



CITY OF CAMPBELL
Community Development Department

April 8, 2021

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

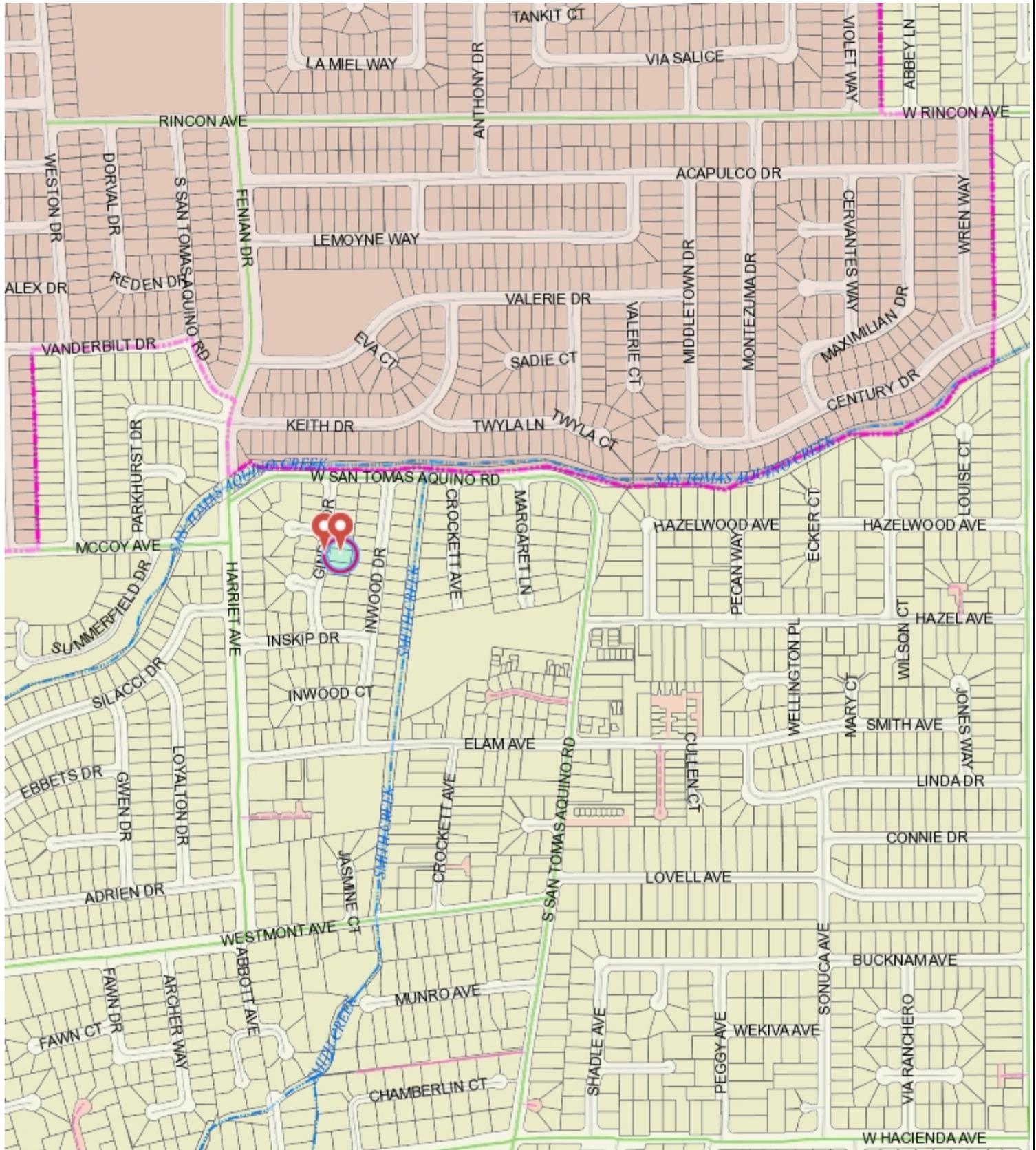
File No.: PLN-2021-50
Applicant: Vu Doan
Project Address: 662 Ginden Dr.
Property Owner: Majid Danapour
Zoning District: R-1-6 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: Approximately 161 sq. ft. first-floor addition to an existing single-family home

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The 10-day comment period for this application begins on April 8, 2021 and ends on April 19, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **April 19, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

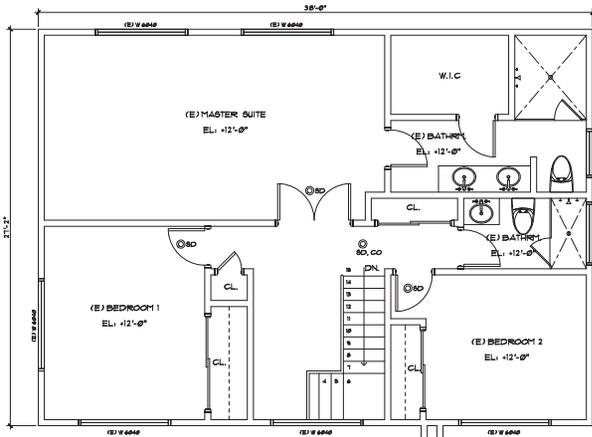
Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazh@campbellca.gov.



