



CITY OF CAMPBELL  
Community Development Department

September 10, 2021

**NOTICE OF PUBLIC HEARING  
Historic Preservation Board**

**NOTICE IS HEREBY GIVEN** that the Historic Preservation Board of the City of Campbell has set the hour of 5:00 p.m., or shortly thereafter, on **Wednesday, September 22, 2021** for a Public Hearing to consider the application of Nicholas Key for a Tier 1 Historic Resource Alteration Permit (PLN-2021-160) to allow the construction of an approximately 525 square-foot rear addition to a Structure of Merit located at **705 El Patio Drive** in the R-1-6 (Single-family Residential) Zoning District. Staff is recommending that this project be deemed Categorical Exempt under CEQA

This public hearing will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor.

While members of the public will not be able to attend the meeting of the Campbell City Historic Preservation Board physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>). Interested persons may submit written correspondence to [planning@campbellca.gov](mailto:planning@campbellca.gov) prior to or during the public hearing. In the event that the provisions of Executive Order N-29-20 are modified or suspended before the date of the meeting so as to require physical attendance by participants, the meeting will be held in the City Council Chambers at 70 N. First Street, Campbell, California. Additional procedures will be detailed in the published meeting agenda; and any updated information will be posted to the City's website at [www.campbellca.gov](http://www.campbellca.gov).

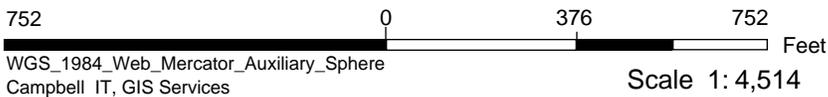
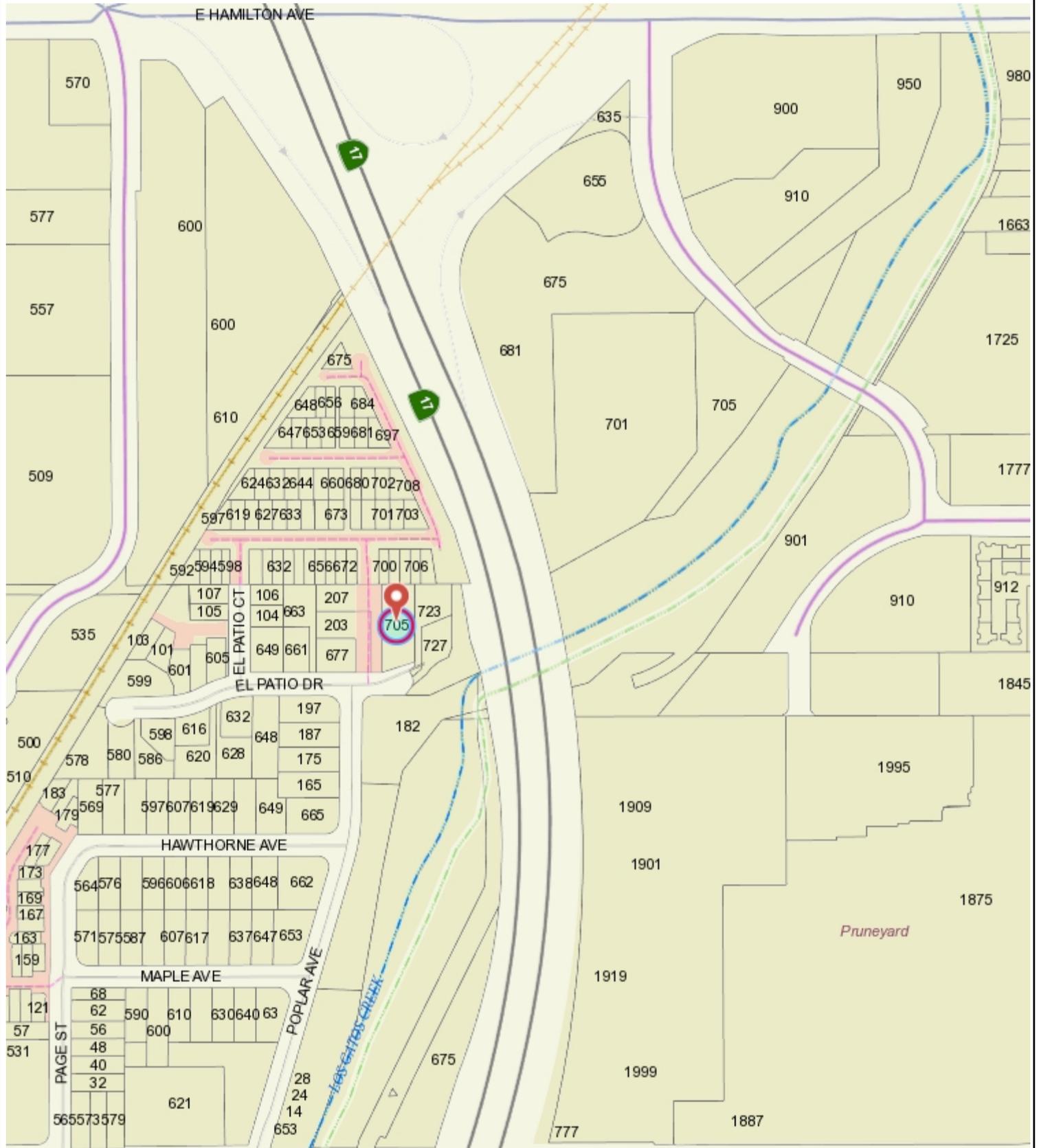
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or [ClerksOffice@campbellca.gov](mailto:ClerksOffice@campbellca.gov) at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number. For more information you can contact the Community Development Department at (408) 866-2140 or [planning@campbellca.gov](mailto:planning@campbellca.gov).

