



CITY OF CAMPBELL
Community Development Department

September 23, 2021

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

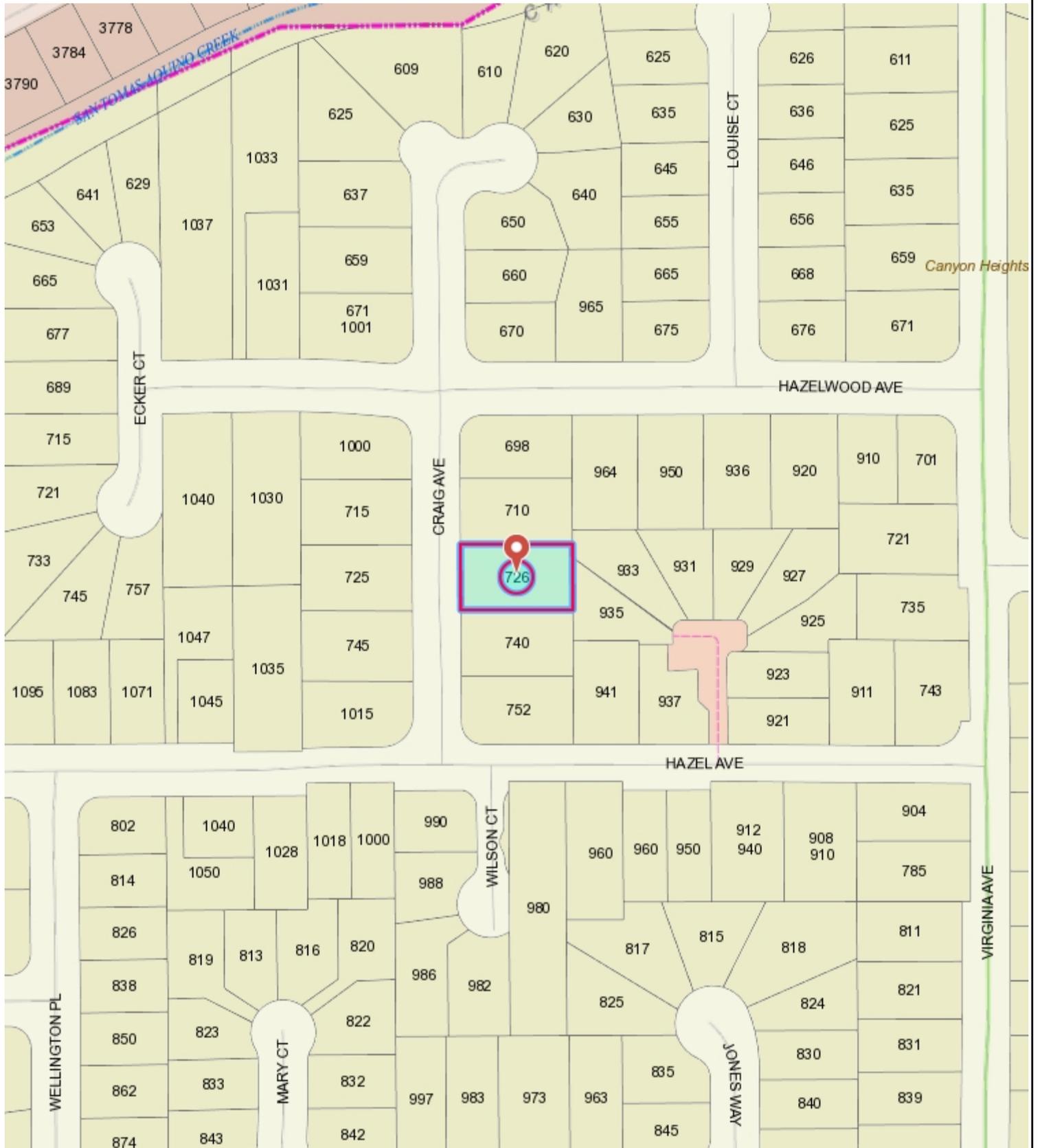
File No.: PLN-2021-132
Applicant: Archana Jain
Project Address: 726 Craig Ave
Property Owner: Shailesh Maik
Zoning District: R-1-6 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: New approximately 4,216 sq. ft. two-story single-family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The 10-day comment period for this application begins on September 23, 2021 and ends on October 4, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **October 4, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazh@campbellca.gov.



Location Map - 726 Craig Ave.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

Jain & Naik - Craig Residence

726 Craig Ave
Campbell, CA 95008



Jain & Naik - Craig Residence
726 Craig Ave
Campbell, CA 95008



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COVER SHEET

REVISIONS	BY

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DATE: 5/28/2021
SCALE: AS SHOWN
JOB No.:
SHEET No.:

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GENERAL CONDITIONS/NOTES

1. All material stored on the site shall be properly stacked and protected to prevent damage and deterioration until use. Failure to protect materials may be cause for rejection of work.
2. All construction and materials shall be as specified and/or as required by the adopted edition of the California Building Code and all local and national codes and authorities which are applicable.
3. All products, materials and finishes to be installed per manufacturers specifications--no exceptions.
4. All required Exit doors shall be operable from the inside without the use of a key or special knowledge or effort.
5. The General Contractor shall verify all dimensions and site conditions prior to commencing any work. The General Contractor shall notify the Architect / Owner of any discrepancy of these plans and specifications.
6. The General Contractor shall maintain the job site in a clean, orderly condition free of debris and litter. Each subcontractor immediately upon completion of each phase of the work shall remove all trash and debris as a result of his operation. The job site shall be left clean and swept each day by the end of work that day.
7. No portion of the work requiring a shop drawing or sample submission shall be commenced until the submission has been reviewed and acted upon by the Architect / Owner. All such portions of work shall be in accordance with the reviewed shop drawings and samples.
8. The contractor shall confine operations of the site to areas permitted by law, ordinances, permits and the contract documents, and shall not unreasonably encumber the site with any material or equipment.
9. Should an error appear in specifications or drawings, or in work done by others, affecting this work, notify the Architect at once for instructions as to procedure. If contractor proceeds with work affected without instructions from the Architect, the contractor shall make good any resulting damage or defect.
10. Should conflict occur in or between drawings and specifications or where detail references on contract drawings have been omitted, contractor is deemed to have estimated the most expensive materials and construction involved unless he shall have asked for and obtained written decision from Architect as to which method or materials will be required.
11. All patching, repairing and replacing of materials and surfaces cut or damaged in execution of work shall be done with applicable materials so that surfaces replaced will, upon completion, match surrounding similar surfaces
12. See documents prepared by the Civil Engineering, if applicable, for all finish grades, drainage and site details. Review all site utility documents, landscape and irrigation documents prior or commencement of any underground or trenching. Notify the Architect immediately of any discrepancies of the contract documents.
13. Construction contractor and his subcontractors agree that in accordance with generally accepted construction practices, construction contractor and his subcontractors will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall be made to apply continuously and not limited to normal working hours, and construction contractor and his subcontractors further agree to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance of work on this project, except liability arising from the sole negligence of design professional as identified in item # 14 of these general conditions.
14. General Contractors, Sub-contractors, Builders, and Owner are to check all drawings for errors and omissions prior to commencement of construction. Any errors and/or omissions must be reported immediately to the Architect in writing prior to commencement of construction. The Architect will not take liability for any errors and/or omissions not reported immediately in writing prior to commencement of construction. The Architect's liability for the total project shall not exceed one thousand dollars.
15. All screws/nails in finish woodwork to be countersunk and filled smooth with putty to match finish.
16. If the manufacturer's specifications and applicable codes are not consistent with each other, notify the architect immediately prior to commencement of any work and await direction or contractor accepts full responsibility of work completed.
17. All gypsum board to be a minimum of 5/8" TYPE "X" sheetrock, smooth finish or as otherwise indicated on drawings. Install as needed to meet applicable codes. Use adhesive.
18. Electrical, Mechanical, Plumbing, Fire Extinguishing System and Fire Alarm System to be Design/Build.
19. A delta (Δ) symbol located at the top right hand corner of any drawing indicates that drawing has been significantly revised and should be treated as an entirely new drawing.
20. Contractor to protect all interior spaces (as required) from any weather, theft, or vandalism.
21. All walls floors and ceilings are to be finished to match existing adjacent surfaces. All new finishes and fixtures are to be approved by owner or architect, prior to installation.
22. Relocate or install new plumbing, gas, and electrical lines (as required) for the new construction.
23. Contractor to dispose of all debris at an approved dump site per all Town, County, State and Federal regulations.
24. Contractor to notify owner and architect if he suspects that any asbestos is on site and stop work immediately until authorities have proved the work to be safe.
25. Smoke detectors shall be installed in all bedrooms and halls.
26. All roof flashings to be primed and pointed with rust proof paint.
27. Bidding
 - The contractor needs to examine all the drawings and the site conditions if they are different from the drawings verify all the existing conditions on site and notify the architect prior to any construction.
 Please bid for max. of 10 colors in a bid, not exceeding 4 colors in any given room at a time.
28. All wood coming in contact with concrete must be pressure treated, typical.
29. Contractor & sub-contractor's responsibility to make sure that all materials installation & craftsmanship for this project meets all applicable codes.
30. Incorporate best management practice (bmp's) into construction plans & incorporate post construction water run-off measures into project plans in accordance with the city's urban run-off pollution prevention program.
31. All exterior plaster finish shall be 7/8" smooth cement plaster finish unless otherwise noted.
32. Plaster expansion joints should meet the following criteria or as shown on the drawings.
 a. no length should be greater than 10 ft in either direction.
 b. no panel should exceed 144 sq. ft. for vertical applications
 c. no panel should exceed 100 sq. ft. for horizontal, curved, or angular sections d. no length-to-width ratio should exceed 2 ½ to 1 in any given panel.
33. Flashing provide to prime and paint with rust proof paint all flashings.

PROJECT DATA

ASSESSOR'S PARCEL NUMBER: 406-01-060
 ZONING: R1-6
 NAME OF OWNER: 3932 MIDDLETOWN LLC CONTACT - SHALISHI NAIK (408) 621-9063
 NET SQUARE FOOTAGE OF LOT: 9,375.00 SF
 EXISTING HOUSE AREA TO BE DEMOLISHED: 1,350.00 SF
 AREA OF GARAGE TO BE DEMOLISHED: 400.00 SQ.FT.
 NEW FIRST FLOOR (HABITABLE): 2,409.47 SQ.FT.
 NEW SECOND FLOOR (HABITABLE): 1,335.72 SQ.FT.
 NEW ATTACHED GARAGE AREA: 470.48 SQ.FT.
 TOTAL HOUSE AREA WITHOUT GARAGE: 3,745.19 SQ.FT.
 TOTAL HOUSE AREA WITH GARAGE: 4,215.67 SQ.FT.
 FRONT PORCH: 155.00 SQ.FT.
 REAR PORCH: 60.00 SQ.FT.
 HEIGHT (FROM LOWEST NATURAL GRADE): 26'-2" <28' MAX ALLOWED
 NO. OF FLOORS: 2
 TYPE OF CONSTRUCTION: V-B
 OCCUPANCY GROUP: R-3 / U
 HOUSE IS FIRE SPRINKLERED: YES
 FAR: 4,215.67 SF = 0.45
 LOT COVERAGE: 3,171.51 = 37% SF <40% ALLOWED

- PART 1.0, CALIFORNIA ADMINISTRATIVE CODE
 PART 2.0, 2019 CALIFORNIA BUILDING CODE (CBC)
 PART 2.5, 2019 CALIFORNIA RESIDENTIAL CODE (CBC)
 PART 3.0, 2019 CALIFORNIA ELECTRIC CODE (CEC)
 PART 4.0, 2019 CALIFORNIA MECHANICAL CODE (CMC)
 PART 5.0, 2019 CALIFORNIA PLUMBING CODE
 PART 6.0, 2019 CALIFORNIA ENERGY CODE
 PART 9.0, 2019 CALIFORNIA FIRE CODE
 PART 11.0, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

