



**CITY OF CAMPBELL**  
Community Development Department

October 27, 2021

**NOTICE OF ADMINISTRATIVE ACTION**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for the following project proposal:

**Project Address:** 881/891 E. Hamilton Ave.

**Zoning District:** P-D

**Neighborhood Association(s):** N/A

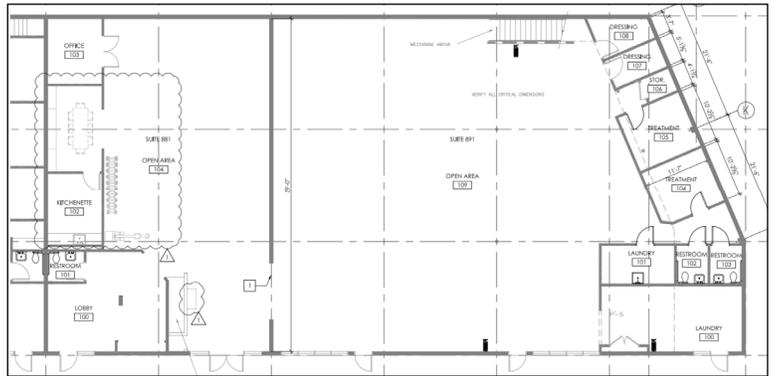
**File No.:** PLN-2021-158

**APN:** 282-25-002

**Applicant:** Adam Morrella

**Property Owner:** Donvanson, LLC

**Application Type:** Admin. P-D Permit



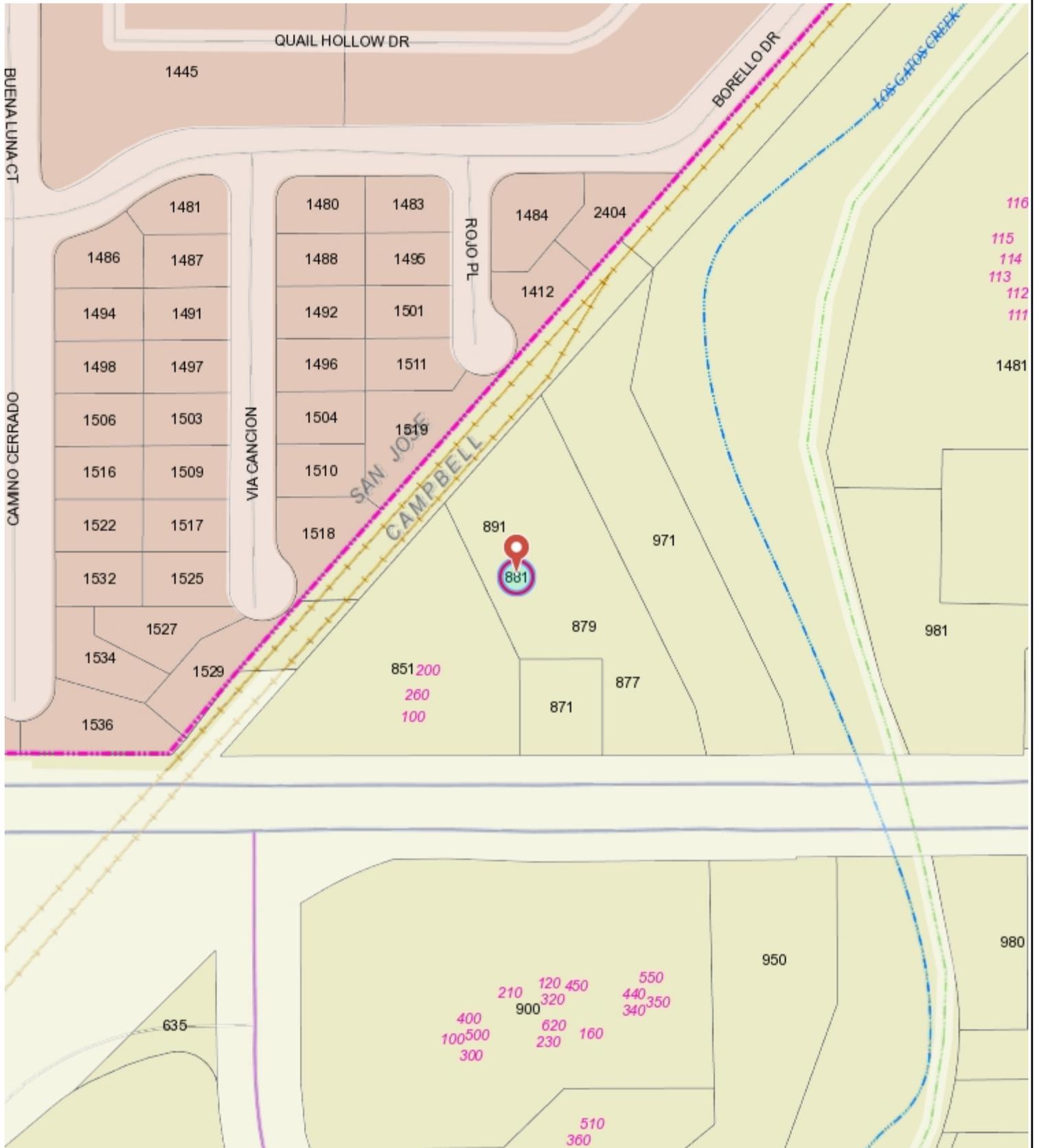
**Project Description:** Expansion of a fitness studio into an adjoining tenant space within an existing commercial building.

