUEST BEDROOM	2'6" X 5'6"	DH	V	V/V	V				
27	ENTRY	2'6" X 5'6"	DH	V	V/V	V				
28	GARAGE	(4) 3'2" X 1'4"	F	V	V/V	V				
29	MASTER BEDROOM	2'6" X 5'0"	C	V	V/V	V				
30	BEDROOM #1	5'0" X 5'0"	SL	V	V/V	V				
31	HALLWAY BATH	3'0" X 3'0"	SL	V	V/V	V				
32	BEDROOM #2	5'0" X 5'6"	SL	V	V/V	V				
33	LAUNDRY	2'6" X 4'0"	C	V	V/V	V				
34	MASTER BATH	5'0" X 4'0"	SL	V	V/V	V				
35	MASTER BEDROOM	5'0" X 5'0"	SL	V	V/V	V				
36	SKYLIGHT	1'10" X 3'0"	F	AL	AL	AL				

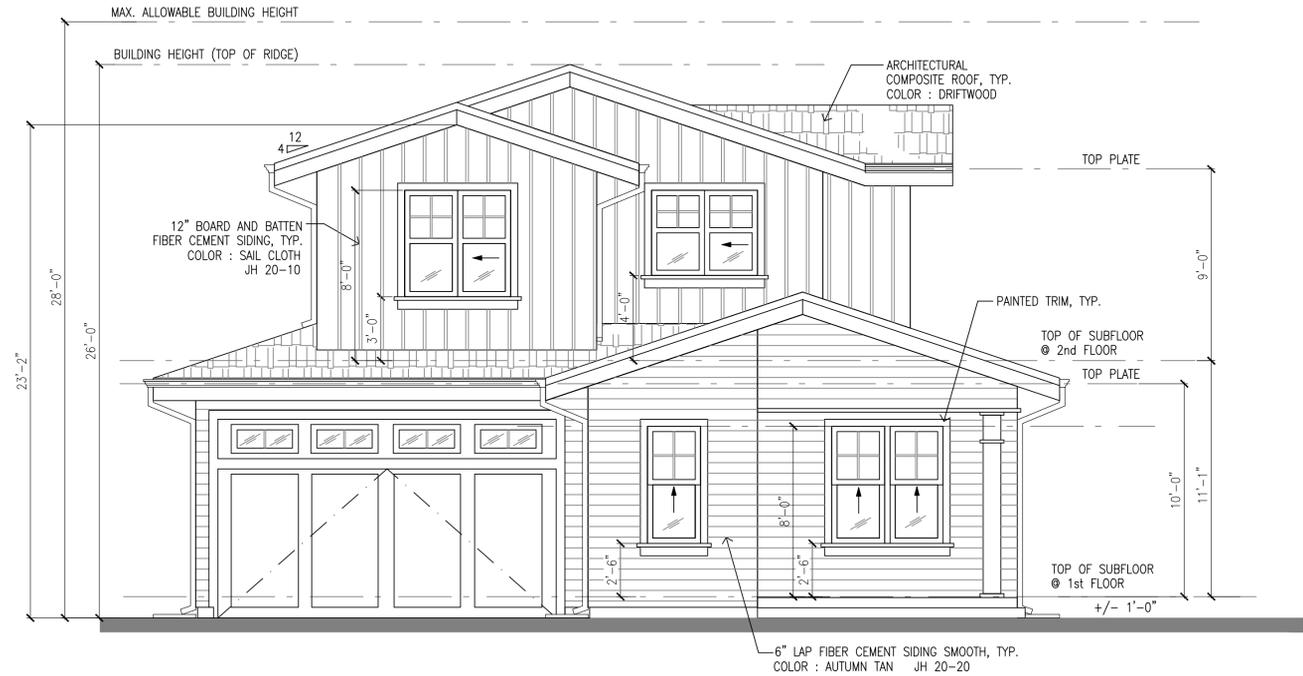
WINDOW & SKYLIGHT SCHEDULE NOTES:
 TYPE: DH= Double Hung C= Casement SL= Sliding A= Awning F= Fixed
 MATERIAL: AL= Aluminum STL= Steel V= Vinyl WC= Wood Clad WD= Wood
 FINISH: C= Clad CC= Custom Clad FP= Factory Painted P= Paint grade
 GLAZING: I= Clear Insulated Glass L= Clear Laminated Glass P= Single Float Glass
 LIGHTS: TDL= True Divided Light. Upper sash single glazed with storm panel, lower sash clear insulated glass.
 1. SEE EXTERIOR ELEVATIONS FOR SILL/HEAD HEIGHTS AND WINDOW SWING INFO. VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING.
 2. COORDINATE THE WINDOW STYLES AND LIGHT PATTERNS WITH THE EXTERIOR ELEVATIONS PROVIDED ON A3
 3. VERIFY ROUGH OPENING DIMENSIONS WITH DOOR MANUFACTURER PRIOR TO ORDERING AND FRAMING.
 4. VINYL ON ALL WINDOWS.

- 3-11 HOUSE 2 GENERAL WINDOW SCHEDULE



RESIDENTIAL EGRESS WINDOWS (2016 CBC) SECTION 1030 EMERGENCY ESCAPE & RESCUE

- 3-12 EGRESS WINDOWS



- 3-8 HOUSE 2 FRONT (EAST) ELEVATION
 SCALE: 1/4" = 1'-0"



- 3-9 HOUSE 2 REAR (WEST) ELEVATION
 SCALE: 1/4" = 1'-0"

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- 3-13 HOUSE 2 RIGHT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



- 3-14 HOUSE 2 LEFT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"

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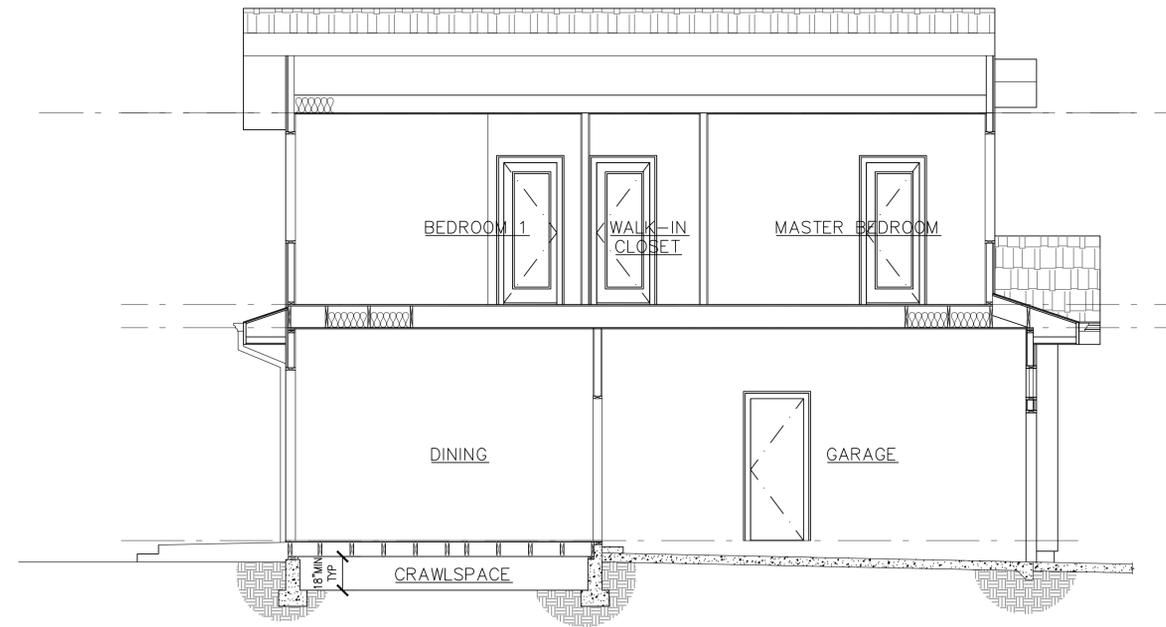
**HOUSE 2
RIGHT (NORTH)
LEFT (SOUTH)
ELEVATIONS**

**YANHUA
RESIDENCE**

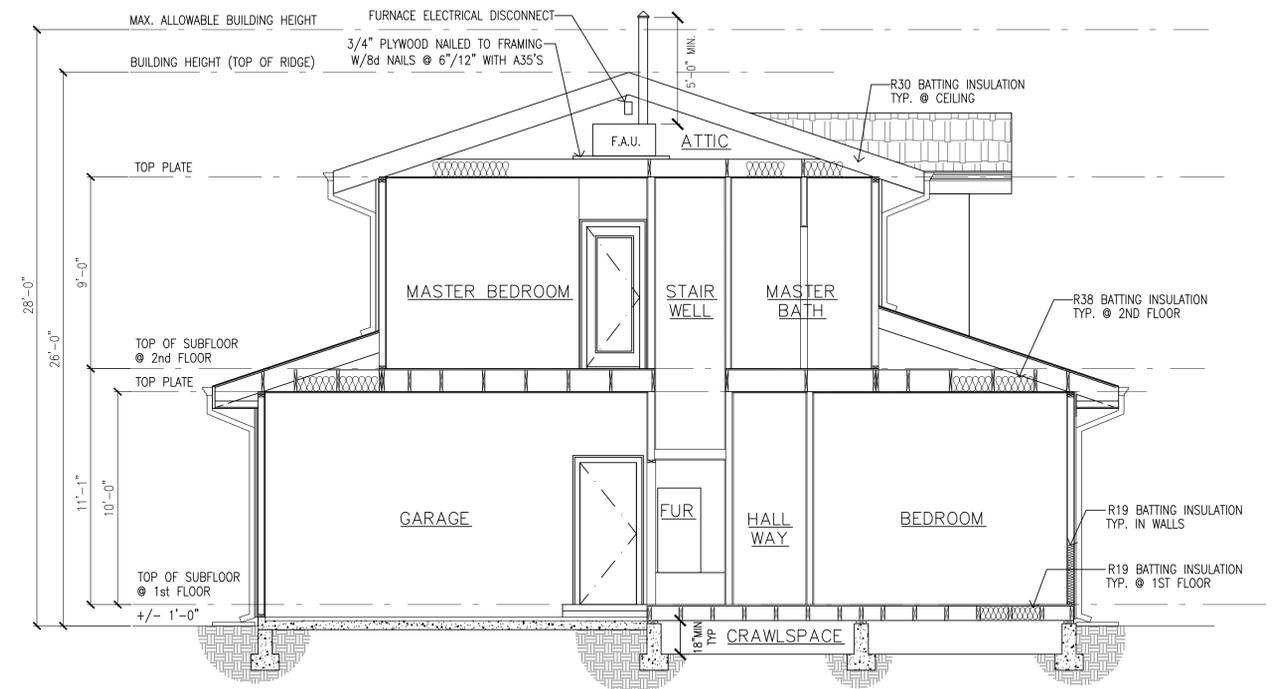
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- C-C HOUSE 2 CROSS SECTION
SCALE: 1/4" = 1'-0"



- D-D HOUSE 2 CROSS SECTION
SCALE: 1/4" = 1'-0"

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**HOUSE 2
CROSS
SECTIONS**

YANHUA RESIDENCE HOUSE 3



CAMPBELL, CALIFORNIA

YANHUA
RESIDENCE

1327 ELAM AVE.
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SC DESIGN GROUP

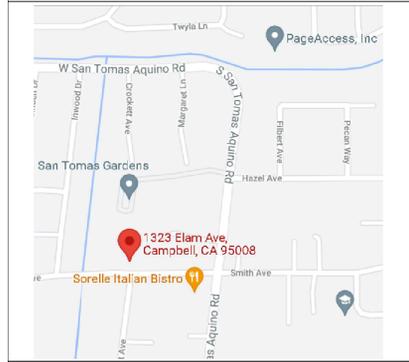
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4085990163

PROJECT INFORMATION

VICINITY MAP



GENERAL INFORMATION

PROPERTY ADDRESS: 1327 ELAM AVE., CAMPBELL, CA 95008
A.P.N.: 40-30-90-046
DESCRIPTION OF WORK: NEW 2-STORY 4 SINGLE-FAMILY HOUSES WITH ATTACHED GARAGE
LAND USE: RESIDENTIAL (O-4.4 DU/AC)
ZONING: R1-7.5
OCCUPANCY GROUP: U
GARAGE OCCUPANCY GROUP: U
TYPE OF CONSTRUCTION: TYPE V-B
STORIES: 2-STORY
AVERAGE SLOPE: FLAT

FLOOR CALCULATION

PROPOSED FLOOR AREA:	913 SQ. FT.
FIRST FLOOR	780 SQ. FT.
SECOND FLOOR	1,348 SQ. FT.
TOTAL LIVING AREA	1,693 SQ. FT.
GARAGE	379 SQ. FT.
TOTAL BUILDING AREA	2,072 SQ. FT.
MAXIMUM ALLOWABLE LOT COVERAGE	40%
PROPOSED LOT COVERAGE	31%
NET LOT AREA	17,777 SQ. FT.