THE APPLICABLE CODES ARE AS AMENDED BY THE STATE OF CALIFORNIA AND THE CITY OF CAMPBELL AND CAMPBELL MUNICIPAL CODE

ARCHITECT

ARCHANA JAIN
1631 VILLARITA DR
CAMPBELL, CA 95008
PHONE: (408) 679-2333
AJSDDESIGNSHOTMAIL.COM

SURVEYOR

ALPHA LAND SURVEYORS
4444 SCOTT'S VALLEY DRIVE, #7
SCOTT'S VALLEY, CA 95066
PHONE: 831-438-4453

GEOTECH

SILICON VALLEY SOILS ENGINEERING
1916 OTTOLE WAY
SAN JOSE, CA 95131
soeiver@siliconvalleysoil.com
PH:831-408-6330

LANDSCAPE ARCHITECT

WILSON & ASSOCIATES
815 SAN DIEGO ROAD
BERKELEY, CA 94707
TEL: 510-844-9602
calriso@t118@gmail.com

NOTE:

THE USE OF COPPER METAL ROOFING, COPPER GRANULE CONTAINING ASPHALT SHINGLES, COPPER GUTTERS AND DOWNSPUTS, AND/OR OTHER EXTERIOR ORNAMENTAL COPPER IS STRONGLY DISCOURAGED FOR ALL RESIDENTIAL BUILDING PROJECTS. THE ABOVEMENTIONED COPPER APPLICATIONS ARE NOT PERMITTED FOR USE ON ANY COMMERCIAL OR INDUSTRIAL BUILDINGS DUE TO THE POTENTIAL FOR WATER POLLUTION FROM COPPER EXPOSED STORMWATER RUNOFF.

I AM THE RESPONSIBLE ARCHITECT OF RECORD ON THIS PROJECT AND WILL BE RESPONSIBLE FOR REVIEWING AND COORDINATING ALL SUBMITTAL DOCUMENTS PREPARED BY OTHERS, INCLUDING DEFERRED SUBMITTALS, FOR COMPATIBILITY WITH THE OVERALL DESIGN OF THE BUILDING.

SHEET INDEX

- ARCHITECTURAL SHEETS
 A0.1 COVER SHEET
 A0.1A AREA CALCULATION
 A1.1 EXISTING SITE PLAN
 A1.2 PROPOSED SITE PLAN
 A1.3 SITE PHOTOGRAPHY
 A2.1 PROPOSED FIRST FLOOR PLAN
 A2.2 PROPOSED SECOND FLOOR PLAN
 A2.3 PROPOSED ROOF PLAN
 A3.0 PROPOSED ELEVATION
 A3.1 PROPOSED ELEVATION
 A3.2 SECTIONS
 A3.3 STREET ELEVATION AND COLOR & MATERIAL BOARD
 A3.4 STAR DETAILS
 T-1 TOPO PLAN
 LANDSCAPE SHEETS
 L1.0 PLANTING PLAN
 L1.1 PLANT PALETTE
 L2.0 CONCEPTUAL IRRIGATION PLAN
 CIVIL SHEETS
 C1.0 GRADING & UTILITY PLAN
 C2.0 EROSION CONTROL PLAN

SCOPE OF WORK

DEMOLISH EXISTING HOUSE AND GARAGE
 NEW 2,409.47 SF OF FIRST FLOOR AND 1,335.72 SF SECOND FLOOR WITH ATTACHED
 2 CAR GARAGE OF 470.48 SF
 TOTAL 5 BEDROOM AND 5.5 BATH WITH NEW FRONT AND REAR COVERED PORCH



THIS PROJECT WILL REQUIRE THAT A SURVEYOR APPROVE THE FOUNDATION FORMS IN TERMS OF SETBACK ACCURACY AND FLOOR LEVEL HEIGHTS PRIOR TO PLACING CONCRETE. LANGUAGE FOR THE LETTER MUST BE AS WRITTEN AS PER CAMPBELL'S SURVEYOR HANDOUT AVAILABLE THROUGH THE BUILDING DEPARTMENT.

THE SOIL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION, COMPACTION, AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION TO VERIFY ELEMENTS OF THE SOILS REPORT. SITE VISIT REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT INSPECTOR OF RECORD (OR)

WASTE MANAGEMENT STATEMENT
 CONSTRUCTION WASH-OFF WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL, OR IN A LINED EVAPORATIVE PIT. WASH-OFF SHALL NOT ENTER THE STORM WATER SYSTEM

TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUNDS, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS CASUALTY RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS, PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION. THERE SHALL BE NO USE OF PRODUCTS INCLUDING MATERIALS, PAINTS, SOLVENTS, PRIMERS, CAULKS, OR GLUES THAT EXCEEDS CALIFORNIA'S LIMIT ON VOLATILE ORGANIC COMPOUNDS (VOC) ON THIS PROJECT, OR CALL WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.

BUILDER MUST PROVIDE THE HOMEOWNER WITH AN OPERATION AND MAINTENANCE MANUAL PER CAL GREEN 5.410.4.5 THAT INCLUDED WARRANTIES AND OPERATION INSTRUCTION FOR ANY NEW EQUIPMENT, APPLIANCES, OR FIXTURES INSTALLED, AND A LUMINAIRE SCHEDULE. THE MANUAL MUST ALSO INCLUDE THE LOCATION OF RECYCLING CENTERS AND PUBLIC TRANSIT DEPOSITS (THIS REGMENT IS IN THE M&S BUT OPEN OVERLOOKED).

A PERMIT FOR A NEPA 130 RESIDENTIAL FIRE SUPPRESSION SPRINKLER SYSTEM SHALL BE APPLIED FOR AS A DEFERRED SUBMITTAL. SUBMITTALS AND DESIGN DIRECT TO SANTA CLARA COUNTY FIRE DEPARTMENT (SCCFD), 14700 MINCHESTER BLVD, SHELBY AVENUE (408) 378-4210. IF THE DEFERRED SUBMITTAL IS NOT APPLIED FOR AND APPROVED BEFORE THE ROUGH TRADE INSPECTIONS, THE PROJECT WILL BE PUT ON-HOLD UNTIL THE SUBMITTAL IS APPROVED

DEFERRED SUBMITTAL

- FIRE SPRINKLERS - UNDER SEPARATE PERMIT
 SOLAR PANEL PERMIT AND INSTALLATION

SOLAR PANELS NOTE

1. MUST BE A ROOFTOP INSTALLATION
 2. TOTAL PANEL WEIGHT INCLUDING FRAME IS LESS THAN 5 POUNDS PER SQUARE FOOT
 3. MAXIMUM CONCENTRATED LOAD AT EACH POINT OF SUPPORT IS LESS THAN 40 POUNDS
 4. MAXIMUM HEIGHT ABOVE THE ROOF SURFACE IS LESS THAN 18 INCHES
 5. PV PANELS ARE NOT BALLASTED
- SOLAR INSTALLATION DRAWINGS SHALL BE PROVIDED TO CITY INSPECTOR AT THE JOB SITE

WORKING HOURS (CONSTRUCTION HOURS SHALL BE 8-5 M-F, 9-4 SATURDAYS, NO WORK SUNDAYS OR HOLIDAYS)

FIRE NOTES:

1. ADDRESS NUMBERS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMBERS SHALL BE MIN. 4" HIGH WITH A MINIMUM STROKE OF 0.5", WHERE ACCESS BY A MEANS OF PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, A POLE OR OTHER SIGN SHALL BE USED TO IDENTIFY THE STRUCTURE.
2. PROVIDE FIRE SPRINKLERS IN CONCEALED SPACES

Jain & Naik Craig Residence

726 Craig Ave
Campbell, CA 95008



Jain & Naik -Craig Residence
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SHEET NAME :
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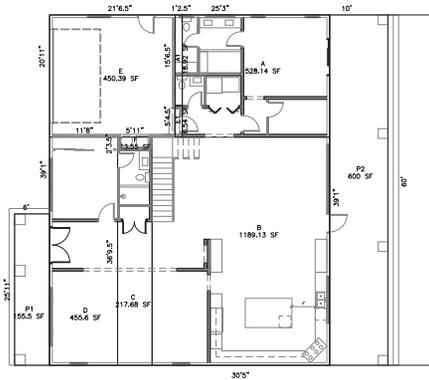
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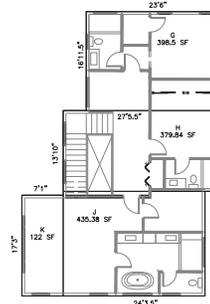
BUILDING AREA	EXISTING	PROPOSED	TOTAL DIFFERENCE
SITE AREA	9375		9375
FIRST FLOOR	1350	2416.01	2416.01
SECOND FLOOR		1335.72	1335.72
GARAGE (DETACHED)	400	463.94	463.94
FRONT PORCH		155	155
REAR PORCH		600	600
TOTAL	1750	4970.67	

SETBACKS	WALL HEIGHT	REQUIRED	PROVIDED
FRONT MAIN HOUSE		20'	20'
FIRST FLOOR (PORCH)		25'	26'3.5"
FRONT GARAGE			
RIGHT SIDE FIRST FLOOR WALL HEIGHT	11'8"	5'10"	6'4.25"
LEFT SIDE FIRST FLOOR WALL HEIGHT	11'8"	5'10"	8'5.75"
REAR FIRST FLOOR TO PORCH		25'	40'9"
FRONT MAIN HOUSE SECOND FLOOR			36'0.5"
RIGHT SIDE SECOND FLOOR WALL HEIGHT	21'11"	10'11.5"	14'2"
LEFT SIDE SECOND FLOOR WALL HEIGHT	21'11"	10'11.5"	12'0.75"
REAR SECOND FLOOR			57'6.25"

IMPERVIOUS PERVIOUS AREA CALCULATIONS FRONT YARD			
PAVING / LANDSCAPE AREA	EXISTING	PROPOSED	TOTAL SF
FRONT SETBACK			
LANDSCAPE	1277	888	888
FRONT YARD			
HARDSCAPE	539	822	822
WATER FEATURES	0	0	0



FIRST FLOOR



SECOND FLOOR

FAR DIAGRAM
SCALE 1"=10'

FAR CALCULATIONS		FAR =	4215.67	9375	0.45
FIRST FLOOR					
A	528.14				
A1	18.92				
B	1189.13	LOT COVERAGE	3492.89	9375	0.37
C	217.68				
D	455.6				
TOTAL FIRST FLOOR HABITABLE					
	2409.47				
SECOND FLOOR					
G	398.5				
H	379.84				
J	435.38				
K	122				
TOTAL SECOND FLOOR HABITABLE					
	1335.72				
HABITABLE AREA					
	3745.19				
GARAGE -E					
E1	450.39				
F	6.54				
F	13.55				
TOTAL GARAGE					
	470.48				
TOTAL HOUSE					
	4215.67				
FRONT PORCH P1					
	155.5				
REAR PORCH P2					
	600				
LOT COVERAGE					
FIRST FLOOR + P1+P2	3164.97				