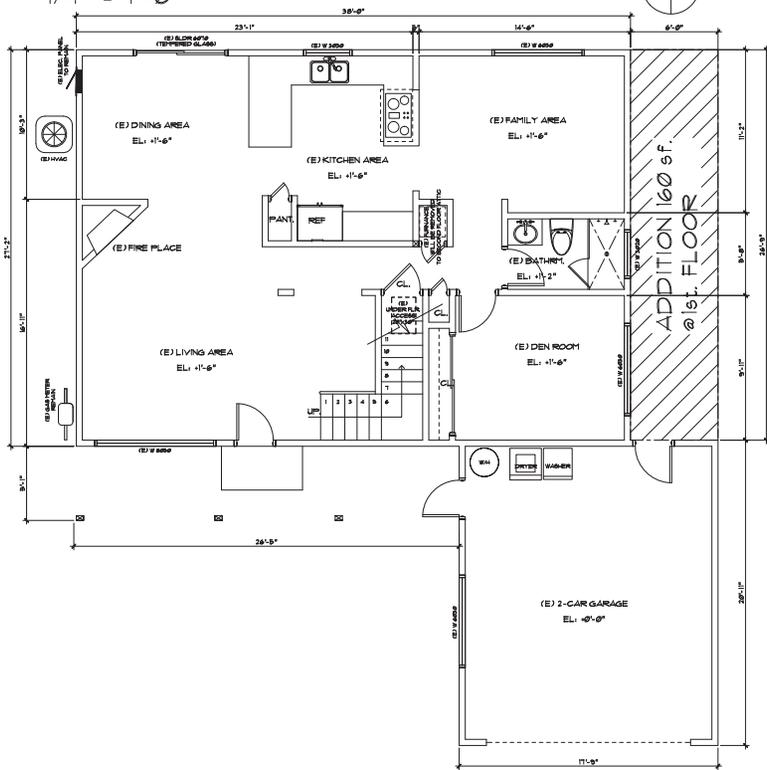
Location Map - 662 Ginden Dr.



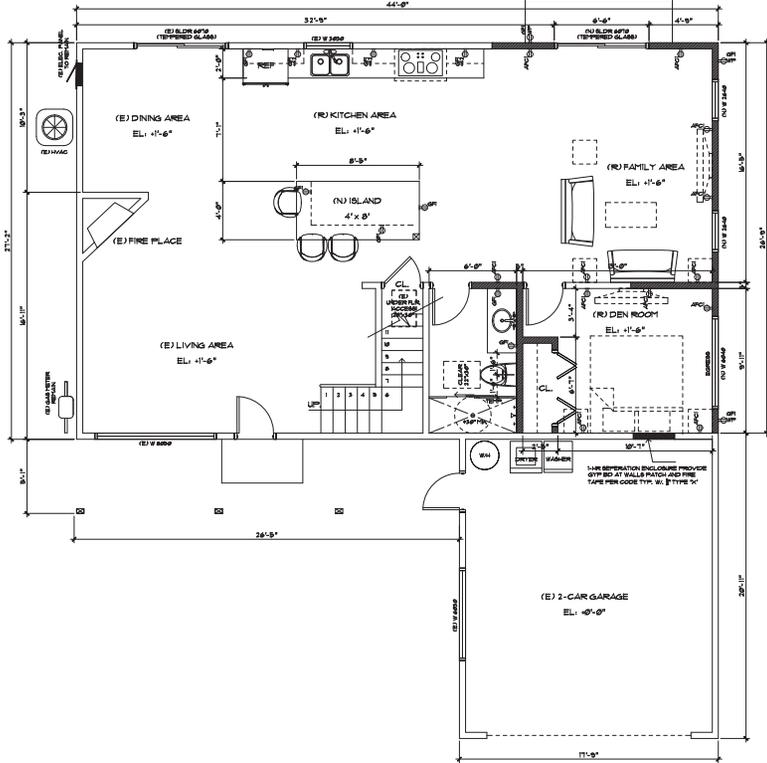
This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



EXISTING SECOND FLOOR REMIAN
1/4" = 1'-0"



EXISTING FIRST FLOOR / DEMO.
1/4" = 1'-0"



PROPOSED FLOOR PLAN.
1/4" = 1'-0"

EXISTING WALL TO REMAIN (REPAIRED, TEXTURED AND PAINTED)
(N) WALLS.
EXISTING NON STRUCTURAL WALL WILL BE REMOVED

DOOR NOTES AND ABBREVIATIONS	SPECIFICATIONS	DATE	REVISION
4'-0" HIGH 2'-4" WIDE DR. HOLLOW CORE DOOR SG. SOLID CORE DOOR DR. DOUBLE SW. WOOD DOOR PD. PINE DOOR	1. HANDRAILS SHALL HAVE A 1 1/4" TO 2" GRIPPABLE SECTION TO BE INSTALLED AT THE BOTTOM OF THE HANDRAILS. THE SECTION OF 24" TO 30" ABOVE THE HANDRAILS SHALL BE CONTINUOUSLY FREE OF ANY OBSTRUCTIONS AND BE FINISHED AT THE TOP OF THE HANDRAILS. 2. MINIMAL CLEARANCE FOR THE HANDRAILS SHALL BE 4" FROM THE HANDRAILS TO THE WALLS AND AT LEAST 6" FROM THE HANDRAILS TO THE HANDRAILS. 3. FINISH HANDRAILS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE FINISH OF THE WALLS TO WHICH THEY ARE ATTACHED. 4. FINISH HANDRAILS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE FINISH OF THE WALLS TO WHICH THEY ARE ATTACHED. 5. FINISH HANDRAILS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE FINISH OF THE WALLS TO WHICH THEY ARE ATTACHED. 6. FINISH HANDRAILS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE FINISH OF THE WALLS TO WHICH THEY ARE ATTACHED. 7. FINISH HANDRAILS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE FINISH OF THE WALLS TO WHICH THEY ARE ATTACHED. 8. FINISH HANDRAILS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE FINISH OF THE WALLS TO WHICH THEY ARE ATTACHED. 9. FINISH HANDRAILS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE FINISH OF THE WALLS TO WHICH THEY ARE ATTACHED. 10. FINISH HANDRAILS SHALL BE FINISHED WITH A FINISH IDENTICAL TO THE FINISH OF THE WALLS TO WHICH THEY ARE ATTACHED.		
8'-0" HIGH 8'-0" WIDE BLIND SLIDING WINDOWS OR DOORS SW. WOOD SASH O. OPERABLE O. FIXED SG. SAFETY GLAZING 1. ALL WINDOWS USE LOW E TYPE, DOUBLE GLAZED PER TITLE 24 CODES. 2. OPERABLE GLAZING ALL WINDOWS IN BATH ROOMS PER TITLE 24 CODES. 3. PROVIDE ROOMS AHEAD AT TYPE OF METALLATION PER TITLE 24 CODES. 4. ALL WINDOW REVISIONS SHALL BE IN ACCORDANCE WITH THE TOP OF THE WINDOW SILL SHALL BE NOT LOWER THAN THE FLOOR FINISH AND THE WINDOW SILL SHALL BE NOT LOWER THAN THE FLOOR FINISH FOR OPERABLE WINDOWS FROM THE FLOOR FINISH TO THE WINDOW SILL IN THE DIRECTION OF TRAVEL. THE WINDOW SILL SHALL BE NOT LOWER THAN THE FLOOR FINISH.	1. ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED "AMPERE-RESISTANT RECEPTACLES, 2016 CEC 210.12(A). 2. ALL GINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1901 THROUGH 1908 (KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALS./MIN. BATHROOM LAVATORY FAUCETS MAX. FLOW RATE FROM 1.8 TO 1.2 GPM PER 2016 CAL GREEN. 3. SHOWER HEADS SHALL NOT EXCEED 1.8 GALS./MIN. TOILETS SHALL NOT EXCEED 1.28 GALS./MIN. AND URINALS SHALL NOT EXCEED .9 GALS./FLUSH. 4. FOR EACH BATHROOM, AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY ITS RECEPTACLE OUTLETS. 5. RECEPTACLES TO SERVE KITCHEN COUNTERTOP SURFACES SHALL BE SUPPLIED BY NOT FEWER THAN TWO SMALL-APPLIANCE BRANCH CIRCUITS.		
WINDOW NOTES AND ABBREVIATIONS	GENERAL NOTES		