This application will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director’s decision. The ten-day comment period for this application begins on October 27, 2021 and ends on November 8, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 8, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Daniel Fama, Senior Planner, in the Community Development Department, at (408) 866-2193 or by email at [danielf@campbellca.gov](mailto:danielf@campbellca.gov).



# Location Map - 881 & 891 E. Hamilton Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



ISSUE

2021.08.20	ISSUED FOR CITY SUBMITTAL
2021.08.25	REVISED FOR CITY SUBMITTAL
2021.10.14	DESIGN CHANGES

THE DRAWING IS INTENDED FOR 36x42 PAPER. WHEN PLOTTED, THE LINE BELOW SHOULD BE 1" LONG.

1"

DRAWING BY:

HABITEC JOB NUMBER: 21050-1

SITE PLAN

SHEET NUMBER:

**A1.1**

LEGEND

-  (E) BUILDING TO REMAIN.
-  (E) PROPERTY LINE TO REMAIN.
-  INDICATES SCOPE OF WORK, ALL OTHER AREAS TO REMAIN EXISTING.
-  ACCESSIBLE PATH OF TRAVEL

KEY NOTES

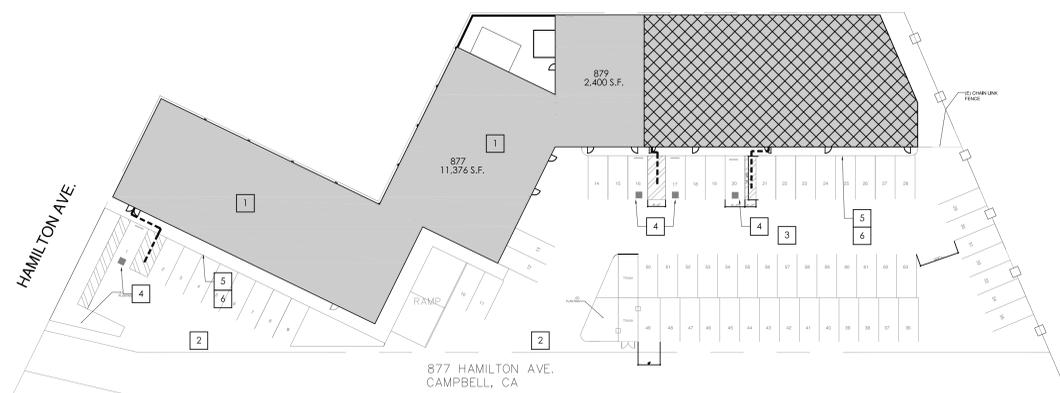
- 1 (E) BUILDING.
- 2 (E) DRIVEWAY ENTRY.
- 3 (E) PARKING STALLS.
- 4 (E) ACCESSIBLE PARKING STALLS.
- 5 (E) WALKWAY (LESS THAN OR EQUAL TO 5% SLOPE IN THE DIRECTION OF TRAVEL).
- 6 (E) CONCRETE CURB.