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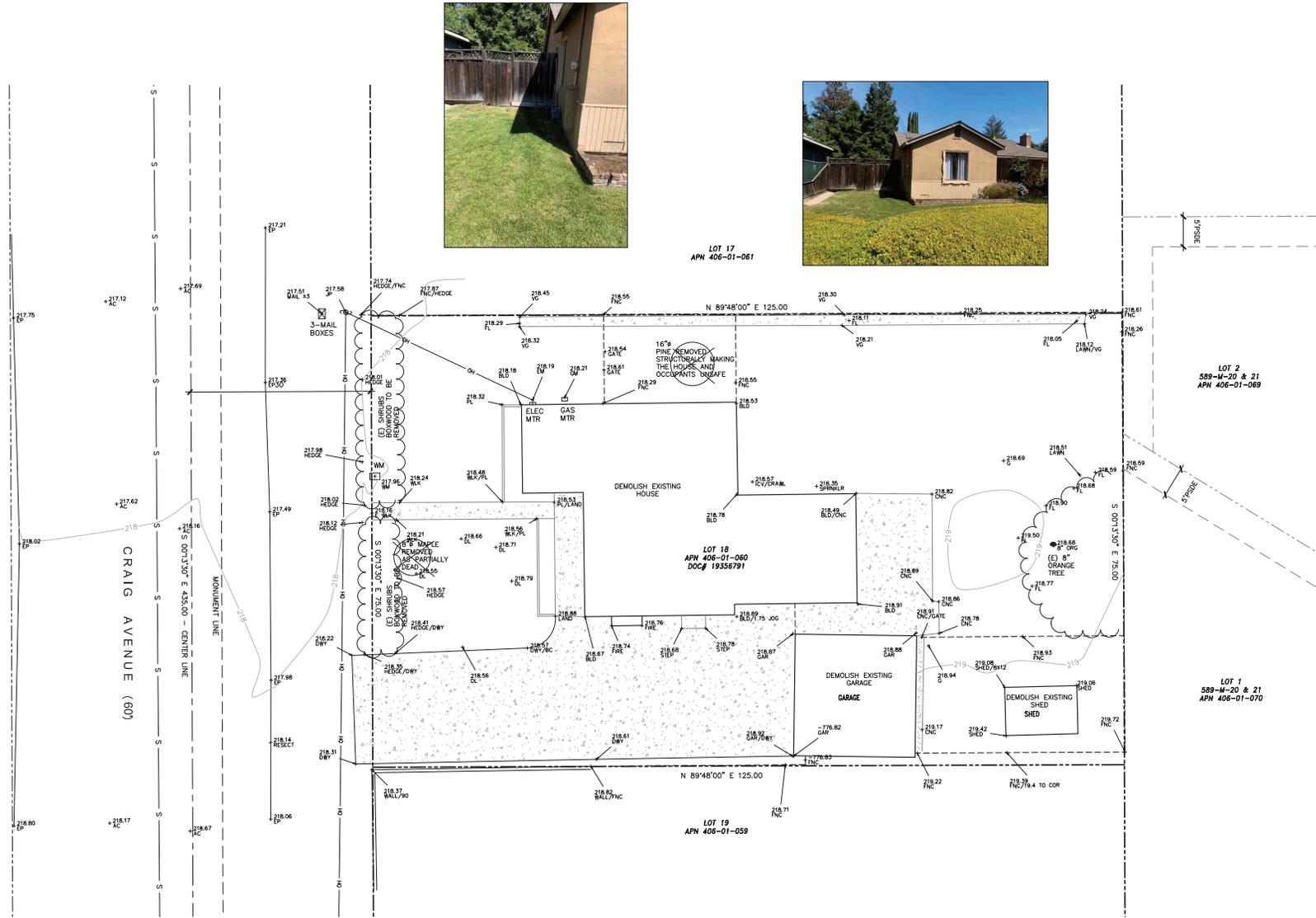
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SHEET NAME :
EXISTING SITE PLAN
DEMOLITION PLAN

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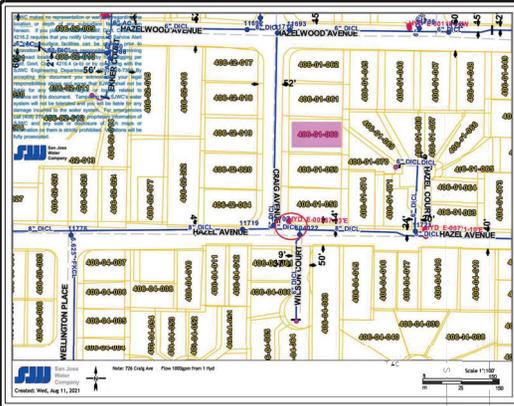
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EXISTING SITE PLAN
DEMOLITION PLAN

SCALE : 1/8"=1'-0"



SAN JOSE WATER
 1385 S. Bascom Avenue
 San Jose, CA 95128-5134
 Writer's Direct Line: (408) 278-7821
 Email: mary.henderson@sjwater.com

August 11, 2021

Archana Jain
 1631 Villaola Dr
 Campbell, CA 95008
 Reference: 726 Craig Ave., Campbell, CA
 APN: 406-01-060

Dear Ms. Jain:

Per a request, we conducted a computer simulation to determine fire flow availability at the referenced location. The purpose of the simulation is to determine if 1,000 GPM is available. The table below gives the results of the computer simulation, which are valid for one year from the date of the simulation. Elevations are interpolated from United States Geological Survey contours.

Hyd. No.	Location	GPM	Static PSI	Residual PSI
E-00387	Hazel Ave., approx. 23' E. of Craig Ave.	1000	93	91

Date of Simulation: June 14, 2021

Determining the adequacy of fire protection from the information provided herein is the responsibility of those qualified to do so. San Jose Water Company undertakes to supply only such water at such pressure as may be available any time through the normal operation of its system. Section 774 of the Public Utilities Code limits the liability of the utility resulting from a claim regarding the provision or maintenance of an adequate water supply, water pressure, equipment or other fire protection facility or service.

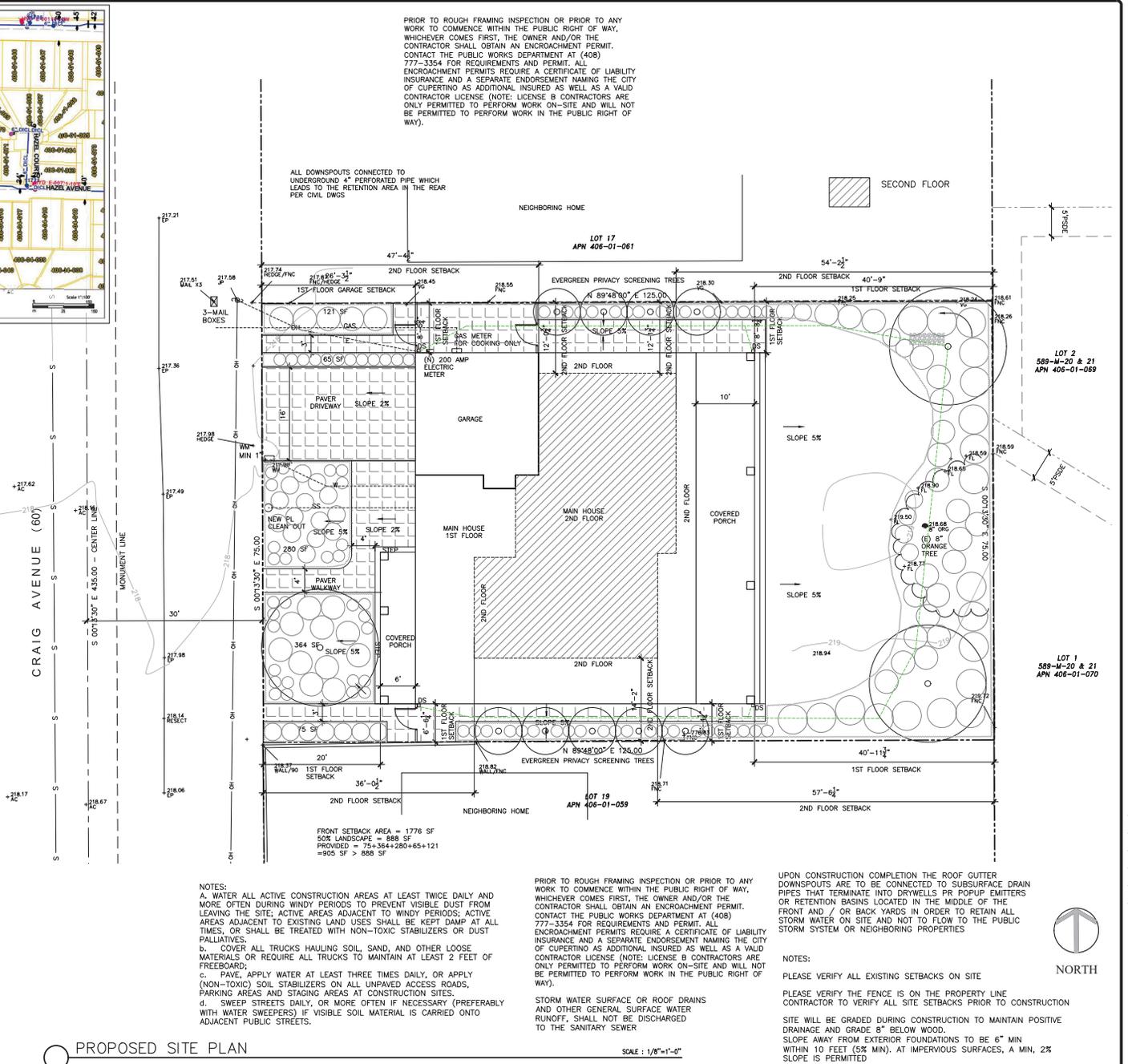
Sincerely,

 Mary Henderson
 Engineering Support Supervisor

For additional information:
 Backflow: 408-278-7872
 Map requests: 408-918-7880
 Static water pressure: 408-918-7861
 Water meter sizing: 408-278-7839

Minimum:
 1500psi@4000' dia.

- CALGREEN GENERAL NOTES**
- PLUMBING FIXTURES (WATER CLOSETS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS OF 2019 CALIFORNIA GREEN BUILDING REQUIREMENTS
 - JOINTS AND OPENINGS: ANNULAR SPACES AND AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF INSECTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
 - A MIN. OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE.
 - WHERE LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.
 - 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS), LOW EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERINGS INSTITUTE (RFCI) FLOORSORE PROGRAM.
 - MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.



DESIGN

Jain & Naik - Craig Residence
 726 Craig Ave
 Campbell, CA 95008

REGISTERED ARCHITECT
 ARCHANA R. JAIN
 C 31760
 Exp. 08-30-2025
 STATE OF CALIFORNIA

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SHEET NAME:
 PROPOSED
 SITE PLAN