VT DESIGN & ENGINEERING
621 TULLY ROAD
SUITE 123
SAN JOSE, CA 95131

Residence Renovation
662 Ginden Dr. Campbell CA

Project Title:
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Prepared by: VT Design / Vu Dean

Sheet Title:
EXISTING/DEMO.

4

PROPOSED PLAN

Scale:

Sheet No:

A-2

of Sheets

ROOF NOTES

1. (N) ROOF SHALL BE 30-YEAR COMPOSITION ROOF TILE OVER 30" FELT O/ SOLID SHEATHING. COLOR AND STYLE OF TILE TO BE MATCHING (E) OWNER, AND ROOFING SHALL HAVE A CLASS "A" FIRE CALSSIFICATION.
2. ROOF OVERHANG SHALL BE 1'-6" TYPICAL UNLESS NOTED OTHERWISE.
3. PROVIDE 1 SQ-FT VENTILATION / 150 SQ-FT OF ATTIC SPACE, TYPICAL, U.N.O.
4. 90% OF THE ROOF VENTILATION SHALL BE LOCATED AT AN REA 3 FEET ABOVE THE EACES / FRIEZE BLOCKING

ATTIC VENT CALC'S

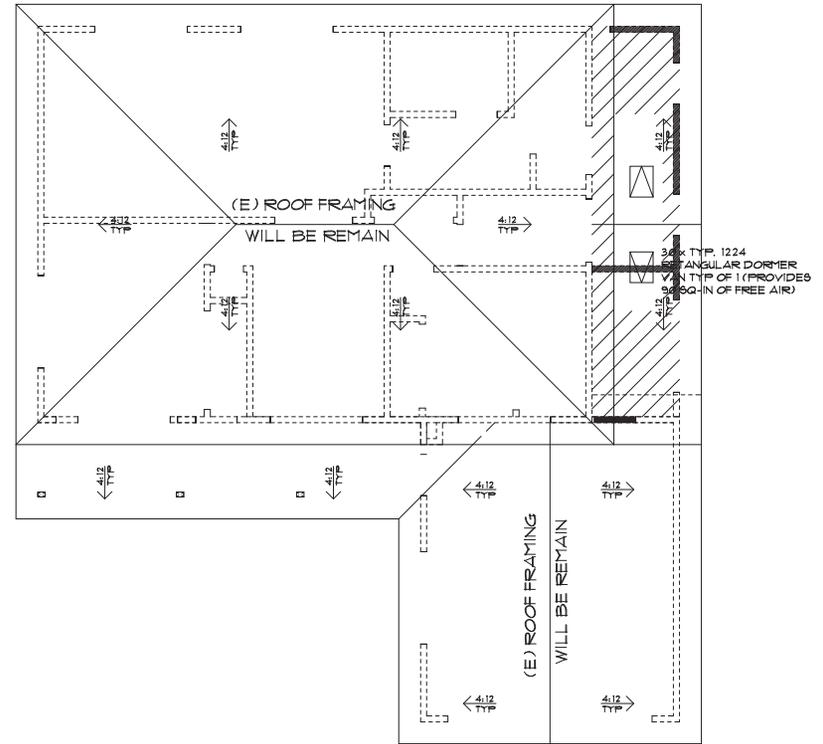
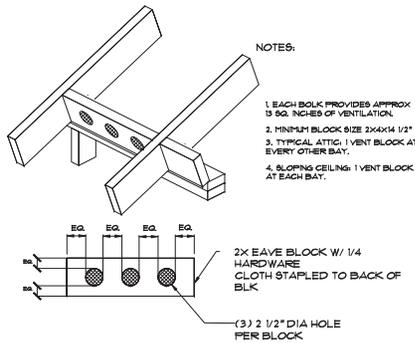
ATTIC AREA "FIRST FLOOR AREA" 160 sq.ft.

REQUIRED AREA : 160 / 150 = 1.07 SQ.FT = 154 SQ.IN

TYP. 1224 RECTANGULAR DORMER VAN TYP OF 1 (PROVIDES 90 SQ-IN OF FREE AIR)

AND NEED 2: 2x90x180

TOTAL : 180 SQ.IN : OK



PROPOSED ROOF PLAN.