HISTORIC PRESERVATION BOARD  
CITY OF CAMPBELL  
DANIEL FAMA  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **705 El Patio Dr.**



# Location Map - 705 El Patio Dr.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

proposed single-story additions  
and interior remodeling for the:

# KEY RESIDENCE

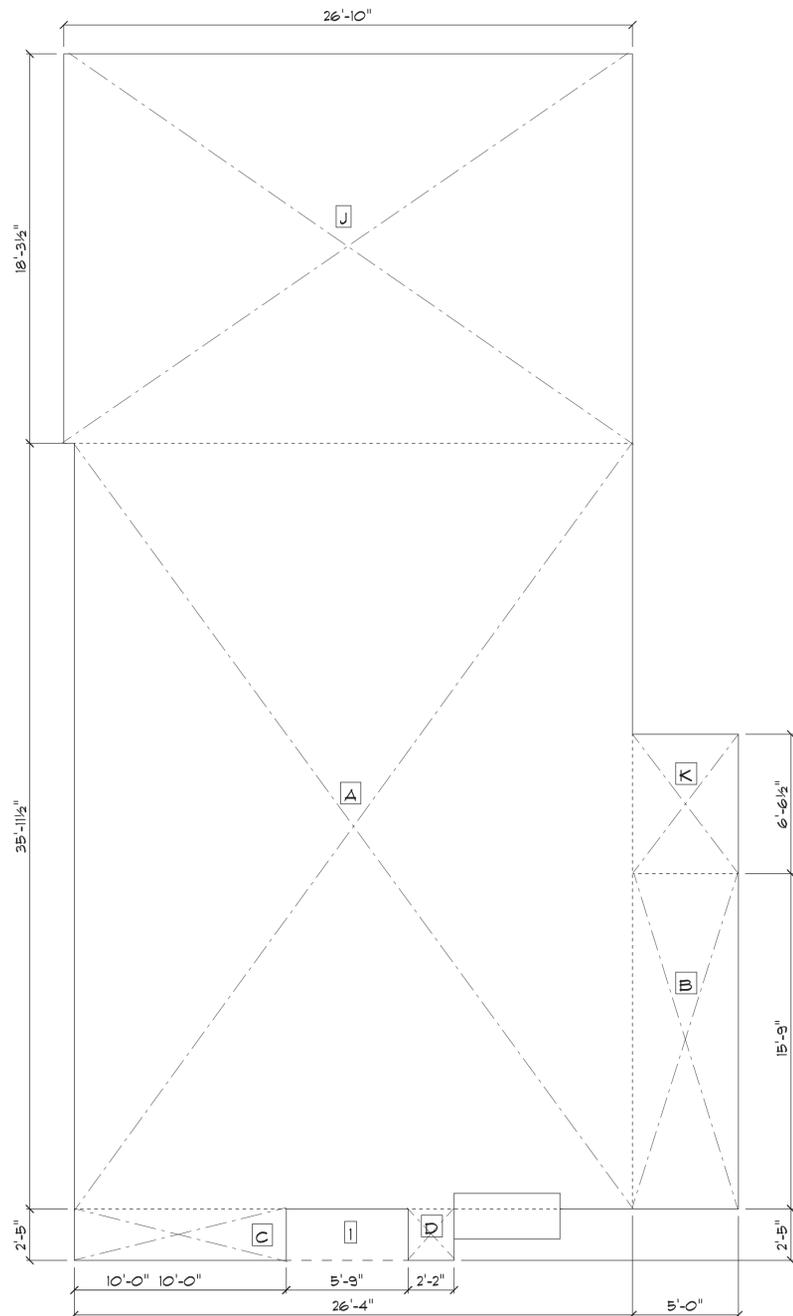
705 El Patio Drive  
Campbell, CA 95008

### SHEET INDEX:

- ARCHITECTURAL  
NO. DESCRIPTION  
C1.0 COVER SHEET/PROPERTY DATA  
A1.0 SITE PLAN  
A2.0 DEMOLITION/PROPOSED FLOOR PLANS  
A4.0 EXISTING EXTERIOR ELEVATIONS  
A4.1 PROPOSED EXTERIOR ELEVATIONS  
A5.0 ROOF PLAN/CROSS SECTIONS

## Detail Ink

RESIDENTIAL DESIGN  
1885 DRY CREEK ROAD CAMPBELL, CA. 95008  
VOICE: 408.371.5866  
EMAIL: detailink2@msn.com



SQUARE FOOT CALCULATIONS:		
KEY	SIZE	SQ. FT.
A	26'-4" X 35'-11 1/2"	946.90
B	5'-0" X 15'-9"	78.75
C	10'-0" X 2'-5"	24.16
D	2'-2" X 2'-5"	5.23
E		
F		
G	TOTAL EXISTING LIVABLE FLOOR AREA	1,055.04 SF
J	26'-10" X 18'-3 1/2"	490.82
K	5'-0" X 6'-6 1/2"	32.70
	TOTAL ADDITIONAL FLOOR AREA	523.52
I	5'-9" X 2'-5"	13.89
	TOTAL EXISTING PORCH AREA	13.89

### SCOPE OF WORK:

- DEMOLISH SELECTED INTERIOR AND EXTERIOR WALLS
