



CITY OF CAMPBELL
Community Development Department

October 27, 2021

NOTICE OF ADMINISTRATIVE ACTION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

Project Address: 685 Margaret Ln

Zoning/Area Plan: R-1-6 / STANP

Neighborhood Association(s): STACC

File No.: PLN-2021-159

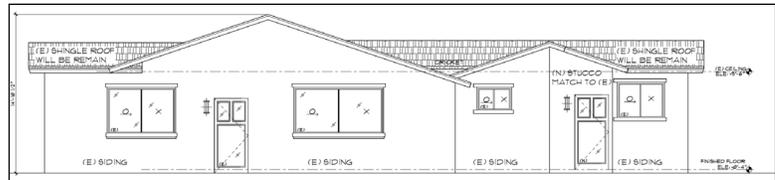
APN: 403-09-016

Applicant: Joleen Thai

Property Owner: Chinh & Joleen Thai

Application Type: Admin. Site and Architectural Review Permit

Project Description: Legalize an unpermitted 25 square-foot laundry room addition.

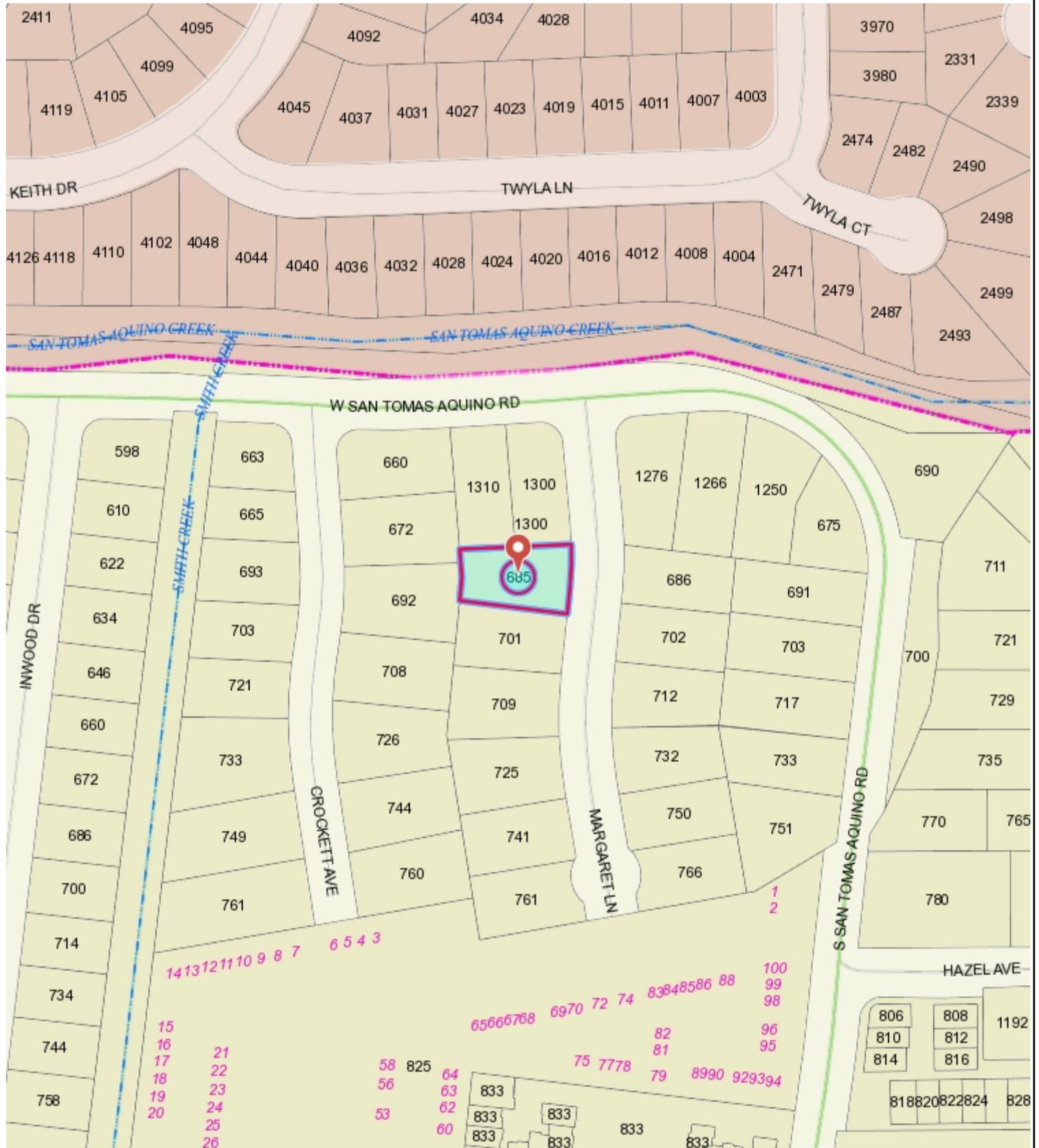


This application will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on October 27, 2021 and ends on November 8, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 8, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at danielf@campbellca.gov.



Location Map - 685 Margaret Ln.



376 0 188 376 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:2,257

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

RESIDENCE RENOVATION

685 Margaret Ln. Campbell CA

SCOPE OF WORK

1. ADDITION 23 SQFT. NEW LAUNDRY ROOM FOR MAIN HOUSE
2. ADDITION 14 SQFT. NEW WATER HEATER (DEFERRED PERMIT)

TABULATION

- 1 ASSESSOR'S PARCEL NO: 403-09-016
- 2 ZONING: R 1-6
- 3 BUILDING OCCUPANCY GROUPS: (R3/U)
- 4 TYPE OF CONSTRUCTION: (VB)
- 5 AUTOMATIC FIRE SPRINKLER: NO

FLOOR AREA BREAKDOWN

LOT SIZE: 8607 SQ. FT.

	EXISTING	NEW	TOTAL
1st FLOOR:	2069 SF	37 SF	2106 SF
GARAGE	218 SF	0 SF	218 SF
TOTAL:	2287 SF	37 SF	2324 SF

EXISTING LOT COVERAGE: $2287 / 8607 = 26.5\%$
 NEW LOT COVERAGE: $2324 / 8607 = 27\%$
 EXISTING FLOOR AREA RATIO (F.A.R.): $2069 / 8607 = 24\%$
 NEW FLOOR AREA RATIO (F.A.R.): $2069 + 37 / 8607 = 24.5\%$

DIRECTORY

CITY OF CAMPBELL:
 Building Department

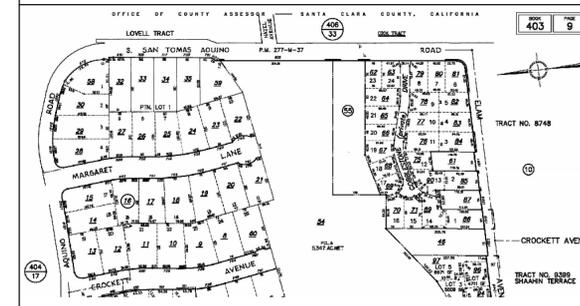
OWNERS
 David Thai, Joleen Thai
 685 Margaret Ln.
 Campbell CA 95008
 Tel: 408-608-7812
 Email: joleen.thai@hotmail.com