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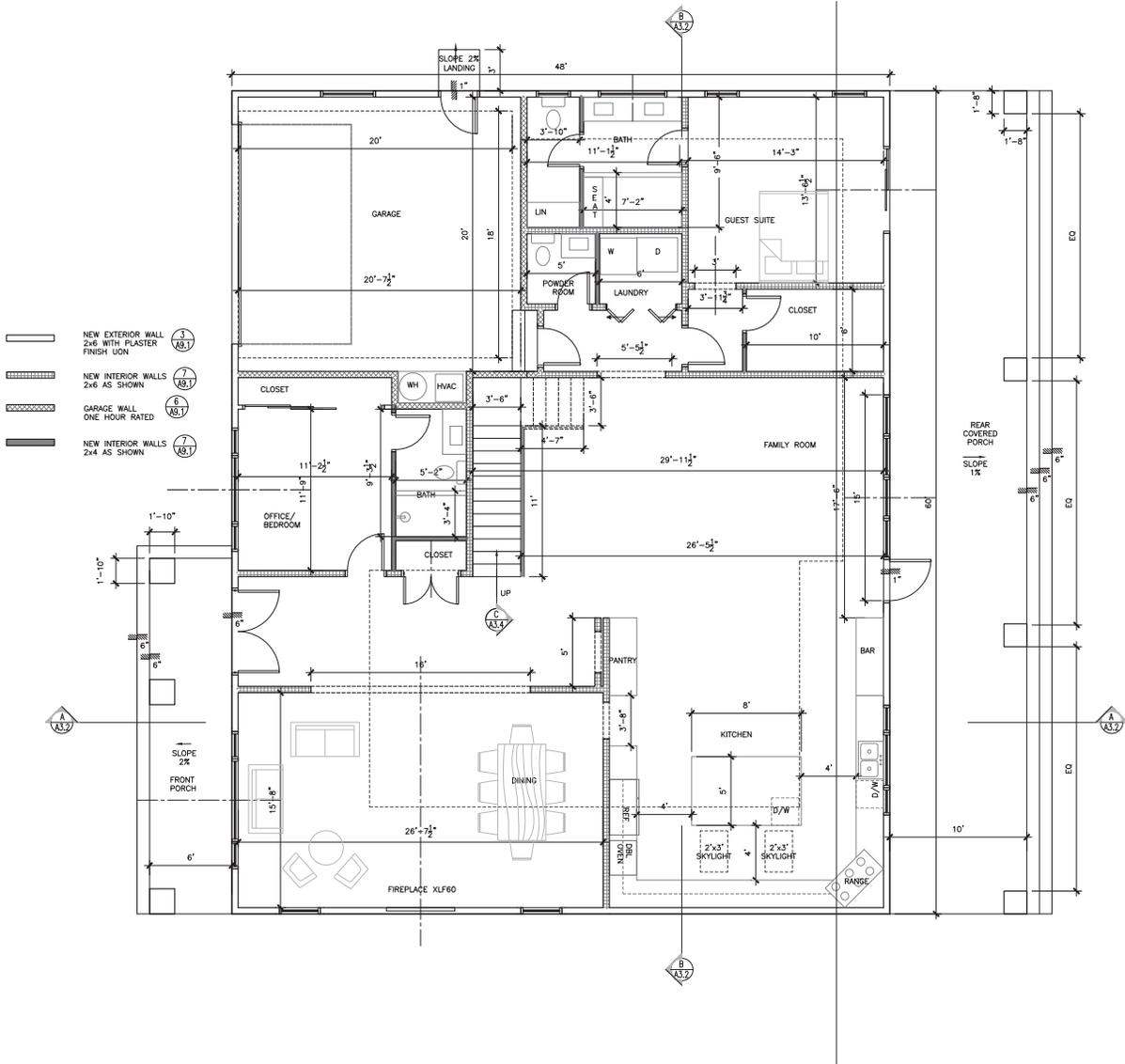
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SHEET NAME :
PROPOSED FIRST FLOOR PLAN

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DATE:	5/28/2021
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

A2.1

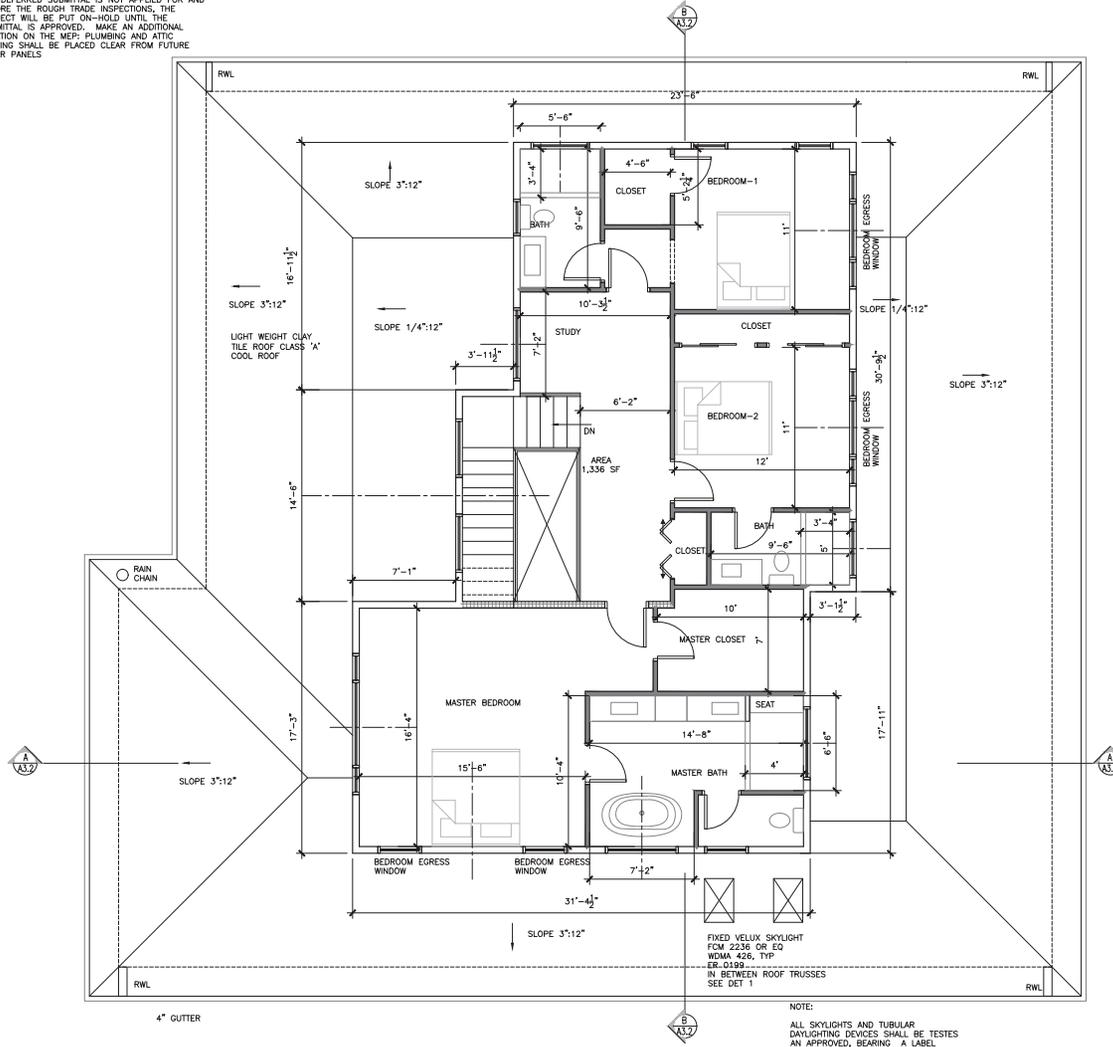


PROPOSED FIRST FLOOR PLAN

SCALE : 1/4"=1'-0"



A PERMIT FOR A PHOTOVOLTAIC SOLAR SYSTEM WILL BE APPLIED FOR AS A DEFERRED SUBMITTAL. IF THE DEFERRED SUBMITTAL IS NOT APPLIED FOR AND BEFORE THE ROUGH TRADE INSPECTIONS, THE PROJECT WILL BE PUT ON-HOLD UNTIL THE SUBMITTAL IS APPROVED. MAKE AN ADDITIONAL NOTATION ON THE MEP: PLUMBING AND ATTIC VENTING SHALL BE PLACED CLEAR FROM FUTURE SOLAR PANELS



PROPOSED SECOND FLOOR PLAN

NOTE:
ALL SKYLIGHTS AND TUBULAR DAYLIGHTING DEVICES SHALL BE TESTED AN APPROVED, BEARING A LABEL INDICATING COMPLIANCE WITH THE REQUIREMENTS OF ANMA/WDMA/CSA 101/LS-2/A440

SCALE: 1/4"=1'-0"



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Campbell, CA 95008



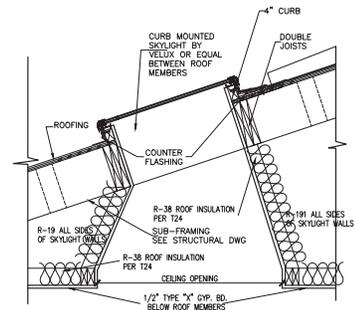
GENERAL NOTES:
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2. PLEASE TO NOT SCALE THE DRAWING.
3. ANY DISCREPANCY OR ERROR IN DIMS AND FIELD NEED TO BE BROUGHT TO THE ATTENTION OF ARCHITECT PRIOR TO CONSTRUCTION.
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SHEET NAME:
PROPOSED SECOND FLOOR PLAN

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	5/28/2021
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

A2.2

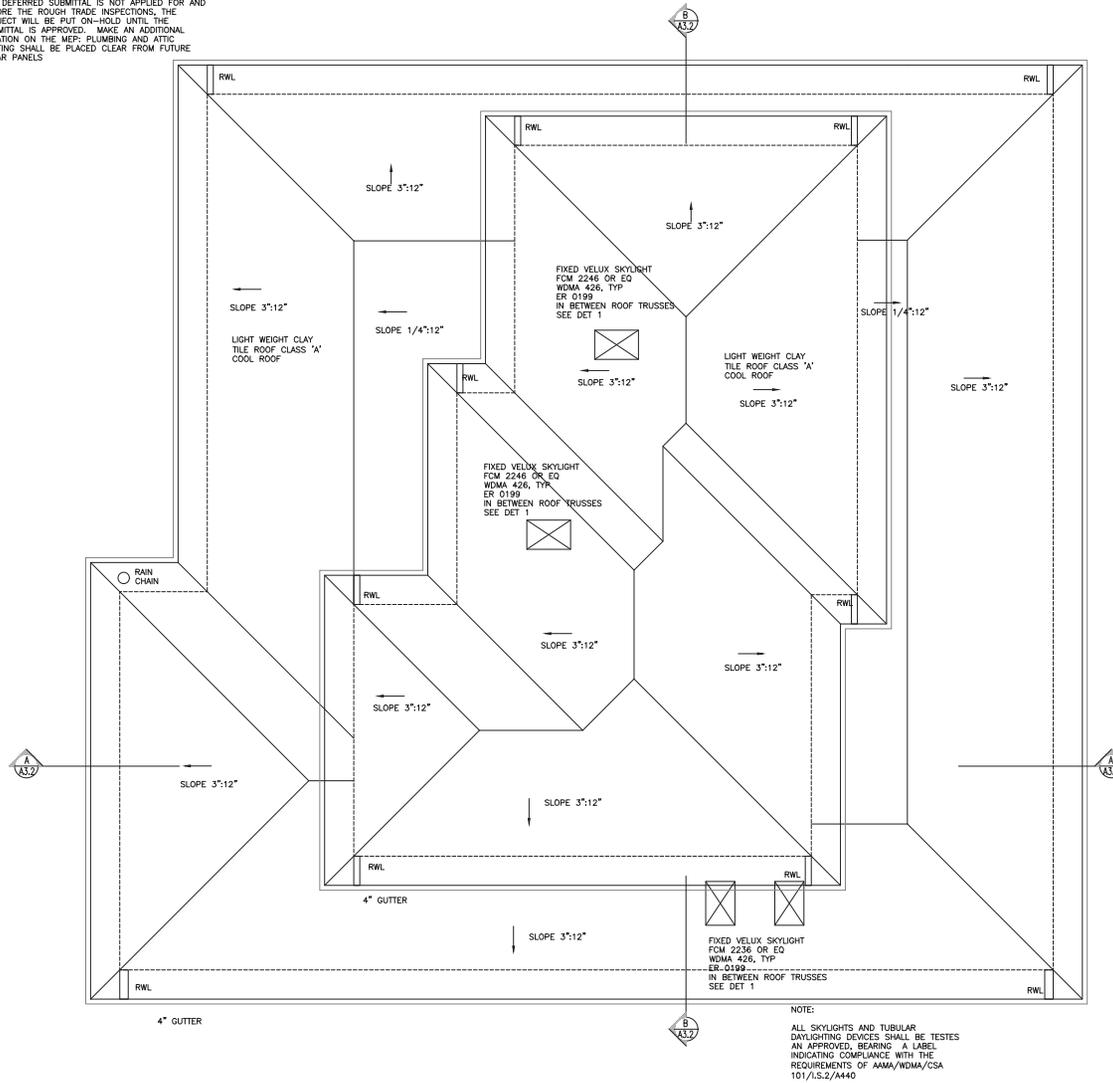


ALL 6 SIDES OF VERTICAL WALLS, INC. SKYLIGHT WALLS NEED TO BE SEALED — FRAMED OUT TO FIT R-VALUE OF WALL INSULATION, AND THEN COVERED ON THE ATTIC SIDE WITH DRYWALL OR SEALED TYVEK LAYER.