- REMOVE EXISTING FLOORING, CABINETS, AND FIXTURES AT HALL BATH
- CONSTRUCT NEW 527.99 SF SINGLE STORY ADDITION
- INTERIOR REMODEL = 228 SF

### DEMOLITION NOTES:

- NO PRODUCT MAY BE USED THAT EXCEEDS CALIFORNIA'S MAXIMUM LIMITS ON VOLATILE ORGANIC COMPOUNDS (VOC)
- CONSTRUCTION HOURS ARE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY AND 9 AM TO 4 PM ON SATURDAY. NO CONSTRUCTION ON SUNDAYS AND HOLIDAYS

### PROPERTY DATA:

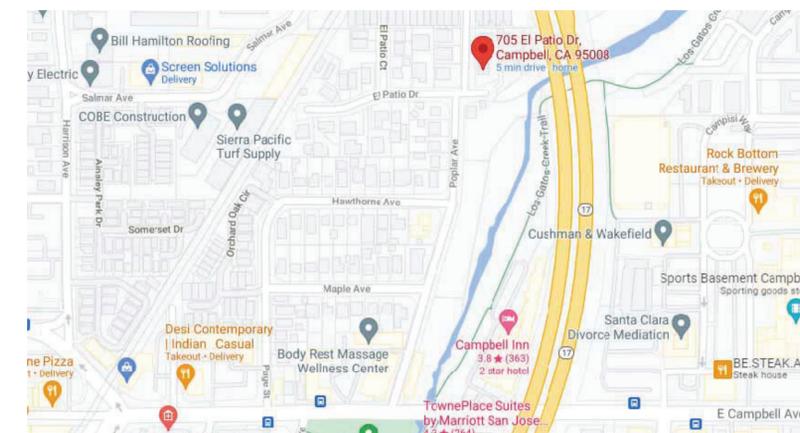
ASSESSOR'S PARCEL NO. 279 - 45 - 003  
EXISTING USE: SINGLE FAMILY RESIDENCE  
ZONING DISTRICT: R - 1 - 6  
OCCUPANCY GROUP: R3/U  
FLOOD ZONE: NO  
CONSTRUCTION TYPE: V - B  
SPECIAL INSPECTION ITEMS: SHEARWALLS  
NUMBER OF EXISTING STORIES: 1  
NUMBER OF PROPOSED STORIES: 1  
FIRE SPRINKLERS REQUIRED: NO

### PROJECT DATA SUMMARY:

EXISTING LIVABLE AREA: 1,055.04 SF  
MAXIMUM 50% ALLOWABLE ADDITION: 527.52 SF  
PROPOSED ADDITIONAL LIVABLE AREA: 523.52 SF  
TOTAL NEW PROPOSED LIVABLE AREA: 1,578.56 SF  
NET LOT AREA: 13,945.00 SF  
ALLOWABLE FLOOR AREA (.45): 6,275.25 SF  
PROPOSED FLOOR AREA (1,578.56 SF): 11.31%  
ALLOWABLE LOT COVERAGE (.40): 5,578.00 SF  
PROPOSED LOT COVERAGE (1,592.45 SF): 11.41%