VT DESIGN & ENGINEERING
 Vu Doan: 408-668-4046
 621 TULLY ROAD
 STE # 223
 SAN JOSE, CA 95111

DRAWING INDEX

- A-1 Cover Sheet
- A-1.1 Floor Area Diagram
- A-1.2 Existing Photos Diagram
- A-1.3 Hydrant Location Plan
- A-2 Existing & Proposed Floor Plans
- A-3 Plumbing / Electrical
- A-4 Ceiling Plan / M.P.E.
- A-5 Roof Plan
- A-6 Elevations
- T-24 Detail
- T-24 Energy Reports
- CG1 California Green
- Clean Bay Plan Sheet
- S- Structural Plans

APN. MAP



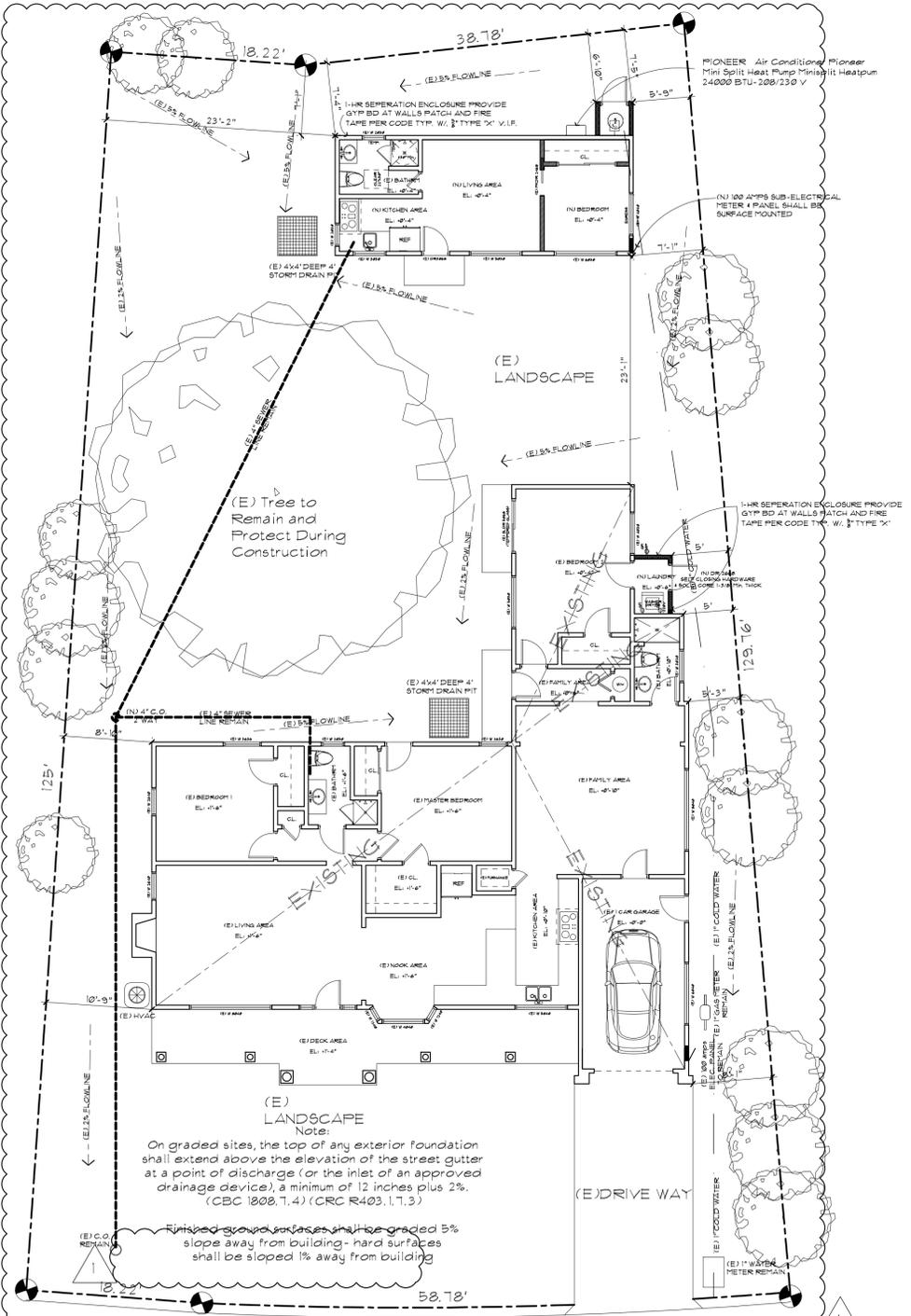
GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH LATEST APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING BUT NOT LIMITED TO:
 - 2019 CALIFORNIA BUILDING CODE
 - 2019 CALIFORNIA MECHANICAL CODE
 - 2019 CALIFORNIA PLUMBING CODE
 - 2019 CALIFORNIA ELECTRICAL CODE
 - 2019 CALIFORNIA RESIDENTIAL CODE
 - 2019 CALIFORNIA TITLE 24 - NFPA - CURRENT EDITION
 - 2019 CALIFORNIA GREEN BUILDING CODE
 - 2019 CALIFORNIA ENERGY CODE
 - (*) AS AMENDED BY STATE AND LOCAL ORDINANCES CA TITLE 24
2. ALL WORK SHALL COMPLY WITH LOCAL ORDINANCES AND STATE LAWS.
4. ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS.
5. ALL MECHANICAL, PLUMBING, AND ELECTRICAL EQUIPMENT SHALL BE ANCHORED AND SEISMICALLY BRACED PER CODE.
6. DIMENSIONS ON WORKING DRAWINGS GOVERN. DO NOT SCALE DRAWINGS.
7. ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE. THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATION, INCLUDING ANOMOLIES, OF ALL TRADES.
8. ALL CONTRACTORS SHALL THOROUGHLY REVIEW CONTRACT DOCUMENTS AND SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK. PRIOR TO BIDDING, CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY CONDITIONS WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS. DURING CONSTRUCTION, CONTRACTORS SHALL NOTIFY THE OWNER AND SEEK CLARIFICATION IF ANY DISCREPANCIES ARE FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS AFTER A DISCREPANCY IS IDENTIFIED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT MATERIALS, LABOR, INSTALLATION, ETC., CONFORMS TO THE CODES AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES.
10. NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK.
11. CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
12. FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION CAUSED IN THIS MANNER SHALL BE REPAIRED OR REPLACED (OWNER'S & ARCHITECT'S DECISION) BY CONTRACTOR WITH IDENTICAL MATERIAL AND/OR FINISHES.
13. ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS RESULTING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
14. IN ADDITION TO THOSE SHOWN ON DRAWINGS, PROVIDE AND LOCATE ACCESS DOORS OR PANELS IN CEILING AND WALL CONSTRUCTION AS REQUIRED FOR MECHANICAL, PLUMBING, AND ELECTRICAL WORK.
15. PROVIDE BACKING FOR ALL EQUIPMENT AND ACCESSORIES.
16. CONTRACTOR TO FIELD VERIFY "AS-BUILT" CONDITIONS AND NOTIFY THE ARCHITECT IF THEY VARY SUBSTANTIALLY FROM THOSE SHOWN.

Waste Management Statement
 Construction wash-out water from concrete, mortar, tile, taping, and painting shall be done in a portable containment pool or in a lined evaporative pit. Wash-out shall not enter the storm water system.

