



CITY OF CAMPBELL
Community Development Department

April 16, 2020

NOTICE OF PUBLIC HEARING
Historic Preservation Board

NOTICE IS HEREBY GIVEN that the Historic Preservation Board of the City of Campbell has set the hour of 5:00 p.m., or shortly thereafter, on **Wednesday, April 28, 2021** for a Public Hearing to consider the application of Beckstrom Architecture for a Tier 1 Historic Resource Alteration Permit (PLN-2020-116) to allow an approximately 670 square-foot rear addition and to formalize an existing unpermitted approximately 243 square-foot side enclosed patio addition, to an Alice Avenue Historic District property commonly known as the Walker and Ethel Curry Vaughn House, located at **199 Alice Avenue** in the R-1-6-H (Single-family Residential / Historic Overlay) Combining Zoning District. Staff is recommending that this project be deemed Categorically Exempt under CEQA.

This public hearing will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor.

While members of the public will not be able to attend the meeting of the Campbell City Historic Preservation Board physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>). Interested persons may submit written correspondence to planning@campbellca.gov prior to or during the public hearing. In the event that the provisions of Executive Order N-29-20 are modified or suspended before the date of the meeting so as to require physical attendance by participants, the meeting will be held in the City Council Chambers at 70 N. First Street, Campbell, California. Additional procedures will be detailed in the published meeting agenda; and any updated information will be posted to the City's website at www.campbellca.gov.

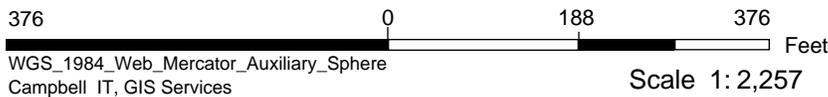
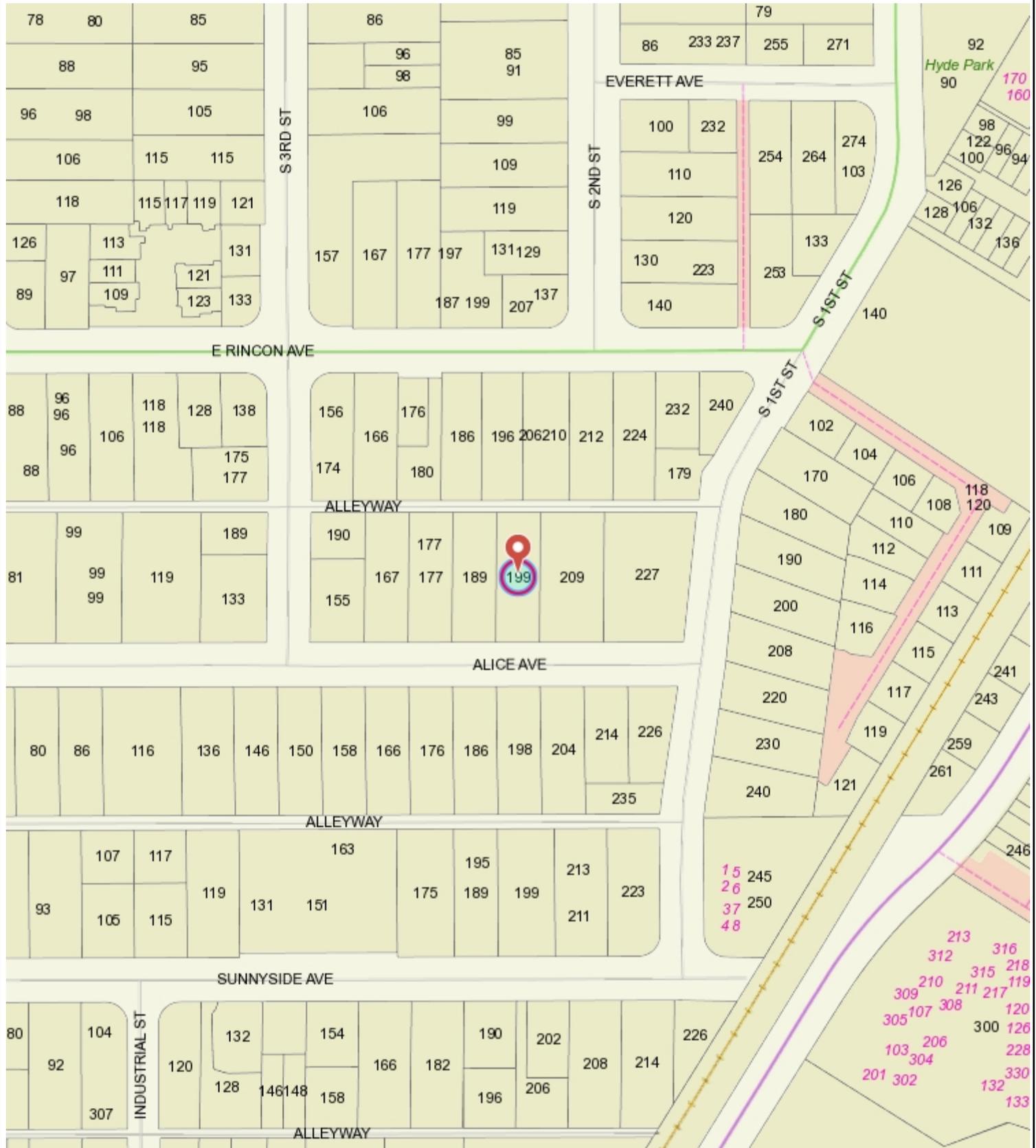
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number. For more information you can contact the Community Development Department at (408) 866-2140 or planning@campbellca.gov.

HISTORIC PRESERVATION BOARD
CITY OF CAMPBELL
DANIEL FAMA
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **199 Alice Avenue**



Location Map - 199 Alice Ave.

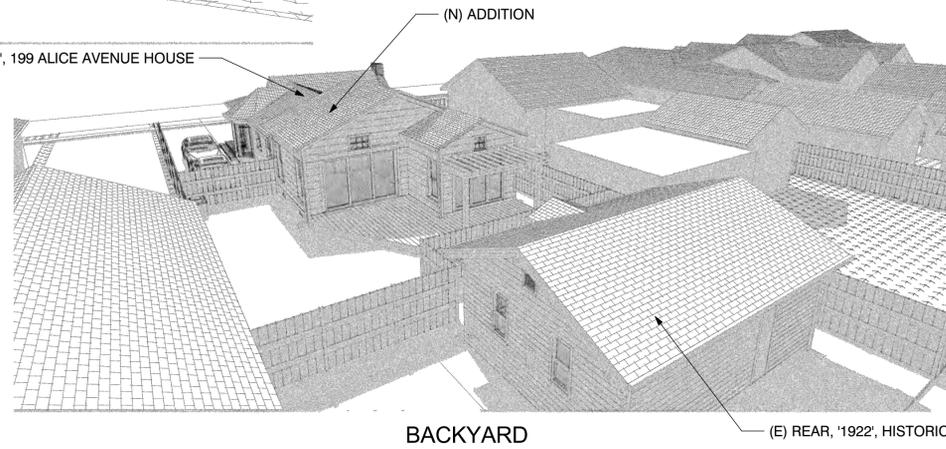
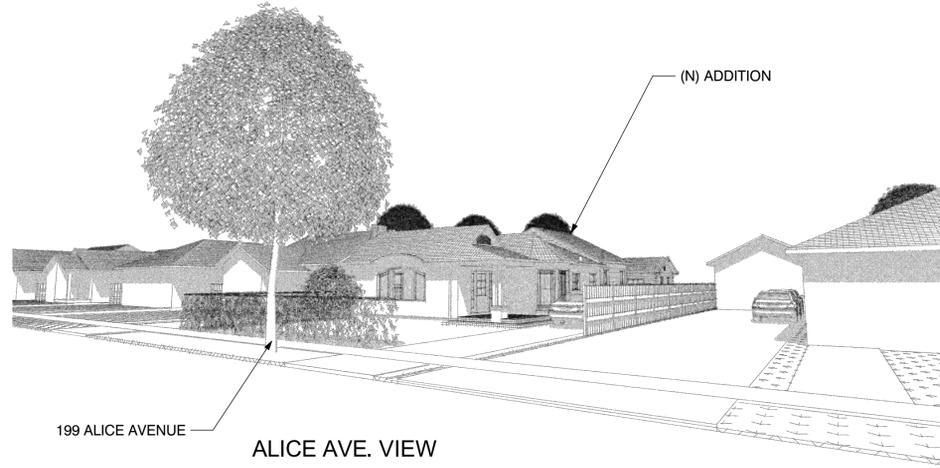


This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

ABBREVIATIONS

ARCH.	ARCHITECTURAL	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BM.	BEAM	MFGR.	MANUFACTURER
CSMT.	CASEMENT	MICRO.	MICROWAVE
CLR.	CLEAR	MTL.	METAL
CL'G.	CEILING	NAT.	NATURAL
C.J.	CEILING JOIST	(N)	NEW
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DRY.	DRYER	RIS.	RISERS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION(S)	R.R.	ROOF RAFTERS
D.W.	DISHWASHER	REV.	REVISION
DWGS.	DRAWINGS	REFR.	REFRIGERATOR
ELEV.	ELEVATION	REQD.	REQUIRED
EQ.	EQUAL	SHT.	SHEET
(E)	EXISTING	SL.	SLIDER
EXT.	EXTERIOR	SIM.	SIMILAR
F.A.U.	FORCED AIR UNIT	STL.	STEEL
FIN.	FINISH, FINISHED	STRUCT.	STRUCTURAL
FLR.	FLOOR	TEMP.	TEMPERATURE
F.J.	FLOOR JOIST	TR.	TREADS
FTG.	FOOTING	T.&G.	TONGUE & GROOVE
FRZ.	FREEZER	T.O.	TOP OF
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O	UNLESS NOTED OTHERWISE
G.D.	GARBAGE DISPOSAL	V.I.F.	VERIFY IN FIELD
GRD.	GRADE	WASH.	WASHER
GYP. BD.	GYP. BOARD	W.H.	WATER HEATER
HDR.	HEADER	WD.	WOOD
HGT.	HEIGHT		

Edwards Residence



SANTA CLARA COUNTY FIRE DEPT NOTES

FIRE SPRINKLERS NOT REQUIRED-HOUSE AREA LESS THAN 3,600 SF

CONSTRUCTION FIRE SAFETY

Section A33-47 of the Santa Clara County Code and Section 101 of the California Fire Code give the County Fire Marshal the authority to make and enforce such rules and regulations for the prevention and control of fire and fire hazards as may be necessary to carry out the intent of the Code. Copies of Santa Clara County Fire Marshal Standards and the County Fire Code Amendments can be found on the website. (REF: SCC §43347 & CFC §101.4) Construction to comply with Chapter 33 Std Detail and Specification S1.7.

The Fire Marshal's Office also has the responsibility for enforcing Title 19 of the California Code of Regulations, and portions of the California Building Code, as adopted by the County of Santa Clara. A copy of the County Fire Code is kept at the County Clerk of the Board's Office.