PARKING SUMMARY

881 E HAMILTON AVE SHARES PARKING WITH SUITE(S) 877, 879, AND 891  
 881 E HAMILTON IS ±2,400 S.F. OF SMALL STUDIO SPACE.  
 AT A PARKING RATIO OF 1 PER 250, 881 REQUIRES 10 PARKING SPACES.  
 891 E HAMILTON IS ±4,650 S.F. OF SMALL STUDIO SPACE.  
 AT A PARKING RATIO OF 1 PER 250, 891 E HAMILTON REQUIRES 19 PARKING SPACES.  
 877 E HAMILTON IS ±11,376 S.F. OF RETAIL WAREHOUSE SPACE.  
 AT A PARKING RATIO OF 1 PER 300, 877 E HAMILTON REQUIRES 38 PARKING SPACES.  
 879 E HAMILTON IS ±2,400 S.F. OF RETAIL WAREHOUSE SPACE.  
 AT A PARKING RATIO OF 1 PER 300, 2,400 E HAMILTON REQUIRES 8 PARKING SPACES.  
 THE FOUR PARCELS COMBINED REQUIRE 75 PARKING SPACES TOTAL.  
 THE EXISTING TOTAL IS 63 PARKING SPACES, OF WHICH 4 ARE DESIGNATED ACCESSIBLE.  
 PARKING LOTS WITH 51-75 SPACES REQUIRE 3 ACCESSIBLE SPACES.  
 CITY OF CAMPBELL PREVIOUSLY APPROVED A USE OF 1:200 RATIO. THE CURRENT RATIO FOR THE SCOPE OF WORK IS 1:250. DUE TO THAT THERE IS NO INCREASE IN PARKING. CODE REFERENCE SECTION 21.28.040 D. 1.