Trash piles shall not be located in the front yard or visible from the street. Trash piles shall not contain: paints, solvents, glues, taping compound, food products, or easily recycle-able discards such as bottles, cans, plastics, or paper. Remaining trash shall be limited to concrete, wood, drywall, roofing, and assorted metals and shall be covered with a waterproof tarp. Trash shall be separated at an approved bay area disposal site such as Guadalupe Recycling. All trash is to be quickly hauled off site. Retain the receipt and keep with the permit documents, proof of recycle and disposal of the job site trash will be checked periodically and prior to final inspection.

Or call:
 West Valley Collection and Recycling (408) 283-9250 will deliver a roll-off debris box and sort the trash off site.



Minimum 1/2" high lettering stating "Planning Final Required. Front yard landscaping indicated on the plans must be installed prior to final inspection. Changes to the landscaping plan require Planning approval." Note: If the project landscape area increases during the course of the project, additional requirements will apply.

SITE PLAN
 1/8" = 1'-0"

DATE

REVISION



VT DESIGN & ENGINEERING
 621 TULLY ROAD
 STE # 223
 SAN JOSE, CA 95111

Residence Renovation
 685 Margaret Ln. Campbell CA

COVER SHEET

Revisions:
 1 05-13-2021

Project Title:
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 Sheet Title:

COVER SHEET

Scale:
 Sheet No: A-1
 of Sheets

DATE	REVISION



VT DESIGN & ENGINEERING
621 TULLY ROAD
STE # 223
SAN JOSE, CA 95131

West Valley San Joaquin District		Sewer Connection Permit																	
Permit No.	112284	Date Issued	8/11/2021																
Issued By	SCM BROWN																		
Site Address	1000 MARGARET LN, CAMPBELL, CA 95008																		
Working Address	1000 MARGARET LN, CAMPBELL, CA 95008																		
Parcel Number	10000000000000000000	Building Type	1 - SCL																
Local Jurisdiction	CAMPBELL	Construction Type	1 - SCL																
Proposed Project	RENOVATION	Addressed Units	1 - 3																
		Construction Status	1 -																
Contact Name	JOHN DOE	Owner Name	1000 MARGARET LN																
Contact Phone # 1	408-555-1234	Address Name	1000 MARGARET LN																
Contact Phone # 2	408-555-1234	Owner Phone #	408-555-1234																
Proposed Work	INSTALL SEWER MAIN TO NEW ADDITION & SERVICE AREA																		
Property Use Classification		Equipment Notes																	
Whether Property Service Required	<input type="checkbox"/>																		
Amplification Required	<input type="checkbox"/>																		
Structural Service Required	<input type="checkbox"/>																		
Local Ordinance	<input type="checkbox"/>																		
Public Access	<input type="checkbox"/>																		
<table border="1"> <thead> <tr> <th>PERMIT FEE</th> <th>Fee</th> <th>Payment Type</th> <th>Check #</th> </tr> </thead> <tbody> <tr> <td>State</td> <td>1,100.00</td> <td> </td> <td> </td> </tr> <tr> <td>County</td> <td>1,100.00</td> <td> </td> <td> </td> </tr> <tr> <td>Total Fees</td> <td>2,200.00</td> <td> </td> <td> </td> </tr> </tbody> </table>				PERMIT FEE	Fee	Payment Type	Check #	State	1,100.00			County	1,100.00			Total Fees	2,200.00		
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<p>NOTES:</p> <ul style="list-style-type: none"> All work shall be in accordance with the applicable codes and standards. Obtain approval of the local agency before starting any work. Obtain a building or plumbing permit from the appropriate local agency. Project shall be subject to the local agency's jurisdiction. Adhere to the General Property Use Classification and other applicable regulations. Referred by D.T. (01/20) <p>The undersigned agrees to accept and abide by all permit requirements, including any and all related provisions of the current West Valley San Joaquin District Ordinance Code.</p>																			
Drawn By	JOHN DOE	Signature	<i>[Signature]</i>																
Checked By		Checked By																	

Residence Renovation
685 Margaret Ln. Campbell CA

Revisions:
1 09-13-2021

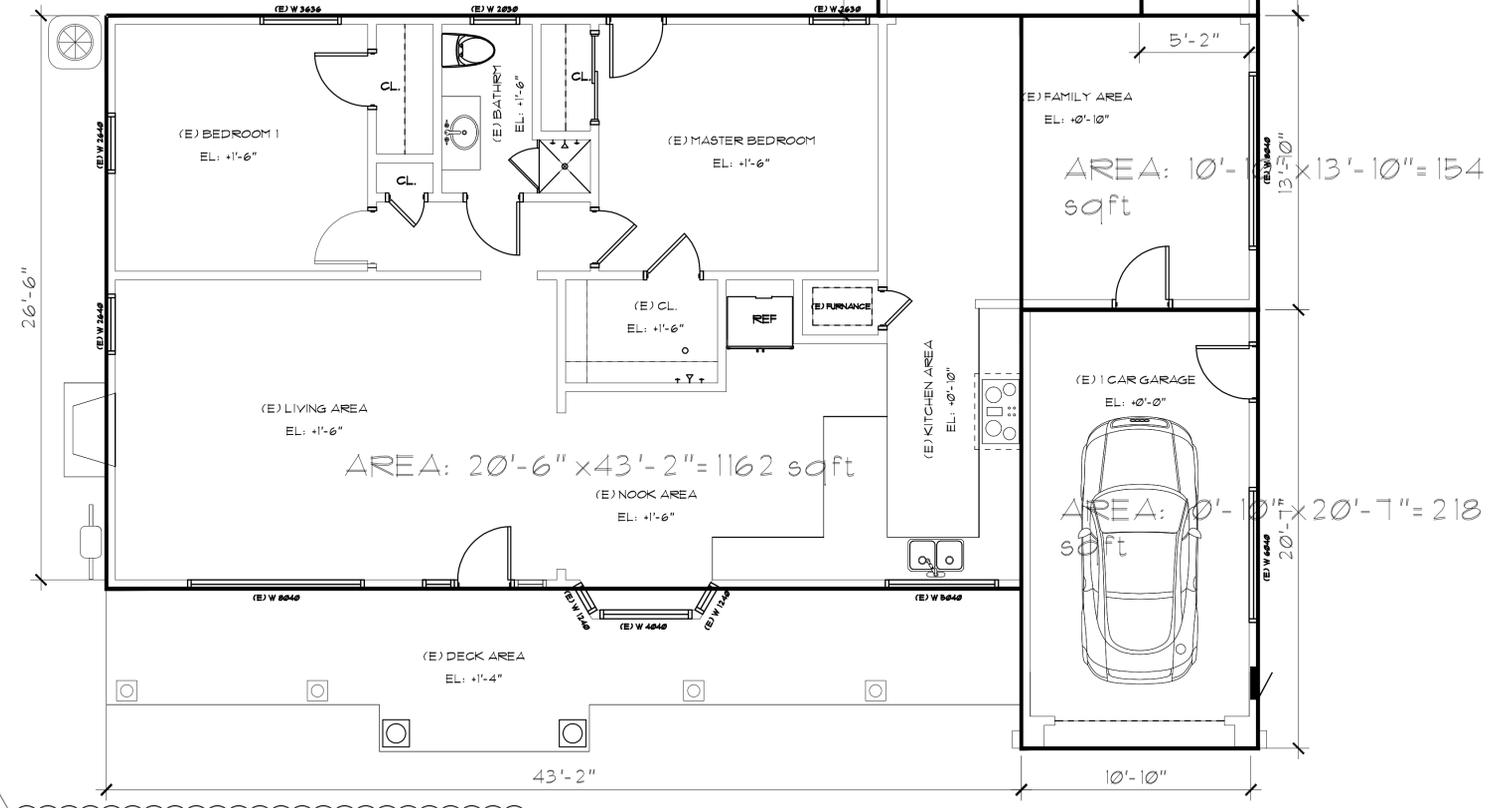
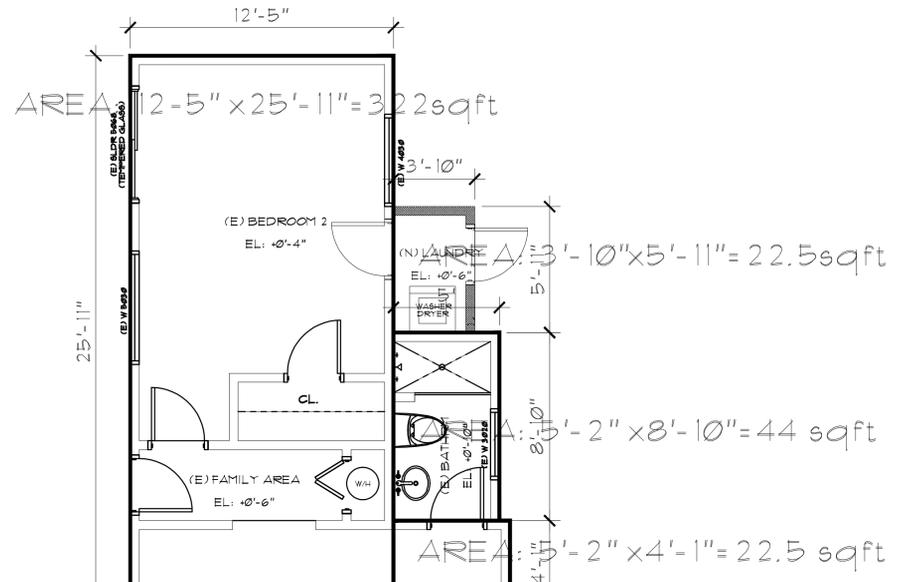
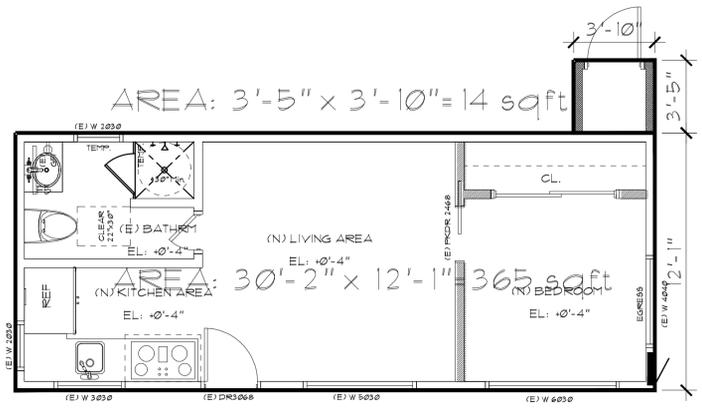
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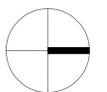
FLOOR AREA DIAGRAM