PREMISES ADDRESS IDENTIFICATION

The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved per code. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.3 inch (7.62 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 905.1

CONTACTS

CLIENT:	Shelby Edwards 199 Alice Avenue Campbell, CA
ARCHITECT:	Beckstrom Architecture/Planning + Consulting Inc. PO Box 1317, Los Gatos, CA 95030 650 847-8351, eric@beckstromarchitecture.com
STRUCTURAL ENGINEER:	Ele Sozhenen MS, PE 4x Engineering, Inc., 4340 Stevens Creek Blvd. Suite # 240 San Jose, CA 95129 408 642-5464
CONTRACTOR:	To be confirmed
TITLE 24/ GREENPOINT RATER:	Title 24 Data Corp Monika Taylor CEA R13-14-10017 633 Monterey Trail, POB 2199, Frazier Park, CA 93225-2199 800-237-8824; title24@frazmtn.com

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A3.2	ELEVATIONS-PROPOSED
A3.3	ELEVATIONS-PROPOSED
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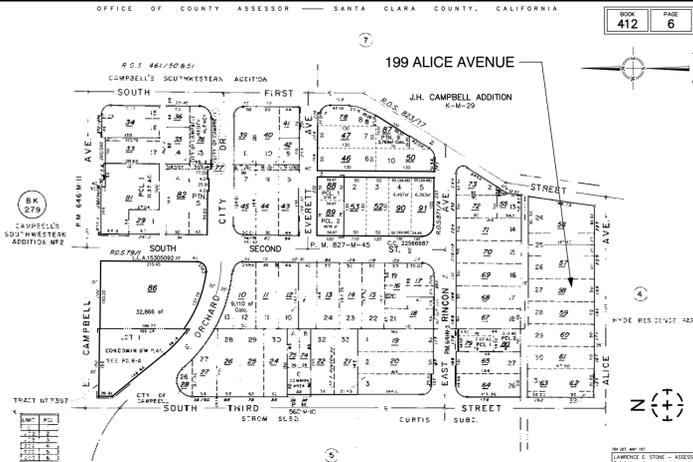
APPLICABLE CODES

- 2019 California Building Code - CCR Title 24 Part 2
- 2019 California Residential Code - CCR Title 24 Part 2.5
- 2019 California Electrical Code - CCR Title 24 Part 3
- 2019 California Mechanical Code - CCR Title 24 Part 4
- 2019 California Plumbing Code - CCR Title 24 Part 5
- 2019 California Building Energy Efficiency Standards - CCR Title 24 Part 6
- 2019 California Historical Building Code - CCR Title 24 Part 9
- 2019 California Existing Building Code - CCR Title 24 Part 10
- 2019 California Green Building Standards Code - CCR Title 24 Part 11
- 2019 International Existing Building Code, Appendix Chapters A2 and A5

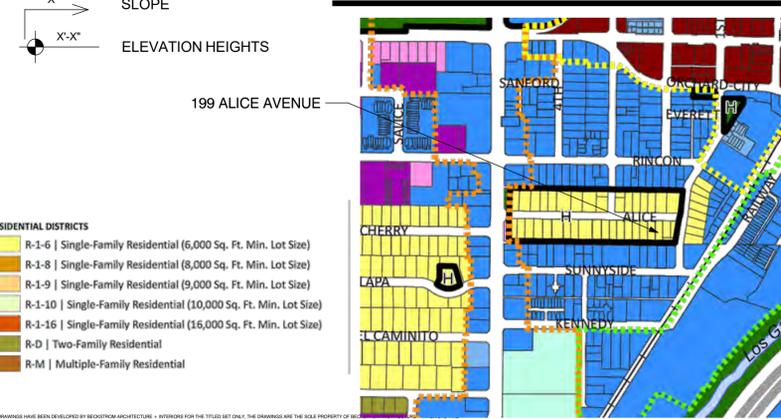
LEGEND

- # DOOR
- # WINDOW
- X Detail #
- A-XX Sheet #
- A-XX X INTERIOR ELEVATIONS
- X Sect. #
- A-XX Sheet #
- X Sect. #
- A-XX Sheet #
- X-X' (UNLESS NOTED OTHERWISE)
- X SLOPE
- X-X' ELEVATION HEIGHTS

ASSESSOR MAP



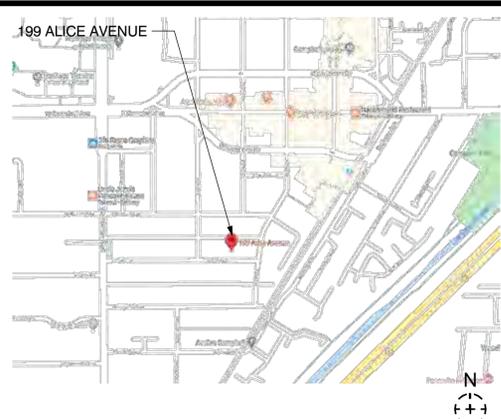
ZONING MAP



GIS MAP



VICINITY MAP



PROJECT DATA & DESCRIPTION

Assessor's Parcel Number (APN):	412-06-058
ZONING:	R1-6
LOT SIZE (GROSS):	.159 ACRE 6,969 SF
CONSTRUCTION TYPE:	TYPE V
OCCUPANCY GROUP:	R3 - SINGLE FAMILY DWELLING / 1-STORIES, DETACHED EXISTING ADU ON ALLEY

PROJECT DESCRIPTION

EXISTING PRE-ZONING LOT; IN 1922 THE REAR HOUSE/OUTBUILDING WAS BUILT FIRST FOR LIVING. 5 YEARS LATER, IN 1927 THE LOT WAS SOLD AND THE FRONT HOUSE WAS BUILT. A NEW ADDITION IS PROPOSED AT THE BACK WITH A MASTER SUITE AND FAMILY RM, THE EXISTING KITCHEN WILL BE RENOVATED, THE ONLY CHANGE ON THE EXISTING HOUSE IS THE REMOVAL OF (2) VINYL WINDOWS IN AN (E) WINDOW OPENING; INSTALLATION OF MATCHING WINDOW SASH IN THIS OPENING.

LANDSCAPING REMAINS AS IS WITH EXISTING VEGETATION AND SHEET FLOW. THE LOT IS FLAT.

PROJECT SUMMARY TABLE

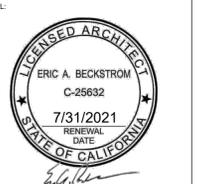
LOT AREA	6,969 SF
EXISTING HOUSE	1,173 SF
NEW ADDITION	672 SF
HOUSE TOTAL	1,845 SF
EXISTING ADU	480 SF
HOUSE & ADU TOTAL	2,325 SF
FAR	
EXISTING HOUSE & ADU	1,845 SF
	26.47%
EXISTING HOUSE & ADU & ADDITIONS	2,325 SF
PROPOSED	33.36%
MAX. LOT COVERAGE ALLOWED	40.00%
MAX. FLOOR AREA ALLOWED	45.00%
EXISTING PORCH	82 SF
PAVING COVERAGE	
EXISTING DRIVEWAY	688 SF
EXISTING HEIGHT	APPROX. 16'

REVISIONS	BY
3/18/2021	EB

BECKSTROM
ARCHITECTURE + INTERIORS
650.847.8351
P.O. BOX 1317, LOS GATOS, CA 95030
eric@beckstromarchitecture.com
www.beckstromarchitecture.com

An Addition and Remodeling of the
Edwards Residence
199 Alice Avenue
Campbell, CA 95008-2903
(APN): 412-06-058

**PLANNING PERMIT
SUBMISSION
UPDATE**



DRAWING TITLE:	COVER SHEET
DRAWN:	EB
DATE:	3/18/2021
SCALE:	1" = 1'-0", 1:1.89, 1:1.74
JOB NO.:	6
FILENAME:	2028 Edwards CD2.13.pln
SHEET:	A0.0

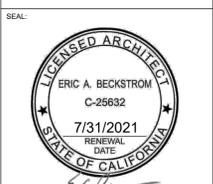
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SUBMISSION
UPDATE**



DRAWING TITLE:	BLUE PRINT FOR A CLEAN BAY
DRAWN:	EB
DATE:	3/18/2021
SCALE:	1:1.16
JOB NO.:	6
FILENAME:	2028 Edwards CD2.13.pln
SHEET:	A0.1

Blueprint for a Clean Bay

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

FRESH CONCRETE AND MORTAR APPLICATION

BEST MANAGEMENT PRACTICES FOR:

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

GENERAL BUSINESS PRACTICES

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

DURING CONSTRUCTION

- Don't mix up more fresh concrete or cement than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

LANDSCAPING, GARDENING, AND POOL MAINTENANCE

BEST MANAGEMENT PRACTICES FOR THE:

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

GENERAL BUSINESS PRACTICES

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

POOL/FOUNTAIN/SPA MAINTENANCE

- Never discharge pool or spa water to a street or storm drain.
- OR
- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.
- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.
- Do not use copper-based algicides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

LANDSCAPING/GARDEN MAINTENANCE

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.
- Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.
- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algicides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

HEAVY EQUIPMENT OPERATION

BEST MANAGEMENT PRACTICES FOR THE:

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES

BEST MANAGEMENT PRACTICES FOR THE:

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

PAINTING CLEANUP

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.
- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

WHAT CAN YOU DO?

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

PAINT REMOVAL

- Chemical paint stripping residue is a hazardous waste.
- Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.
- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop and vacuum) building cleaning water and dispose to the sanitary sewer.

STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

EARTH MOVING ACTIVITIES

BEST MANAGEMENT PRACTICES FOR THE:

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

DURING CONSTRUCTION

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

GENERAL BUSINESS PRACTICES

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

DETECTING CONTAMINATED SOIL OR GROUNDWATER

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

WATCH FOR ANY OF THESE CONDITIONS:

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Barred barrels, debris, or trash

STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

ROADWORK AND PAVING

BEST MANAGEMENT PRACTICES FOR THE:

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of: grading equipment, paving machines, dump trucks, concrete mixers
- Construction inspectors
- General contractors
- Developers

WHAT CAN YOU DO?

- Develop and implement erosion/sediment control plans for embankments.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.

GENERAL BUSINESS PRACTICES

- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible.

DURING CONSTRUCTION

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

ASPHALT/CONCRETE REMOVAL

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking old pavement, be sure to remove all chunks and pieces.
- Make sure broken pavement does not come in contact with rainfall or runoff.
- Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.
- Never hose down streets to clean up tracked dirt.

STORM DRAIN POLLUTION FROM ROADWORK

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.

GENERAL CONSTRUCTION AND SITE SUPERVISION

BEST MANAGEMENT PRACTICES FOR THE:

- Construction industry

WHAT CAN YOU DO?

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
- Keep materials out of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.
- Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.
- Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
- Make sure portable toilets are in good working order. Check frequently for leaks.

MATERIALS/WASTE/HANDLING

- Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay). Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION

In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or baylands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.

Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.

Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

Spill Response Agencies

- Dial 911
- Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710.
- Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours).

Local Pollution Control Agencies

Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195

Santa Clara Valley Water District (408) 927-0710

San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300

Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga

Sunnyvale Water Pollution Control Plant (408) 730-7270

Palo Alto Regional Water Quality Control Plant (415) 329-2598

Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford

ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL

A. Criminal Penalties. Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.

B. Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.

C. Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.

D. Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.

PLAN FOR THE IMPROVEMENT OF
BLUEPRINT FOR A CLEAN BAY
ENCROACHMENT PERMIT NO.

SCALE:
N.T.S.

SHEET:
OF

J:\Land\2028\Title Sheets\Blueprint for a clean bay

NOTES

- ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION, TYP.
- SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.
- EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- INTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.
- SHOWER WALLS TO HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT AT A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2.
- 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH/SHOWER ENCLOSURES, TYP.
- PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING/ SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.
- TERMINAL INSULATION:
R-15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS
R-19 or R-30 FACTOR THERMAL (FOAM) INSULATION TYPICAL AT ROOFS.
R-13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION
- EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT. MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.
1/2" THK. GYP. BD. LEVEL 4 FOR ALL INTERIOR WALLS, U.O.N.
- ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%, PER CRC 602.6.1.
- ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" FROM THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER CRC 602.6.2.
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLEBOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.
- AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.
- ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SCAQMD RULE 1168 VOC LIMITS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY.
- ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN 4.504.3.
- UNLESS MORE STRINGENT LOCAL LIMITS APPLY, AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522 (a)(2) AND (d)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
- HARDWOOD PLYWOOD, PARTICLEBOARD AND MFC COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OF OR FORMALDEHYDE AS SPECIFIED IN ARP'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).
- WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
A) A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED
B) OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY
C) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
- WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.
- DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.

DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH THE PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
- ALL REMOVED BUILDING MATERIALS, APPLIANCES, AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER PRIOR TO DEMOLITION WHAT IS TO BE REMOVED WITH CARE, SALVAGED, AND STORED AT A LOCATION DESCRIBED BY THE OWNER.
- DEMOLITION CONTRACTOR TO REDIRECT / RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND SPRINKLER LINES WHICH ARE DISTURBED BY DEMOLITION. CAP ALL ABANDONED LINES.
- CONTRACTOR IS TO BE FAMILIAR WITH DEMOLITION AND FIELD VERIFY ALL DEMOLITION PRIOR TO BEGINNING WORK. REPORT ANY DISCREPANCIES TO ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SELECTIVE DEMOLITION AS REQUIRED FOR IMPROVEMENTS PROPOSED, RENOVATIONS, AND ALTERATIONS TO (E) GARAGE AND (E) RESIDENCE.
- OWNER AND ARCHITECT TO WALK JOB WITH CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% (BY WEIGHT) OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN 4.408.2.
- SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN:
A) IDENTIFYING THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE
B) SPECIFYING IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE OR BULK MIXED
C) IDENTIFYING DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN
D) IDENTIFYING CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED
E) SPECIFYING THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BY BOTH
- DOCUMENTATION WILL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.
- *A PLAN MUST BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.