1 SKYLIGHT DETAIL

SCALE : 1"=1'-0"

A PERMIT FOR A PHOTOVOLTAIC SOLAR SYSTEM WILL BE APPLIED FOR AS A DEFERRED SUBMITTAL. IF THE DEFERRED SUBMITTAL IS NOT APPLIED FOR AND BEFORE THE ROUGH TRADE INSPECTIONS, THE PROJECT WILL BE PUT ON-HOLD UNTIL THE SUBMITTAL IS APPROVED. MAKE AN ADDITIONAL NOTATION ON THE MEP, PLUMBING AND ATTIC VENTING SHALL BE PLACED CLEAR FROM FUTURE SOLAR PANELS



NOTE:
ALL SKYLIGHTS AND TUBULAR DAYLIGHTING DEVICES SHALL BE TESTED AN APPROVED, BEARING A LABEL INDICATING COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.5.2/AM40

PROPOSED ROOF PLAN

SCALE : 1/4"=1'-0"



NORTH



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SHEET NAME :
PROPOSED ROOF PLAN

REVISIONS	BY

DRAWN:	
CHECKED:	
DATE:	5/28/2021
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

A2.3



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Campbell, CA 95008



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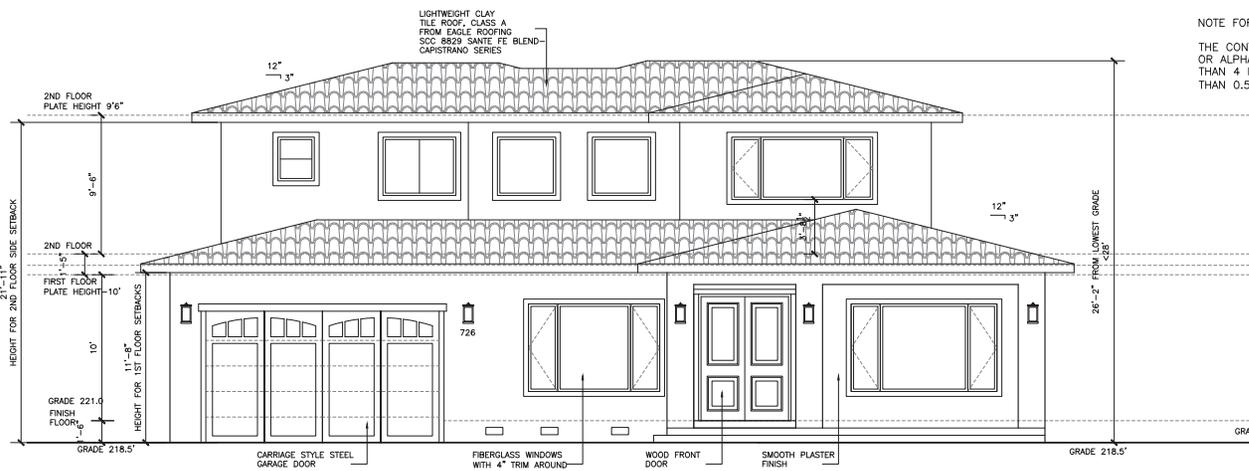
SHEET NAME :
PROPOSED ELEVATIONS

REVISIONS	BY

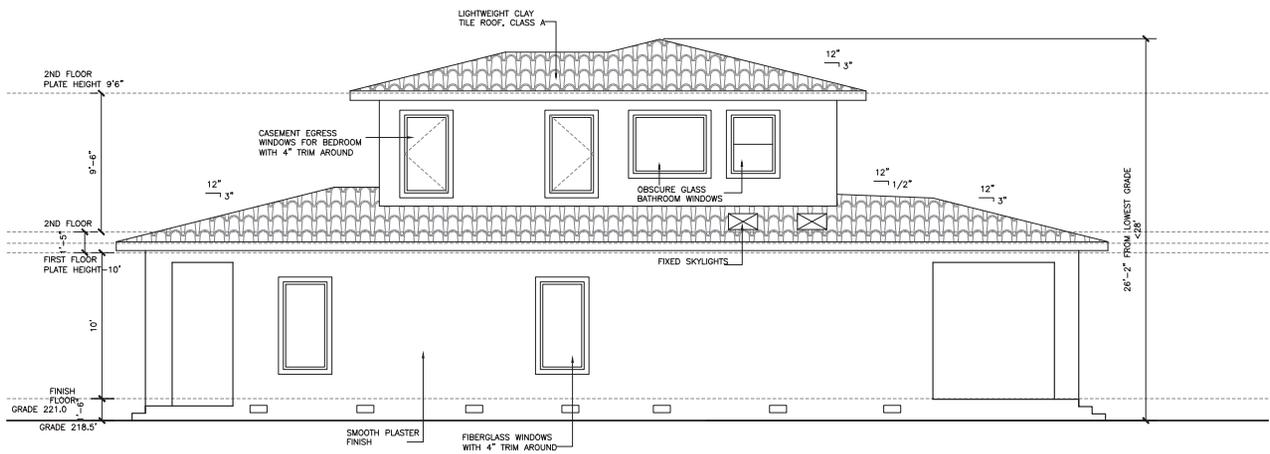
DRAWN:	
CHECKED:	
DATE:	5/28/2021
SCALE:	AS SHOWN
JOB No.:	
SHEET No.:	

A3.0

NOTE FOR ADDRESSING
 THE CONTRASTING ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH. (CRC 319.1)



① **PROPOSED FRONT WEST ELEVATION** SCALE : 1/4"=1'-0"



② **PROPOSED SOUTH SIDE ELEVATION** SCALE : 1/4"=1'-0"



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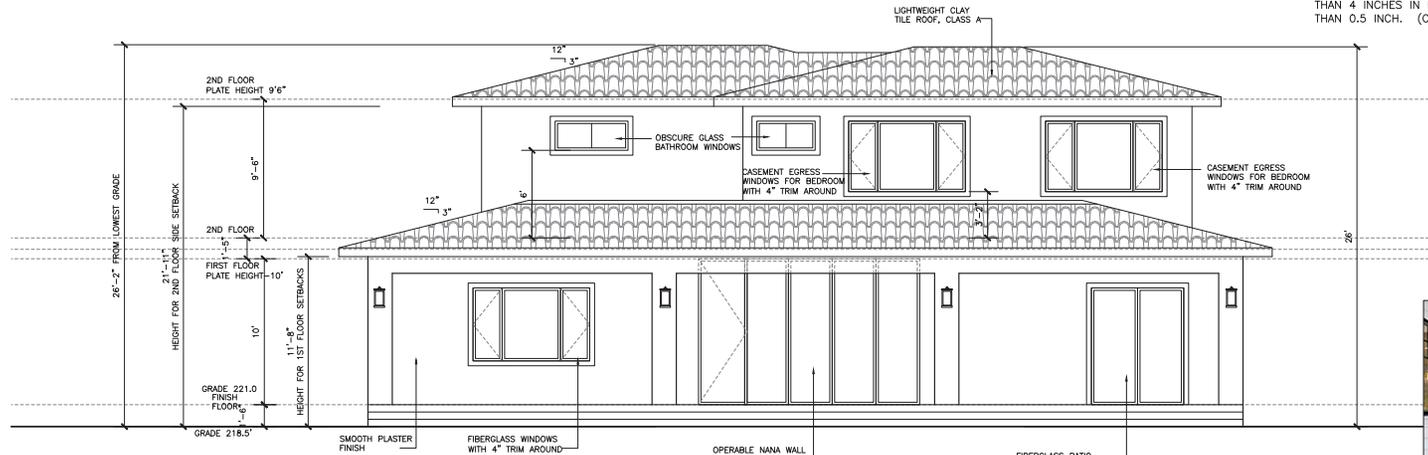
SHEET NAME :
PROPOSED ELEVATIONS

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 5/28/2021
SCALE: AS SHOWN
JOB No.:
SHEET No.:

A3.0

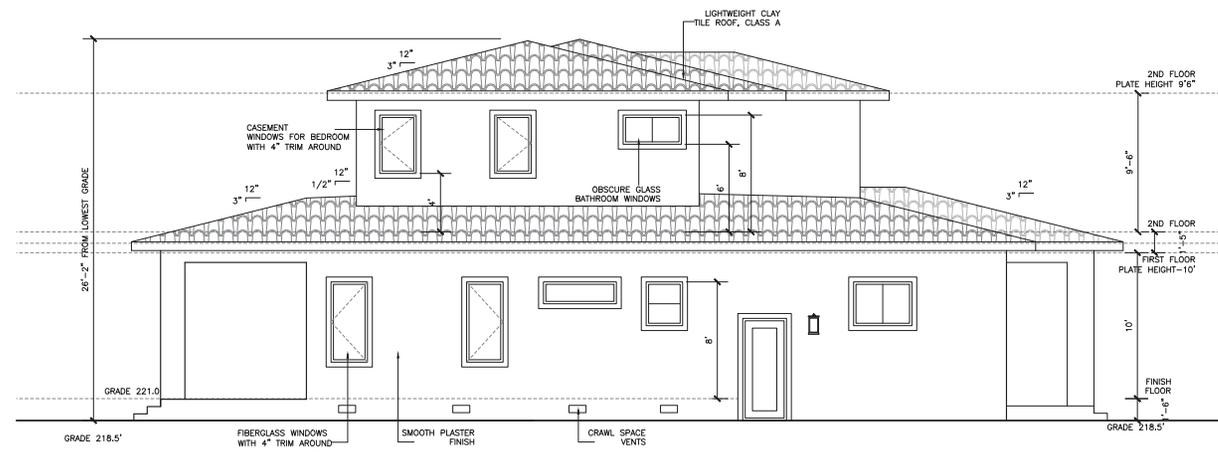
NOTE FOR ADDRESSING
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1 PROPOSED REAR EAST ELEVATION
SCALE : 1/4"=1'-0"



LA CANTINO OPERABLE WALL IN REAR PATIO
BRONZE WINDOWS



2 PROPOSED NORTH SIDE ELEVATION
SCALE : 1/4"=1'-0"



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726 Craig Ave
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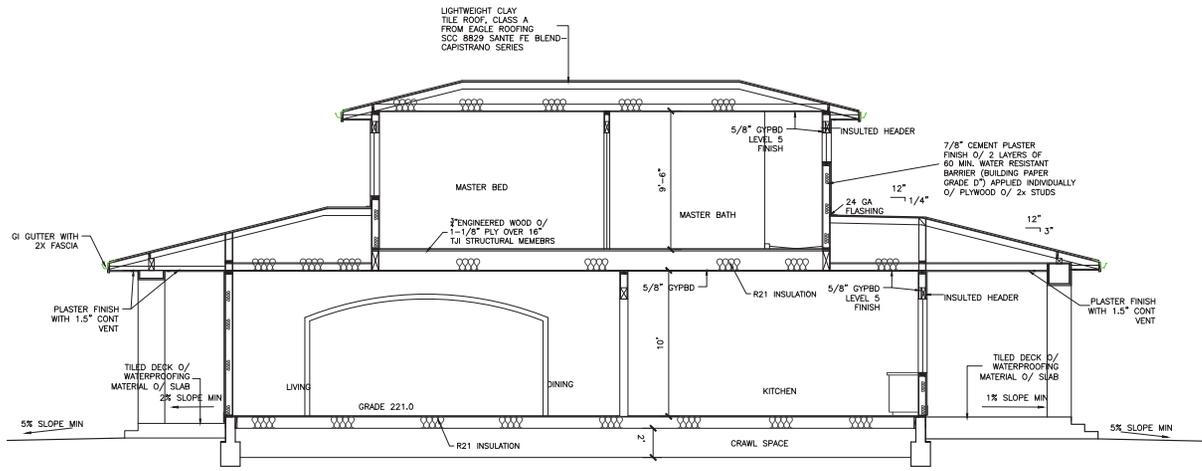
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SHEET NAME :
SECTIONS