Scale:
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of Sheets

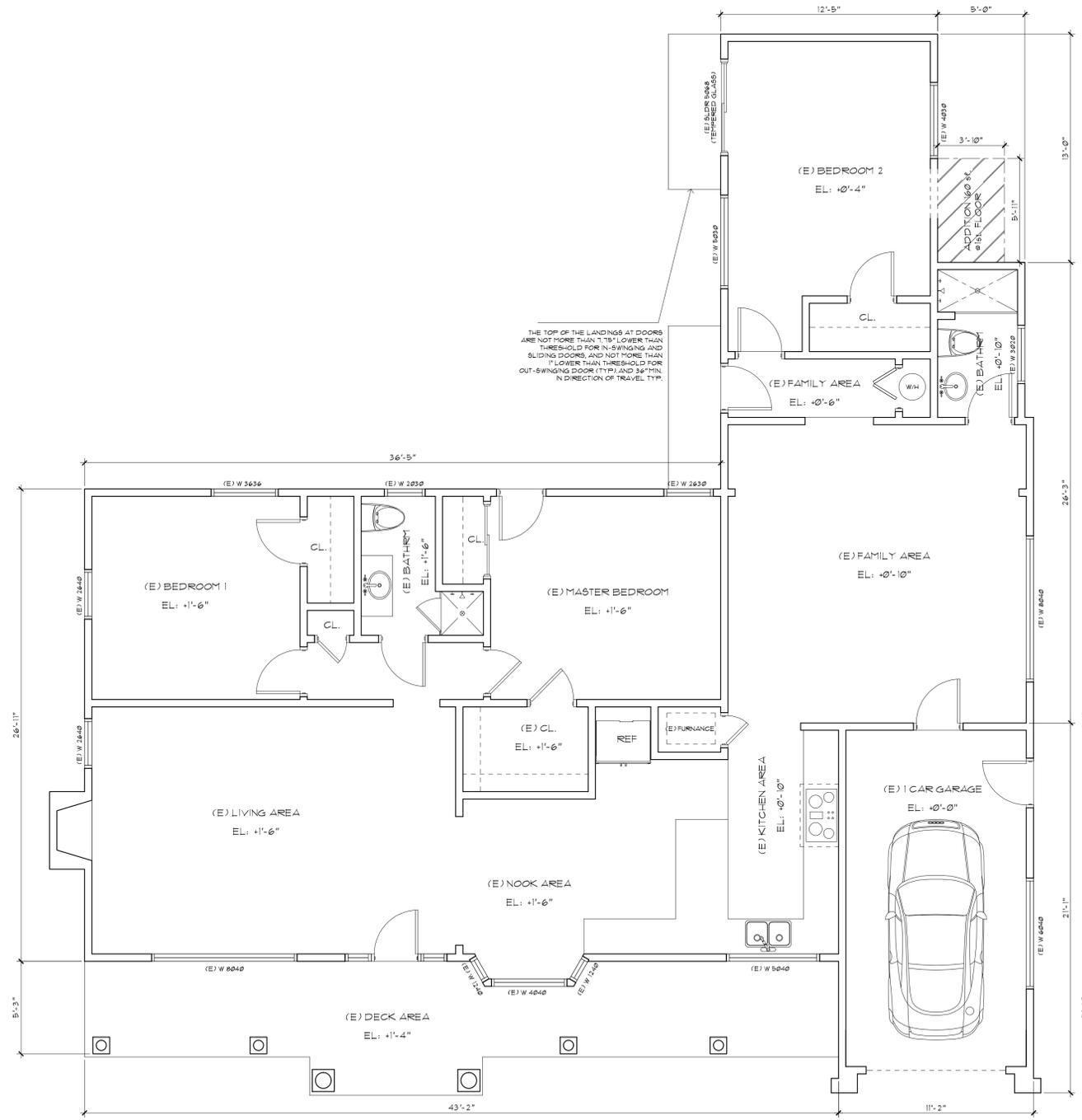


A floor area diagram
1/4" = 1'-0"