1/4" = 1'-0"



DATE	REVISION



Residence Renovation
662 Ginden Dr. Campbell CA

Revisions

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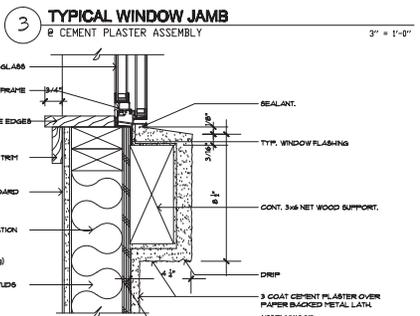
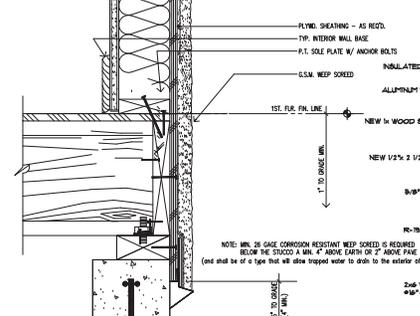
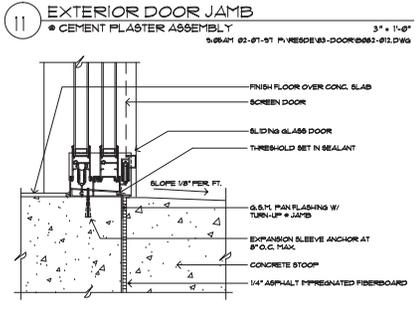
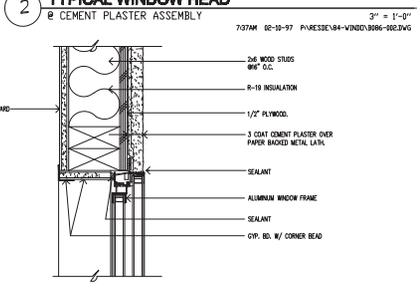
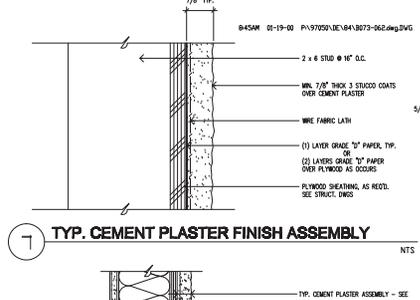
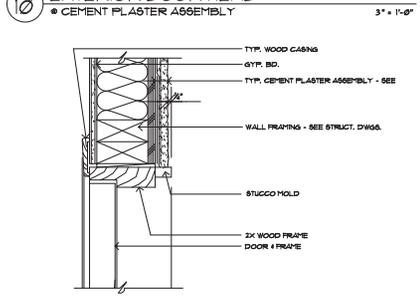
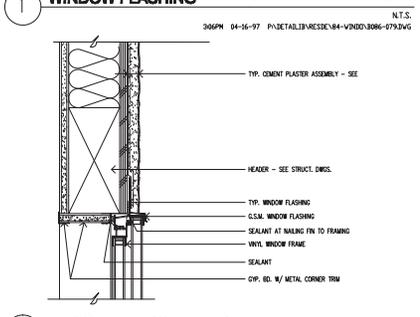
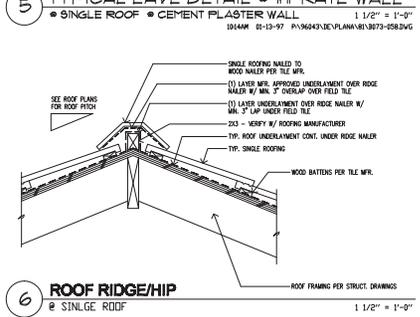
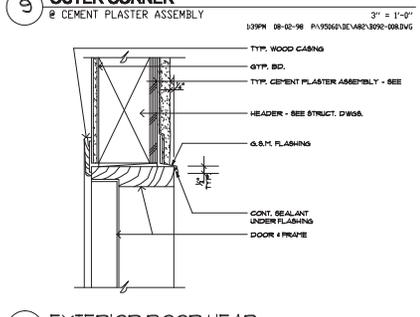
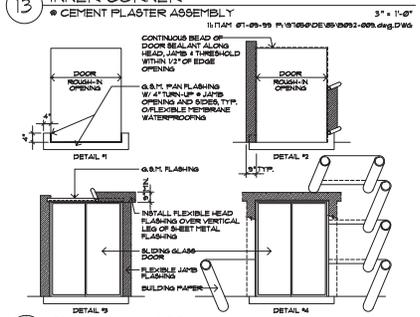
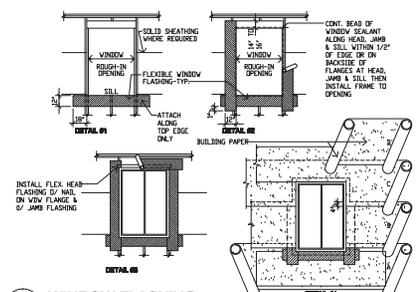
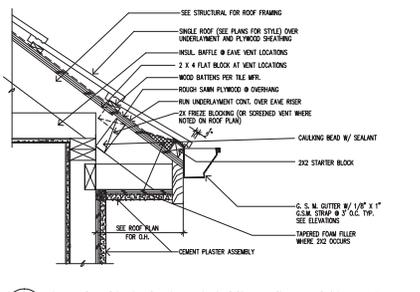
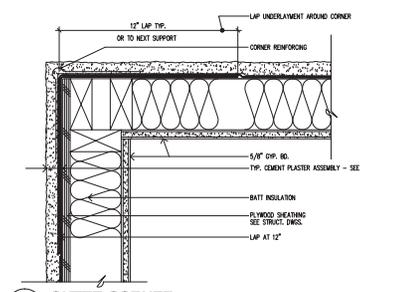
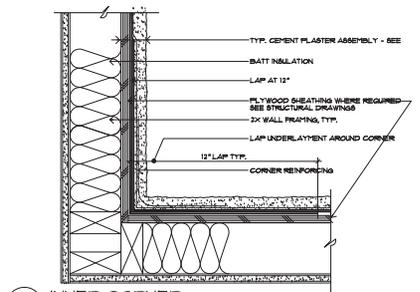
Sheet Title:

ROOF PLAN

Scale:

Sheet No: **A-4**

of Sheets



 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Chapter 1 – ADMINISTRATION	
Scope	
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.
Chapter 3 – GREEN BUILDING	
Additions and alterations	
301.1.1	<ul style="list-style-type: none"> Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Requirements only apply within the specific area of the addition or alteration.
Low-rise and high-rise residential buildings	
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
Mixed occupancy buildings	
302.1	<p>Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy.</p> <p>Exceptions:</p> <ul style="list-style-type: none"> Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable. Live/work units complying with the California Building Code Section 419 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable.

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Chapter 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.1 – PLANNING AND DESIGN	
Storm water drainage and retention during construction	
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
Grading and paving	
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception: Additions and alterations which do not alter the existing drainage path.
Electric vehicle (EV) charging for new construction	
4.106.4	<ul style="list-style-type: none"> Comply with Section 4.106.4.1, 4.106.4.2 and 4.106.4.3 for future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. <p>Exceptions:</p> <ol style="list-style-type: none"> On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon 1 of the following: <ol style="list-style-type: none"> Where there is no commercial power supply. Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit. Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities. <p>Note: For definitions of Accessory Dwelling Units and Junior Accessory Units, see CALGreen Chapter 2.</p>

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
EV charging: 1- & 2-family dwellings/townhouses with attached private garages	
4.106.4.1	<ul style="list-style-type: none"> Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Identification	
4.106.4.1.1	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."
EV charging for multifamily dwellings	
4.106.4.2	<ul style="list-style-type: none"> Applies to all multifamily dwelling units with parking facilities on the site. 10% of the total number of parking spaces provided for all types of parking facilities, but in no case less than 1, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number. <p>Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p>

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
EV charging space (EV space) locations	
4.106.4.2.1	Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least 1 EV space shall be located in the common use parking areas and shall be available for use by all residents.
EV charging stations (EVCS)	
4.106.4.2.1.1	<p>When EV chargers are installed, EV spaces (required by Section 4.106.4.2.2, Item 3.) shall comply with at least 1 of the following options:</p> <ol style="list-style-type: none"> The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2. <p>Exception: EVCS designed and constructed in compliance with the California Building Code Chapter 11B are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.</p>
EV charging space (EV space) dimensions	
4.106.4.2.2	<p>EV spaces shall be designed to comply with the following:</p> <ol style="list-style-type: none"> The minimum length of each EV space shall be 18 feet. The minimum width of each EV space shall be 9 feet. 1 in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. <ol style="list-style-type: none"> Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Single EV space required	
4.106.4.2.3	<ul style="list-style-type: none"> Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
Multiple EV spaces required	
4.106.4.2.4	<ul style="list-style-type: none"> Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on ampere of future EVSE, raceway method(s), wiring schematics, and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated ampere of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.
Identification	
4.106.4.2.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
EV charging for hotels and motels	
4.106.4.3	<ul style="list-style-type: none"> Applies to all newly constructed hotels and motels. Construction documents shall identify the location of EV spaces. <p>Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p>
Number of required EV spaces	
4.106.4.3.1	Table 4.106.4.3.1 shows the number of required EV spaces based on the total number of parking spaces provided for all types of parking facilities.
EV charging space (EV space) dimensions	
4.106.4.3.2	<p>EV spaces shall be designed to comply with the following:</p> <ul style="list-style-type: none"> Minimum length of each EV space shall be 18 feet. Minimum width of each EV space shall be 9 feet.
Single EV space required (similar to 4.106.4.2.3)	
4.106.4.3.3	<ul style="list-style-type: none"> Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Multiple EV spaces required (similar to 4.106.4.2.4)	
4.106.4.3.4	<ul style="list-style-type: none"> Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on ampere of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated ampere of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction.
4.106.4.3.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
4.106.4.3.6	In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for EV charging stations in the California Building Code, Chapter 11B.
Division 4.2 – ENERGY EFFICIENCY	
Scope	
4.201.1 & 5.201.1	<ul style="list-style-type: none"> Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2019 California Energy Code.

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
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2019 CALGREEN CODE	
SECTION	REQUIREMENTS
Division 4.3 – WATER EFFICIENCY AND CONSERVATION	
Water conserving plumbing fixtures and fittings	
4.303.1	<p>Plumbing fixtures and fittings shall comply with the following:</p> <ul style="list-style-type: none"> 4.303.1.1 – Water closets: ≤ 1.28 gal/flush. 4.303.1.2 – Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush. 4.303.1.3.1 – Single showerheads: ≤ 1.8 gpm @ 80 psi. 4.303.1.3.2 – Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time. 4.303.1.4.1 – Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi. 4.303.1.4.2 – Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi. 4.303.1.4.3 – Metering faucets: ≤ 0.2 gallons per cycle. 4.303.1.4.4 – Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
4.303.2	Standards for plumbing fixtures and fittings Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.
4.304.1	Outdoor potable water use in landscape areas New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
Division 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY	
Rodent proofing	
4.406.1	Annual spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
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2019 CALGREEN CODE	
SECTION	REQUIREMENTS
	Construction waste management
4.408.1	<ul style="list-style-type: none"> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Provide documentation to the enforcing agency per Section 4.408.5. <p>Exceptions:</p> <ol style="list-style-type: none"> Excavated soil and land-clearing debris. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
	Construction waste management plan
4.408.2	Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.
	Waste management company
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
	Waste stream reduction alternative [LR]
4.408.4 & 4.408.4.1	<ul style="list-style-type: none"> Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
	Operation and maintenance manual
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.
	Recycling by occupants
4.410.2	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.
	Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
	Division 4.5 – ENVIRONMENTAL QUALITY
	Fireplaces - General
4.503.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and fireplaces shall also comply with all applicable local ordinances.