### VICINITY MAP:

(NO SCALE)



proposed single-story addition and  
interior remodeling to the:

**KEY RESIDENCE**  
705 El Patio Drive  
Campbell, CA 95008  
A.P.N. 279 - 45 - 003

ZONING: R - 1 - 6

city approval stamp

city approval stamp

cover sheet

2021 - 20

August 04, 2021

Sheet

C1.0

705 EL PATIO DRIVE / CAMPBELL, CA

proposed single-story addition and interior remodeling to the:

### KEY RESIDENCE

105 El Patio Drive  
Campbell, CA 95008

A.P.N. 219 - 45 - 003

ZONING: R - 1 - 6

building department stamp

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Revisions:


site plan

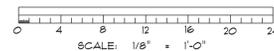
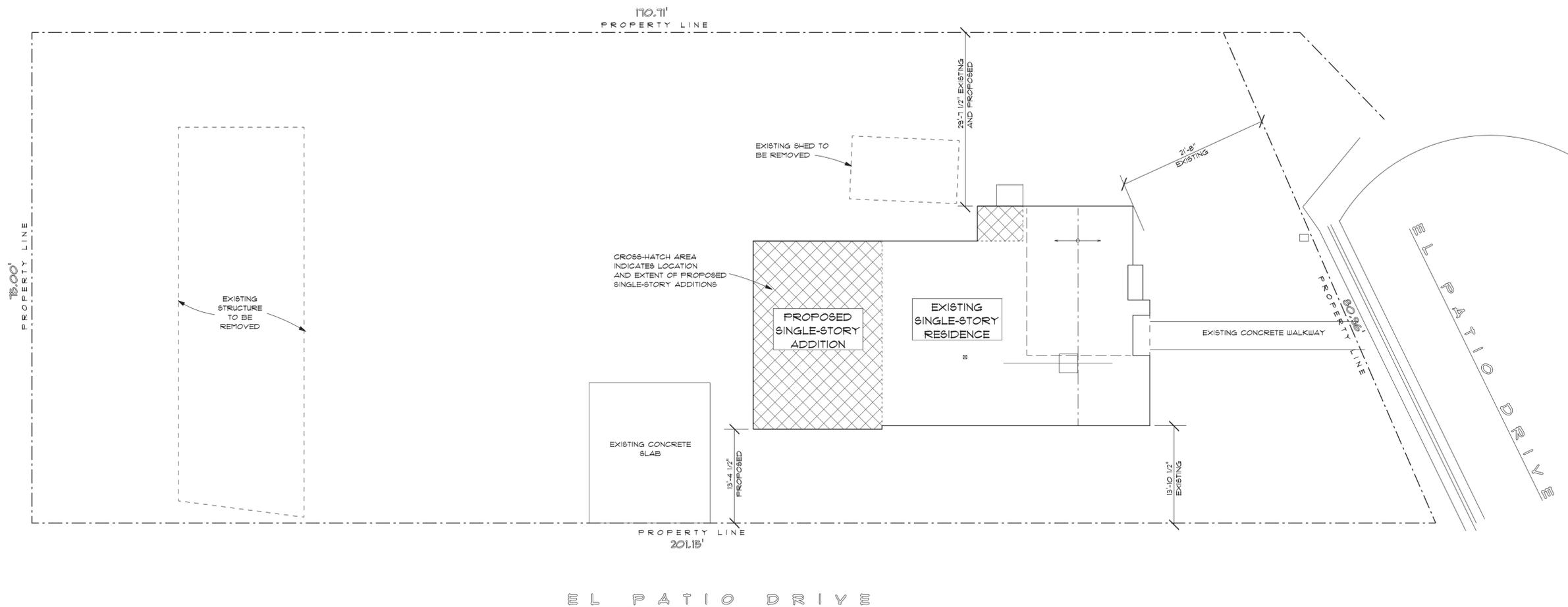
scale: 1/8" = 1'-0"