BLDG. HEIGHT (PROPOSED GRADE) +/- 26'-0"
BLDG. HEIGHT (AVG. NAT. GRADE) +/- 26'-3"
OPEN SPACE 731 SQ. FT.

PAVED/LANDSCAPED AREAS	PROPOSED
PAVED AREAS	1,348 SF
LANDSCAPED AREAS	771 SF
TOTAL	2,119 SF

SETBACKS	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK
FRONT OF STRUCTURE/DWELLING	14'-3"	15'-0"	23'-0"
FRONT OF GARAGE/CARPORT	11'-0"	15'-0"	18'-0"
LEFT SIDE 1ST FLOOR	11'-0"	5'-0"	5'-0"
LEFT SIDE 2ND FLOOR	23'-0"	5'-0"	10'-7"
RIGHT SIDE 1ST FLOOR	11'-0"	5'-0"	5'-0"
RIGHT SIDE 2ND FLOOR	23'-0"	5'-0"	10'-7"
REAR 1ST FLOOR	11'-0"	15'-0"	15'-0"
REAR 2ND FLOOR	24'-11"	15'-0"	15'-0"

SHEET INDEX

ARCHITECTURAL

A-0.03 COVERSHEET
A-1.03 EXISTING TOPOGRAPHIC MAP/DEMOLITION PLAN
A-1.13 PROPOSED SITE PLAN
A-2.03 HOUSE 1 1ST FLOOR PLAN
A-2.13 HOUSE 1 2ND FLOOR PLAN & ROOF PLAN
A-3.03 HOUSE 1 FRONT & REAR ELEVATIONS / DOOR & WINDOW SCHEDULE
A-3.13 HOUSE 1 RIGHT & LEFT ELEVATIONS
A-4.03 HOUSE 1 SECTIONS
A-5.03 TYPICAL DETAILS

ELECTRICAL

MEF1 HOUSE 3 1ST FLOOR ELECTRICAL PLAN
MEF2 HOUSE 3 2ND FLOOR ELECTRICAL PLAN

CIVIL

ON-SITE GRADING & DRAINAGE PLANS

- TITLE SHEET
- TOPOGRAPHIC MAP
- DEMOLITION PLAN
- OVERALL SITE PLAN
- GRADING & DRAINAGE PLAN
- UTILITY PLAN
- IMPERVIOUS AREA PLAN
- STORM DRAIN PLAN
- STORMWATER SECTIONS
- DETAILS
- GRADING SPECIFICATIONS
- GRADING SPECIFICATIONS
- EROSION CONTROL PLAN
- EROSION CONTROL DETAILS
- BUILDING FOR A CLEAN BAY

OFF-SITE GRADING & DRAINAGE PLANS

- TITLE SHEET
- DEMOLITION PLAN
- SETBACK PLAN AND PROFILE
- HORIZONTAL CONTROL PLAN
- CITY DETAILS
- STREET LIGHT ELECTRICAL DETAILS
- BUILDING FOR A CLEAN BAY

LANDSCAPING

L-1 ON-SITE LANDSCAPE PLAN
L-2 OFF-SITE LANDSCAPE PLAN
L-3 ON-SITE LANDSCAPE PLAN
L-4 OFF-SITE LANDSCAPE PLAN

TITLE 24

T-24.1 ENERGY CALCULATIONS
T-24.2 ENERGY CALCULATIONS

STRUCTURAL

- GENERAL NOTES
- FOUNDATION PLAN
- 2ND FLOOR FRAMING PLAN
- ROOF + CEILING FRAMING PLANS
- FOUNDATION DETAILS
- HARDY FRAME DETAILS
- FRAMING DETAILS
- FRAMING DETAILS
- FRAMING DETAILS

UTILITY

- JOINT TRENCH COMPOSITE TITLE SHEET
- JOINT TRENCH GENERAL NOTES AND DETAILS
- JOINT TRENCH DETAILS
- JOINT TRENCH SECTIONS AND DETAILS
- JOINT TRENCH COMPOSITE PLAN
- JOINT TRENCH COMPOSITE PLAN

ADDITIONAL NOTES

- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.
- THE ROOF WILL COMPLY WITH COOL ROOF REQUIREMENTS OF THE 2016 C.E.C. 110.B 2016
- AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM WILL BE INSTALLED PER CRC 313.2, AS ADOPTED AND AMENDED BY CUPMC. NFPA 13D 2016 EDITION STANDARD. PLANS TO BE DEFERRED TO CMV RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS (SEE CITY WEBSITE UNDER FIRE HANDOUTS) COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. MIN 1-1/2" METER 1-1/2" SERVICE LINE UNLESS HYDRAULIC CALCULATIONS PROVE EXISTING ADEQUATE.
- FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION 2016. (CMC 303.1 AND 2016 CPC 310.4
- PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.
- BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.
- COMPLETED CP28-LTB-01-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.
- THE BUILDING MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRES SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS PART (110-103.1B) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.
- THE SOIL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION, COMPACTION, AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION TO VERIFY ELEMENTS OF THE SOILS REPORT. SITE VISIT REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT INSPECTOR OF RECORD (IDR)
- THIS PROJECT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE. LANGUAGE FOR THE LETTER MUST BE AS WRITTEN AS PER CAMPBELL'S SURVEYOR HANDOUT AVAILABLE THROUGH THE BUILDING DEPARTMENT.

NOTES

APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA ENERGY CODE (CEC)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSD) AND THE CITY OF CAMPBELL ORDINANCES

CALGREEN NOTES

- DIVERT A MINIMUM OF 65% OF THE CONSTRUCTION & DEMOLITION WASTE FOR RECYCLE OR REUSE PER CGBSD 4.40B.1
- PLEASE PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1
- AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BASED 94.304.1
- DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2 HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALL AGAINST THE PASSAGE OF RODENTS 94.406.1
- COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION 4.504.1
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUNDS DURING CONSTRUCTION 4.504.2.1
- PAINT, STAIN AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS 4.504.2.2
- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS 4.504.2.3 DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANCE
- CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS 4.504.3
- MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS PER SECTIONS 4.504.4
- INSTALL CAPILARY BREAK AND VAPOR RETARDED AT SLAB ON GRADE FOUNDATION 4.505.2
- CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE 4.505.3
- PROJECT MODELED WITH COMPLIANCE WITH COOL ROOF AND PIPE INSULATIONS ALL LINES
- PER HERS VERIFICATION REQUIRED FOR THE HVAC DISTRIBUTION SYSTEMS AND IAQ (INDOOR AIR QUALITY). PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS BUILDING INCORPORATES FEATURES THAT REQUIRE FIELD TESTING AND/OR VERIFICATION BY A CERTIFIED RATER UNDER THE SUPERVISION OF A DED. APPROVED HERS
- EXHAUST FANS IN BATHROOMS WILL BE ENERGY STAR COMPLIANT. TERMINATE OUTSIDE THE BUILDING, AND WILL BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO 80 PERCENT PER CGBSD 4.506.1
- PER CAL GREEN 4.504 THERE SHALL BE NO USE OF PRODUCTS INCLUDING MATERIALS, PAINTS, SOLVENTS, PRIMERS, CAULKS, OR GLUES THAT EXCEEDS CALIFORNIA'S LIMIT ON VOLATILE ORGANIC COMPOUNDS (VOC) ON THIS PROJECT

FIRE DEPARTMENT NOTES

- THIS PROJECT SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC), 2016 CITY OF CAMPBELL MUNICIPAL CODE (CUPMC) & CALIFORNIA CODE OF REGULATIONS (CCR).
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7, PER CFC CHP. 3-3.3
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. PER 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 15114.7.
- APPROVED BUILDING NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. PER CFC SEC. 505.1.

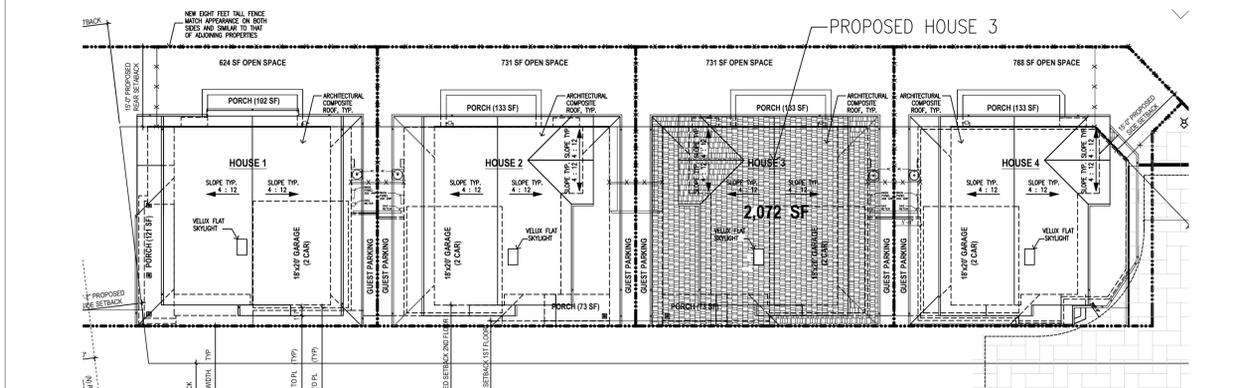
FIRE SPRINKLER NOTES

AN AUTOMATED RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN THE (N) SINGLE FAMILY DWELLING UNITS PER CRC R313.2 CONTACT CITY OF CAMPBELL UTILITIES & SUBMIT A UTILITY APPLICATION WHICH INCLUDES 40 GPM FOR FIRE SPRINKLER DEMAND. WATER METER SIZE NEEDS TO BE DETERMINED PRIOR TO FIRE DEPARTMENT APPROVAL OF PROJECT.

FIRE SPRINKLER SYSTEM TO BE APPROVED UNDER A SEPARATE PERMIT.

PUBLIC WORKS NOTES

- WATER METER MAY BE UPGRADED / UPSIZED TO 1" RADIO READ PER CITY'S APPROVAL FIRE SPRINKLER SYSTEM DESIGN PLAN
- NEW SEWER CLEANOUT PER CITY'S STANDARD DETAIL 1.5A PER AVAILABLE CITY'S UTILITY BLOCK MAP. PLEASE FIELD VERIFY THE EXISTING SEWER BEFORE INSTALLATION.
- REMOVE THE EXISTING DRIVEWAY APPROACH AND RECONSTRUCT A NEW DRIVEWAY APPROACH PER CURRENT CITY'S STANDARD REQUIREMENTS AND NOT COMPLY WITH ADA REQUIREMENTS.
- CITY STREET TREE IN PARK-STRIP



0-3.0 BLOCK DIAGRAM

SCALE: 1/16" = 1'-0"

REVISIONS:

- THIS PROJECT SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC), 2016 CITY OF CAMPBELL MUNICIPAL CODE (CUPMC) & CALIFORNIA CODE OF REGULATIONS (CCR).
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7, PER CFC CHP. 3-3.3
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- APPROVED BUILDING NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. PER CFC SEC. 505.1.