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See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
	Protection of mechanical equipment during construction
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
	Adhesives, sealants and caulks
4.504.2.1	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: <ol style="list-style-type: none"> Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations (CCR), Title 17, commencing with Section 94507.
	Paints and coatings
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.

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2019 CALGREEN CODE	
SECTION	REQUIREMENTS
	Aerosol paints and coatings
4.504.2.3 & 4.504.2.4	<ul style="list-style-type: none"> Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(a)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. Documentation is required per Section 4.504.2.4.
	Carpet systems
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: <ol style="list-style-type: none"> Carpet and Rug Institute's Green Label Plus Program. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). NSF/ANSI 140 at the Gold level. Scientific Certifications Systems Indoor Advantage™ Gold.
	Carpet cushion
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
	Carpet adhesive
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.

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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
	Resilient flooring systems
4.504.4	Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with 1 or more of the following: <ol style="list-style-type: none"> Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
	Composite wood products
4.504.5 & 4.504.5.1	<ul style="list-style-type: none"> Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), as shown in Table 4.504.5. Documentation is required per Section 4.504.5.1. Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).

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See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
	Concrete slab foundations
4.505.2	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.
	Capillary break
4.505.2.1	A capillary break shall be installed in compliance with at least 1 of the following: <ol style="list-style-type: none"> A 4-inch thick base of ½ inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curing, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-05. Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.
	Moisture content of building materials
4.505.3	Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: <ol style="list-style-type: none"> Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. <p>Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.</p>

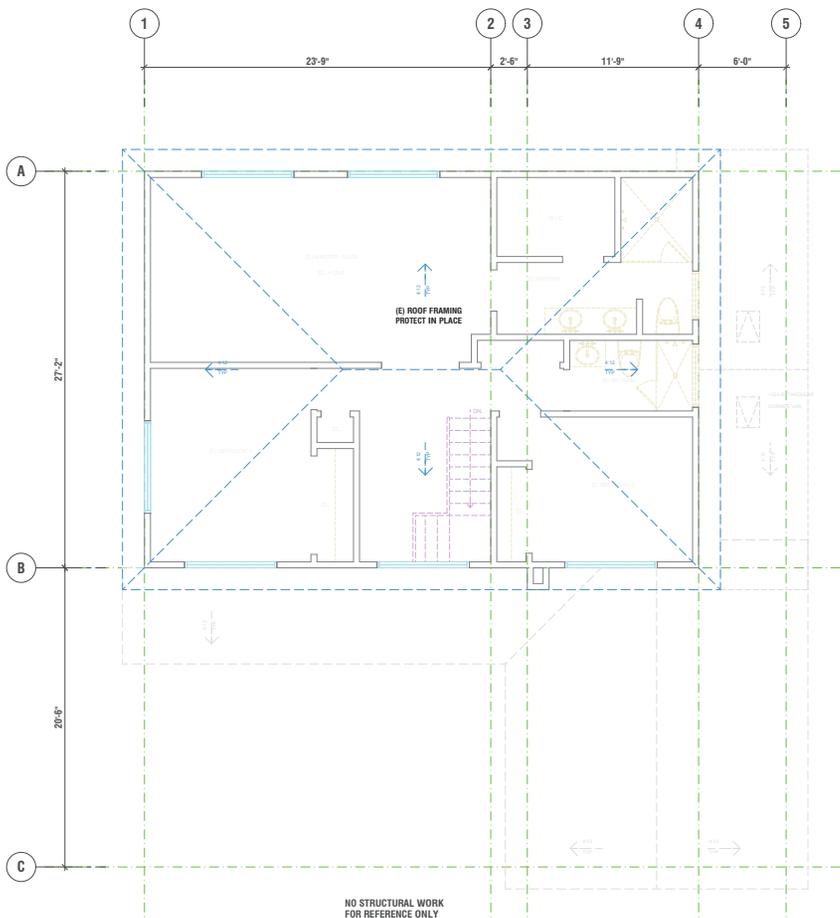
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 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small>	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
	Bathroom exhaust fans
4.506.1	Each bathroom shall be mechanically ventilated and shall comply with the following: <ol style="list-style-type: none"> Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. <ol style="list-style-type: none"> Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of ≤ 50% to a maximum of 80%. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. <p>Note: For CALGreen, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.</p>
	Heating and air-conditioning system design
4.507.2	Heating and air-conditioning systems shall be sized, designed and equipment selected using the following methods: <ol style="list-style-type: none"> The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods. <p>Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.</p>

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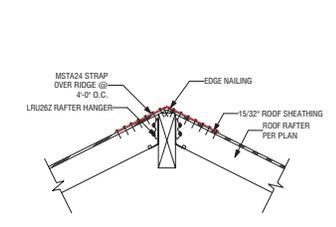
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See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
CHAPTER 7 – INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS	
	Installer training
702.1	HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include, but are not limited to, the following: <ol style="list-style-type: none"> State certified apprenticeship programs. Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.
	Special inspection
702.2	When required by the enforcing agency, special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
	Documentation
703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

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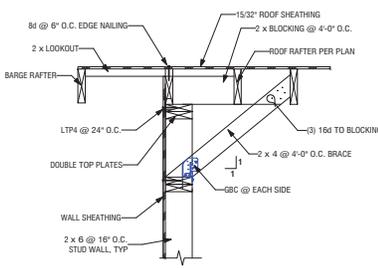


