



CITY OF CAMPBELL
Community Development Department

NOTICE OF DECISION

Tree Removal Permit

Notice is hereby given that the Community Development Director of the City of Campbell has **APPROVED** the following application for a Tree Removal Permit:

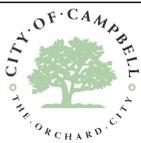
File No.: PLN-2021-14
Applicant: Marko Gera
Address: 337 Redding Road
Tree Species: (1) Oak Tree
Tree Size: 23" in diameter
Location: Front Yard of a Rear/Flag Lot
Decision Date: April 8, 2021
Appeal Deadline: April 19, 2021



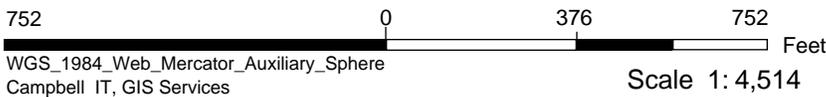
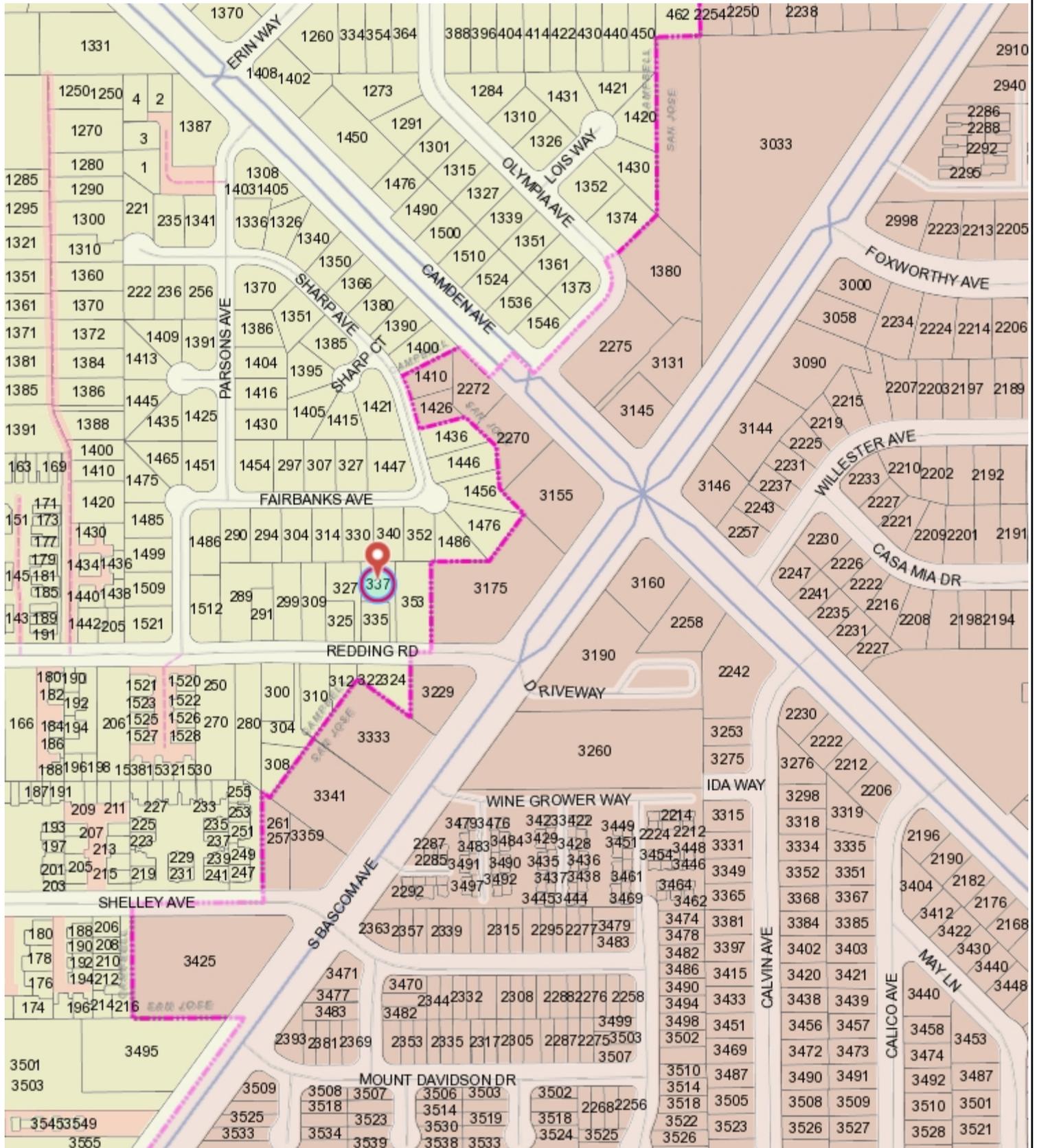
Basis of Decision: The Community Development Director has approved removal of one Oak tree, due to the tree's poor structure and decay (satisfying Finding No. 1 – Diseased or Danger of Falling). A new 24-inch box coast live oak will be required to be planted at the northwest corner of the property.

Appeal Process: Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period (**April 19, 2021**). A written appeal must be accompanied by the required \$200 appeal filing fee.

City Hall is currently closed to the public however a copy of the Tree Removal Permit application, and all associated documents, are available for review through www.mygovernmentonline.org. Questions or comments regarding this application may be addressed to Stephen Rose, Senior Planner in the Community Development Department at (408) 866-2142 or by email at stephenr@campbellca.gov.



Location Map - 337 Redding Rd.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.