REVISIONS	BY

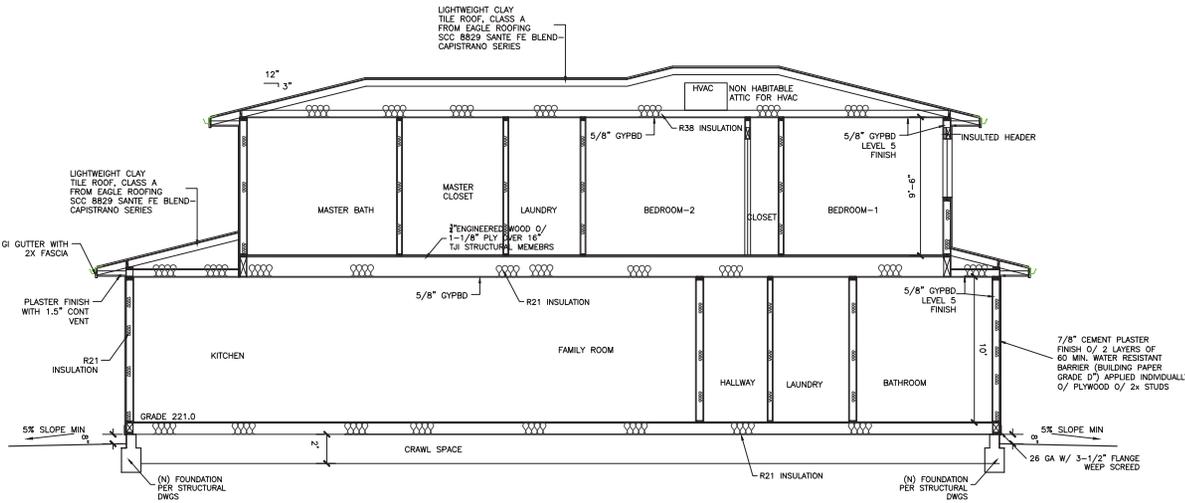
DRAWN:
CHECKED:
DATE: 5/28/2021
SCALE: AS SHOWN
JOB No.:
SHEET No.:

A3.2



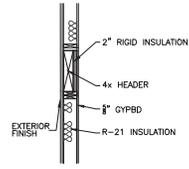
1 SECTION A

SCALE : 1/4"=1'-0"



2 SECTION B

SCALE : 1/4"=1'-0"



INSULATED HEADER DETAIL



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SHEET NAME:
STREET VIEW
COLOR & MATERIALS

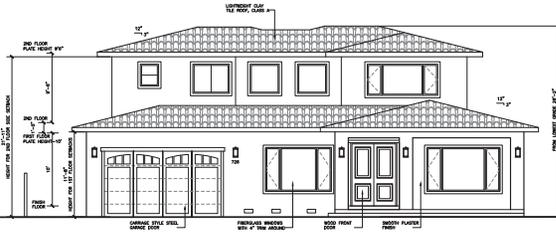
REVISIONS	BY

DRAWN:
CHECKED:
DATE: 5/28/2021
SCALE: AS SHOWN
JOB No.:
SHEET No.:

A3.3



710 CRAIG

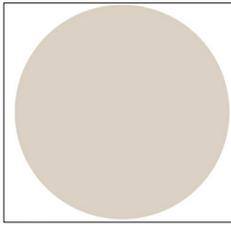


726 CRAIG



726 CRAIG

1 PROPOSED STREET VIEW SCALE: 1/4"=1'-0"



ALL WALLS SNIP OF TANNIN #41 FROM KELLY MOORE OR EQ



ALL FASCIA TRIMS, GUTTERS, WINDOW TRIMS BROWN BEAR FROM KELLY MOORE - KMA77



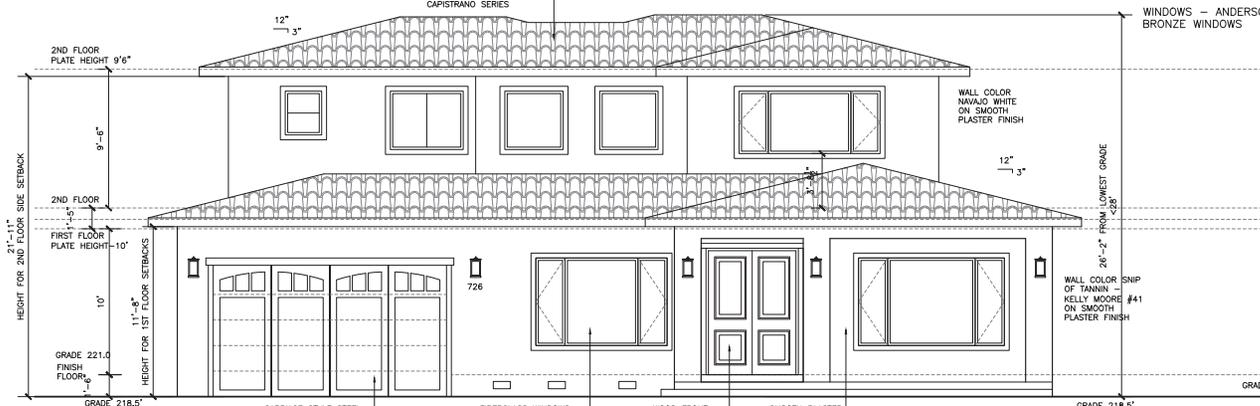
EAGLE ROOFING SCC 8829 SAINTE FE BLEND - CAPISTRANO SERIES



WINDOWS - ANDERSON FIBERGLASS BRONZE WINDOWS



EXTERIOR LIGHTS FOXMOORE COLLECTION 14 1/2" HIGH BRONZE OUTDOOR WALL LIGHT



EXTERIOR LIGHTS FOXMOORE COLLECTION 14 1/2" HIGH BRONZE OUTDOOR WALL LIGHT

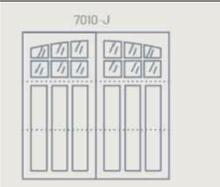
CARRIAGE STYLE STEEL GARAGE DOOR

FIBERGLASS WINDOWS WITH 4" TRIM AROUND

WALL COLOR SNIP OF TANNIN - KELLY MOORE ON SMOOTH PLASTER FINISH

GRADE 218.5'

2 COLORS AND MATERIALS SCALE: 1/4"=1'-0"



CARRIAGE HOUSE GARAGE DOOR COLOR TO MATCH TRIMS - BEAR BROWN



LA CANTINO OPERABLE WALL IN REAR PATIO BRONZE WINDOWS



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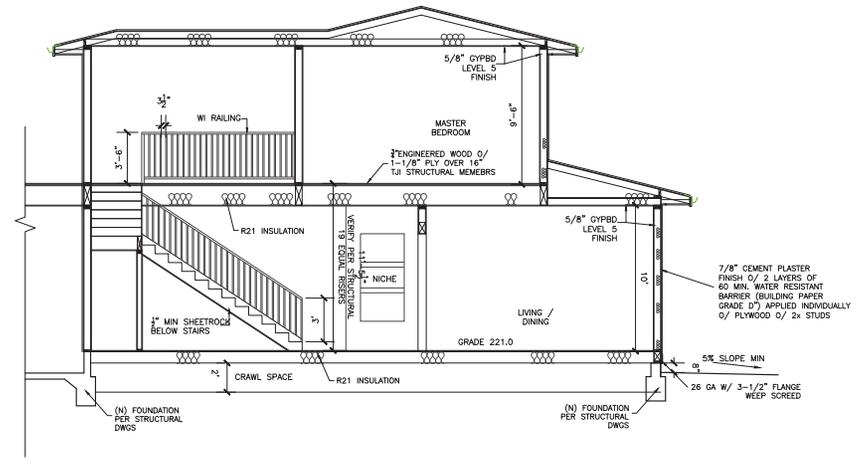
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SHEET NAME:
STAIR DETAILS

REVISIONS	BY

DRAWN:
CHECKED:
DATE: 5/28/2021
SCALE: AS SHOWN
JOB No.:
SHEET No.:

A3.4



1 SECTION C SCALE: 1/4"=1'-0"

NOTES:

RISE ON THE STAIRWAY BE WILL MAX 7-3/4" AND TREAD MIN. 10" PER CRC R311.7.4 WITH MIN NOSING 3/4" AND MAX 1-1/4" NOSING

PROVIDE MINIMUM 7'-0" HEADROOM AT THE STAIRWAY - CRC R311.7.2

MIN 1/2" GYPBD AT WALLS AND SOFFIT OF ENCLOSED USABLE SPACE UNDER STAIRS CRC R302.7

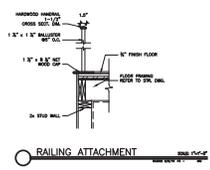
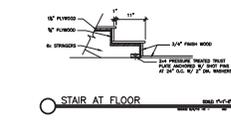
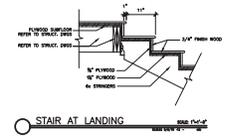
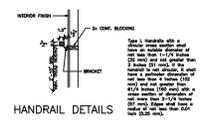
HANDRAILS HAVE A 1-1/4" TO 1-1/2" GRIPPABLE CROSS SECTION, NO SHARP CORNERS, AND AT A HEIGHT OF 34" TO 38" ABOVE NOSING, EXTENDED CONTINUOUSLY FROM TOP TO BOTTOM RISER, AND TERMINATE AT NEWEL POSTS OR RETURN TO WALL. CRC R311.7.7

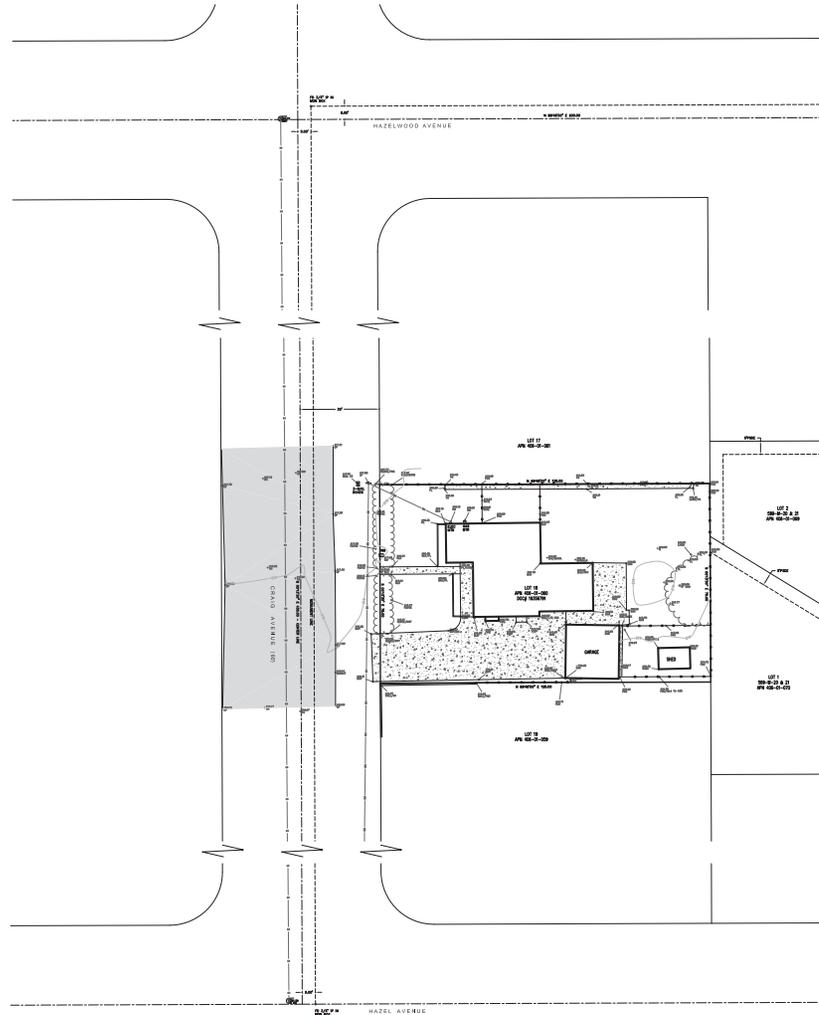
HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH OF THE STAIRWAY 4-1/2" AND SHALL PROVIDE 1-1/2" SPACE BETWEEN THE WALL AND HANDRAIL. CRC R311.7.1 AND R311.7.2