***CALGREEN RESIDENTIAL MANDATORY MEASURES**

DRAINAGE NOTES

EXISTING SITE DRAINS ONTO THE EXISTING FLAT VEGETATED LAWN WHICH SURROUNDS THE EXISTING HOUSE. ENTIRE LOT HAS MAX. VERTICAL CHANGE OF LESS THAN 1%.

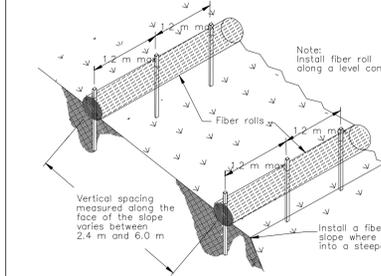
PER LID SITE DESIGN MEASURES:
EXISTING ROOF DRAINAGE TO DISCHARGE ACROSS SPLASH BLOCKS AND INTO EXISTING LANDSCAPED AND VEGETATED AREAS
EXISTING CONCRETE DRIVEWAY DRAINS TO LANDSCAPED AND VEGETATED AREAS ALONG THE SIDE OF THE DRIVEWAY

PROJECT SUMMARY TABLE

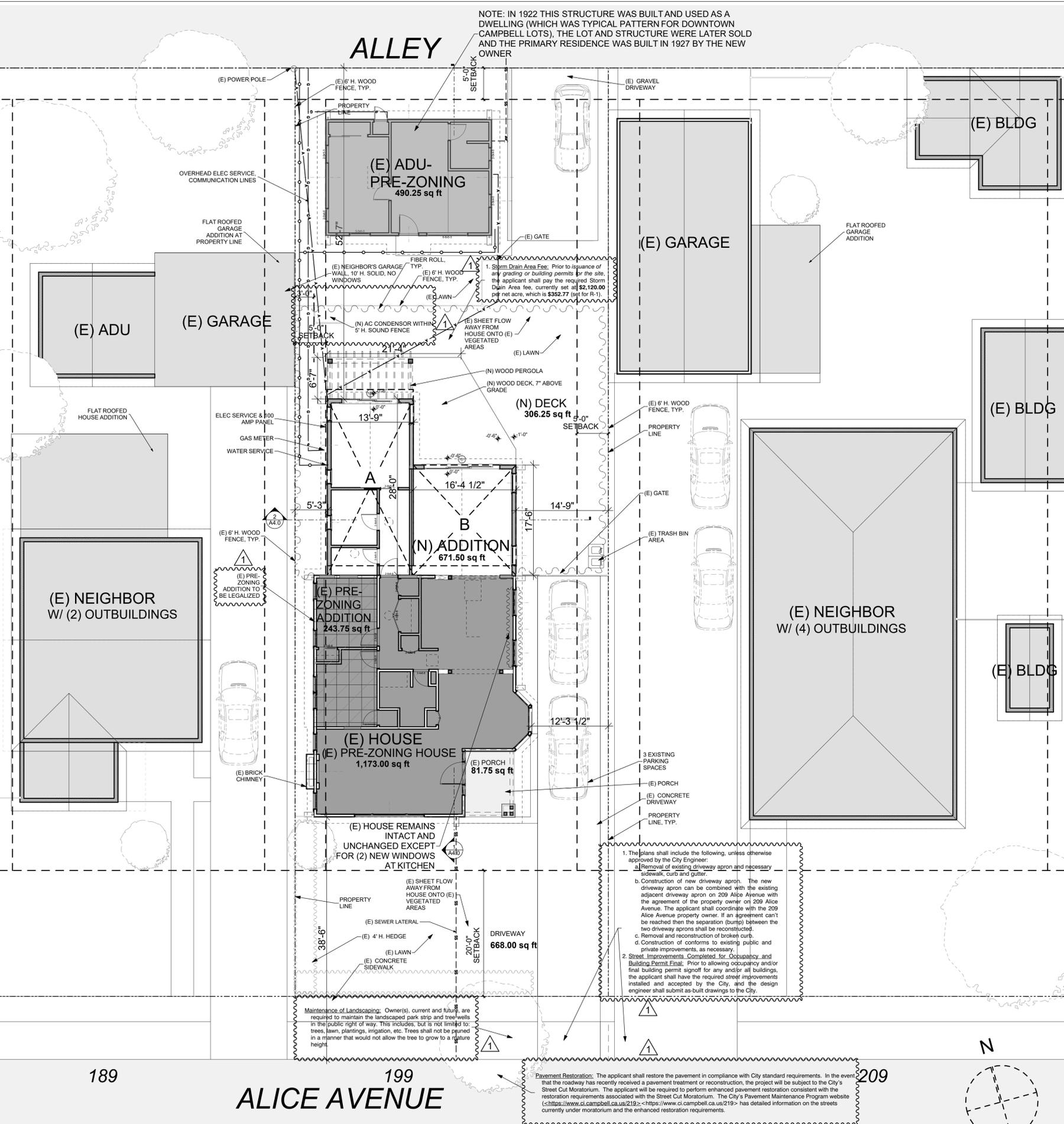
LOT AREA	6,969 SF
EXISTING HOUSE	1,173 SF
NEW ADDITION	672 SF
HOUSE TOTAL	1,845 SF
EXISTING ADU	480 SF
HOUSE & ADU TOTAL	2,325 SF
FAR	
EXISTING HOUSE & ADU	1,845 SF
	26.47%
EXISTING HOUSE & ADU & ADDITIONS	2,325 SF
PROPOSED	33.36%
MAX. LOT COVERAGE ALLOWED	40.00%
MAX. FLOOR AREA ALLOWED	45.00%
EXISTING PORCH	82 SF
PAVING COVERAGE	
EXISTING DRIVEWAY	668 SF
EXISTING HEIGHT	APPROX. 16'

AREA TABLE (BOX-OUT)

FLOOR AREA	SECTION	WIDTH	HEIGHT	AREA (SF)
	A	13.75	28.00	385.00
	B	16.40	17.50	287.00
	TOTAL FLOOR AREA			672.00



SPLASH BLOCK, TYP.



FIRST FLOOR-SITE PLAN

SCALE: 1/8" = 1'-0"

NOTE: IN 1922 THIS STRUCTURE WAS BUILT AND USED AS A DWELLING (WHICH WAS TYPICAL PATTERN FOR DOWNTOWN CAMPBELL LOTS), THE LOT AND STRUCTURE WERE LATER SOLD AND THE PRIMARY RESIDENCE WAS BUILT IN 1927 BY THE NEW OWNER

REVISIONS

3/18/2021	EB
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BECKSTROM
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650.847.8351

**An Addition and Remodeling of the
Edwards Residence**
199 Alice Avenue
Campbell, CA 95008-2903
(APN): 412-06-058

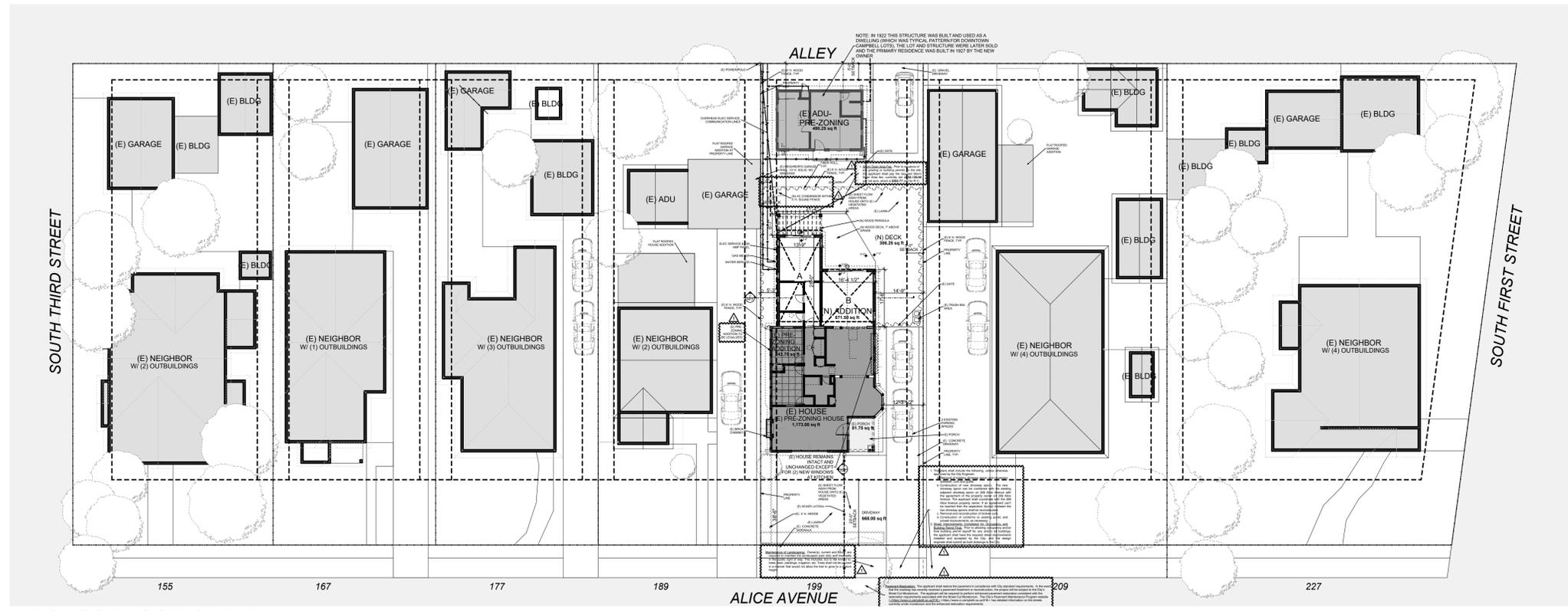
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SEAL:

DRAWING TITLE: **SITE PLAN-PROPOSED**

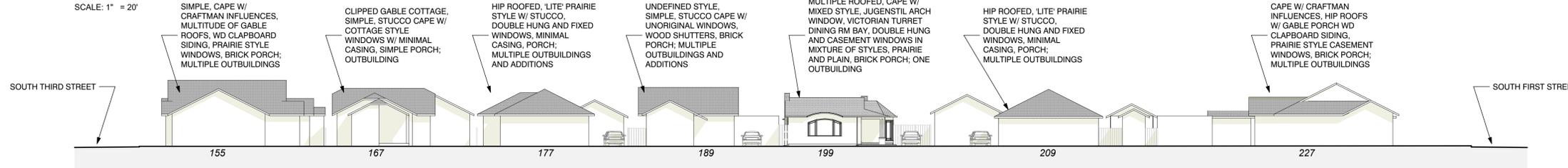
DRAWN: EB
DATE: 3/18/2021
1/8" = 1'-0", 1:1.83, 1:2.83, 1" = 1'-0"

JOB NO: 6
FILENAME: 2028 Edwards CD2.13.pln
SHEET: **A1.0**



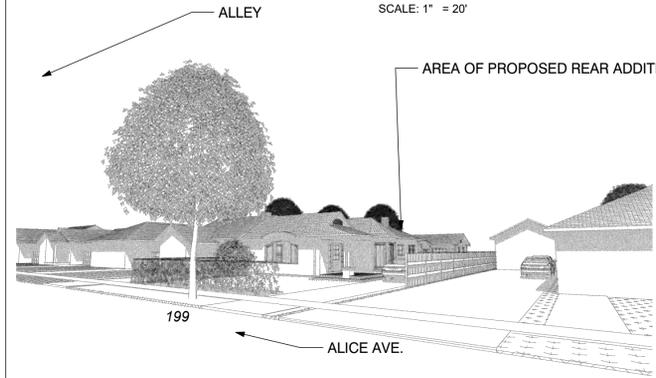
NEIGHBORHOOD-SITE PLAN

SCALE: 1" = 20'