WASTE MANAGEMENT STATEMENT

CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM. TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMITS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION. OR CALL WEST VALLEY COLLECTION AND RECYCLING (283-9250) 408(WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 3 COVER SHEET

A-0.03



SHEET NOTES:

- E: EGRESS WINDOW - WINDOW OPENINGS IN BEDROOMS ARE TO BE A MAX. OF 44" ABOVE FINISHED FLOOR FOR EMERGENCY EGRESS.
- E: DWELLING UNIT EGRESS DOOR.
- T: TEMPERED GLASS
- F: FIXED WINDOW
- 1) ALL DIMENSIONS ARE TAKEN FROM STUDS TO STUDS. 2) EXTERIOR WINDOW AND DOOR TO BE CENTERED TO THE WALL, UNLESS OTHERWISE NOTED, TYP.
- 3) SHOWER AND TUB/SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
- 4) THE MAXIMUM HOT WATER TEMP DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEG F.
- 5) RAISED PLATFORM SHOULD BE 18" ABOVE FLOOR, THAT THE GAS WATER HEATER WILL HAVE TWO SEISMIC STRAPS AND PRESSURE RELIEF VALVE WILL BE TERMINATE AT THE EXTERIOR OF THE HOUSE.
- 6) 30"x24" MIN. FLOOR ACCESS.
- 7) PROVIDE 1-HOUR FIRE RATED DOOR OR SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1-3/8" THICK DOOR.
- 8) TEMP. GLASS DOOR AND ENCLOSURE, TYP. WALL COVERING SHALL BE TILE WITH CEMENT BED 72" MIN. ABOVE DRAIN AT SHOWER OR TUB WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. TYP.
- 9) WALLS AND CEILING IN GARAGE SEPARATING AND SUPPORTING LIVING AREA SHALL BE COVERED WITH 5/8" TYPE "X" GYPSUM BD.
- 10) KITCHEN HOOD: PROVIDE A BACK-DRAFT DAMPER, HOOD SHALL BE INSTALLED DIRECTLY OVER THE COOK TOP, BE AS WIDE AS THE STOVE AND CENTERED OVER STOVE, 30" MIN. CLEARANCE FROM THE COOKING SURFACE, AND MUST BE SEPARATED BY 1/4" MIN. GAP FROM THE COMBUSTIBLES OR METAL CABINET. FURNACE AT ABOVE CEILING. KITCHEN EXHAUST FAN REQUIRED CFM AND DUCT SIZE SHOULD COMPLY WITH CA ENERGY CODE SECTION 150(0) AND ASHRAE 62.2.
- 11) PROPOSED ELECTRICAL FUSEBOX LOCATION, CONTRACTOR TO VERIFY SPECIFIC MODEL WITH OWNER.
- 12) PROPOSED HOME NETWORK PANEL LOCATION, CONTRACTOR TO VERIFY SPECIFIC MODEL WITH OWNER.
- 13) MARBLE HEARTH, MAJESTIC GAS FIREPLACE & FLUE SYSTEM W/ REMOTE CONTROL. THERMAL VENT DAMPER, U.L. LISTING # MH6018. @ DINING ROOM.
- 14) CEILING ACCESS W/ 20" MAX. OF ATTIC FURNACE.
- 15) DRYER VENT THROUGH UNDERFLOOR TO EXTERIOR, MIN 4" DIA., BACKDRAFT DAMPER AT TERMINATION. NO MORE THAN 2 ELBOWS.
- 16) AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MIN. CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND STOP, WITH THE DOOR OPEN 90 DEGREES. THE MIN. CLEAR HEIGHT OF THE THRESHOLD TO THE BOTTOM OF THE STOP, OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MIN. DIMENSIONS. INDICATE ON THE PLAN THE DESIGNED EGRESS DOORS AND INDICATE THIS DOOR SHALL BE READILY OPERABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- 17) PENETRATIONS THROUGH FIRE-RATED RESISTANT WALL OR FLOOR/CEILING ASSEMBLIES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R302.4
- 18) OR FLOOR-CEILING ASSEMBLIES SEPARATING DWELLING UNITS, AIR-BORNE & IMPACT SOUND INSULATION SHALL BE PROVIDED. (CRC APPENDIX K AK101.1)
 - A. AIR-BORNE SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES SHALL MEET A SOUND TRANSMISSION CLASS (STC) RATING OF 45 WHEN TESTING IN ACCORDANCE WITH ASTM E90. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING: ELECTRICAL DEVICES, RECESSED CABINETS; BATHTUBS; SOFFITS; OR HEATING, VENTILATING, OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATING; FLOOR-CEILING ASSEMBLY THAT COMPLIES.
 - B. IMPACT SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES SHALL HAVE AN IMPACT INSULATION CLASS (IC) RATING OF NOT LESS THAN 45 WHEN TESTED IN ACCORDANCE WITH ASTM E 492.
- 19) VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS (2016 CRC R 327.6.2):
 - * THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
 - * THE MATERIALS USED SHALL BE NONCOMBUSTIBLE.
 - * THE MATERIALS USED SHALL BE CORROSION RESISTANT.

- 20) VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1 THROUGH R327.6.3 OF THE 2016 CRC TO RESIST BUILDING IGNITION FROM THE INSTRUCTION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.
- 21) THE TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN SHALL SLOPE 1/4" PER FOOT TO THE EXTERIOR AND TURN DOWN BETWEEN 6" AND 24" ABOVE FINISHED GRADE. FOOT TO THE EXTERIOR AND TURN DOWN BETWEEN 6" AND 24" ABOVE FINISHED GRADE.
- 22) THE ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS SHALL BE PROTECTED WITH 1/2" GYP. BD. ON THE ENCLOSED SIDE OF THE WALLS. UNDER-STAIR SURFACE AND SOFFITS, BD. ON THE ENCLOSED SIDE OF THE WALLS. UNDER-STAIR SURFACE AND SOFFITS.
- 23) IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. PER CRC R302.11.
- 24) CONTRACTOR IS NOT TO WASH THE WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES.
- 25) AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER IN A CONSPICUOUS LOCATION IN THE BUILDING STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24 PART 2 CHAPTER 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE.
- 26) PROVIDE EMERGENCY EGRESS WINDOW AT EACH SLEEPING ROOM. SPECIFY THAT THE ESCAPE OPENING HAS A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE-FLOOR OPENING SHALL BE MIN. 5 SQ. FT.); MIN. NET CLEAR OPENING HEIGHT OF 24"; AND MIN. NET CLEAR OPENING WIDTH OF 20". FURTHER, SPECIFY THAT SUCH WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR AND OPEN DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO A PUBLIC WAY. [R310]

ATTIC ACCESS NOTE:
CRC R807.1 ATTIC ACCESS LOCATIONS TO ANY LOWER ROOF ATTIC SPACES THAT EXCEED 30 SQ. FT. & HAVE A VERTICAL HT. OF 30" OR GREATER. ROUGH-FRAMED OPENINGS SHALL NOT BE LESS THAN 22"x30"

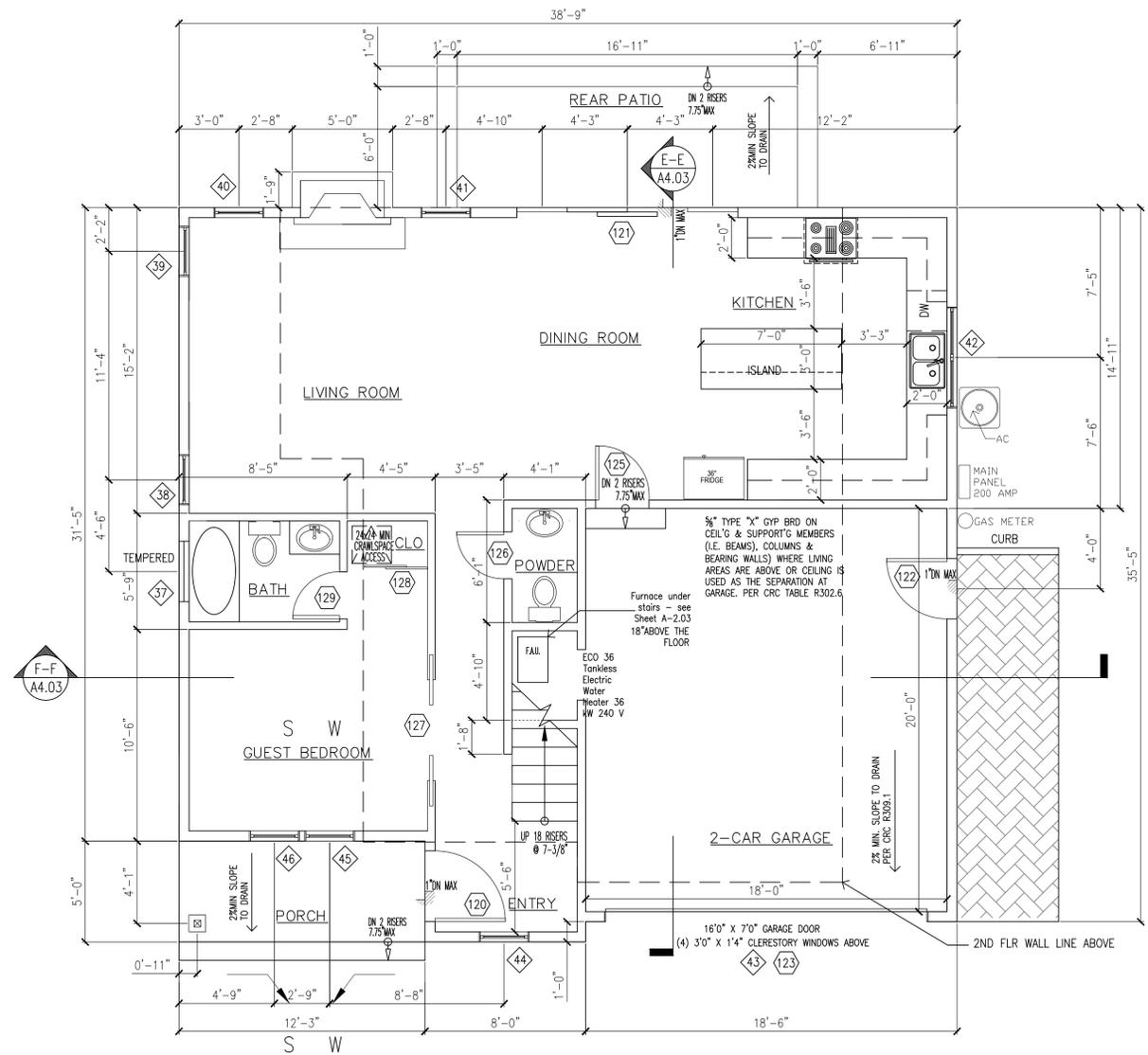
THRESHOLD NOTE:
2016 CBC. THRESHOLDS FOR DOORWAYS TO HAVE 1/2" MAX. & 3/4" FOR SLIDING DOORS. THRESHOLDS GREATER THAN 1/4" REQUIRE BEVELING AT A 50% SLOPE. WHERE ALLOWED, DOOR THRESHOLDS COMBINED WITH RISERS ARE TO HAVE A COMBINED MAX HT. OF 7-3/4"

CRAWLSPACE VENTILATION NOTES:
NFVA PROVIDED
TOTAL = 7 SQ. FT. > 6.3 SQ. FT.

1. REQ. VENT AREA FOR ENTIRE HOUSE: 952.4/150 = 6.3 SQ. FT.
VENT PROVIDED: (1) 14" x 6" = 10 x .70 = 7 SQ. FT.
PROVIDE TOTAL: 10 FOUNDATION VENTS
COVER VENTS WITH 1/4" CORROSION RESISTANT WIRE MESH.
NO VENTS OCCUR AT THE SHEARWALL LOCATIONS

CRAWLSPACE VENTILATION CALCULATIONS:

SPACE	VENTED AREA	NFVA REQD.	REMARKS
CRAWLSPACE	952.4 SQ.FT.	952.4 / 150 = 6.3 SQ. FT.	(1) 14"x6" FOUNDATION VENT = 10x.70 = 7 SQ. FT.