A GUARDRAIL IS REQUIRED ON THE OPEN SIDE OF THE STAIRWAY AT A HEIGHT OF 34" TO 38" AND SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4-3/8" IN DIAMETER CANNOT PASS THROUGH. CRC R312.2 AND R312.3

GUARDRAILS- MIN HEIGHT 42" WITH INTERMEDIATE SPACED SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. CRC R312

HANDRAILS & GUARDRAILS TO BE CAPABLE OF RESISTING A 200 LB APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL. CRC R301.5 / SECTION 4.5.1 ASCE 7, CBC 1607.8.1.1- SEE STRUCTURAL DRAWINGS FOR DETAILS AND CALCULATIONS





PARCEL DATA:
 APN: 406-01-060
 AREA: 9,375 SF +/-

REFERENCES
 (A) 24 - MAPS - 50
 (B) DOCUMENT NO. 19356791

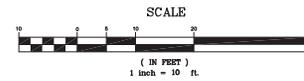
BASIS OF BEARINGS
 BEARINGS ARE BASED UPON THE MONUMENT OFFSET LINE OF CRAIG AVENUE AS SHOWN ON THAT CERTAIN TRACT MAP RECORDED IN VOLUME 24 OF MAPS PAGE 51, SANTA CLARA COUNTY RECORDS
 NORTH 0° 13' 30" WEST

ELEVATION DATUM
 ELEVATIONS ARE DERIVED FROM GPS OBSERVATION (NAVD88 DATUM)

NOTES
 A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. EASEMENTS SHOWN, IF ANY, ARE COMPILED FROM RECORD MAPS AND THE CURRENT DEED FOR THE PROPERTY. THERE MAY BE ADDITIONAL EASEMENTS THAT BURDEN OR BENEFIT THE SUBJECT PROPERTY THAT WOULD ONLY BE REVEALED ON A TITLE REPORT.

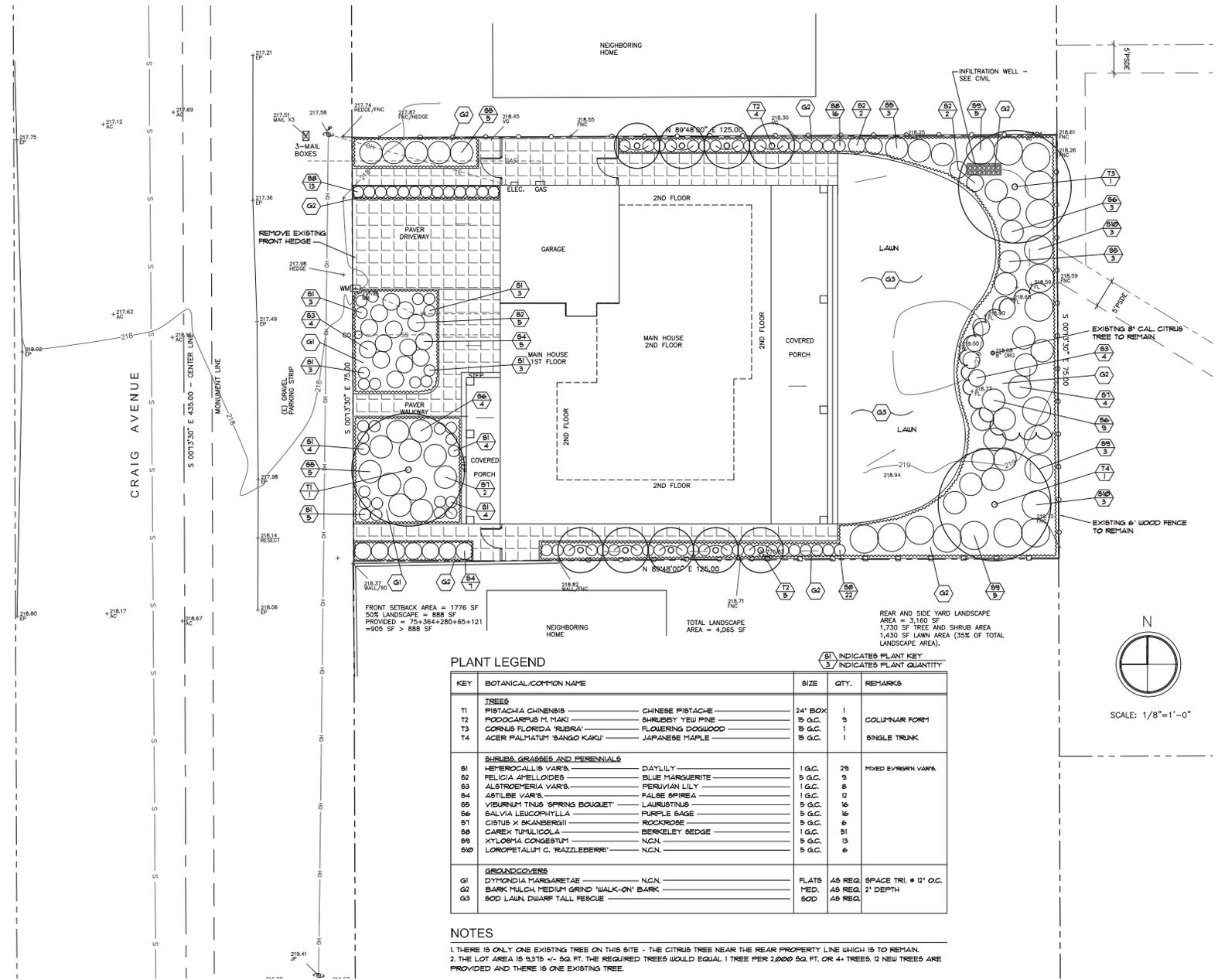
ABBREVIATIONS

- PUE - PUBLIC UTILITY EASEMENT
- WCE - WIRE CLEARANCE EASEMENT
- SDE - STORM DRAIN EASEMENT
- ICV - IRRIGATION CONTROL VALVE
- AE - ANCHOR EASEMENT
- OH - OVERHEAD UTILITY LINES
- COL - COLUMN
- ACC - ASPHALT CONCRETE CURB
- TBC - TOP BACK CURB
- VLT - VAULT LID
- HV - HIGH VOLTAGE
- PS - PAINT STRIPE



CURT G. DUNBAR

ALPHA LAND SURVEYS, INC.			
4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95068 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	BOUNDARY & TOPOGRAPHIC MAP 725 CRAIG AVENUE CITY OF CAMPBELL SANTA CLARA COUNTY	SHEET 1 OF ONE
1" = 10'	DATE: 5/17/21	JOB#: 2021-138	



PLANT LEGEND

KEY	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS
TREES				
T1	PISTACHIA CHINENSIS CHINESE PISTACHE	24' BOX	1	
T2	PODOCARPUS M. MAKI SHRUBBY YEW PINE	15 G.C.	9	COLUMNAR FORM
T3	CORNUS FLORIDA 'RUBRA' FLOWERING DOGWOOD	15 G.C.	1	
T4	ACER PALMATUM 'BANGO KAKU' JAPANESE MAPLE	15 G.C.	1	SINGLE TRUNK
SHRUBS, GRASSES AND PERENNIALS				
S1	HEMEROCALLIS VAR'S DAYLILY	1 G.C.	29	MIXED EVERGRN VAR'S
S2	FELICIA APHELLOIDES BLUE MARGUERITE	5 G.C.	9	
S3	ALSTROEMERIA VAR'S FERULIAN LILY	1 G.C.	6	
S4	ASTILEBE VAR'S FALSE SPIREA	1 G.C.	12	
S5	VIBURNUM TINUS 'SPRING BOUQUET' LAURUSTINUS	5 G.C.	16	
S6	SALVIA LEUCOPHYLLA PURPLE SAGE	5 G.C.	16	
S7	CISTUS X SCABERRIS ROCKROSE	5 G.C.	6	
S8	CAREX TUMULICOLA BERKELEY SEDGE	1 G.C.	51	
S9	XYLOSHA CONGESTUM N.C.N.	5 G.C.	13	
S10	LOROPETALUM C. 'RAZZLEBERRY' N.C.N.	5 G.C.	6	
GROUNDCOVERS				
G1	DYNDONIA MARGARETAE N.C.N.	FLATS	A5 REG.	8" SPACE TRI. # 12' O.C.
G2	BARK MULCH, MEDIUM GRND 'WALK-ON' BARK	MED.	A5 REG.	2' DEPTH
G3	SOD LAWN, DWARF TALL PESCUE	SOD	A5 REG.	