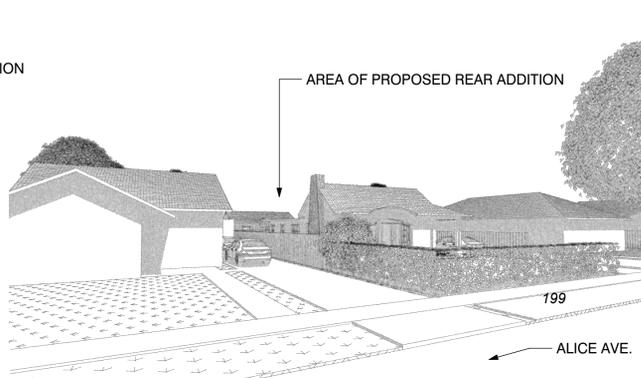


SOUTH 2-ALICE AVE. STREET ELEVATION

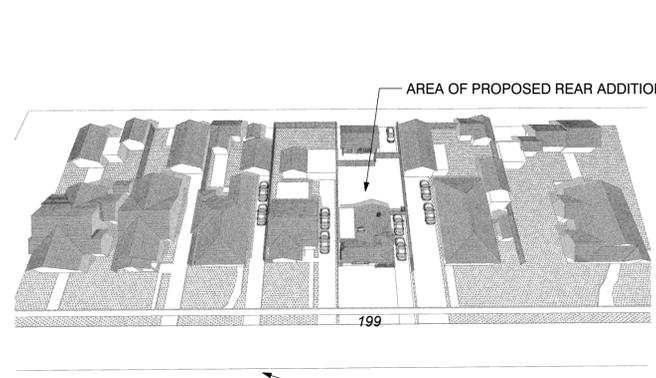
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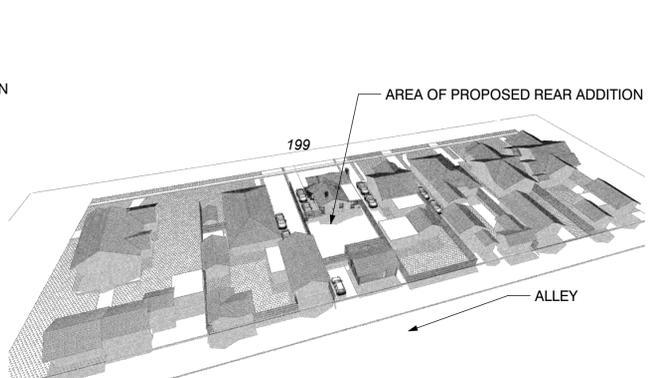
EXISTING - VIEW FROM SOUTHEAST



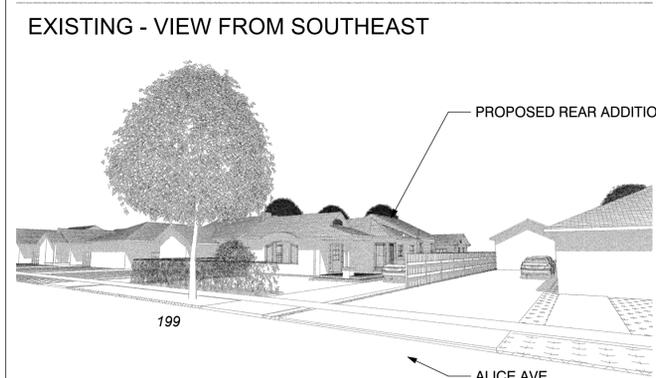
EXISTING - VIEW FROM SOUTHWEST



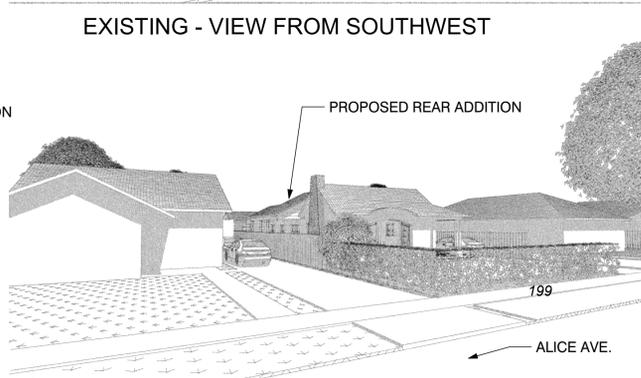
EXISTING - VIEW FROM SOUTH ABOVE



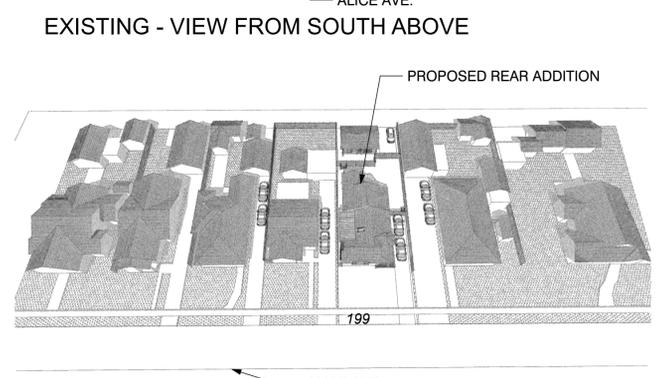
EXISTING - VIEW FROM NORTH ABOVE



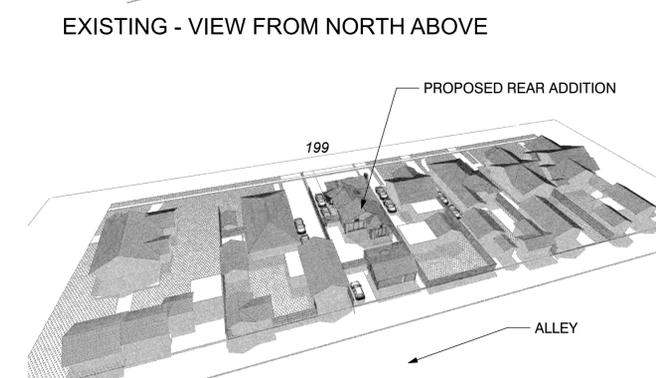
PROPOSED - VIEW FROM SOUTHEAST



PROPOSED - VIEW FROM SOUTHWEST



PROPOSED - VIEW FROM SOUTH ABOVE



PROPOSED - VIEW FROM NORTH ABOVE

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3/18/2021	EB

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 eric@beckstromarchitecture.com
 www.beckstromarchitecture.com

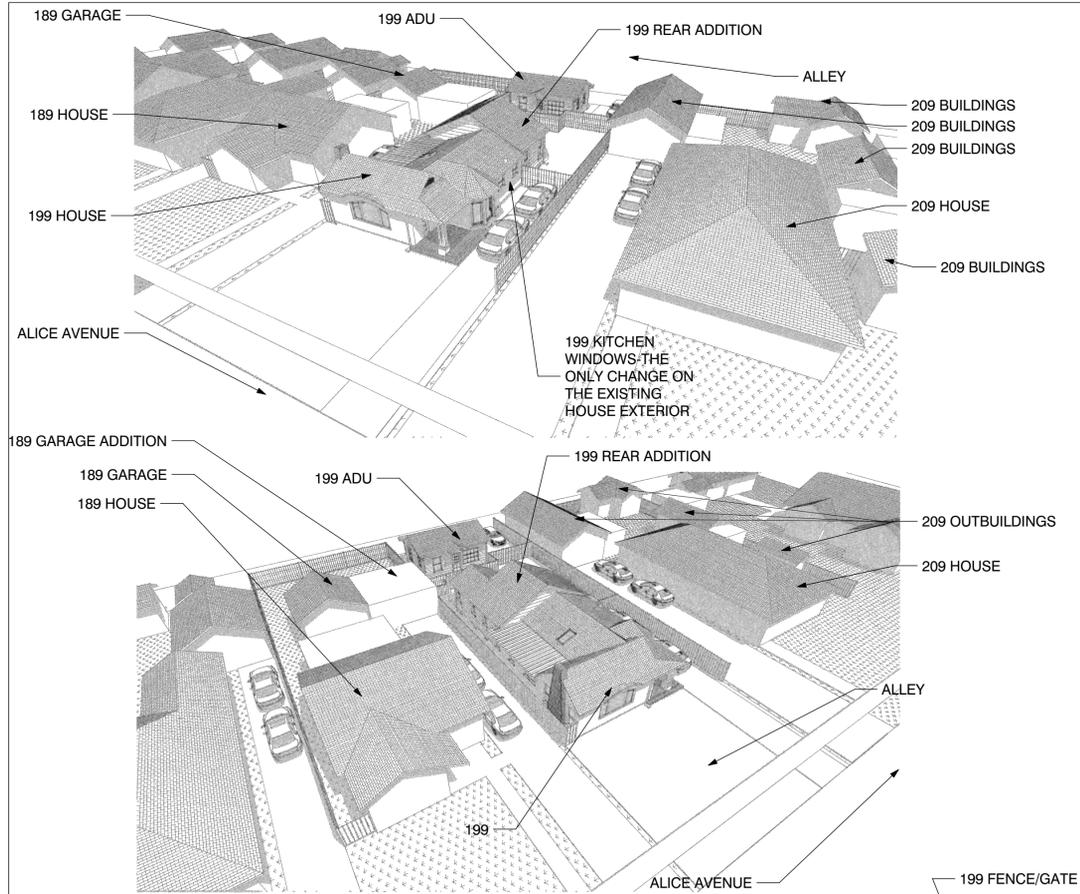
An Addition and Remodeling of the
Edwards Residence
 199 Alice Avenue
 Campbell, CA 95008-2903
 (APN): 412-06-058

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DRAWING TITLE:	SITE PLAN- NEIGHBORHOOD-1
DRAWN:	EB
DATE:	3/18/2021
SCALE:	1" = 20'
JOB NO.:	6
FILENAME:	2028 Edwards CD2.13.pln
SHEET:	A1.1

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VIEW 1 189 HOUSE 199 209 HOUSE



VIEW 3-189 ON THE LEFT



VIEW 5-LOOKING WEST



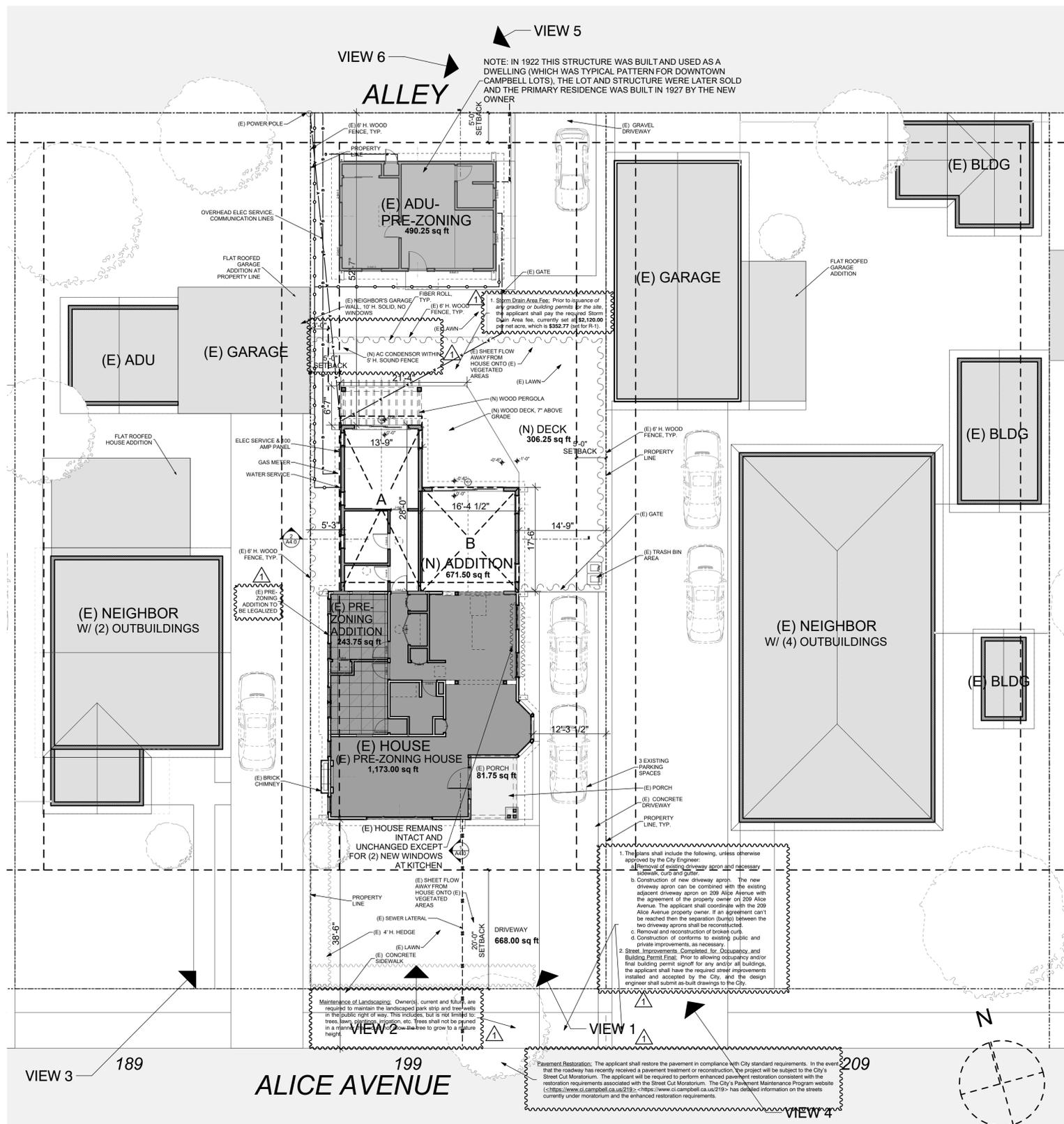
VIEW 2 199 KITCHEN WINDOWS 209 HOUSE



VIEW 4-209 ON THE RIGHT

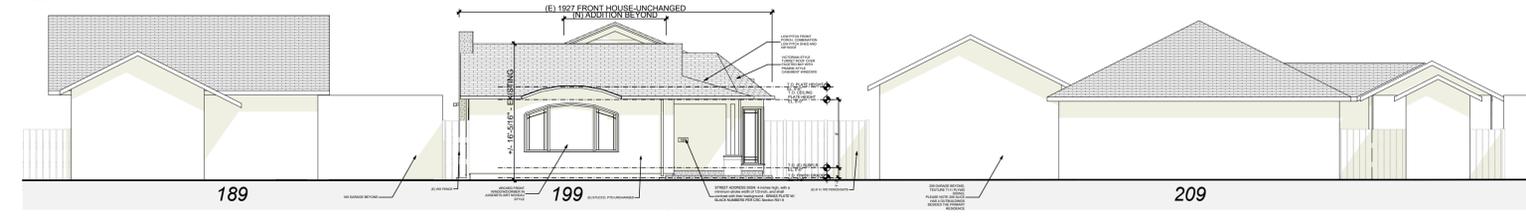


VIEW 6-LOOKING EAST



NEIGHBORHOOD-SITE PLAN

SCALE: 1" = 10'