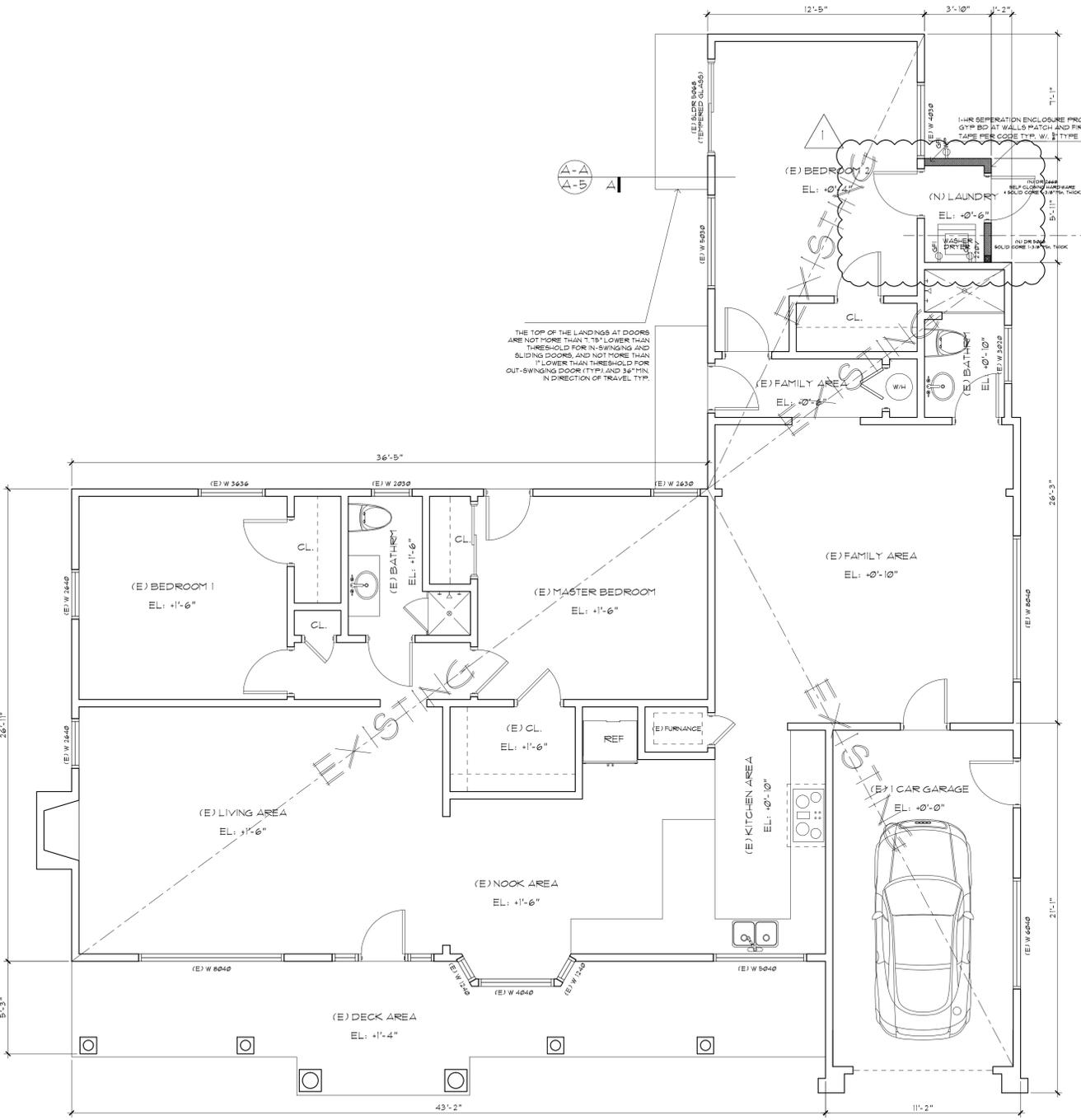


-  EXISTING WALL TO REMAIN (REPAIRED, TEXTURED AND PAINTED)
-  (N) WALLS.
-  EXISTING NON STRUCTURAL WALLS WILL BE REMOVED

DOOR NOTES AND ABBREVIATIONS	SPECIFICATIONS	DATE	REVISION
<p>6'-8" HIGH EX: 2648 DR</p> <p>2'-4" WIDE</p> <p>DR: HOLLOW CORE DOOR B/C: SOLID CORE DOOR D/BL: DOUBLE B/P: BIPOLD DOOR P/CT: POCKET DOOR</p> <p>1. PROVIDE ALL EXTERIOR WITH LOCKS AND BOLTS. VERIFY WITH ARCHITECT OR OWNER FOR ALL LOCKING FUNCTIONS.</p> <p>2. PROVIDE ALL INTERIOR DOOR WITH PRIVATE LOCK INSIDE OF ROOM.</p>	<p>1. HANDRAILS SHALL HAVE A 1 1/4" TO 2" GRIPABLE CROSS SECTION, NO 90° CORNERS, HEIGHT OF 34" TO 38" ABOVE FINISH, EXTEND CONTINUOUSLY FROM TOP TO BOTTOM RISE, AND TERMINATE AT LEVEL POSTS OR RETURN TO WALLS.</p> <p>2. MINIMUM THREAD DIMENSIONS FOR THE WINDING STAIRWAY: THE NARROWEST PARTS OF THE STAIRS ARE TO BE 6" MINIMUM AND AT LEAST 9" TREADS THAT BE PROVIDED AT A POINT 12" IN FROM THE NARROW END.</p> <p>3. DUCT WORK SHALL USE PRESSURE-SENSITIVE TAPE, PLASTIC, AEROSOL, SEALANTS OR OTHER CLOSURE SYSTEMS MEETING APPLICABLE UL, IBA AND B REQUIREMENTS. DRAWINGS USED WITH FLEXIBLE DUCTS SHALL BE EITHER STAINLESS-STEEL WORK-DRAWN HOSE CLAMPS OR UV-RESISTANT NYLON DUCT TIES. IN ADDITION, DRAWINGS MUST HAVE A MINIMUM TENSILE STRENGTH RATING OF 84 POUNDS AND BE TIGHTENED AS RECOMMENDED BY THE MANUFACTURER.</p>		
<p>8'-8" HIGH EX: 8LDR BRSE</p> <p>5'-8" WIDE</p> <p>8LDR: SLIDING WINDOWS OR DOORS SH: SINGLE HANG O: OPERABLE X: FIXED S/G: SAFETY GLAZING</p> <p>1. ALL WINDOWS ARE LOW E TYPE - DOUBLE GLAZED. PER TITLE 24 CERTIFICATE.</p> <p>2. OBSCURE GLASS FOR ALL WINDOWS IN BATH ROOMS PER TITLE 24 CERTIFICATE.</p> <p>3. PROVIDE WINDOW FLASHING AT THE OF INSTALLATION PER DETAIL S/WAD-3</p> <p>4. ALL WINDOWS IN BEDROOMS SHALL BE A MAX HEIGHT ABOVE FINISH FLOOR OF 44" TOTAL MIN. BAF. WINDOW OPENINGS A GRADE, NET CLEAR OPENING 44" HEIGHT, NET CLEAR OPENING 36" WIDTH, MIN NET CLEAR OPENING 17" IF AREA GRADE/LOOR OPENING SHALL HAVE MIN. NET CLEAR OPENING 56"</p>	<p>GENERAL NOTES</p> <p>1. AIR DUCT IN THE GARAGE THAT PASS THRU THE LIVING GARAGE COMMON WALL SHALL BE NO. 26 GAUGE STEEL OR THICKER.</p> <p>2. OPENING AROUND GAS VENTS, DUCTS, PIPES, CHIMNEY AND REPLACES AT CEILING AND FLOOR LEVELS SHALL HAVE FIREPROOFING.</p> <p>3. ALL PLUMBING WALL SHALL BE OF 2 X 4 STUDS AT 16" O.C.</p> <p>4. ALL EXTERIOR WALL SHALL BE OF 2 X 4 STUDS AT 16" O.C.</p> <p>5. ALL INTERIOR WALL STUDS ARE OF 2 X 4 STUDS AT 16" O.C.</p> <p>6. PROVIDE POLE 4 SHELVES FOR ALL CLOSETS.</p> <p>7. SWITCHES SHOWN ON FLOOR PLAN ARE FOR OUTLETS ONLY.</p> <p>8. SEE REFLECTED CEILING PLANS FOR LIGHT FIXTURES SWITCHES.</p> <p>9. PROVIDE INSULATION PER TITLE 24 CERTIFICATE.</p> <p>10. BUILDING OCCUPANCY GROUP: (R3/U)</p> <p>11. TYPE OF CONSTRUCTION: (N)</p> <p>12. AUTOMATIC FIRE SPRINKLER: NO</p>		