2021 - 30

July 19, 2021

Sheet

# A1.0

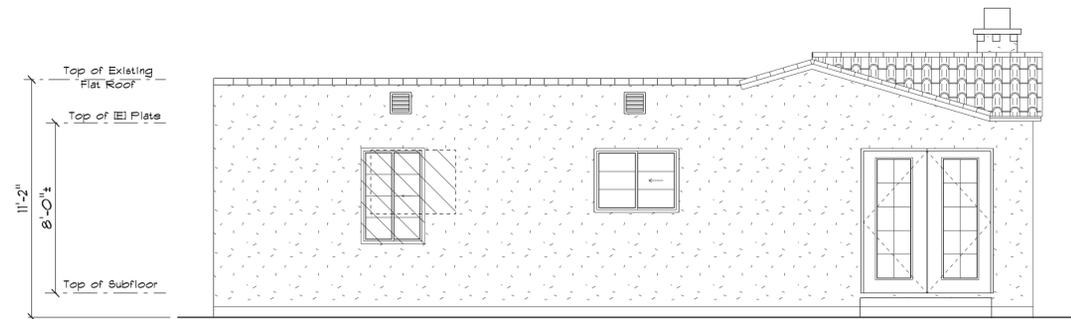


105 EL PATIO DRIVE / CAMPBELL / KEY

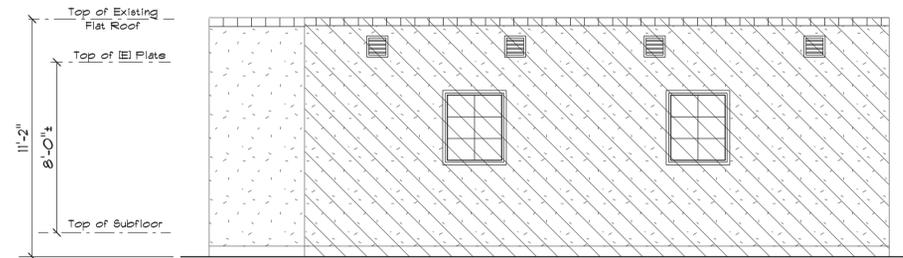




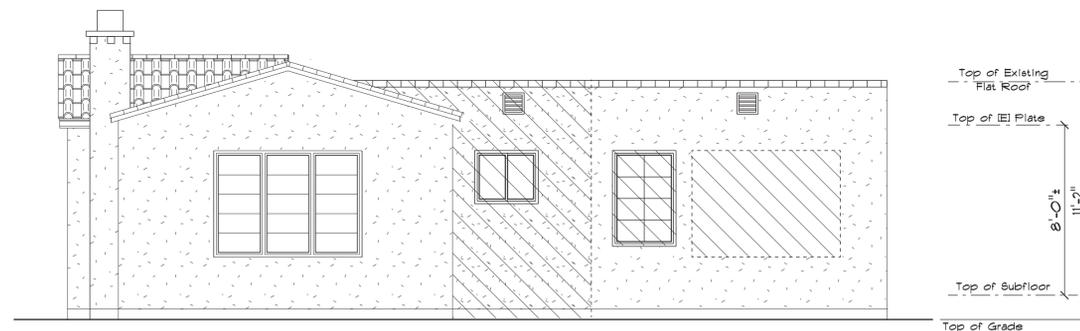
FRONT ELEVATION



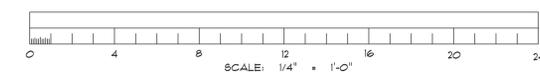
LEFT SIDE ELEVATION



REAR ELEVATION



RIGHT SIDE ELEVATION



proposed single-story addition and interior remodeling to the:

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building department stamp

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Revisions:


existing exterior elevations

scale: 1/4" = 1'-0"