UPPER ROOF FRAMING PLAN
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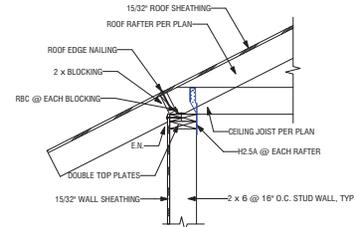
NO STRUCTURAL WORK FOR REFERENCE ONLY



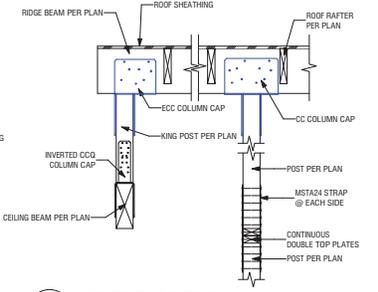
1 RIDGE BEAM CONNECTION
Scale: 1" = 1'-0"



3 GABLE END
Scale: 1" = 1'-0"



2 SHEAR TRANSFER @ ROOF
Scale: 1" = 1'-0"



4 RIDGE SUPPORT
1" = 1'-0"

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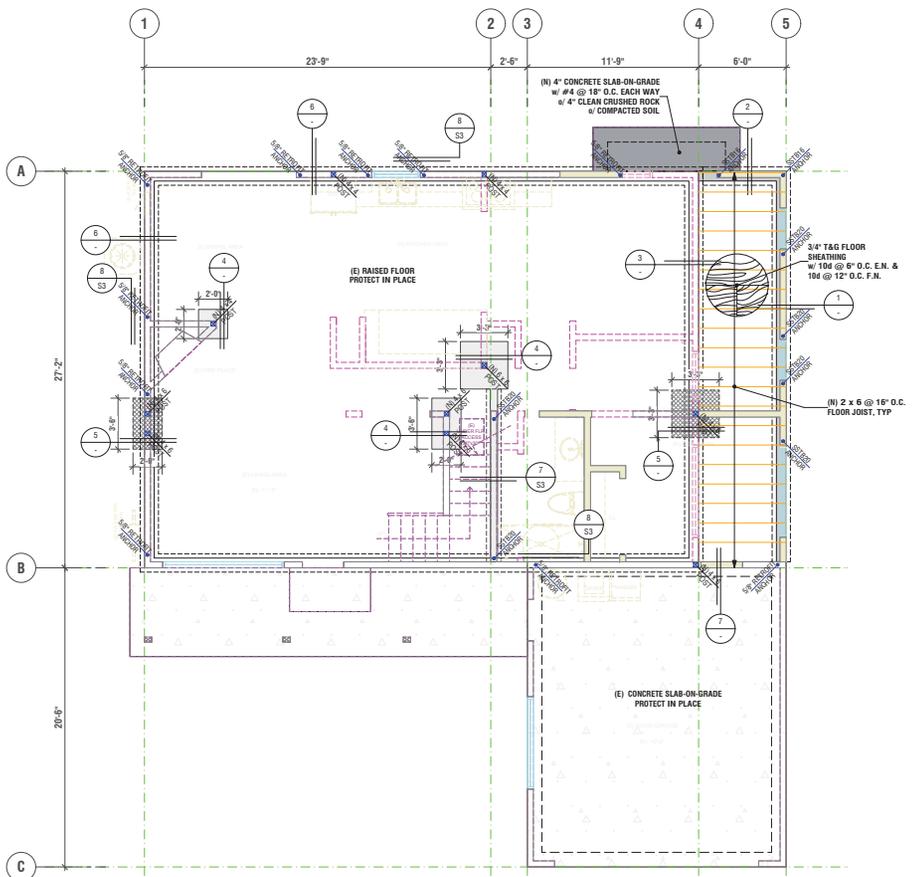


Designer:
Vu Doan
VT Design & Engineering
621 Tully Road, Suite #223
San Jose, CA 95111

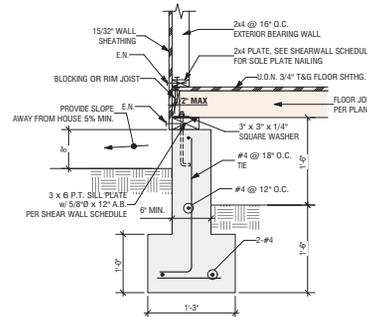
Project:
ADDITION & REMODEL
662 GINDEN DRIVE
CAMPBELL, CA 95008

Job Number:
20253
Date:
December 22, 2020
Revisions:

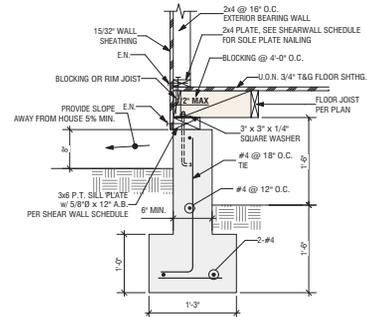
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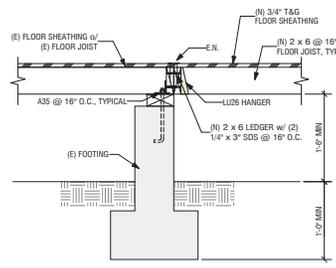
1ST FLOOR FRAMING & FOUNDATION PLAN
Scale: 1/4" = 1'-0"



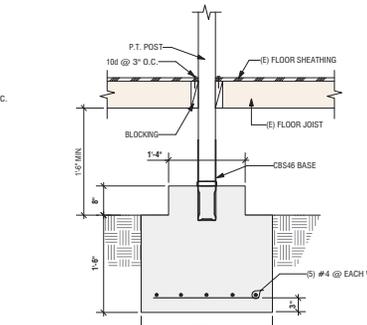
1 PERIMETER FOUNDATION
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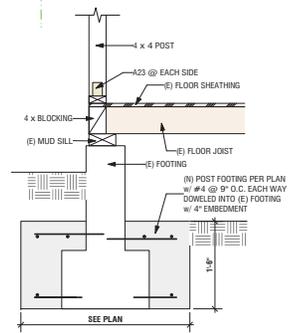
2 PERIMETER FOUNDATION
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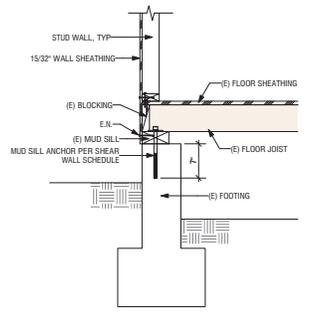
3 FLOOR @ (E) FOOTING
Scale: 1" = 1'-0"