EXISTING FIRST FLOOR / DEMO.
1/4" = 1'-0"



PROPOSED FLOOR PLAN.
1/4" = 1'-0"

Residence Renovation
685 Margaret Ln. Campbell CA

Revisions:
05-13-2021

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Sheet Title:
EXISTING/DEMO.
&
PROPOSED PLAN
ELECTRICAL
PLUMBING

Scale:
Sheet No: A-2

of Sheets

GENERAL NOTES

- ALL ELECTRICAL WORK TO BE IN COMPLIANCE WITH NEC 2019 AND CEC 2019.
- ALL ELECTRICAL EQUIPMENT SHALL BE CERTIFIED AND LISTED BY UL OR OTHER NATIONALLY ACCREDITED AGENCIES.
- ALL WORK TO BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING STATE AND LOCAL FIRE AND BUILDING CODES, NFPA AND NEC.
- INSTALL ALL PIPING TO AVOID ARCHITECTURAL FRAMING, STRUCTURAL MEMBERS, AND OTHER OBSTRUCTIONS. COORDINATE CONDUIT AND BOX LOCATION WITH ALL APPLICABLE CONTRACT DRAWINGS PRIOR TO PERFORMING ANY WORK.
- INSTALL ALL RECEPTACLES, BOXES ETC TO BEST SUIT FIELD CONDITIONS AND COORDINATE WITH THE INSTALLATION WORK OF OTHER TRADES. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATIONS OF EQUIPMENT.
- CONTRACTOR TO VERIFY EXISTING CONDITION, AVAILABILITY OF CONNECTION TO EXISTING PRIOR TO ANY DEMOLITION OR NEW WORK.

SCHEDULE

- ALL WORK TO BE IN ACCORDANCE WITH REQUIREMENTS OF GOVERNING LOCAL FIRE CODES AND BUILDING CODES.
- VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND. VERIFY DIMENSIONS OF ALL OWNER-FURNISHED OPERATING EQUIPMENT TO ENSURE PROPER COORDINATION WITH CONSTRUCTION.
- SCHEDULE ALL WORK ACCESS AND STORAGE WITH THE BUILDING MANAGER.
- THE CONSTRUCTION SCHEDULE PROCEDURE SHALL BE APPROVED BY THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

- CONTRACTOR SHALL PROVIDE DUST COVERS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN CONSTRUCTION AREA AND KEEP DIRT AND DUST TO A MINIMUM.
- WHERE EXISTING CONSTRUCTION IS OUT, DAMAGED, OR REMODELED, PATCH WITH MATERIALS TO MATCH IN KIND, QUALITY AND PERFORMANCE.
- WORK SHALL BE EXECUTED IN A CAREFUL AND ORDERLY MANNER WITH THE LEAST POSSIBLE DISTURBANCE TO PUBLIC AND TO OCCUPANTS OF EXISTING BUILDING.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR SAFETY OF ALL PERSONS ON OR ABOUT THE CONSTRUCTION SITE IN ACCORDANCE WITH APPLICABLE LAWS AND CODES. GUARD ALL HAZARDS IN ACCORDANCE WITH THE SAFETY PROVISIONS OF THE LATEST MANUAL OF ACCIDENT PREVENTION PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
- CLEAN ALL EXPOSED SURFACES AND NEW EQUIPMENT AFTER COMPLETION.
- EXTERIOR LIGHT FIXTURES SHALL BE HIGH EFFICIENCY OR SHALL BE EQUIPPED WITH MOTION DETECTION AND PHOTO CELL.
- ARC-PROTECTED 15 # 20 AMP BRANCH CIRCUITS SUPPLY OUTLETS OR DIVICES INSTALLED IN DWELLING UNIT KITCHEN, FAMILY, DINING, LIVING, BEDROOMS, DENS, SUNROOMS, RECREATION ROOMS, PARLORS, LIBRARIES, CLOSETS, HALLWAYS, LAUNDRY AREA OR SIMILAR ROOMS OR AREAS PER 2016 CEC 210.12(A). THE ARC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.