2021 - 30

July 19, 2021

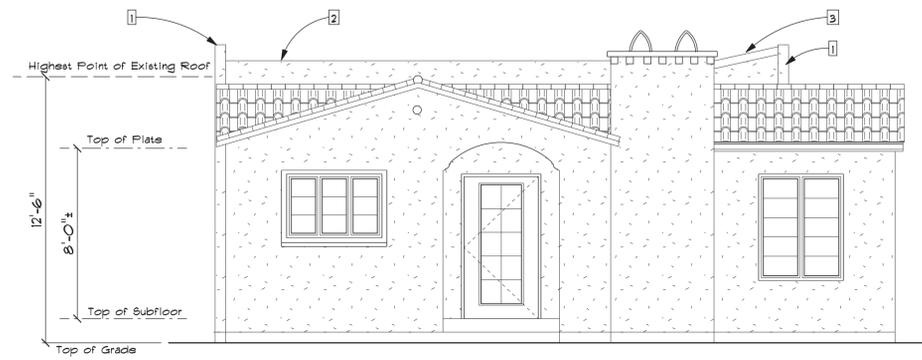
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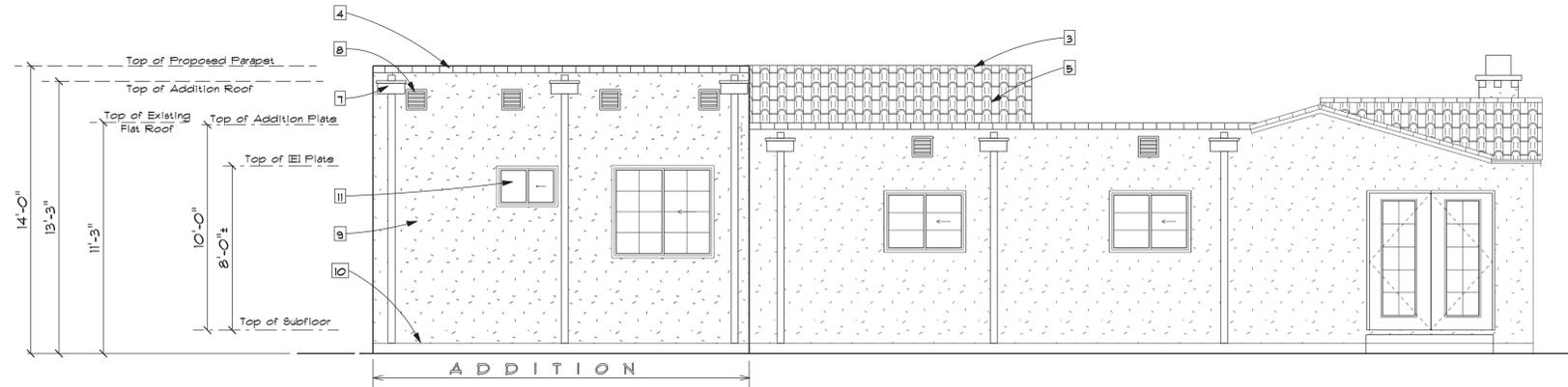
105 EL PATIO DRIVE / CAMPBELL, CA

**EXTERIOR ELEVATION NOTES:**

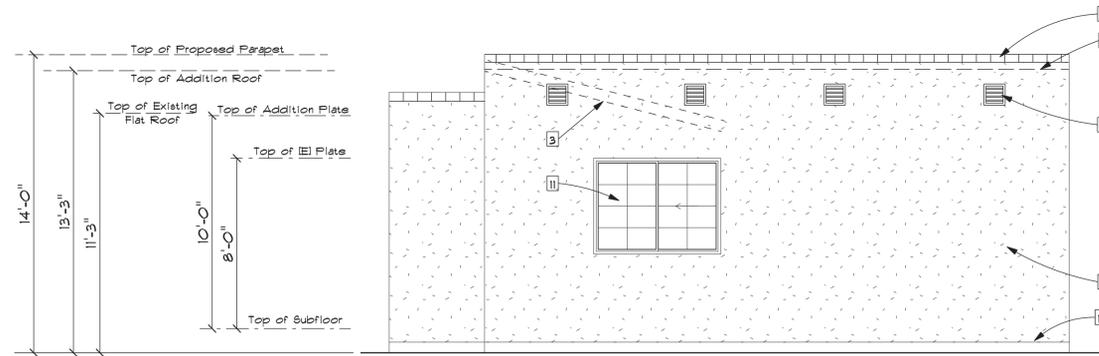
1. LINE OF PARAPET BEYOND
2. LINE OF NEW RAISED FLAT ROOF BEYOND
3. LINE OF NEW SLOPING ROOF BEYOND
4. NEW PARAPET W/ DECORATIVE TERRA COTTA BARREL TILE CAP
5. NEW SLOPED ROOF W/ TILE ROOFING. ADJUST SLOPE TO ALIGN HIGHEST POINT OF ROOF W/ TOP ADJOINING NEW PARAPET
6. 2 X PAINTED FASCIA BOARD
7. NEW COPPER SCUPPERS AND DOWNSPOUTS
8. NEW LOUVERED ATTIC VENTS W/ G.I. SCREENED BACKING
9. PAINTED STUCCO FINISH
10. STUCCO WEEP SCREED
11. NEW METAL WINDOWS W/ BLACK ANNOXIDIZED FRAMES AND GRIDS
12. NEW PAINTED WOOD FRENCH DOOR
13. LINE OF EXISTING WALL
14. LINE OF EXISTING ROOF/PARAPET