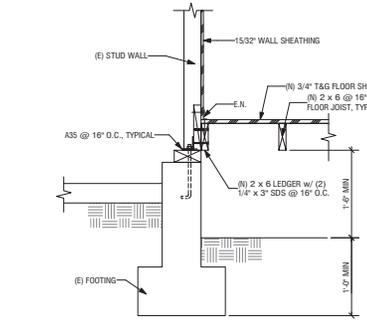
4 ISOLATED PAD FOOTING
Scale: 1" = 1'-0"



5 POST AT (E) FOOTING
Scale: 1" = 1'-0"



6 SHEAR TRANSFER AT (E) FTG.
Scale: 1" = 1'-0"



7 FLOOR @ (E) SLAB
Scale: 1" = 1'-0"

Engineer:
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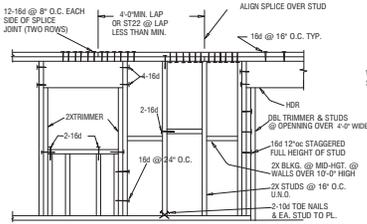
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20253
Date:
December 22, 2020
Revisions:

NO.	REVISION

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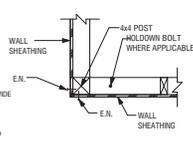
S4

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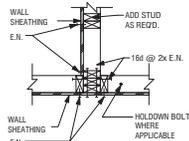


1 TYPICAL STUDWALL DETAIL

NOT TO SCALE



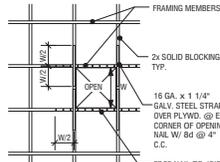
CORNER / 4x4 POST



WALL INTERSECTION

2 TYPICAL SHEAR WALL INTERSECTIONS

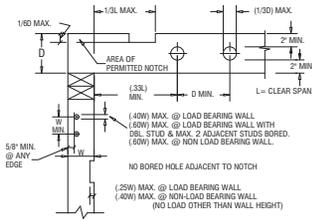
N.T.S.



OPENING IN DIAPHRAGM

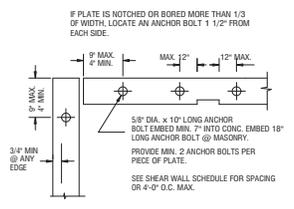
3 OPENING IN DIAPHRAGM

NOT TO SCALE



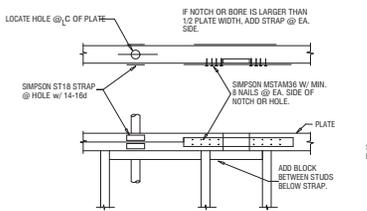
4 NOTCH & BORE LIMITS @ STUDS & JOISTS

NOT TO SCALE



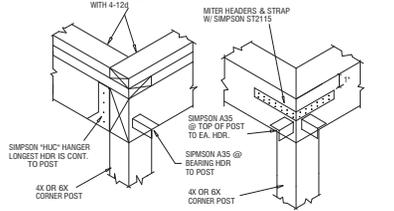
5 SILL PLATE DETAILS

NOT TO SCALE



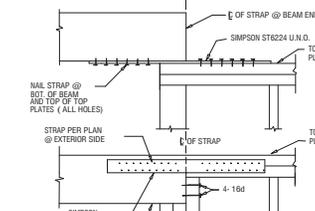
6 NOTCH OR BORE @ TOP PLATE

NOTE: WHERE PENETRATION ON ONE SIDE OF PLATES, USE RPS18 OR RPS22



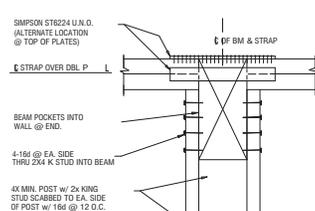
7 CORNER WINDOW HEADER & TOP PLATE DETAIL

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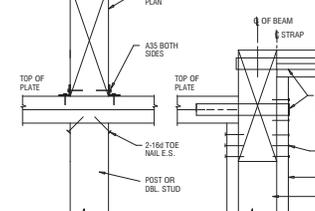
8 BEAM OR HEADER DRAG STRAP DETAIL

NOT TO SCALE



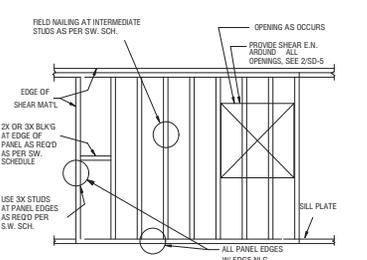
9 DETAIL OF BEAM POCKET

NOT TO SCALE



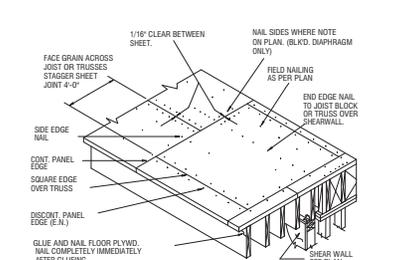
10 DETAIL OF BEAM TO POST W/ PLATE

NOT TO SCALE



11 TYPICAL SHEARWALL PANEL DETAIL

NOT TO SCALE



12 TYP. ROOF/FLOOR NAILING DETAIL

NOT TO SCALE TYP. FOR BLOCKED AND UNBLOCKED DIAPHRAGM

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 Email: db.engineering@gmail.com



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Sheet
S5
 of 5 sheets