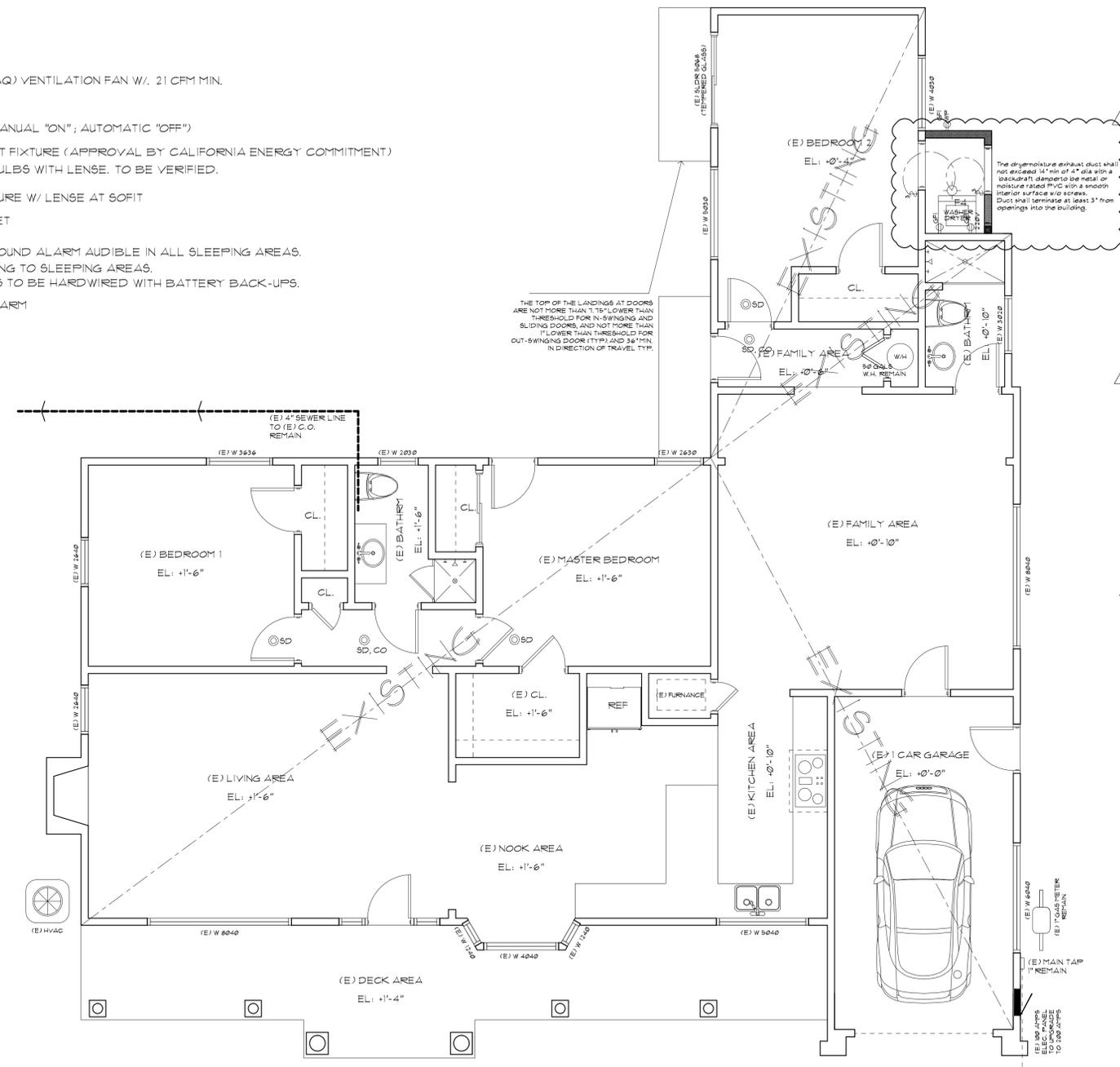
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- ARC-PROTECTED 15 # 20 AMP BRANCH CIRCUITS SUPPLY OUTLETS OR DIVICES INSTALLED IN DWELLING UNIT KITCHEN, FAMILY, DINING, LIVING, BEDROOMS, DENS, SUNROOMS, RECREATION ROOMS, PARLORS, LIBRARIES, CLOSETS, HALLWAYS, LAUNDRY AREA OR SIMILAR ROOMS OR AREAS PER 2016 CEC 210.12(A). THE ARC-FAULT CIRCUIT INTERRUPTER SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.

- CONTRACTOR SHALL PROVIDE DUST COVERS AS REQUIRED TO CONTAIN DUST AND DEBRIS WITHIN CONSTRUCTION AREA AND KEEP DIRT AND DUST TO A MINIMUM.
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LEGENDS:

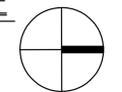
- STANDARD DUPLEX
- STANDARD DUPLEX
- GROUND FAULT INTERRUPT DUPLEX
- 220V OUTLET (DEDICATED CIRCUIT)
- DUPLEX @ NOTED ELEVATION
- UNDERCOUNTER DUPLEX
- SEPERATED CIRCUIT
- SEPERATED CIRCUIT ON FLOOR
- CEILING MOUNTED DUPLEX
- JUNCTION BOX (ABOVE CEILING)
- T.V./ CABLE
- FAX/DATA LINE
- PHONE LINE
- EXHAUST FAN W/ MIN. 75 CFM.
- AIR REGISTER- FLOOR OR CEILING
- GROUND FAULT INTERRUPTED.
- NIGHT LIGHT.
- SINGLE POLE TOGGLE SWITCH, +46" TO CENTER OF SWITCH, UON.
- THREE-WAY TOGGLE SWITCH, +46" TO CENTER OF SWITCH, UON.
- SWITCHES TO CEILING/ WALL LIGHT FIXTURES
- LED DROP LIGHTS
- LED DROP CHANDELIER LIGHTS
- OUTDOOR LIGHTING MUST BE HIGH-EFFICACY AND INCLUDE A MANUAL ON/OFF SWITCH AS WELL AS ONE OF THE FOLLOWING: PHOTOCONTROL AND MOTION SENSOR; PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR ENERGY MANAGEMENT CONTROL SYSTEM

- INDOOR AIR QUALITY (IAQ) VENTILATION FAN W/ 21 CFM MIN.
- OCCUPANCY SENSOR (MANUAL "ON"; AUTOMATIC "OFF")
- 10 WATTS LED CEILING LIGHT FIXTURE (APPROVAL BY CALIFORNIA ENERGY COMMITMENT)
- INCANDESCENT LIGHT BULBS WITH LENSE. TO BE VERIFIED.
- FLOURESCENT LITE FIXTURE W/ LENSE AT SOFIT
- GFCI PROTECTED OUTLET
- SAFETY GLAZING
- SMOKE DETECTOR W/ SOUND ALARM AUDIBLE IN ALL SLEEPING AREAS, AND @ HALLWAY LEADING TO SLEEPING AREAS.
- ALL SMOKE DETECTORS TO BE HARDWIRED WITH BATTERY BACK-UPS.
- CARBON MONOXIDE ALARM



CEILING PLAN / MPE

1/4" = 1'-0"



- NOTES:
- ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED "TAMPER-RESISTANT RECEPTACLES. 2019 CEC 210.12(A)
 - ALL SINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 110.1 THROUGH 110.8 (KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALS/MIN., BATHROOM LAVATORY FAUCETS MAX. FLOW RATE FROM 1.5 TO 1.2 GPM PER 2016 CAL GREEN 4.303.1.4.1, SHOWER HEADS SHALL NOT EXCEED 1.8 GALS/MIN., TOILETS SHALL NOT EXCEED 1.28 GALS/FLUSH AND URINAL SHALL NOT EXCEED .5 GALS/FLUSH)
 - FOR EACH BATHROOM, AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY ITS RECEPTACLE OUTLETS
 - RECEPTACLES TO SERVE KITCHEN COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT FEWER THAN TWO SMALL-APPLIANCE BRANCH CIRCUITS
 - All new and replaced duplex receptacles shall be listed "tamper-resistant receptacles".
 - VERIFY & INSTALL AS NECESSARY PROVIDE SMOKE DETECTORS FOR (E) BEDROOMS & AREA ACCESSING TO THESE ROOMS; ALL DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
 - Hardwired smoke detection is required in each bedroom, Combination Smoke and Carbon Monoxide detection is required outside each bedroom and on each floor.
 - All new lighting shall be high-efficacy compliant to table 150.0A CEC. Screw-based permanently installed light fixtures must contain screw-based JAB (Joint Appendix B) compliant lamps. JAB compliant light sources in ceiling recessed downlights and LED's are to be controlled by vacancy sensors or dimmers.
 - Exhaust fans shall be switched separately from lighting. Exterior lighting shall be controlled by photocell and motion per energy 110.9. At least one fixture in each laundry room is to be controlled by a vacancy sensor. At least one fixture in each Utility Room is to be controlled by a vacancy sensor. Under cabinet lighting shall be controlled by separate switching
 - ARC-Fault and Ground Fault outlets per Art. 210.12 and 210.8 CEC 2019: Arc fault (AFCI) required in family rms, dining rms, bedrooms, sun rooms, rec rms, closets, and hallways and lighting. Ground fault (GFCI) is required in bath rms, garages, accessory areas, exterior, crawlspaces, basements, dishwashers, and disposals. Combination AFCI/GFCI is required in kitchens, and laundry areas.
 - Water Usage Please place this notation on the MEP drawings (from CA civil code sections 110.11-110.18) On and after January 1, 2014, for all building alterations or improvements to single family residential real property, as a condition for issuance of a certificate of final completion and occupancy or final permit approval by the local building department, the permit applicant shall replace all non-compliant plumbing fixtures with water conserving plumbing fixtures. Some historic buildings may have exempt fixtures. Fixture If the water usage exceeds it must be replaced with Water Closet 1.6 gal/flush 1.28 gal/flush Shower Head 2.5 gal/minute 1.8 gal/minute Lavatory Faucet 2.2 gal/minute 1.2 gal/minute Kitchen Faucet 2.2 gal/minute 1.8 gal/minute
 - All new lighting shall be high-efficacy compliant to table 150.0A CEC. Screw-based permanently installed light fixtures must contain screw-based JAB (Joint Appendix B) compliant lamps. JAB compliant light sources in ceiling recessed downlights and LED's are to be controlled by vacancy sensors or dimmers. Exhaust fans shall be switched separately from lighting. Exterior lighting shall be controlled by photocell and motion per energy 110.9. At least one fixture in each Bathroom is to be controlled by a vacancy sensor. Under cabinet lighting shall be controlled by separate switching.
 - All new and replaced duplex receptacles shall be listed "tamper-resistant receptacles".