HOUSE 3 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT NO: DATE: 10/27/21
DRAFTED BY: REY MAPALO

**HOUSE 3
1ST FLOOR
PLAN**

**YANHUA
RESIDENCE**

1327 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP
20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE

1323 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHUI830@GMAIL.COM
4085990163



- 3-20 HOUSE 3 LEFT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



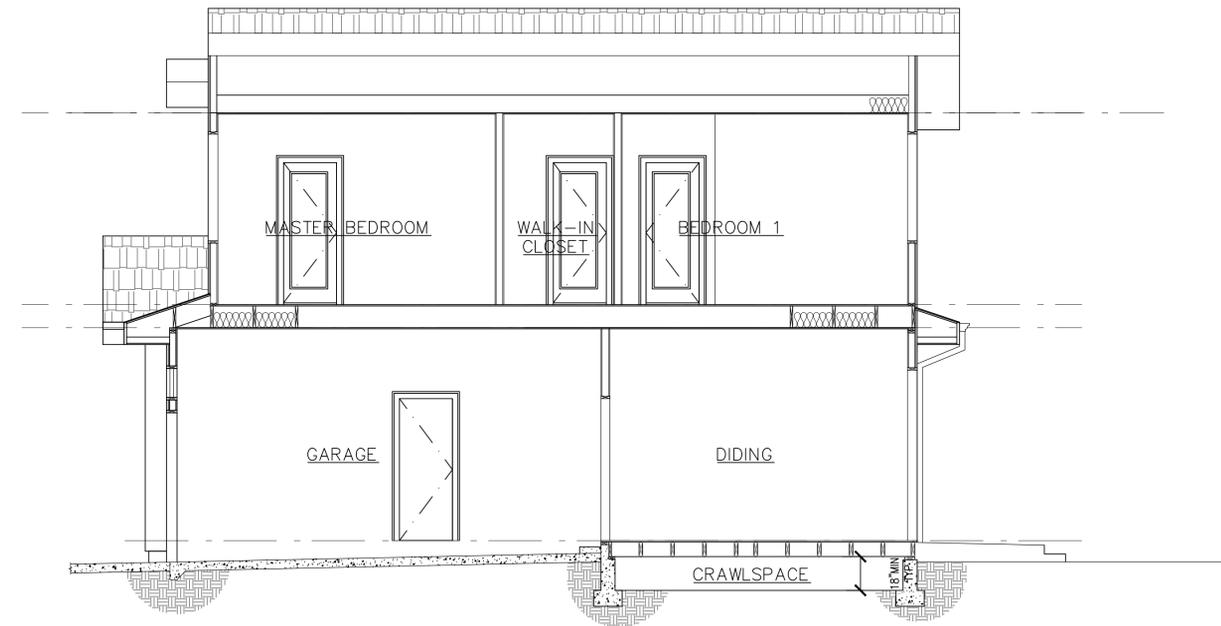
- 3-21 HOUSE 3 RIGHT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS:

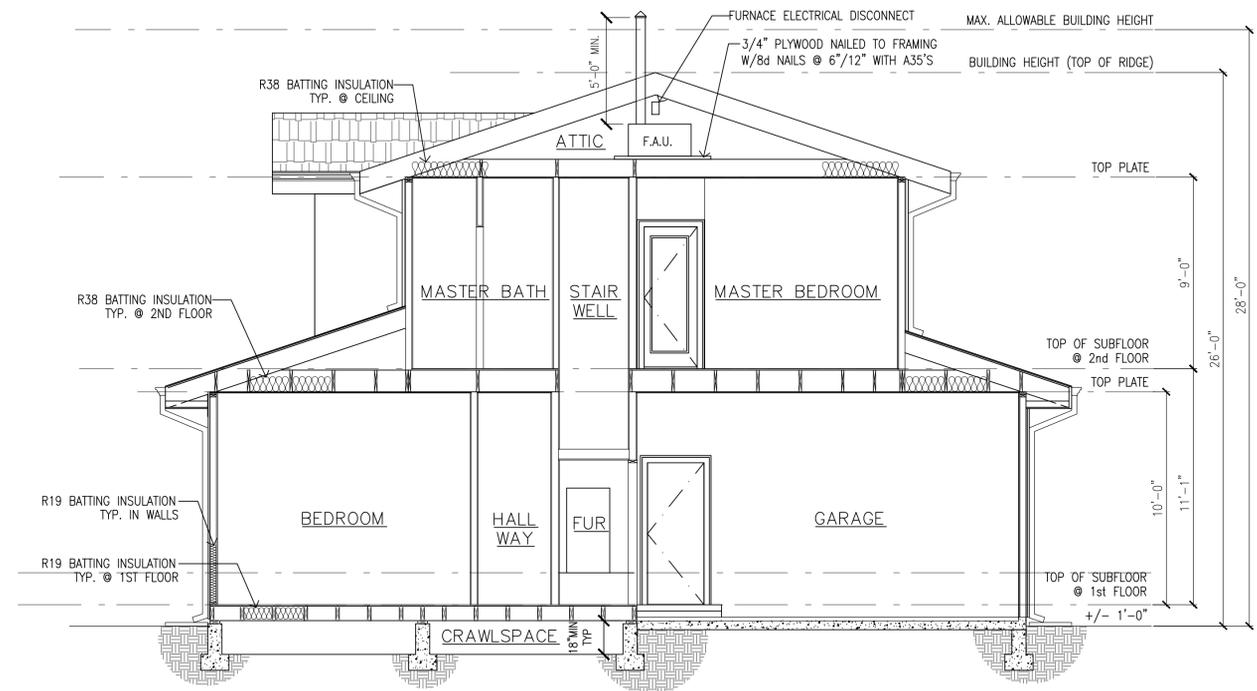
PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

**HOUSE 3
RIGHT (NORTH)
LEFT (SOUTH)
ELEVATIONS**



-E-E HOUSE 3 CROSS SECTION
SCALE: 1/4" = 1'-0"



-F-F HOUSE 3 CROSS SECTION
SCALE: 1/4" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 3
CROSS
SECTIONS

YANHUA RESIDENCE

HOUSE 4



CAMPBELL, CALIFORNIA

YANHUA
RESIDENCE

1329 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP

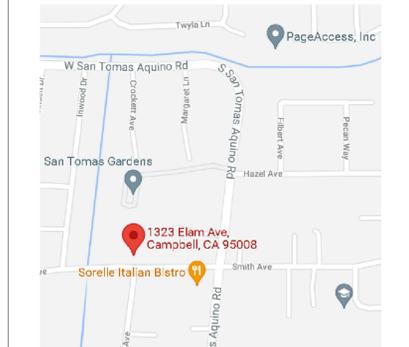
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1329 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHU@GMAIL.COM
4085990163

PROJECT INFORMATION

VICINITY MAP



GENERAL INFORMATION

PROPERTY ADDRESS: 1329 ELAM AVE., CAMPBELL, CA 95008
A.P.N.: 40-30-90-046
DESCRIPTION OF WORK: NEW 2-STORY 4 SINGLE-FAMILY HOUSES WITH ATTACHED GARAGE
LAND USE: RESIDENTIAL (O-4.4 DU/AC)
ZONING: R1-7.5
OCCUPANCY GROUP: R-3
GARAGE OCCUPANCY GROUP: U
TYPE OF CONSTRUCTION: TYPE V-B
STORIES: 2-STORY
AVERAGE SLOPE: FLAT

FLOOR CALCULATION

PROPOSED FLOOR AREA:	896 SQ. FT.
FIRST FLOOR	770 SQ. FT.
SECOND FLOOR	126 SQ. FT.
TOTAL FLOOR AREA	1,666 SQ. FT.
GARAGE	379 SQ. FT.
TOTAL BUILDING AREA	2,045 SQ. FT.
MAXIMUM ALLOWABLE LOT COVERAGE	40%
PROPOSED LOT COVERAGE	31%
NET LOT AREA	17,777 SQ. FT.

PAVED/LANDSCAPED AREAS	PROPOSED
PAVED AREAS	1,461 SF
LANDSCAPED AREAS	1,212 SF
TOTAL	2,673 SF

SETBACKS	WALL HEIGHT	REQUIRED SETBACK	PROPOSED SETBACK
FRONT OF STRUCTURE/DWELLING	21'-0"	15'-0"	23'-0"
FRONT OF GARAGE/PORT	11'-0"	15'-0"	15'-2"
LEFT SIDE 1ST FLOOR	11'-0"	15'-0"	15'-0"
LEFT SIDE 2ND FLOOR	25'-11"	15'-0"	20'-0"
RIGHT SIDE 1ST FLOOR	11'-0"	15'-0"	15'-0"
RIGHT SIDE 2ND FLOOR	23'-7"	15'-0"	23'-11"
REAR 1ST FLOOR	11'-0"	15'-0"	10'-11"
REAR 2ND FLOOR	21'-0"	15'-0"	31 SF

SHEET INDEX

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A-1.04 EXISTING TOPOGRAPHIC MAP/DEMOLITION PLAN
A-1.14 PROPOSED SITE PLAN
A-2.04 HOUSE 1 1ST FLOOR PLAN
A-2.14 HOUSE 1 2ND FLOOR PLAN & ROOF PLAN
A-3.04 HOUSE 1 FRONT & REAR ELEVATIONS / DOOR & WINDOW SCHEDULE
A-4.04 HOUSE 1 SECTIONS
A-5.04 TYPICAL DETAILS

ELECTRICAL

MEP1 HOUSE 4 1ST FLOOR ELECTRICAL PLAN
MEP2 HOUSE 4 2ND FLOOR ELECTRICAL PLAN

CIVIL

ON-SITE GRADING & DRAINAGE PLANS

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2. TOPOGRAPHIC MAP
3. DEMOLITION PLAN
4. OVERALL SITE PLAN
5. GRADING & DRAINAGE PLAN
6. UTILITY PLAN
7. IMPERVIOUS AREA PLAN
8. STORM DRAIN PLAN
9. STORMWATER SECTIONS
10. DETAILS
11. GRADING SPECIFICATIONS
12. GRADING SPECIFICATIONS
13. GRADING SPECIFICATIONS
14. EROSION CONTROL PLAN
15. EROSION CONTROL DETAILS
16. BUILDING FOR A CLEAN BAY

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2. DEMOLITION PLAN
3. STREET PLAN AND PROFILE
4. HORIZONTAL CONTROL PLAN
5. CITY DETAILS
6. STREET LIGHT ELECTRICAL DETAILS
7. BUILDING FOR A CLEAN BAY

LANDSCAPING

LANDSCAPING

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L-2 OFF-SITE LANDSCAPE PLAN
L-3 ON-SITE LANDSCAPE PLAN
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TITLE 24

T-24.1 ENERGY CALCULATIONS
T-24.2 ENERGY CALCULATIONS

STRUCTURAL

15. GENERAL NOTES
25. FOUNDATION PLAN
35. 2ND FLOOR FRAMING PLAN
45. ROOF & CEILING FRAMING PLANS
55. FOUNDATION DETAILS
65. HARDY FRAME DETAILS
75. FRAMING DETAILS
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JT1 JOINT TRENCH COMPOSITE TITLE SHEET
JT2 JOINT TRENCH GENERAL NOTES AND DETAILS
JT3 JOINT TRENCH DETAILS
JT4 JOINT TRENCH SECTIONS AND DETAILS
JT5 JOINT TRENCH COMPOSITE PLAN
JT6 JOINT TRENCH COMPOSITE PLAN

ADDITIONAL NOTES

1- ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION. THE BUILDING OWNER, PROJECT DESIGNER, AND/OR CONTRACTOR MUST SUBMIT A REVISION TO THE CITY FOR ANY WORK NOT GRAPHICALLY ILLUSTRATED ON THE JOB COPY OF THE PLANS PRIOR TO PERFORMING THE WORK.

2-THE ROOF WILL COMPLY WITH COOL ROOF REQUIREMENTS OF THE 2016 G.E.D. 110.B 2016

3-AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM WILL BE INSTALLED PER CRC BED 313.2, AS ADOPTED AND AMENDED BY CUPMC. NFPA 13D 2016 EDITION STANDARD. PLANS TO BE DEFERRED TO CMV RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS (SEE CITY WEBSITE UNDER 'FIRE HANDOUTS') COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. MIN " 1-1/2" METER " 1-1/2" SERVICE LINE UNLESS HYDRAULIC CALCULATIONS PROVE EXISTING ADEQUATE).

4-FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.

5-INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION 2016, (CMC 303.1 AND 2016 GPC 310.4

6-PROPERTY LINE SURVEY WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.

7-BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY A LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION.

8-COMPLETED CP28-LTB-01-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

9-THE BUILDING MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS PART (110-103.1B) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.

10-THE SOIL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION, COMPACTION, AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION TO VERIFY ELEMENTS OF THE SOILS REPORT. SITE VISIT REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT INSPECTOR OF RECORD (IDR)

11-THIS PROJECT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE. LANGUAGE FOR THE LETTER MUST BE AS WRITTEN AS PER CAMPBELL'S SURVEYOR HANDOUT AVAILABLE THROUGH THE BUILDING DEPARTMENT.

NOTES

APPLICABLE CODES

2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA ENERGY CODE (CEC)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSD) AND THE CITY OF CAMPBELL ORDINANCES

CALGREEN NOTES

A. DIVERT A MINIMUM OF 65% OF THE CONSTRUCTION & DEMOLITION WASTE FOR RECYCLE OR REUSE PER CGBSD 4.40B.1

B. PLEASE PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1 THROUGH 10 IN SECTION 4.410.1

C. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER BASED 94.304.1

D. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2 HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.

E. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALL AGAINST THE PASSAGE OF RODENTS 94.406.1

F. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION 4.504.1

G. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUNDS DURING CONSTRUCTION 4.504.2.1

H. PAINT, STAIN AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS 4.504.2.2

I. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS . 4.504.2.3 DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANCE

J. CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS .4.504.3

K. MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS PER SECTIONS 4.504.4

L. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEM SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS 4.504.5

M. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATION 4.505.2

N. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE 4.505.3

O. PROJECT MODELED WITH COMPLIANCE WITH COOL ROOF AND PIPE INSULATIONS - ALL LINES

P. HERS VERIFICATION REQUIRED FOR THE HVAC DISTRIBUTION SYSTEMS, AND IAQ (INDOOR AIR QUALITY). PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS BUILDING INCORPORATES FEATURES THAT REQUIRE FIELD TESTING AND/OR VERIFICATION BY A CERTIFIED RATER UNDER THE SUPERVISION OF A DED. APPROVED HERS

Q. EXHAUST FANS IN BATHROOMS WILL BE ENERGY STAR COMPLIANT, TERMINATE OUTSIDE THE BUILDING, AND WILL BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 PERCENT TO 80 PERCENT PER CGBSD 4.506.1

R. PER CAL GREEN . 4.504 THERE SHALL BE NO USE OF PRODUCTS INCLUDING MATERIALS, PAINTS, SOLVENTS, PRIMERS, CAULKS, OR GLUES THAT EXCEEDS CALIFORNIA'S LIMIT ON VOLATILE ORGANIC COMPOUNDS (VOC) ON THIS PROJECT.

FIRE DEPARTMENT NOTES

1) THIS PROJECT SHALL COMPLY WITH CALIFORNIA FIRE CODE (CFC), 2016 CITY OF CAMPBELL MUNICIPAL CODE (CUPMC) & CALIFORNIA CODE OF REGULATIONS (CCR).

2) ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION SI-7. PER CFC CHAP. 33

3) POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. PER 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.

4) APPROVED BUILDING NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. PER CFC SEC. 505.1.

FIRE SPRINKLER NOTES

AN AUTOMATED RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN THE (N) SINGLE FAMILY DWELLING UNITS PER CRC R313.2

CONTACT CITY OF CAMPBELL UTILITIES & SUBMIT A UTILITY APPLICATION WHICH INCLUDES 40 GPM PER FIRE SPRINKLER DEMAND. WATER METER SIZE NEEDS TO BE DETERMINED PRIOR TO FIRE DEPARTMENT APPROVAL OF PROJECT.

FIRE SPRINKLER SYSTEM TO BE APPROVED UNDER A SEPARATE PERMIT.

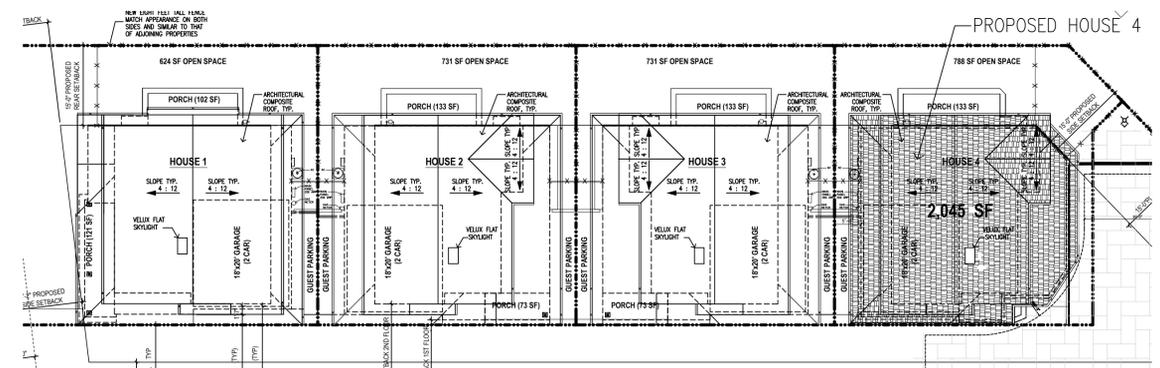
PUBLIC WORKS NOTES

1. WATER METER MAY BE UPGRADED / UPGRADED TO 1" RADIO READ PER CITY'S APPROVAL FIRE SPRINKLER SYSTEM DESIGN PLAN

2. NEW SEWER CLEANDOUT PER CITY'S STANDARD DETAIL 15A PER AVAILABLE CITY'S UTILITY BLOCK MAP. PLEASE FIELD VERIFY THE EXISTING SEWER BEFORE INSTALLATION.

3. REMOVE THE EXISTING DRIVEWAY APPROACH AND RECONSTRUCT A NEW DRIVEWAY APPROACH PER CURRENT CITY'S STANDARD REQUIREMENTS AND NOT COMPLY WITH ADA REQUIREMENTS.

4. CITY STREET TREE IN PARK-STRIP



-1-4.5 BLOCK DIAGRAM
SCALE: 1/16" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21
DRAFTED BY: REY MAPALO

WASTE MANAGEMENT

CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LEAK-RESISTANT EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM. TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS, PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION. OR CALL WEST VALLEY COLLECTION AND RECYCLING (283-9250) 40B(WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE

HOUSE 4 COVER SHEET

A-0.04

YANHUA RESIDENCE

1329 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP

20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



YANHUA RESIDENCE
1323 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHU1830@GMAIL.COM
4085990163

SHEET NOTES:

- E: EGRESS WINDOW - WINDOW OPENINGS IN BEDROOMS ARE TO BE A MAX. OF 44" ABOVE FINISHED FLOOR FOR EMERGENCY EGRESS.
- E: DWELLING UNIT EGRESS DOOR.
- T: TEMPERED GLASS
- F: FIXED WINDOW
- 1) ALL DIMENSIONS ARE TAKEN FROM STUDS TO STUDS. 2) EXTERIOR WINDOW AND DOOR TO BE CENTERED TO THE WALL, UNLESS OTHERWISE NOTED, TYP.
- 3) SHOWER AND TUB/SHOWER COMBINATION IN ALL BUILDINGS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
- 4) THE MAXIMUM HOT WATER TEMP DISCHARGING FROM THE BATHTUB AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEG F.
- 5) RAISED PLATFORM SHOULD BE 18" ABOVE FLOOR. THAT THE GAS WATER HEATER WILL HAVE TWO SEISMIC STRAPS AND PRESSURE RELIEF VALVE WILL BE TERMINATE AT THE EXTERIOR OF THE HOUSE.
- 6) 30"x24" MIN. FLOOR ACCESS.
- 7) PROVIDE 1-HOUR FIRE RATED DOOR OR SELF-CLOSING, SELF-LATCHING, TIGHT FITTING, SOLID WOOD 1-3/8" THICK DOOR.
- 8) TEMP. GLASS DOOR AND ENCLOSURE, TYP. WALL COVERING SHALL BE TILE WITH CEMENT BED 72" MIN. ABOVE DRAIN AT SHOWER OR TUB WITH SHOWER. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. TYP.
- 9) WALLS AND CEILING IN GARAGE SEPARATING AND SUPPORTING LIVING AREA SHALL BE COVERED WITH 5/8" TYPE "X" GYPSUM BD.
- 10) KITCHEN HOOD: PROVIDE A BACK-DRAFT DAMPER, HOOD SHALL BE INSTALLED DIRECTLY OVER THE COOK TOP, BE AS WIDE AS THE STOVE AND CENTERED OVER STOVE, 30" MIN. CLEARANCE FROM THE COOKING SURFACE, AND MUST BE SEPARATED BY 1/4" MIN. GAR FROM THE COMBUSTIBLES OR METAL CABINET. FURNACE AT ABOVE CEILING. KITCHEN EXHAUST FAN REQUIRED CFM AND DUCT SIZE SHOULD COMPLY WITH CA ENERGY CODE SECTION 150(O) AND ASHRAE 62.2.
- 11) PROPOSED ELECTRICAL FUSEBOX LOCATION, CONTRACTOR TO VERIFY SPECIFIC MODEL WITH OWNER.
- 12) PROPOSED HOME NETWORK PANEL LOCATION, CONTRACTOR TO VERIFY SPECIFIC MODEL WITH OWNER.
- 13) MARBLE HEARTH, MAJESTIC GAS FIREPLACE & FLUE SYSTEM W/ REMOTE CONTROL. THERMAL VENT DAMPER, U.L. LISTING # MH6018.0 DINING ROOM.
- 14) CEILING ACCESS W/ 20" MAX. OF ATTIC FURNACE
- 15) DRYER VENT THROUGH UNDERFLOOR TO EXTERIOR, MIN 4" DIA., BACKDRAFT DAMPER AT TERMINATION. NO MORE THAN 2 ELBOWS.
- 16) AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A MIN. CLEAR WIDTH OF 32" WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND STOP. WITH THE DOOR OPEN 90 DEGREES. THE MIN. CLEAR HEIGHT OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MIN. DIMENSIONS. INDICATE ON THE PLAN THE DESIGNED EGRESS DOORS AND INDICATE THIS DOOR SHALL BE READILY OPERABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- 17) PENETRATIONS THROUGH FIRE-RATED RESISTANT WALL OR FLOOR/CEILING ASSEMBLIES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R302.4
- 18) OR FLOOR-CEILING ASSEMBLIES SEPARATING DWELLING UNITS, AIR-BORNE & IMPACT SOUND INSULATION SHALL BE PROVIDED. (CRC APPENDIX K AK101.1)
 - A. AIR-BORNE SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES SHALL MEET A SOUND TRANSMISSION CLASS (STC) RATING OF 45 WHEN TESTING IN ACCORDANCE WITH ASTM E90. PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES FOR PIPING, ELECTRICAL DEVICES, RECESSED CABINETS, BATHTUBS, SOFFITS, OR HEATING, VENTILATING, OR EXHAUST DUCTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATING. FLOOR-CEILING ASSEMBLY THAT COMPLIES.
 - B. IMPACT SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES SHALL HAVE AN IMPACT INSULATION CLASS (IIC) RATING OF NOT LESS THAN 45 WHEN TESTED IN ACCORDANCE WITH ASTM E 492.
- 19) VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS (2016 CRC R 327.6.2):
 - * THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
 - * THE MATERIALS USED SHALL BE NONCOMBUSTIBLE.
 - * THE MATERIALS USED SHALL BE CORROSION RESISTANT.

- 20) VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1 THROUGH R327.6.3 OF THE 2016 CRC TO RESIST BUILDING IGNITION FROM THE INSTRUCTION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.
- 21) THE TEMPERATURE AND PRESSURE RELIEF VALVE DRAIN SHALL SLOPE 1/4" PER FOOT TO THE EXTERIOR AND TURN DOWN BETWEEN 6" AND 24" ABOVE FINISHED GRADE. FOOT TO THE EXTERIOR AND TURN DOWN BETWEEN 6" AND 24" ABOVE FINISHED GRADE.
- 22) THE ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS SHALL BE PROTECTED WITH 1/2" GYP. BD. ON THE ENCLOSED SIDE OF THE WALLS. UNDER-STAIR SURFACE AND SOFFITS, BD. ON THE ENCLOSED SIDE OF THE WALLS. UNDER-STAIR SURFACE AND SOFFITS.
- 23) IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN TOP STORY AND THE ROOF SPACE. PER CRC R302.11.
- 24) CONTRACTOR IS NOT TO WASH THE WINDOWS OR REMOVE LABELS PRIOR TO INSPECTION AND VERIFICATION OF U AND SHGC PROPERTIES.
- 25) AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST AN INSULATION CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER IN A CONSPICUOUS LOCATION IN THE BUILDING STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24 PART 2 CHAPTER 2-53 OF THE CALIFORNIA ADMINISTRATIVE CODE.
- 26) PROVIDE EMERGENCY EGRESS WINDOW AT EACH SLEEPING ROOM. SPECIFY THAT THE ESCAPE OPENING HAS A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. (GRADE-FLOOR OPENING SHALL BE MIN. 5 SQ. FT.); MIN. NET CLEAR OPENING HEIGHT OF 24"; AND MIN. NET CLEAR OPENING WIDTH OF 20". FURTHER, SPECIFY THAT SUCH WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR AND OPEN DIRECTLY TO STREET, PUBLIC ALLEY, YARD OR COURT THAT OPENS TO A PUBLIC WAY. [R310]

ATTIC ACCESS NOTE:

CRC R807.1 ATTIC ACCESS LOCATIONS TO ANY LOWER ROOF ATTIC SPACES THAT EXCEED 30 SQ. FT. & HAVE A VERTICAL HT. OF 30" OR GREATER. ROUGH-FRAMED OPENINGS SHALL NOT BE LESS THAN 22"x30"

THRESHOLD NOTE:

2016 CBC. THRESHOLDS FOR DOORWAYS TO HAVE 1/2" MAX. & 3/4" FOR SLIDING DOORS. THRESHOLDS GREATER THAN 1/4" REQUIRE BEVELING AT A 50% SLOPE. WHERE ALLOWED, DOOR THRESHOLDS COMBINED WITH RISERS ARE TO HAVE A COMBINED MAX HT. OF 7-3/4"

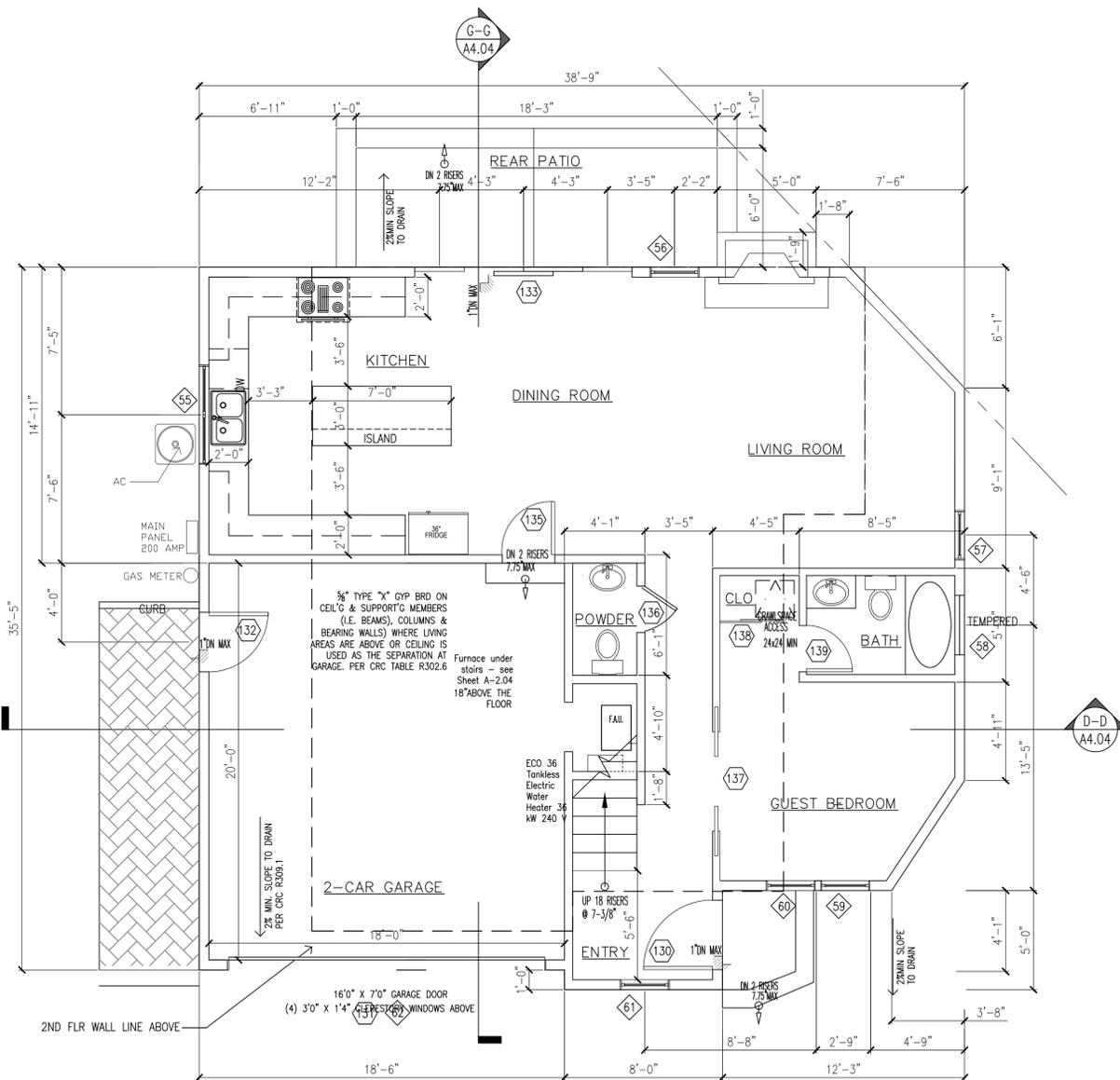
NFVA PROVIDED
TOTAL = 7 SQ. FT. > 6.2 SQ. FT.

CRAWLSPACE VENTILATION NOTES:

- 1. REQ. VENT AREA FOR ENTIRE HOUSE: 943.4/150 = 6.2 SQ. FT.
VENT PROVIDED: (11) 14" X 6" = 10 X .70 = 7 SQ. FT.
- PROVIDE TOTAL: 10 FOUNDATION VENTS
COVER VENTS WITH 1/4" CORROSION RESISTANT WIRE MESH.
NO VENTS OCCUR AT THE SHEARWALL LOCATIONS

CRAWLSPACE VENTILATION CALCULATIONS:

SPACE	VENTED AREA	NFVA REQD.	
CRAWLSPACE	943.4 SQ.FT.	943.4 / 150 = 6.2 SQ. FT.	(11) 14"x6" FOUNDATION VENT = 10x.70 = 7 SQ. FT.



HOUSE 4 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 4 1ST FLOOR PLAN

A-2.04

ROOF PLAN NOTES:

- 2" DIA. EAVE VENT HOLES AT EA. BLOCK, TYP. COVERED W/ CORROSION RESISTANT METAL MESH OPENING OF 1/4".
- DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- RWL, TYP. DIRECTED TO SPLASH BLOCKS OR OTHER IMPERVIOUS SURFACE THAT DEFLECTS WATER AWAY FROM THE BUILDING, 5% SLOPE TO LANDSCAPING AREA.
- VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE FULLY COVERED WITH METAL WIRE MESH, VENTS, OTHER MATERIALS OR OTHER DEVICES THAT MEET THE FOLLOWING REQUIREMENTS (2016 CRC R 327.6.2):
 - * THE DIMENSIONS OF THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16TH INCH AND SHALL NOT EXCEED 1/8TH INCH.
 - * THE MATERIALS USED SHALL BE NONCOMBUSTIBLE.
 - * THE MATERIALS USED SHALL BE CORROSION RESISTANT.
- VENTILATION OPENINGS FOR ENCLOSED ATTICS, ENCLOSED EAVE SOFFIT SPACES, ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS, AND UNDERFLOOR VENTILATION OPENINGS SHALL BE IN ACCORDANCE WITH SECTION 1203 OF THE CBC AND SECTIONS R327.6.1 THROUGH R327.6.3 OF THE 2016 CRC TO RESIST BUILDING IGNITION FROM THE INSTRUCTION OF BURNING EMBERS AND FLAME THROUGH THE VENTILATION OPENINGS.

VENTILATION NOTES:

KEEP ALL THE EXISTING VENTILATION OPENINGS TO OPEN, BOTH @ FOUNDATION. PURCH 2" Ø HOLES ON ROOF SHEATHING UNDER THE CALIFORNIA ROOF FRAMING AREA.
NO VENTS SHALL OCCUR AT THE SHEARWALL LOCATIONS.

ATTIC ACCESS NOTE:

A) ATTIC ACCESS LOCATIONS TO ANY LOWER ROOF ATTIC SPACES THAT EXCEED 30 SQ. FT. & HAVE A VERTICAL HEIGHT OF 30" OR GREATER. ROUGH-FRAMED OPENINGS SHALL NOT BE LESS 22"x30" PER CRC R807.1.

VENTILATION SYSTEM CALCULATION:

1784 SQ.FT. / 100 = 17.8
7.5 X 5 = 37.5
17.8 + 37.5 = 55.3

UPPER ROOF VENT CALCULATION:

REQ. VENT AREA: 1,090.5 / 150 = 7.27 SQ. FT.

EAVE VENTS: AT EACH BAY WHERE JOISTS ARE 24" O. C. (S. S. D.) PROVIDE (4) 2" Ø VENTILATION HOLES THROUGH STRUCT'L. BLOCKING. PROVIDE CERTIFIED RADIANT BARRIER- POLAR PLY AT UNDERSIDE OF THE PLYWOOD. PROVIDE PVC INSULATION SHIELD TO HOLD INSULATION AND KEEP 1" MIN. SPACE FOR FREE FLOW OF AIR.

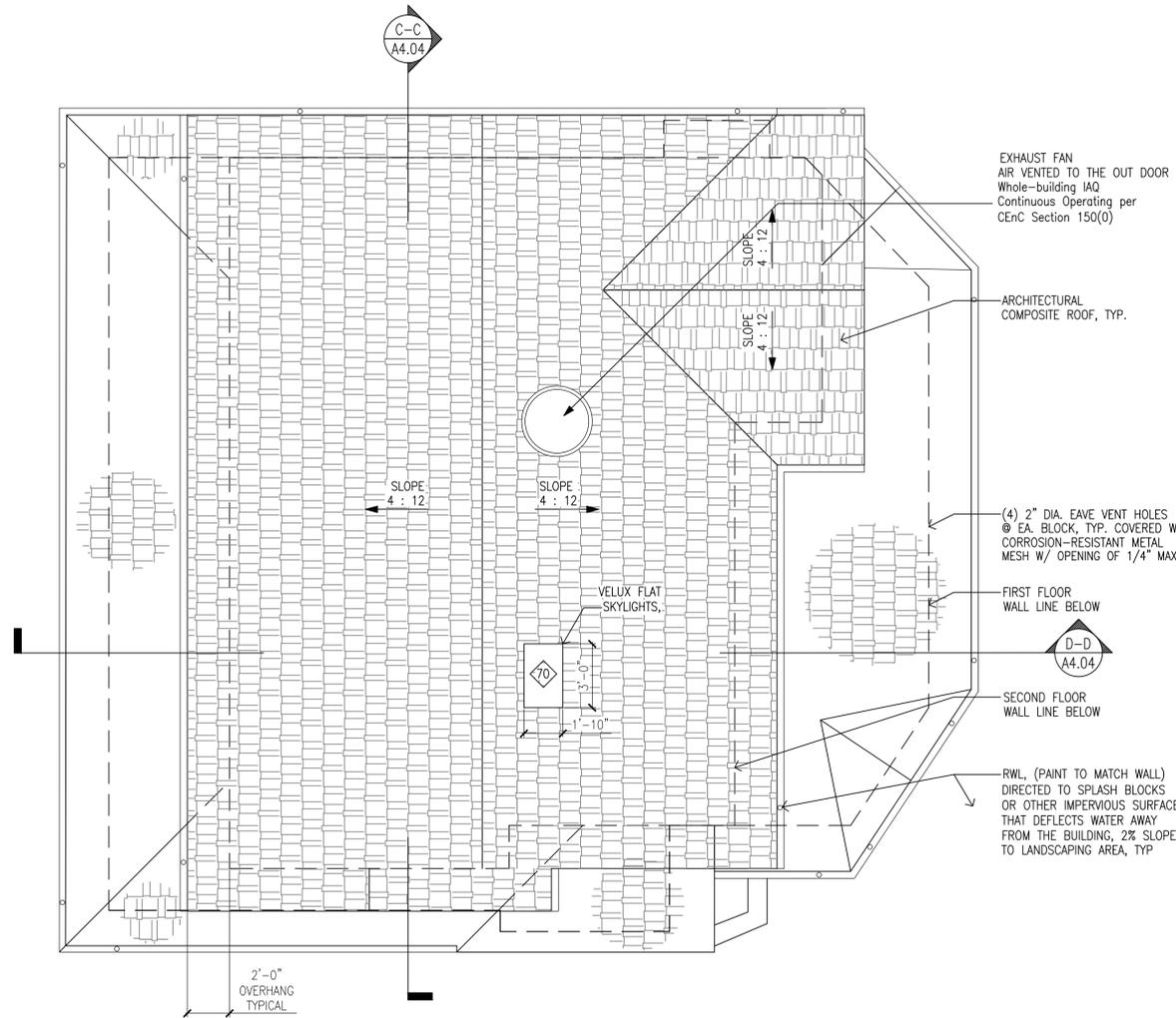
- EAVE VENTS: TOTAL 27 BAYS X 4 X 0.022 = 2.4 SQ. FT.
 - GABLE VENTS: PROVIDE 8 GABLE VENTS: 8 X 4.6 = 36.8 SQ. FT.
- TOTAL PROVIDED VENT AREA: 36.8 + 2.4 = 39.2 SQ. FT. > 7.27 SQ. FT.