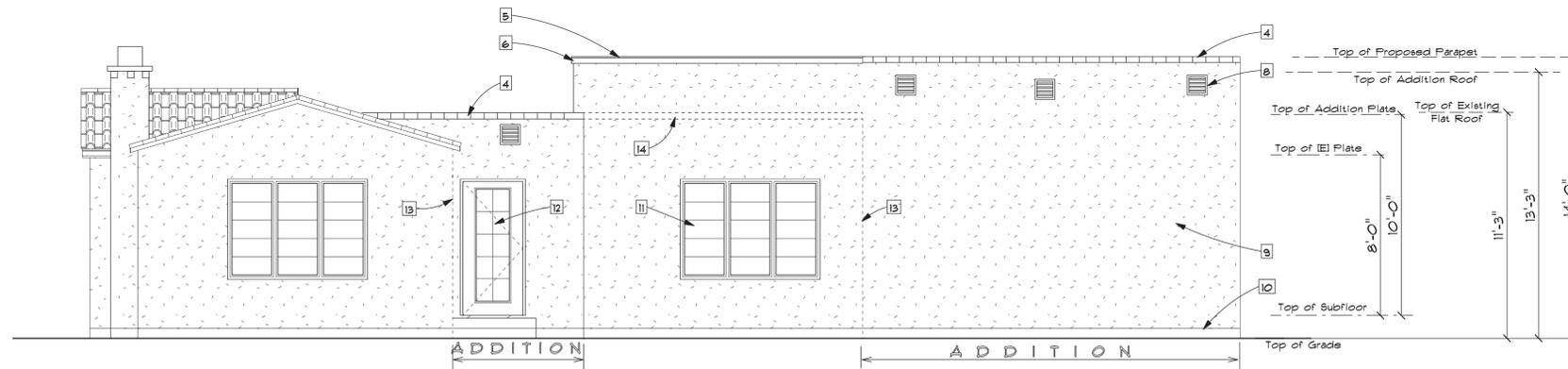
**PROPOSED FRONT ELEVATION**



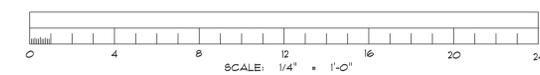
**PROPOSED LEFT SIDE ELEVATION**



**PROPOSED REAR ELEVATION**



**PROPOSED RIGHT SIDE ELEVATION**



proposed single-story addition and interior remodeling to the:

**KEY RESIDENCE**

105 El Patio Drive  
Campbell, CA 95008

A.P.N. 219 - 45 - 003

ZONING: R - 1 - 6

building department stamp

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Revisions:


proposed exterior elevations

scale: 1/4" = 1'-0"