SOUTH-ALICE AVE. ELEVATION

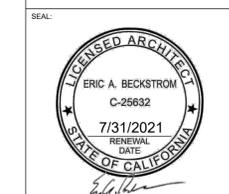
SCALE: 1" = 10'

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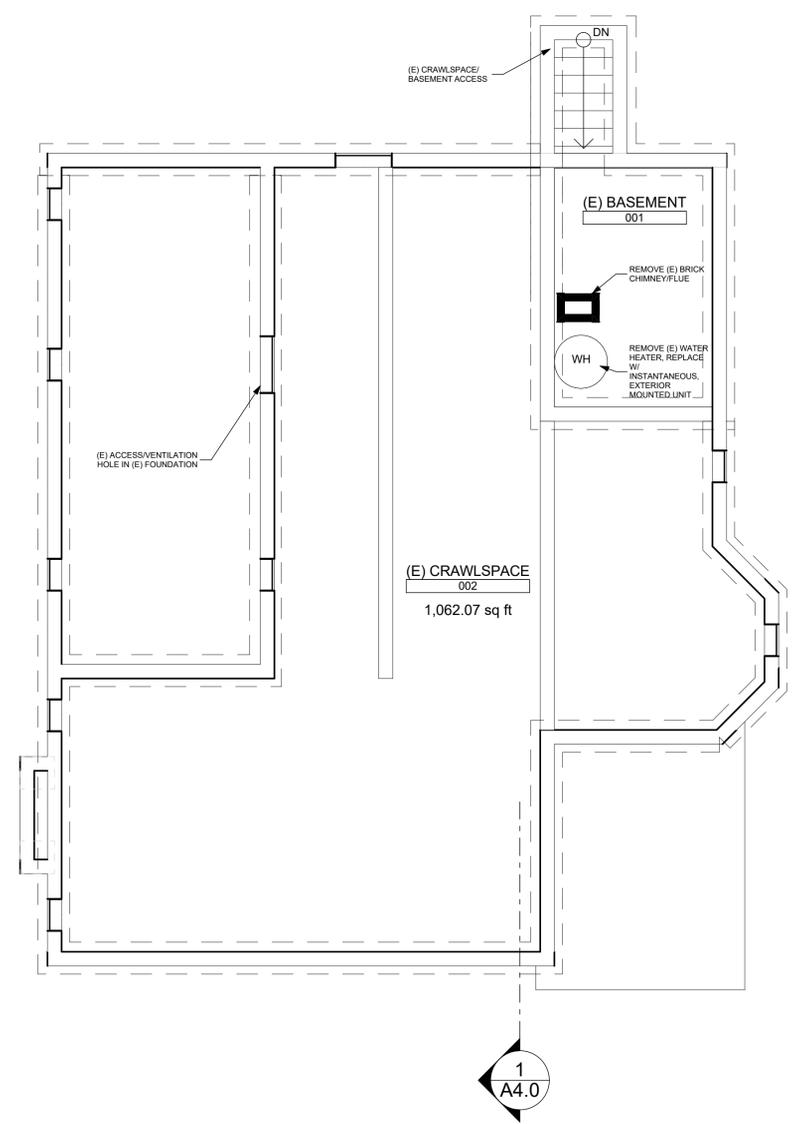
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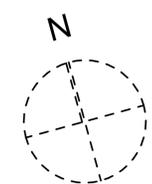
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SITE PLAN-
NEIGHBORHOOD-2
DRAWN: EB
DATE: 3/18/2021
SCALE: 1" = 10'
JOB NO.: 6
FILENAME:
2028 Edwards CD2.13.pln
SHEET

A1.2

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CRAWLSPACE
SCALE: 1/4" = 1'-0"



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▲ 3/18/2021	EB

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DRAWING TITLE:
**CRAWLSPACE PLAN-
EXISTING**

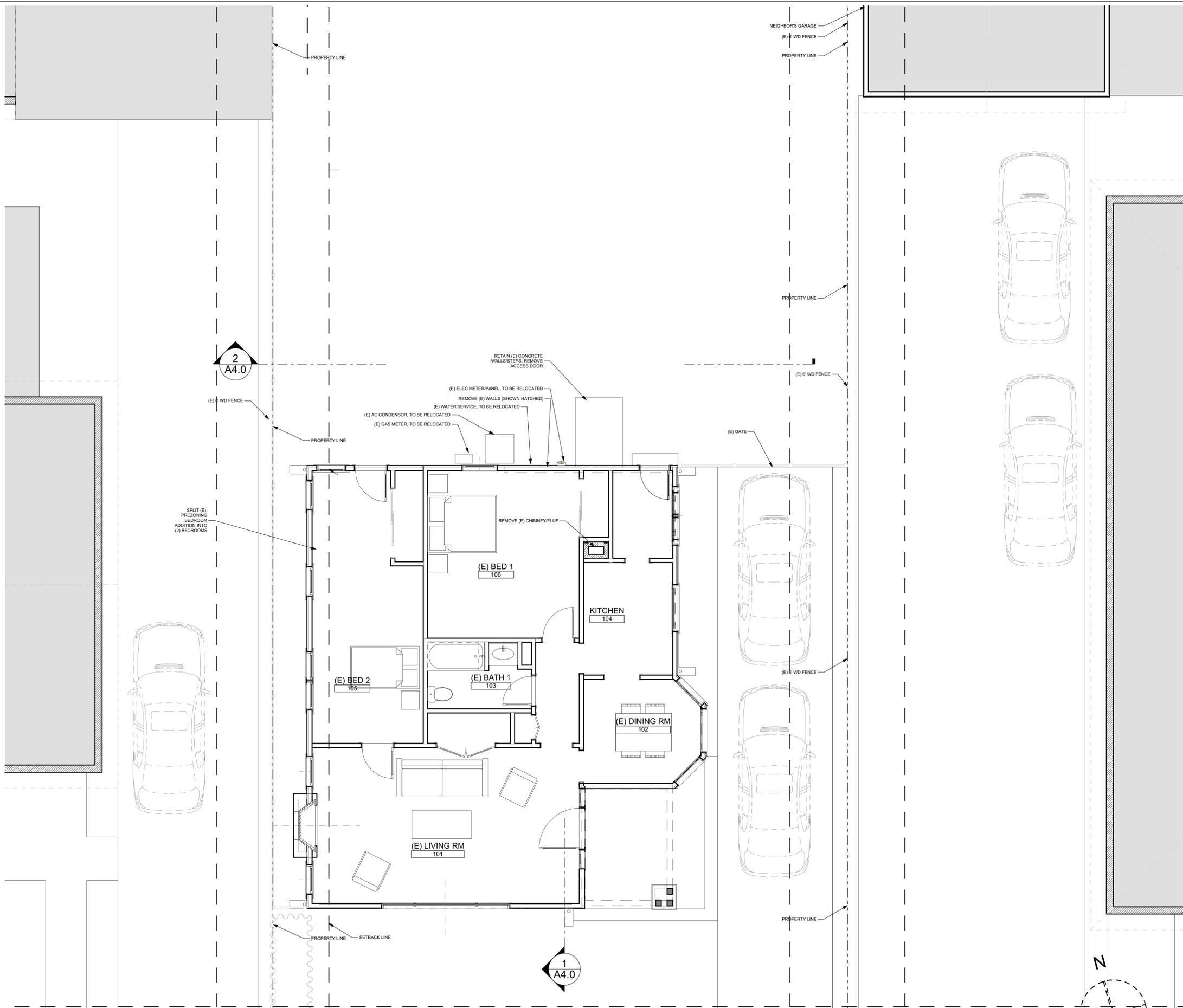
DRAWN	EB
DATE	3/18/2021
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	2028 Edwards CD2.13.pln

SHEET
A2.0E

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3. SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.
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5. INTERIOR WALLS TO BE 2X4 STUD, U.O.N.
6. PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.
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9. PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING/ SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.
10. THERMAL INSULATION:
R-21 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X6 WALLS
R-38 FACTOR THERMAL INSULATION TYPICAL AT ROOFS.
R-19 FACTOR THERMAL INSULATION TYPICAL AT FLOORS ABOVE CRAWSPACES
R-13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION.
11. EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT. MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.
12. 5/8" THK. GYP. BD. LEVEL 4, OLDE WORLD, FOR ALL INTERIOR WALLS, U.O.N., TO BE INSTALLED ON THE WALL/CEILING OF ENCLOSED SPACES UNDER STAIRS, TYP.
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15. ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.
16. AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.
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18. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.
19. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522 (c)(2) AND (g)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49. HARDWOOD PLYWOOD, PARTICLEBOARD AND MDF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OF FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).
20. WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS (MIN. R-5 RIGID INSULATION FOR RADIANT SLABS) ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
A) A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED
B) OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY
C) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL
21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
22. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
23. WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.
24. DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.
25. * 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES



FLOOR PLAN
SCALE: 1/4" = 1'-0"

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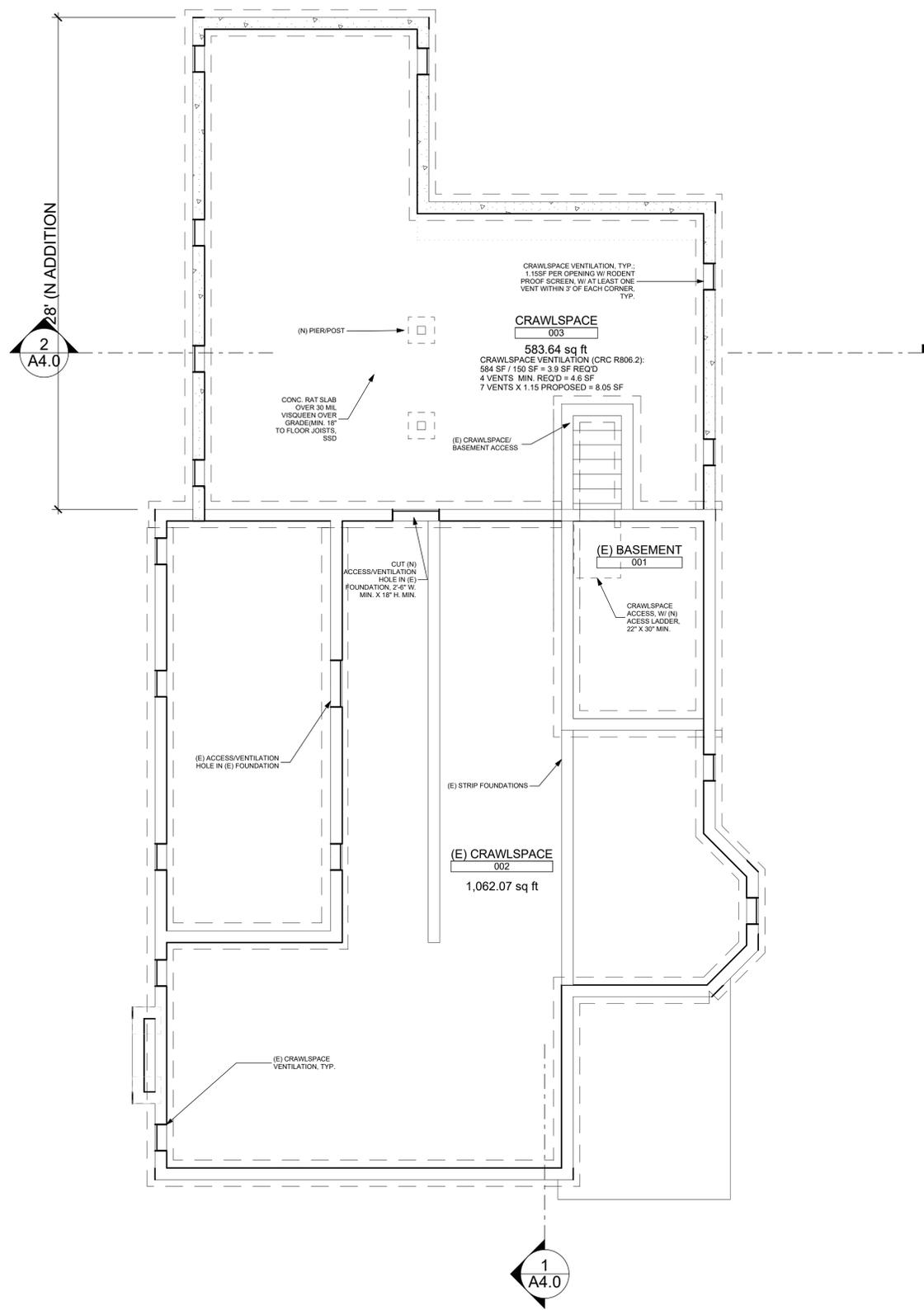