GENERAL NOTES

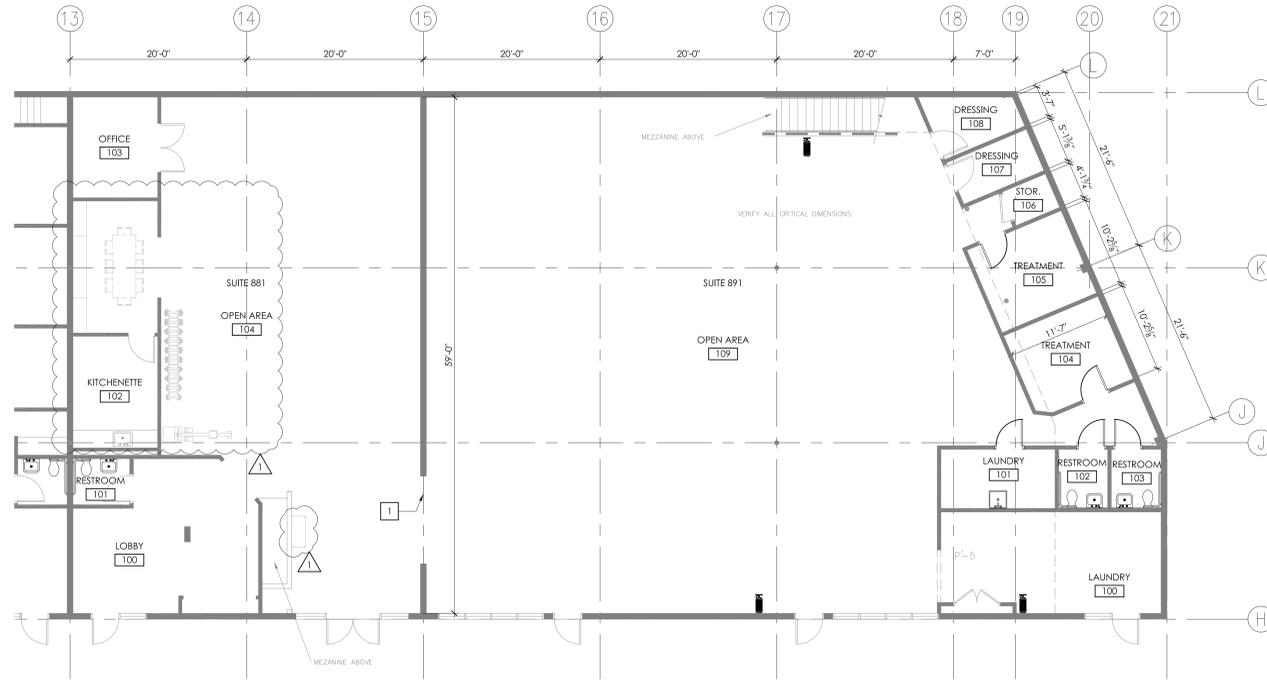
1. WALKS AND SIDEWALKS SHALL BE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
2. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.
3. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMP.
4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THEN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/2 INCH NOT BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMPS.
5. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1/4 INCH PER FOOT IN ANY DIRECTION.
6. ALL DAMAGED OR DETERIORATE FIRE LANE MARKING SHALL BE RE-STRIPED
7. ALL CURBS WHICH OUTLINE THE FIRE LANE SHALL BE PAINTED RED WITH WHITE LETTERING READING "NO PARKING - FIRE LANE". THE TEXT SHALL BE FOUR INCHES TALL AND SHALL BE PLACED EVERY 30 FEET OR PORTION THEREOF, ON TOP OF DESIGNATED CURBING.