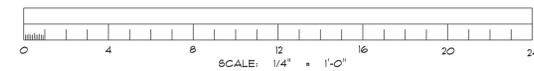
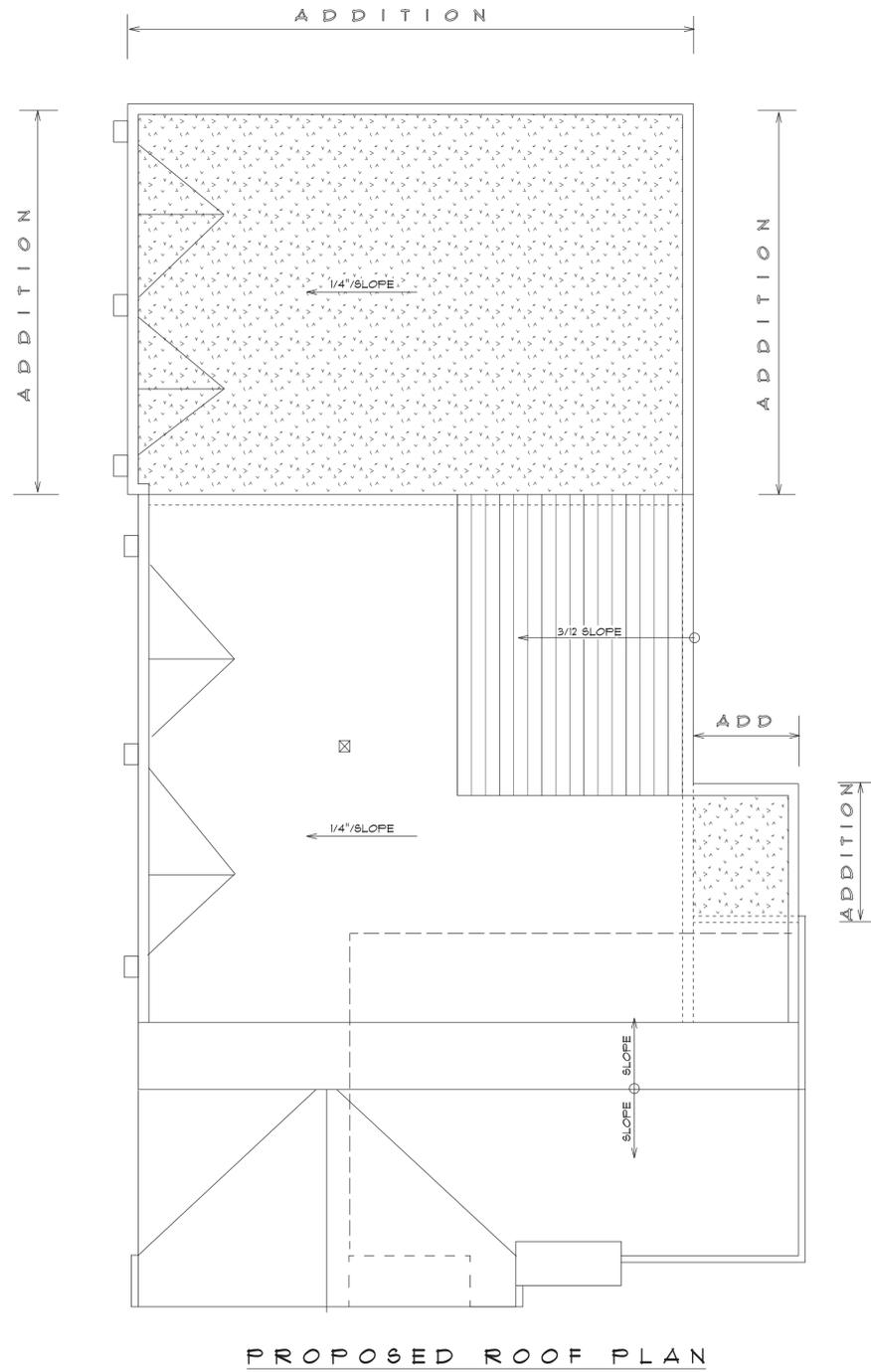
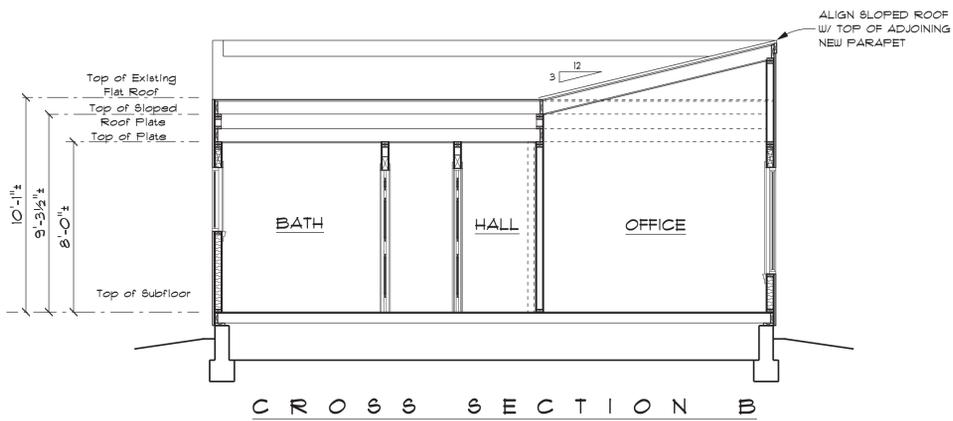
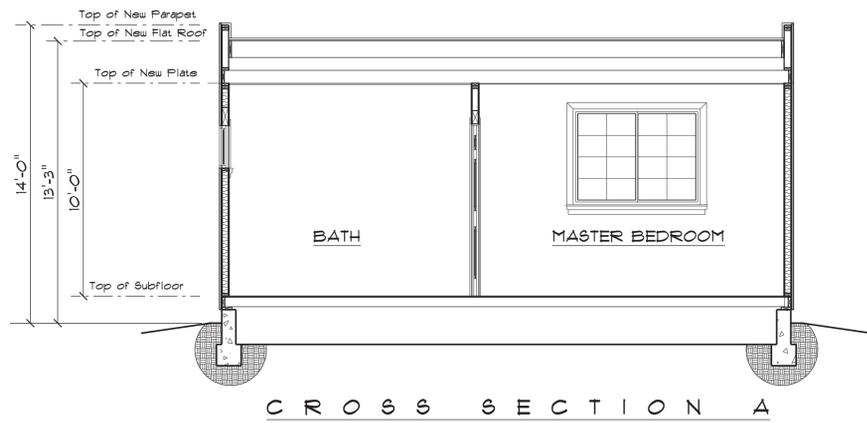
2021 - 30

July 19, 2021

Sheet

**A4.1**

105 EL PATIO DRIVE / CAMPBELL / KEY



proposed single-story addition and interior remodeling to the:

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building department stamp

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Revisions:


roof plan and cross sections

scale: 1/4" = 1'-0"

2021 - 30

July 19, 2021

Sheet

**A5.0**

105 EL PATIO DRIVE / CAMPBELL / KEY