DATE	REVISION



Residence Renovation
685 Margaret Ln. Campbell CA

Revisions:

1	09-13-2021
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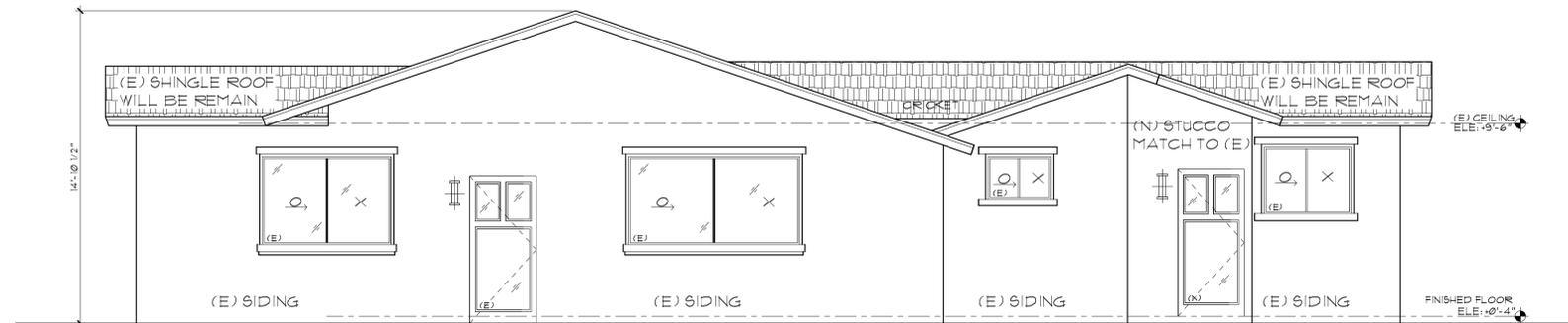
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**CEILING PLAN
MECHANICAL
ELECTRICAL
PLUMBING**

Scale:
Sheet No: **A-3**
of Sheets

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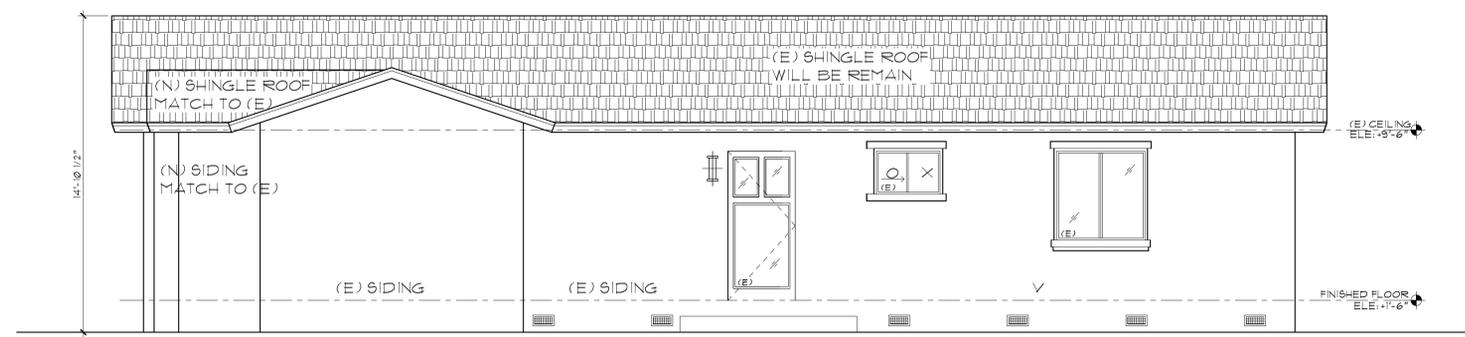


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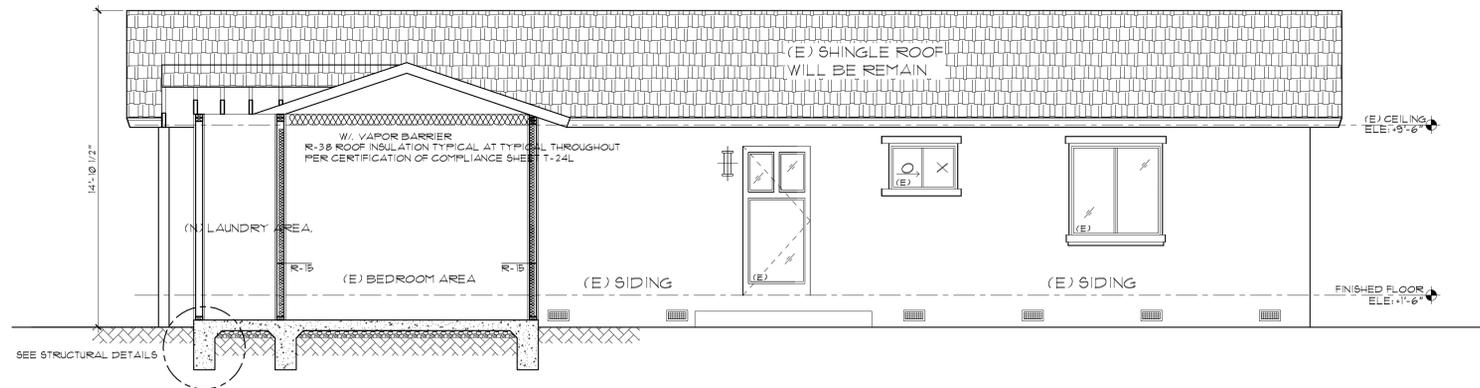
NORTH SIDE ELEVATION

1/4" = 1'-0"



WEST SIDE ELEVATION

1/4" = 1'-0"



SECTION A-A

1/4" = 1'-0"

NOTES:

Underfloor post, sills on concrete, and exterior deck & stair superstructure shall be of pressure treated lumber; coatings for fastener, post bases, hangers, and connectors in contact with PT shall be H.D. Galvanized, Z-Max, or Stainless Steel, or rated for PT contact. The end nails of the shear wall into the PT plate need to be H.D. Galvanized.

Residence Renovation
 685 Margaret Ln. Campbell CA

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