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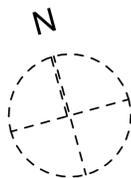
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CRAWLSPACE
SCALE: 1/4" = 1'-0"



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**CRAWLSPACE PLAN-
PROPOSED**

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JOB NO.	6
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DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH THE PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
- ALL REMOVED BUILDING MATERIALS, APPLIANCES, AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER PRIOR TO DEMOLITION WHAT IS TO BE REMOVED WITH CARE, SALVAGED, AND STORED AT A LOCATION DESCRIBED BY THE OWNER.
- DEMOLITION CONTRACTOR TO REDIRECT / RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND SPRINKLER LINES WHICH ARE DISTURBED BY DEMOLITION. CAP ALL ABANDONED LINES.
- CONTRACTOR IS TO BE FAMILIAR WITH DEMOLITION AND FIELD VERIFY ALL DEMOLITION PRIOR TO BEGINNING WORK, REPORT ANY DISCREPANCIES TO ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SELECTIVE DEMOLITION AS REQUIRED FOR IMPROVEMENTS PROPOSED, RENOVATIONS, AND ALTERATIONS TO (E) GARAGE AND (E) RESIDENCE.
- OWNER AND ARCHITECT TO WALK JOB WITH CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% (BY WEIGHT) OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN 4.408.2.
- SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN:
 - IDENTIFYING THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE
 - SPECIFYING IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE OR BULK MIXED
 - IDENTIFYING DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN
 - IDENTIFYING CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED
 - SPECIFYING THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BY BOTH
- DOCUMENTATION WILL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.
- A PLAN MUST BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.

*CALGREEN RESIDENTIAL MANDATORY MEASURES

NOTES

- ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. TYP. SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.
- EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- INTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES, TYP. 1/2" MIN. GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.
- SHOWER WALLS TO HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT AT A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2.
- 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH / SHOWER ENCLOSURES, TYP.
- PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING / SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.
- THERMAL INSULATION:
 - R-15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS
 - R-19 FACTOR THERMAL INSULATION TYPICAL AT INTERIOR WALLS
 - EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT., MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.
 - 1/2" THK. GYP. BD. LEVEL 4 FOR ALL INTERIOR WALLS, U.O.N.
 - ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%. PER CRC 602.6.1
 - ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 50" FROM THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER CRC 602.6.2.
 - ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE-PLATE PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH GEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.
 - AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.
 - ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SECTION 1108 VOC LIMITS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY.
 - ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.
 - AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522(c)(2) AND (c)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520, AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
 - HARDWOOD PLYWOOD, PARTICLEBOARD AND MDF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OF FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).
 - WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
 - A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED
 - OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY
 - A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL
 - BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
 - INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
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 - DUCT SYSTEM ARE SIZED AND DESIGNED AND EQUIPMENT IS SELECTED USING THE FOLLOWING:
 - ESTABLISHED HEAT LOSS AND GAIN ACCORDING TO ANSI/ACCA MANUAL J
 - DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA MANUAL D-2009
 - SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA MANUAL S-2004
 - AUTOMATIC IRRIGATION CONTROLLERS - SHALL BE WEATHER R SOIL MOISTURE BASED

FLOOR PLAN

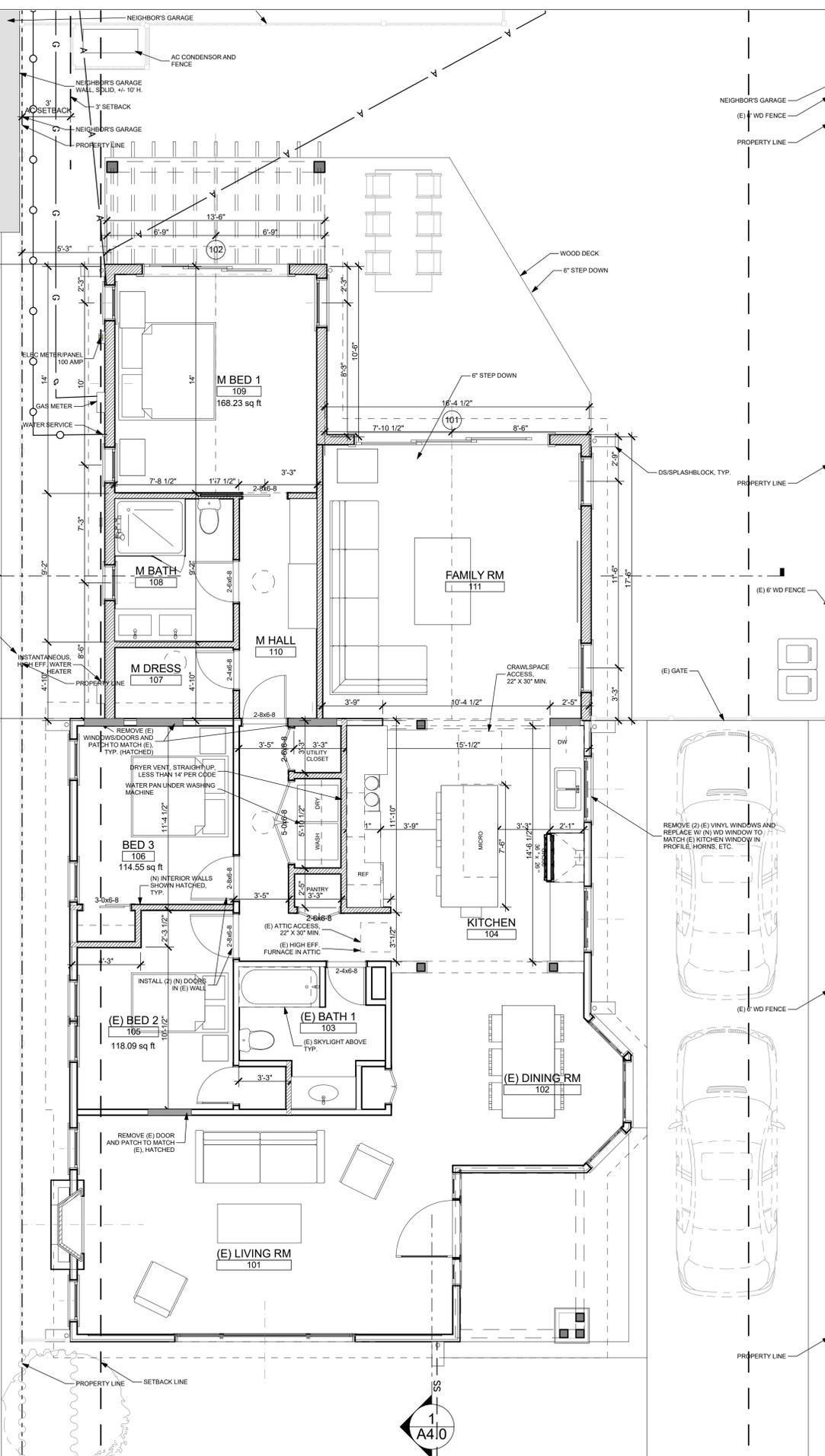
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(E) GARAGE

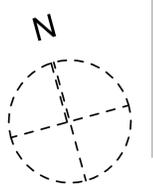
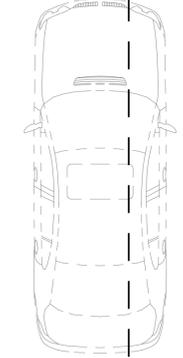
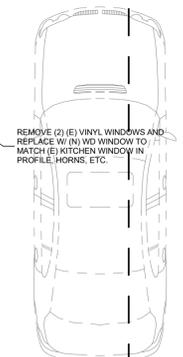
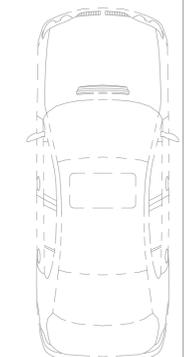
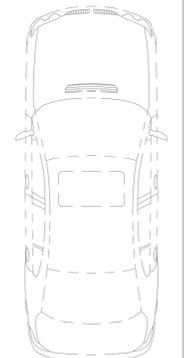
(N) ADDITION

2
A4.0

(E) HOUSE



(E) BUILDING



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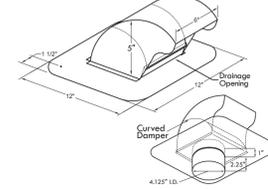
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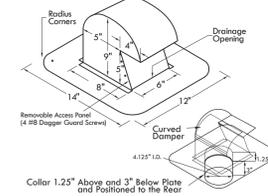
DryerJack

Technical Product Specifications

DryerJack Model 466



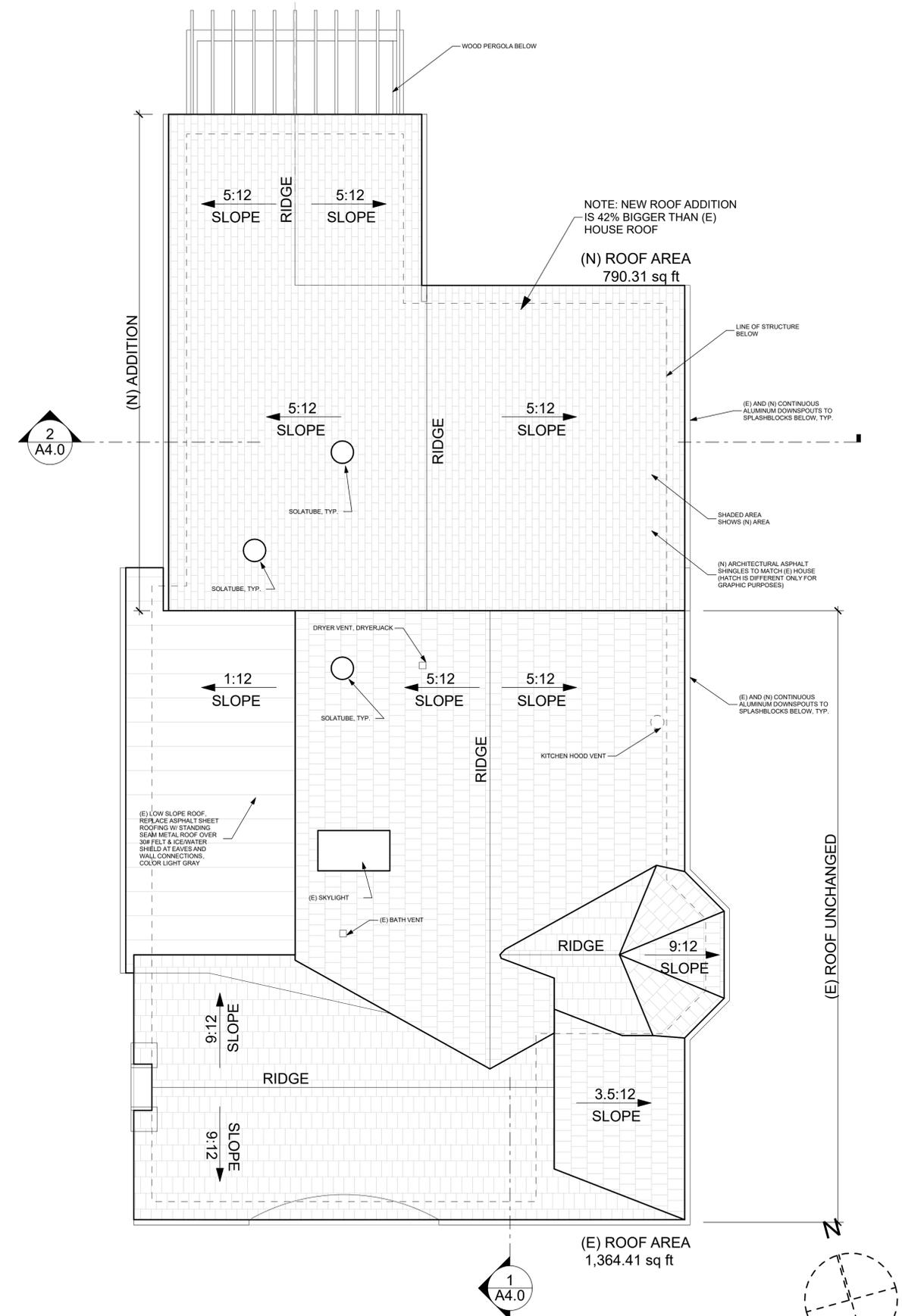
DryerJack Model 486



Airflow Restriction Comparison (Back Pressure Measured in Water Column Inches)