LOWER ROOF VENT CALCULATION:

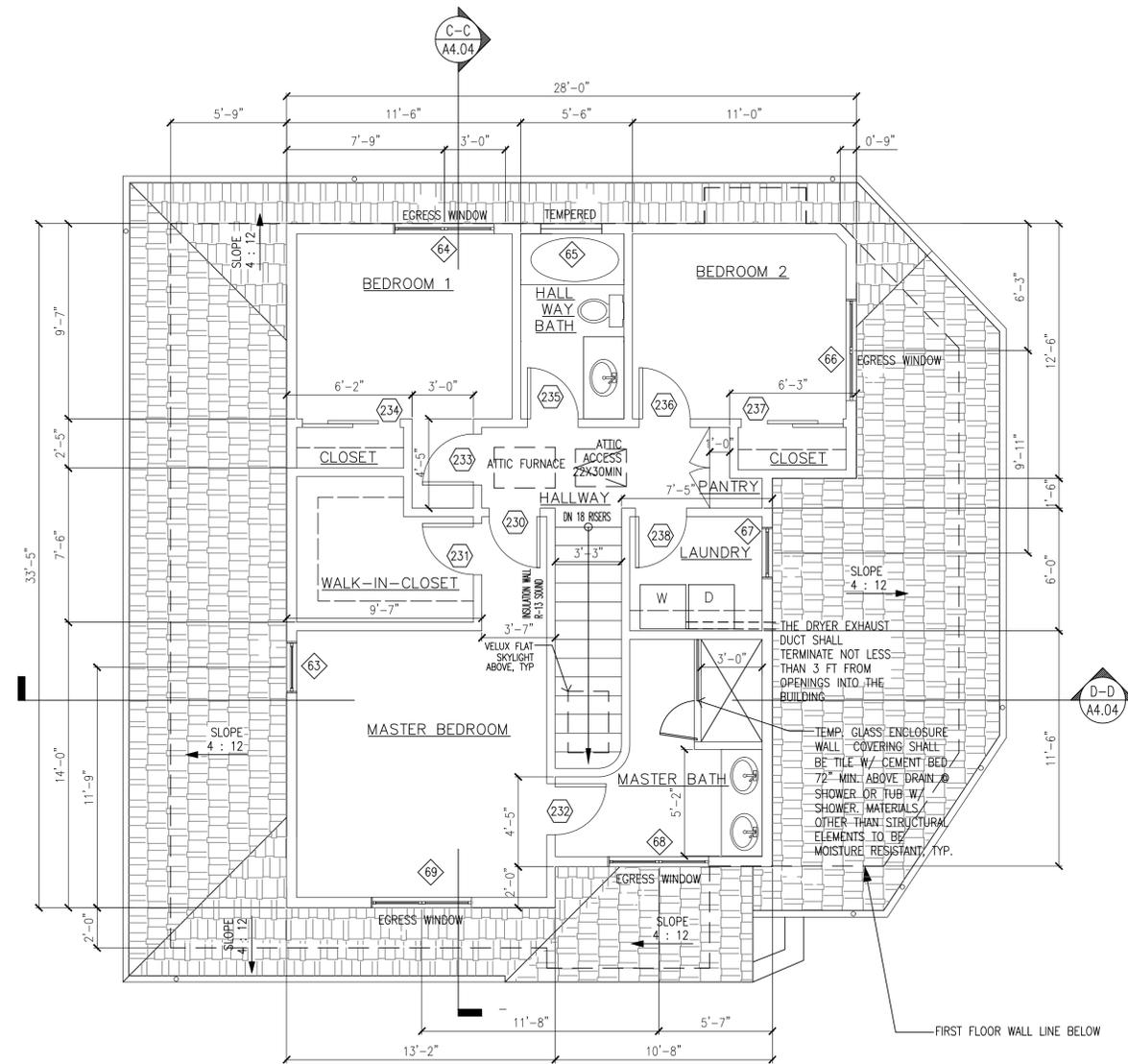
REQ. VENT AREA: 855.5 / 150 = 5.7 SQ. FT.

EAVE VENTS: AT EACH BAY WHERE JOISTS ARE 24" O. C. (S. S. D.) PROVIDE (4) 2" Ø VENTILATION HOLES THROUGH STRUCT'L. BLOCKING. PROVIDE CERTIFIED RADIANT BARRIER- POLAR PLY AT UNDERSIDE OF THE PLYWOOD. PROVIDE PVC INSULATION SHIELD TO HOLD INSULATION AND KEEP 1" MIN. SPACE FOR FREE FLOW OF AIR.

- EAVE VENTS: TOTAL 70 BAYS X 4 X 0.022 = 6.16 SQ. FT.
 - GABLE VENTS: PROVIDE 4 GABLE VENTS: 4 X 4.6 = 18.4 SQ. FT.
- TOTAL PROVIDED VENT AREA: 18.4 + 6.16 = 24.56 SQ. FT. > 5.7 SQ. FT.



- 2-12 HOUSE 4 ROOF PLAN
SCALE: 1/4" = 1'-0"



- 2-11 HOUSE 4 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:

PROJECT NO: DATE: 10/27/21

DRAFTED BY: REY MAPALO

HOUSE 4
2ND FLOOR
PLAN &
ROOF PLAN

#	ROOM	Size (W x H)	Type	Door Mat.	Door Fin. (In/Out)	Frame Mat.	Frame Fin. (In/Out)	Safety Glazing	Rating	Hdwr Group	Remarks
130	ENTRY	3'6" X 8'0"	IS	WD	P/P	WD	P/P	YES			
131	GARAGE	16'0" X 7'0"	G	AL	FP	AL	FP	YES			
132	GARAGE/SIDE PARKING	2'8" X 6'8"	H	AL	FP	AL	FP	YES			
133	DINING/REAR PATIO	11'0" X 8'0"	SL	V	FP	V	FP	YES			
135	GARAGE/DINING	2'8" X 8'0"	IS	WD	P/P	WD	P/P		FIRE-RATED		1 3/4" THK SOW SELF-CLOSING TIGHT-FITTING
136	POWDER	2'4" X 8'0"	OS	WD	P/P	WD	P/P				
137	GUEST BEDROOM	2'6" X 8'0" (PAIR)	PK	WD	P/P	WD	P/P				
138	GUEST BEDRM/CLOSET	4'0" X 8'0"	SL	WD	P/P	WD	P/P				
139	GUEST BEDRM/BATH	2'4" X 6'8"	IS	WD	P/P	WD	P/P				
230	MASTER BEDROOM	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
231	MASTER/WALK-IN CLO	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
232	MASTER BATH	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
233	BEDROOM 1	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
234	BEDROOM 1/CLOSET	4'10" X 6'8"	SL	WD	P/P	WD	P/P				
235	HALLWAY BATH	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
236	BEDROOM 2	2'6" X 6'8"	IS	WD	P/P	WD	P/P				
237	BEDROOM 2 CLOSET	5'0" X 6'8"	SL	WD	P/P	WD	P/P				
238	LAUNDRY	2'6" X 6'8"	IS	WD	P/P	WD	P/P				

DOOR SCHEDULE NOTES:

Type: BF= Bi-Folding G= Garage H= Half-Light IS= Inswing M.= Mirrored
 OS= Outswing P= Panel PK= Pocket SF= Sliding French SL= Sliding P= Pair
 Materials: AL= Aluminum CL= Glass HM= Hollow Metal Vinyl= V SCW= Solid Core Wood WC= Wood Clad WD= Wood
 Finish: C= Clad CC= Custom Clad FP= Factory Painted FS= Factory Stained P= Primed, GC= Painted S= Stained P/P= Primed & Painted
 Glazing: C= Custom Glass Panel D= Double Glazed S= Single Glazed (All door lights shall be safety glazed with 1/4" min. thick safety glass)
 Hardware: B= Blind E= Exterior I= Interior P= Pocket S= Slider STD= Std. Manuf. Hardware
 Sill: AL= Aluminum BZ= Bronze ST= Stone STD= Standard WD= Wood
 1. VERIFY ROUGH OPENING DIMENSIONS WITH DOOR MANUFACTURER PRIOR TO ORDERING AND FRAMING
 2. WOOD CASING ON ALL DOORS

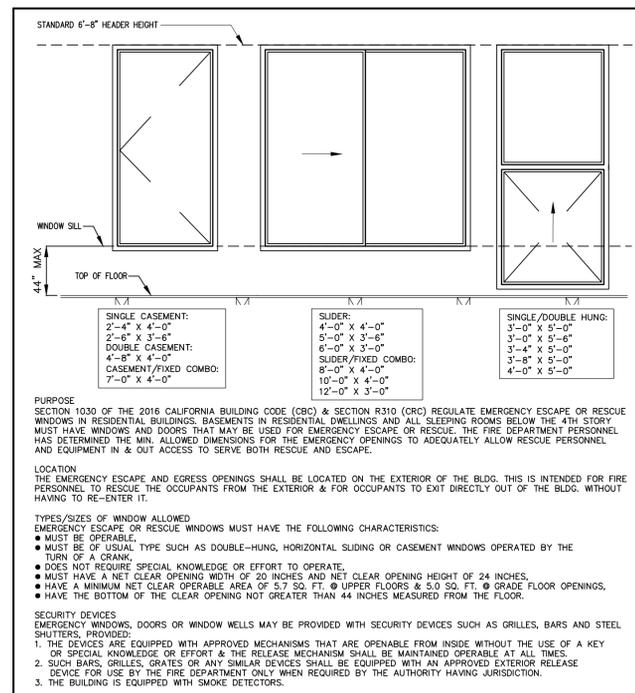
- 3-24 HOUSE 4 DOOR SCHEDULE

#	ROOM	Size (W x H)	Type	Mat.	(In/Out)	Frame Mat.	Frame Fin. (In/Out)	Safety Glazing	EGRESS	Remarks
55	KITCHEN	5'0" X 5'0"	SL	V	V/V	V				
56	LIVING ROOM	2'6" X 5'6"	DH	V	V/V	V				
57	LIVING ROOM	2'6" X 5'6"	DH	V	V/V	V				
58	GUEST BATH	3'0" X 3'0"	SL	V	V/V	V				
59	GUEST BEDROOM	2'6" X 5'6"	DH	V	V/V	V				
60	GUEST BEDROOM	2'6" X 5'6"	DH	V	V/V	V				
61	ENTRY	2'6" X 5'6"	DH	V	V/V	V				
62	GARAGE	(4) 3'2" X 1'4"	S	V	V/V	V				
63	MASTER BEDROOM	2'6" X 5'0"	C	V	V/V	V				
64	BEDROOM #1	5'0" X 5'0"	SL	V	V/V	V				
65	HALLWAY BATH	3'0" X 3'0"	SL	V	V/V	V				
66	BEDROOM #2	5'0" X 5'6"	SL	V	V/V	V				
67	LAUNDRY	2'6" X 4'0"	C	V	V/V	V				
68	MASTER BATH	5'0" X 4'0"	SL	V	V/V	V				
69	MASTER BEDROOM	5'0" X 5'0"	SL	V	V/V	V				
70	SKYLIGHT	1'10" X 3'0"	F	AL	AL	AL				

WINDOW & SKYLIGHT SCHEDULE NOTES:

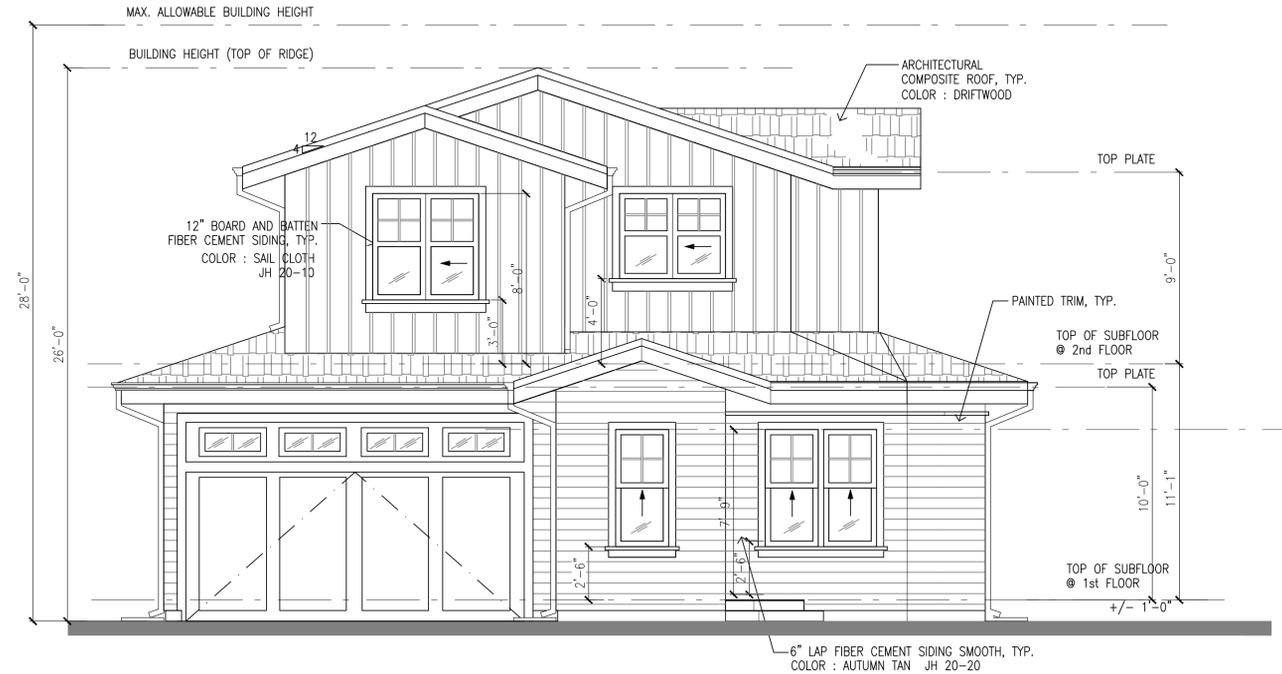
TYPE: DH= Double Hung C=Casement SL=Sliding A=Awning F= Fixed
 MATERIAL: AL= Aluminum STL= Steel V= Vinyl WC= Wood Clad WD= Wood
 FINISH: C= Clad CC= Custom Clad FP= Factory Painted P= Paint grade
 GLAZING: I= Clear Insulated Glass L= Clear Laminated Glass P= Single Float Glass
 LIGHTS: TDL= True Divided Light. Upper sash single glazed with storm panel, lower sash clear insulated glass.
 1. SEE EXTERIOR ELEVATIONS FOR SILL/HEAD HEIGHTS AND WINDOW SWING INFO. VERIFY ALL ROUGH OPENINGS PRIOR TO ORDERING.
 2. COORDINATE THE WINDOW STYLES AND LIGHT PATTERNS WITH THE EXTERIOR ELEVATIONS PROVIDED ON A3
 3. VERIFY ROUGH OPENING DIMENSIONS WITH DOOR MANUFACTURER PRIOR TO ORDERING AND FRAMING.
 4. VINYL ON ALL WINDOWS.

- 3-25 HOUSE 4 GENERAL WINDOW SCHEDULE



RESIDENTIAL EGRESS WINDOWS (2016 CBC) SECTION 1030 EMERGENCY ESCAPE & RESCUE

- 3-26 EGRESS WINDOWS



- 3-22 HOUSE 4 FRONT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



- 3-23 HOUSE 4 REAR (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

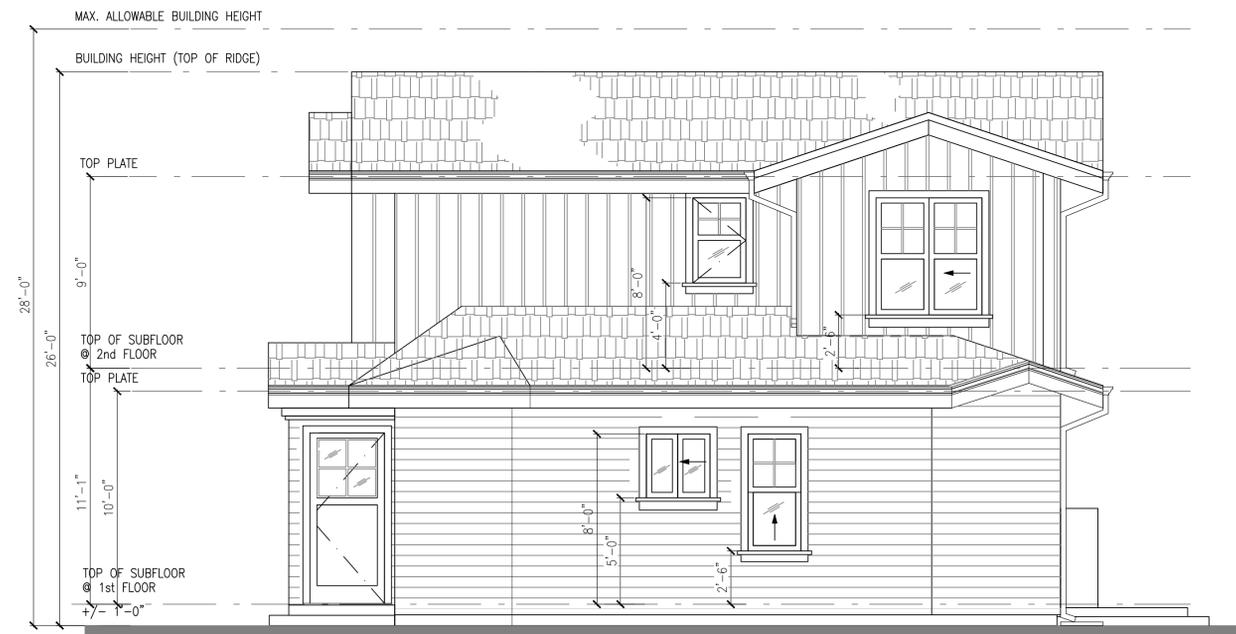
**YANHUA
RESIDENCE**

1329 ELAM AVE.
CAMPBELL, CA 95008



SC DESIGN GROUP

20370 TOWN CENTER LN
SUITE 139
CUPERTINO, CA 95014
408.865.0577



- 3-27 HOUSE 4 RIGHT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



- 3-28 HOUSE 4 LEFT (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"

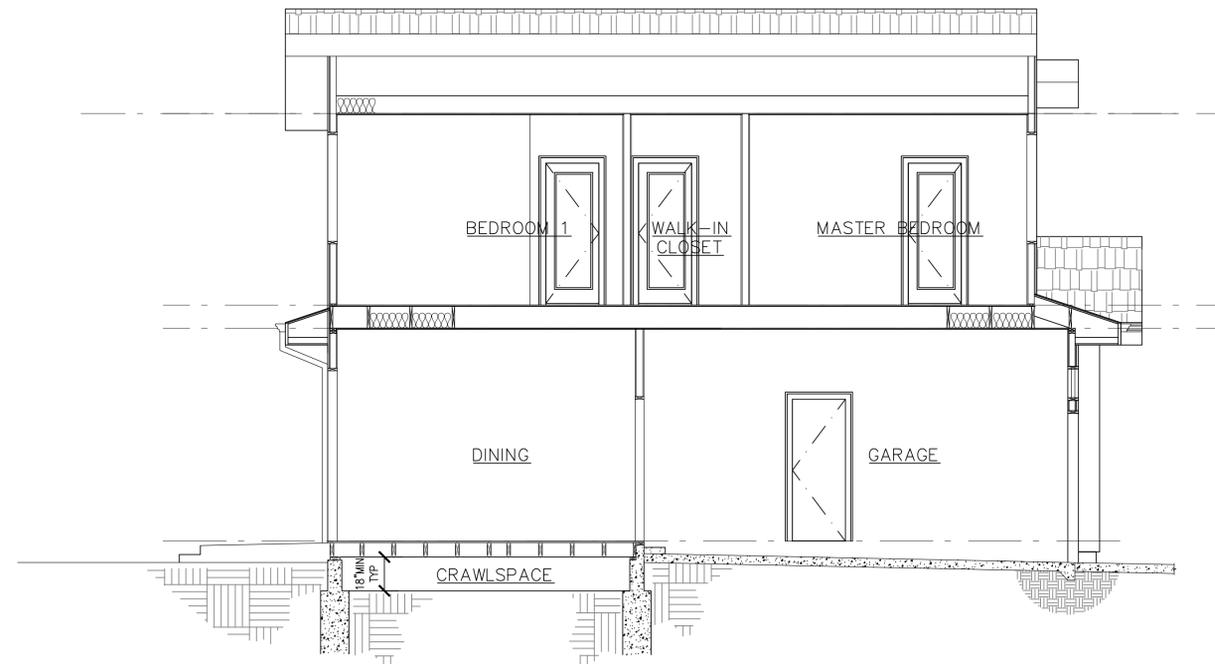
YANHUA RESIDENCE
1329 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHUI830@GMAIL.COM
4085990163

REVISIONS:

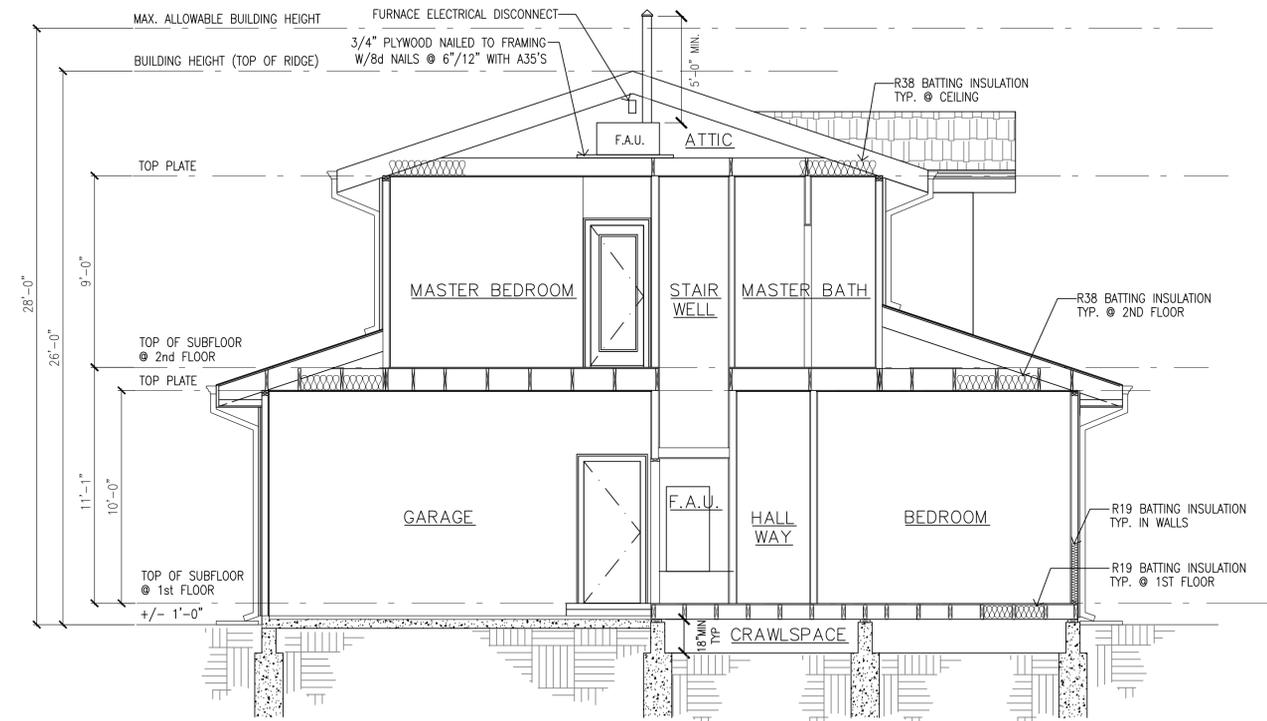
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**HOUSE 4
RIGHT (NORTH)
LEFT (SOUTH)
ELEVATIONS**



- G-G HOUSE 4 CROSS SECTION
SCALE: 1/4" = 1'-0"



- H-H HOUSE 4 CROSS SECTION
SCALE: 1/4" = 1'-0"

YANHUA RESIDENCE
1323 ELAM AVE. CAMPBELL, CA 95008
THE MAJESTIC TRUST
JILLZHUI1830@GMAIL.COM
4085990163

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HOUSE 4
CROSS
SECTIONS