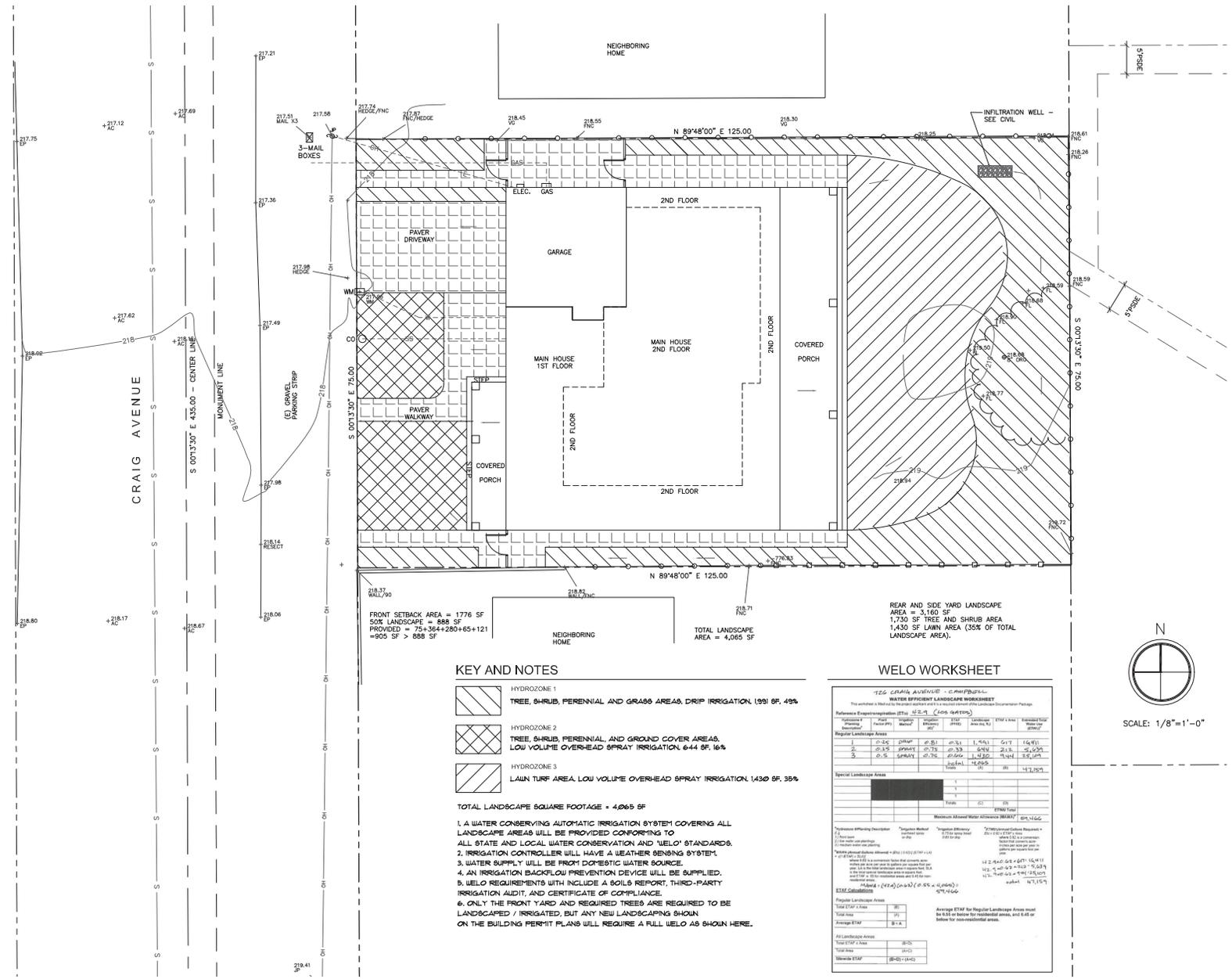
NOTES

- THERE IS ONLY ONE EXISTING TREE ON THIS SITE - THE CITRUS TREE NEAR THE REAR PROPERTY LINE WHICH IS TO REMAIN.
- THE LOT AREA IS 9,375 +/- SQ. FT. THE REQUIRED TREES WOULD EQUAL 1 TREE PER 2,000 SQ. FT. OR 4+ TREES. 12 NEW TREES ARE PROVIDED AND THERE IS ONE EXISTING TREE.

INDICATES PLANT KEY
 INDICATES PLANT QUANTITY



<p>JAIN / NAIK RESIDENCE 726 CRAIG AVENUE CAMPBELL, CA 95008</p>	<p>WILSON & ASSOCIATES LANDSCAPE ARCHITECTURE 815 SAN DIEGO ROAD • BERKELEY, CA 94707 PH: 510-544-8800 • E: cwilson@wla.com</p>						
<p>DATE: 07/12/21</p> <p style="font-size: 2em; font-weight: bold;">L1.0</p> <p>REVISED LANDSCAPE ARCHITECTURE</p>							
<p>BY: CW JOB: DATE: 07/12/21</p>							
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>COMMENTS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>		NO.	DATE	COMMENTS			
NO.	DATE	COMMENTS					



FRONT SETBACK AREA = 1776 SF
 50% LANDSCAPE = 888 SF
 PROVIDED = 75+36+280+65+121
 = 905 SF > 888 SF

REAR AND SIDE YARD LANDSCAPE
 AREA = 3,160 SF
 1,700 SF TREE AND SHRUB AREA
 1,430 SF LAWN AREA (35% OF TOTAL
 LANDSCAPE AREA).

TOTAL LANDSCAPE
 AREA = 4,065 SF

KEY AND NOTES

-  HYDROZONE 1
TREE, SHRUB, PERENNIAL AND GRASS AREAS, DRIP IRRIGATION 1991 SF, 49%
-  HYDROZONE 2
TREE, SHRUB, PERENNIAL AND GROUND COVER AREAS,
LOW VOLUME OVERHEAD SPRAY IRRIGATION 644 SF, 16%
-  HYDROZONE 3
LAWN TURF AREA, LOW VOLUME OVERHEAD SPRAY IRRIGATION 1430 SF, 35%

- TOTAL LANDSCAPE SQUARE FOOTAGE = 4,065 SF**
1. A WATER CONSERVING AUTOMATIC IRRIGATION SYSTEM COVERING ALL LANDSCAPE AREAS WILL BE PROVIDED CONFORMING TO ALL STATE AND LOCAL WATER CONSERVATION AND 'WELO' STANDARDS.
 2. IRRIGATION CONTROLLER WILL HAVE A WEATHER SENSING SYSTEM.
 3. WATER SUPPLY WILL BE FROM DOMESTIC WATER SOURCE.
 4. AN IRRIGATION BACKFLOW PREVENTION DEVICE WILL BE SUPPLIED.
 5. WELO REQUIREMENTS WITH INCLUDE A SOILS REPORT, THIRD-PARTY IRRIGATION AUDIT, AND CERTIFICATE OF COMPLIANCE.
 6. ONLY THE FRONT YARD AND REQUIRED TREES ARE REQUIRED TO BE LANDSCAPED / IRRIGATED, BUT ANY NEW LANDSCAPING SHOWN ON THE BUILDING PERMIT PLANS WILL REQUIRE A FULL WELO AS SHOWN HERE.

WELO WORKSHEET

726 CRAIG AVENUE - CAMPBELL
WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is to be used by the landscape architect and a landscape engineer (with a landscape certification) to determine the water use for the proposed landscape.

Reference Description (EPA 42 U.S.C. 4306 (4)(5)(D))	Plant Species	Plant Type	Plant Size	Plant Spacing	Plant Density	Plant Water Use	Plant Water Use
Regular Landscape Area							
Special Landscape Area							
Total							

WELO Compliance

Proposed Landscape Area	88	Average ETAF for Regular Landscape Areas must be 0.50 or lower for residential areas, and 0.45 or lower for non-residential areas.
Total ETAF Class	31	
Total Area	3420	
Average ETAF	0.14	



SCALE: 1/8"=1'-0"

<p>JAIN / NAIK RESIDENCE 726 CRAIG AVENUE CAMPBELL, CA 95008</p>	<p>WILSON & ASSOCIATES LANDSCAPE ARCHITECTURE 815 SAN DIEGO ROAD • BERKELEY, CA 94707 PH: 510-644-8800 • E: cwilson@158@gmail.com</p>						
<p>CONCEPTUAL IRRIGATION PLAN</p>							
<p>BY: CM</p>							
<p>DATE: 07/12/21</p>							
<p>L2.0</p>							
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO</th> <th>DATE</th> <th>COMMENTS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>		NO	DATE	COMMENTS			
NO	DATE	COMMENTS					



GRADING NOTES

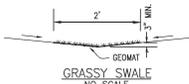
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD & SPECIFICATIONS AND THE SOILS REPORT FOR THIS SITE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL QUANTITIES TO HIS SATISFACTION.
3. CONTRACTOR SHALL CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO START OF WORK.
4. CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGES ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN.
5. ALL RAINWATER LEADERS SHALL BE DIRECTED TO SPASH BLOCK.
6. ALL DRAINAGE SHALL BE DIRECTED TO LANDSCAPE AREA.
7. ALL CONSTRUCTION ACTIVITIES SHALL ADHERE TO NEW DEVELOPMENT AND CONSTRUCTION BEST MANAGEMENT PRACTICES AS ADOPTED BY THE CITY FOR THE PURPOSES OF PREVENTING STORM WATER POLLUTION.

STORM WATER MANAGEMENT NOTES

ALL DOWNSPOUTS SHALL BE DIRECTED TO LANDSCAPE AREAS.
ALL CONSTRUCTION SHALL COMPLY WITH CITY'S URBAN RUNOFF POLLUTION PREVENTION PROGRAM.

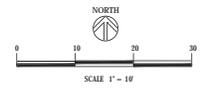
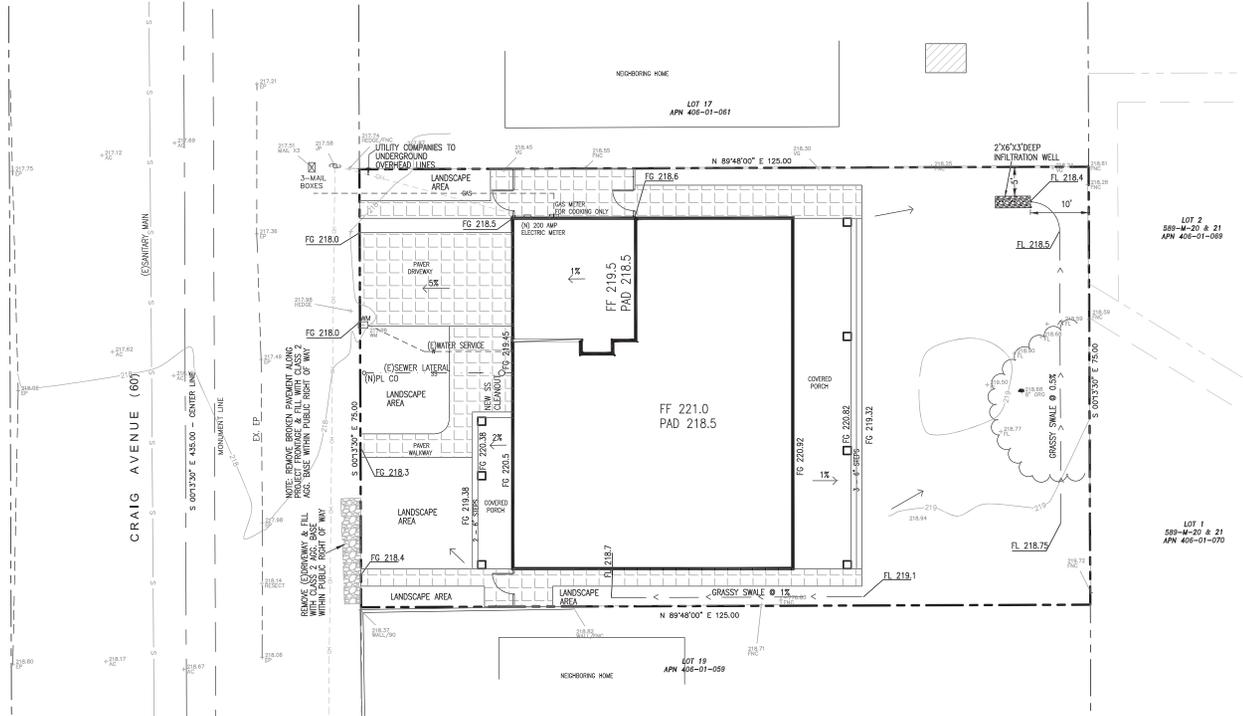
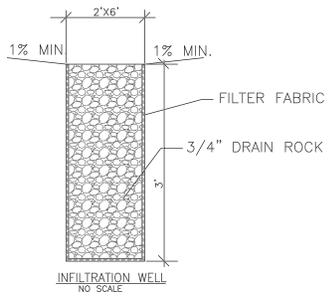
LEGEND

- PROPERTY LINE ———
- FINISH GRADE FG
- FLOWLINE FL



ESTIMATED EARTHWORK QUANTITIES

CUT: 30 CU. YD.
FILL: 5 CU. YD.
NET: 25 CU. YD.



owner
Jain
& Naik
Craig

SINGLE FAMILY HOUSE

726 CRAIG AVENUE
CAMPBELL, CA 95008

PROJECT

APN
406-01-060

PL
CONSULTANTS

CIVIL
DESIGNS

T: 408.370.8615
pauleung
@yahoo.com

SHEET TITLE

GRADING & UTILITY PLAN

REVISION

- ▲
- ▲
- ▲
- ▲

DATE 8.13.21
DRAWN PAB
SCALE 1"=10'
SHEET

C1