Model	Applications
DJK466	Low profile, efficient termination for safely venting the dryer through the roof.
DJK486	Extra clearance model for high profile the in heavy snowfall zones.
Performance Data	
For Use:	
• Non-restrictive @ pre-roof area termination.	
• Complies with IRC 2014.4 & IRC 1302.3	
Material:	
• 26 gauge Galvalume®	
Weight Each:	
DJK466 / 2 lbs. — DJK486 4 lbs.	
General Information	
Benefits:	
• Venting through the roof can shorten duct length	
• Zero back pressure lengthens appliance life	
• Improved efficiency shortens cycles, saves energy	
• Damper design deters bird and rodent entry	
• Access features ease duct clearing & maintenance	
Features:	
• Rounded 36 gauge Galvalume	
• Rounded corner roofing flange and 6 nail holes	
• Equally suitable for new and retrofit construction	
• Watertight extended collar for secure docking	
Manufactured By	
In-O-Vate Technologies, Inc. 810 Saturn Street, Suite 20 Jupiter FL 33477 Telephone: 561-743-8696 Facsimile: 561-743-9723 www.DryerJack.com	



ROOF PLAN
SCALE: 1/4" = 1'-0"

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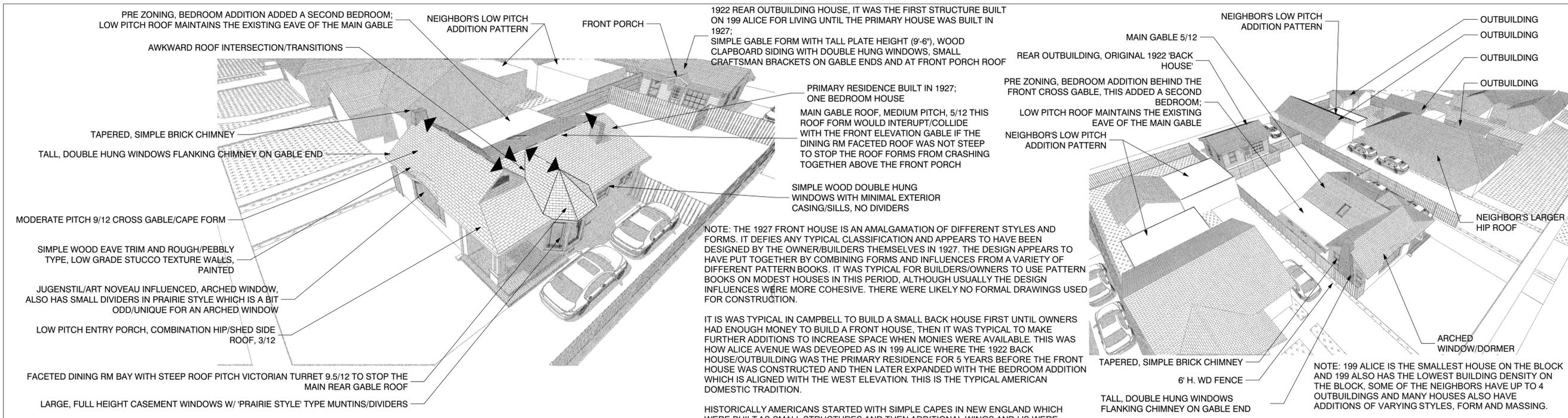
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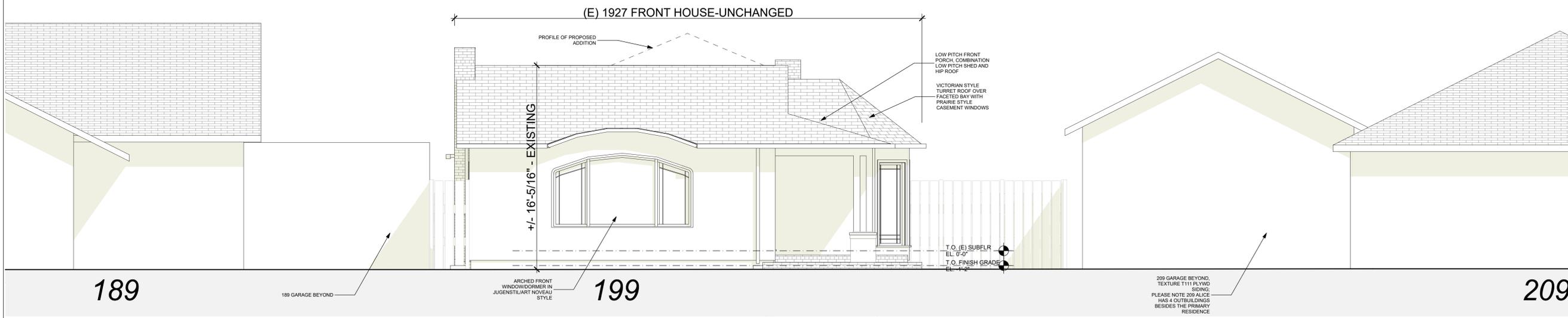


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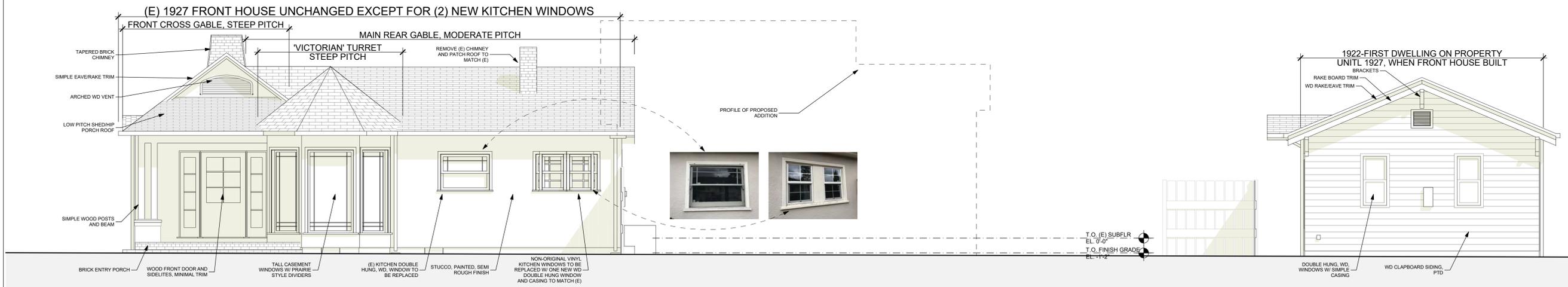
EXISTING - VIEW FROM ABOVE/SOUTHEAST

EXISTING - VIEW FROM ABOVE/SOUTHWEST



SOUTH-ALICE AVE. ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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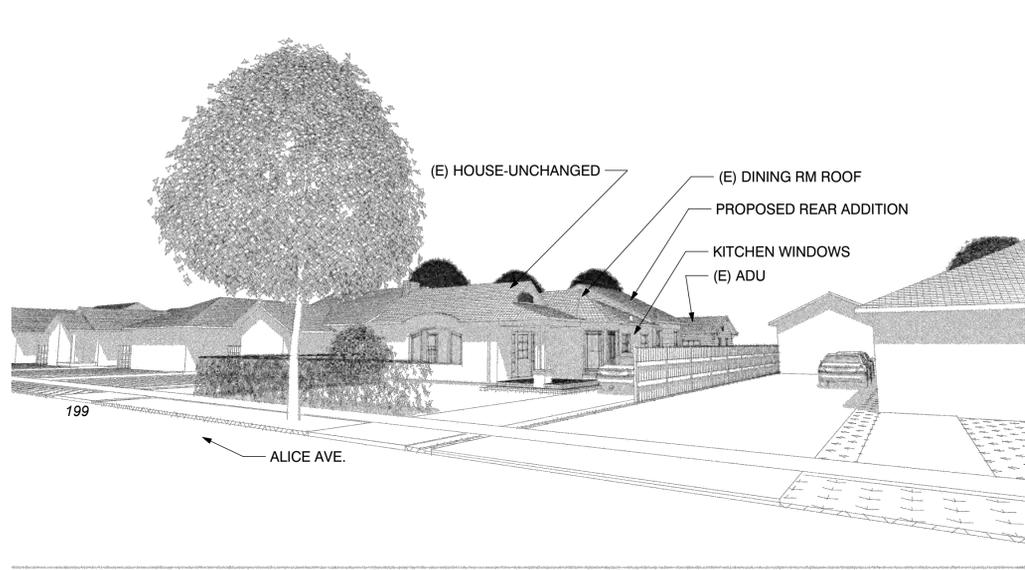
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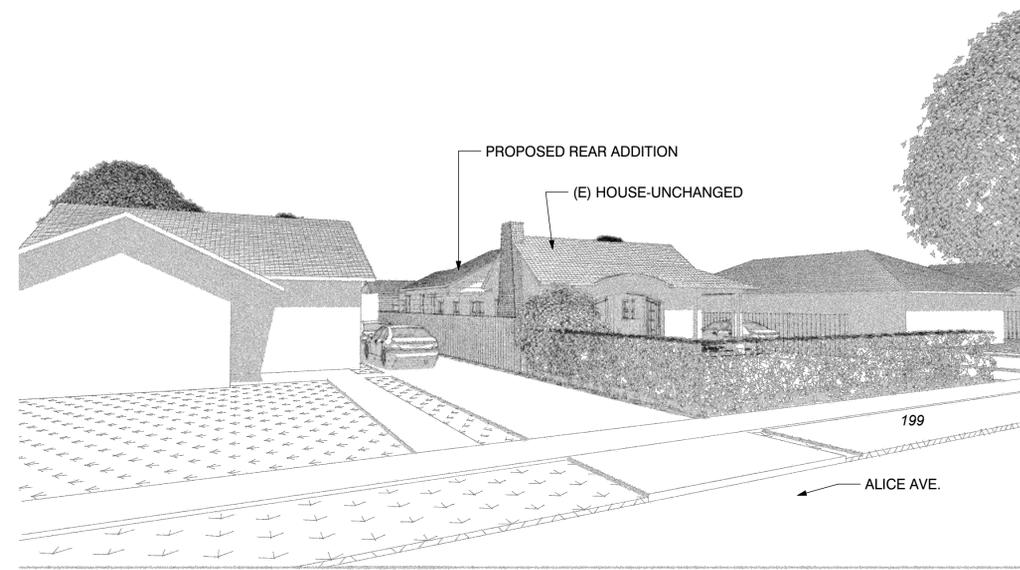
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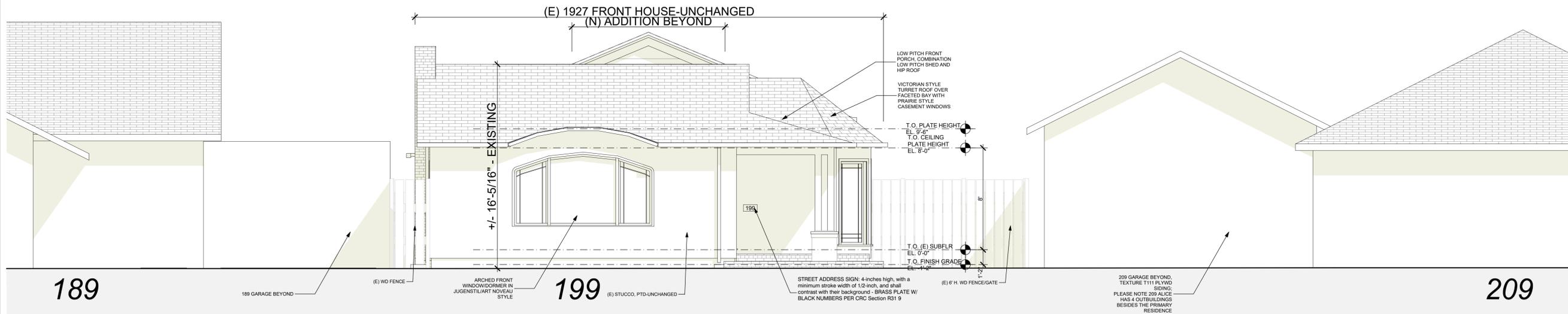
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PROPOSED - VIEW FROM SOUTHEAST