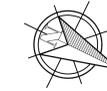
SITE PLAN

1/32" = 1'-0"  
0 8 16 32 64 128

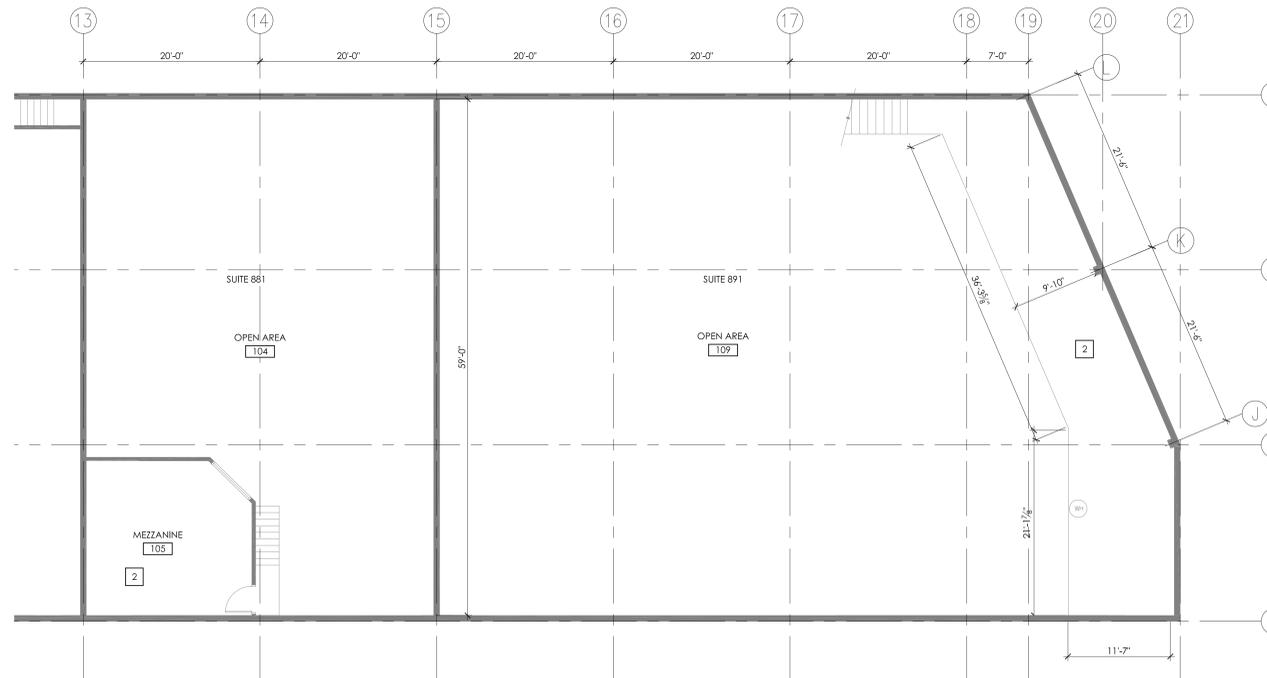
SITE PLAN



1/8" = 1'-0"  
0 2' 4' 8' 16' 24'



EXISTING GROUND FLOOR PLAN 6



1/8" = 1'-0"  
0 2' 4' 8' 16' 24'



EXISTING MEZZANINE FLOOR PLAN 8

LEGEND

- (E) WALL TO REMAIN.
- (E) DOORS.
- (E) WINDOW.
- NAME  
NUM. ROOM TAG.



This drawing is an instrument of service only, and is, and shall remain, the property of Habitec. No reproduction or other use shall be made by any person or firm without written permission of Habitec. Unauthorized use shall void the professional seal and signature hereon and no professional responsibility will remain.

Written dimensions on this drawing shall have precedence over any scaled dimension. Do not scale this drawing for accurate dimensions, and notify Habitec of any discrepancies.

**LEFT COAST FITNESS**  
 881, 891 E. HAMILTON AVE  
 CAMPBELL, CA 95008

KEY NOTES

- 1-10' WIDE OPENING BETWEEN SUITES
- 2 CURRENT USE OF MEZZANINE IS FOR STORAGE, AND WILL CONTINUE TO BE USED AS STORAGE FOR THE NEW TENANT.

SHEET NOTES

1. USE THIS SPACE TO LIST SOMETHING THAT HAPPENS AT MANY LOCATIONS THROUGHOUT THE PROJECT.
2. FOR EXAMPLE, A SHEET NOTE COULD REQUIRE THE GENERAL CONTRACTOR TO APPLY FIRE-RESISTANT INTUMESCENT PAINT TO ALL THE STEEL.
3. OR A SHEET NOTE COULD REQUIRE THE G.C. TO RE-FLOOR ALL EXISTING WALLS TO LEVEL 4 SMOOTH.

GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
2. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
3. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
4. ADJUST PARTITION THICKNESS AND CAVITY FOR INCLUSION OF INTERNAL ELEMENTS, SUCH AS PLUMBING, AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC.
5. FINISH GYPSUM DRYWALL COMPLETELY TO WITHIN 1/4" OF FLOOR TO ENSURE A SOLID WALL BASE INSTALLATION.
6. AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. WHERE NEW PAINT OR OTHER NEW FINISHES ARE JOINED, CARRY TO NEAREST BREAK IN SURFACES, CORNER, OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEW AND FINISHED APPEARANCE.
7. WHERE CONCRETE FLOORS REQUIRE LEVELING, PROVIDE SELF LEVELING CEMENTITIOUS FILLER FLOATED TO A FEATHER EDGE. MIX AND APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

ISSUE

2021.08.20	ISSUED FOR CITY SUBMITTAL
2021.08.25	REVISED FOR CITY SUBMITTAL
2021.10.14	DESIGN CHANGES

THE DRAWING IS INTENDED FOR 3/4x24" PAPER. WHEN PLOTTED, THE LINE BELOW SHOULD BE 1" LONG.

1"

DRAWN BY:

HABITEC JOB NUMBER: 21050-1

EXISTING GROUND FLOOR PLAN & EXISTING MEZZANINE FLOOR PLAN

SHEET NUMBER:

A2.1