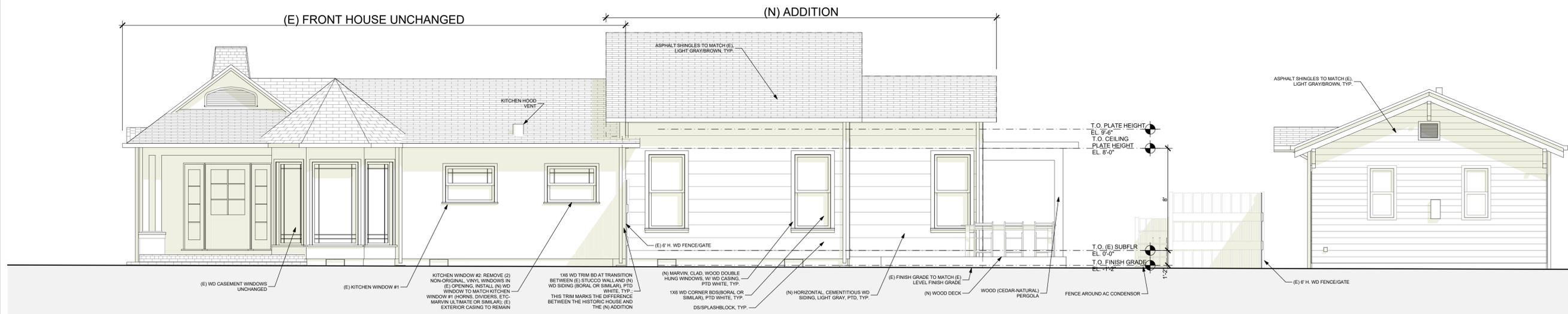


PROPOSED - VIEW FROM SOUTHWEST



SOUTH-ALICE AVE. ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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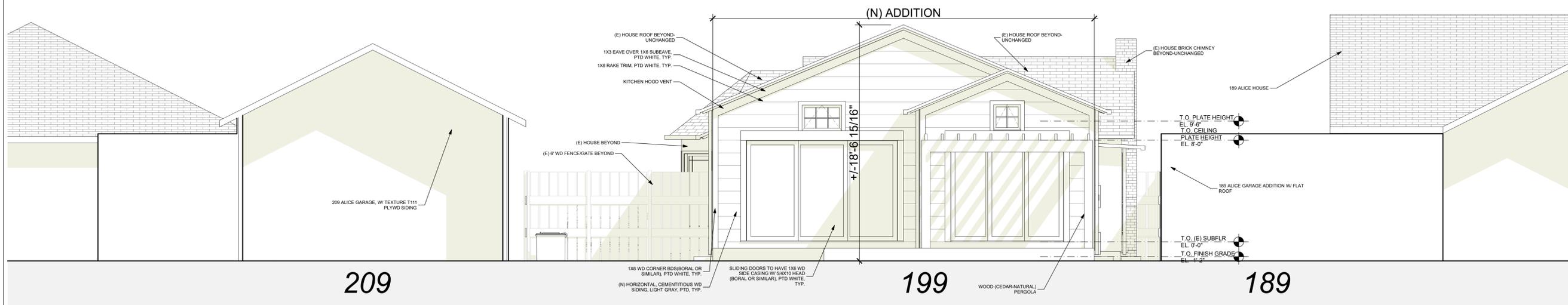
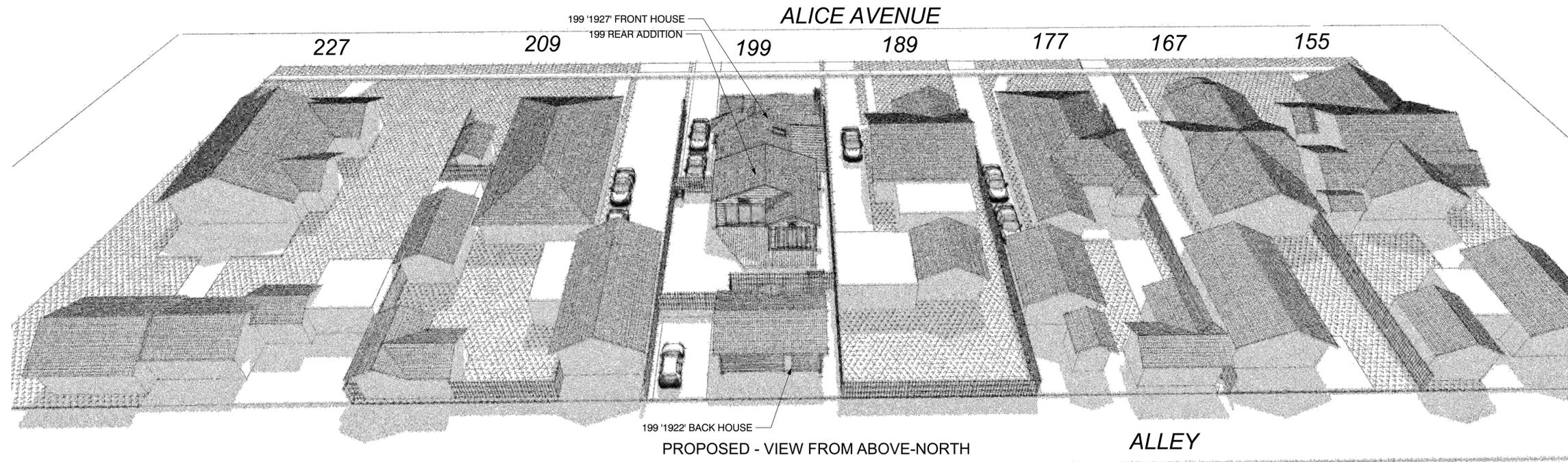
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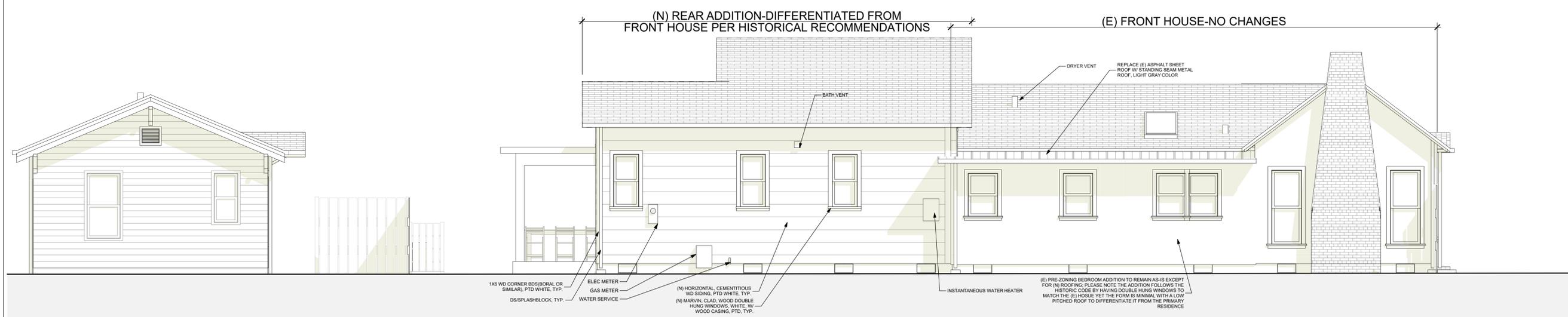
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ELEVATIONS-PROPOSED

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SHEET
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NORTH-BACK YARD ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

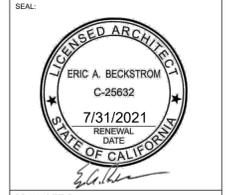
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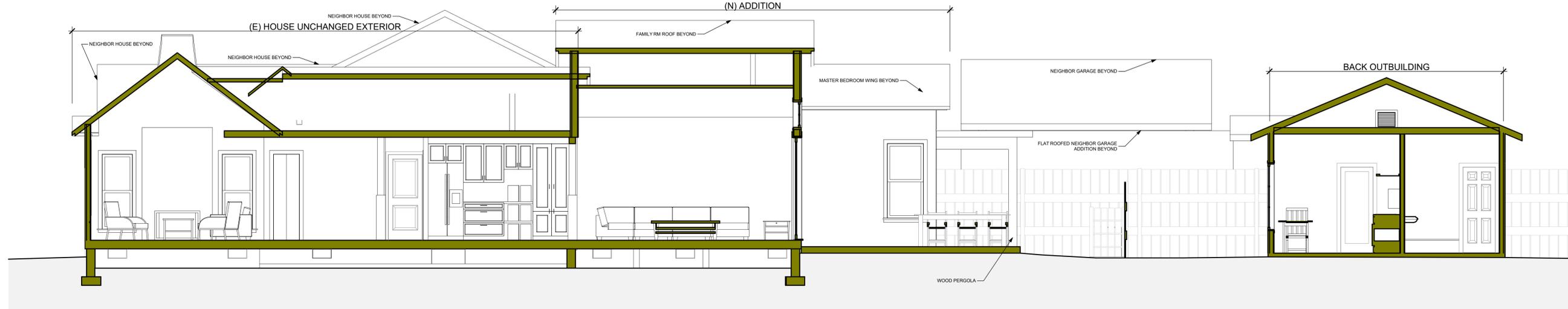
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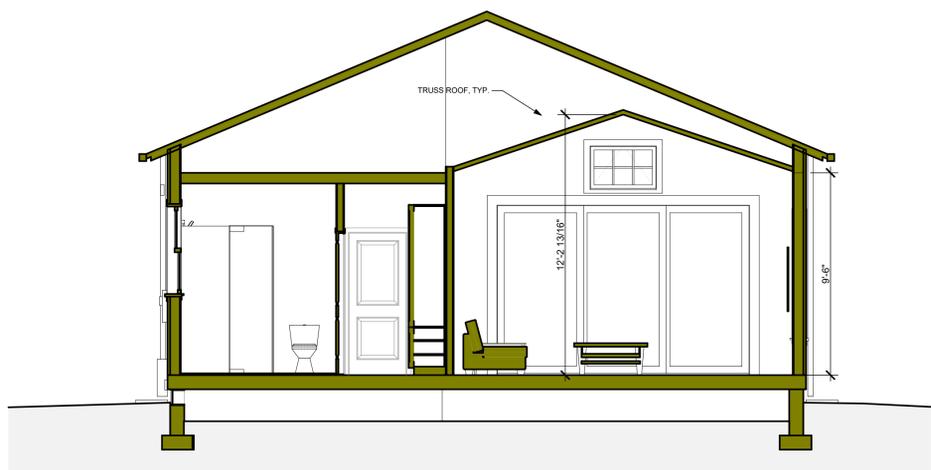


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1 SECTION-LIV. RM/KITCHEN/FAMILY RM
SCALE: 1/4" = 1'-0"

DIAGRAM ONLY



2 CROSS SECTION-MBATH-FAM. RM
SCALE: 1/4" = 1'-0"

DIAGRAM ONLY

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An Addition and Remodeling of the
Edwards Residence
199 Alice Avenue
Campbell, CA 95008-2903
(APN): 412-06-058

**PLANNING PERMIT
SUBMISSION
UPDATE**



DRAWING TITLE:	BUILDING SECTIONS
DRAWN:	EB
DATE:	3/18/2021
SCALE:	1/4" = 1'-0"
JOB NO.:	6
FILENAME:	2028 Edwards CD2.13.pln

SHEET
A4.0

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