



CITY OF CAMPBELL
Community Development Department

March 12, 2021

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 23, 2021**, for a Public Hearing to consider the application of KUOP Designs for a Modification (PLN-2020-4) to a previously approved Site and Architectural Review Permit (PLN2016-88) to allow an approximately 500 square-foot addition and front facade remodel to an existing single-family home on property located at **879 Sweetbriar Drive**.

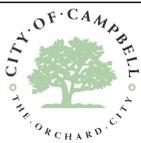
While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_bOwCjo-8TNegPpgzaDdMJg. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, March 19th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, March 12th, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

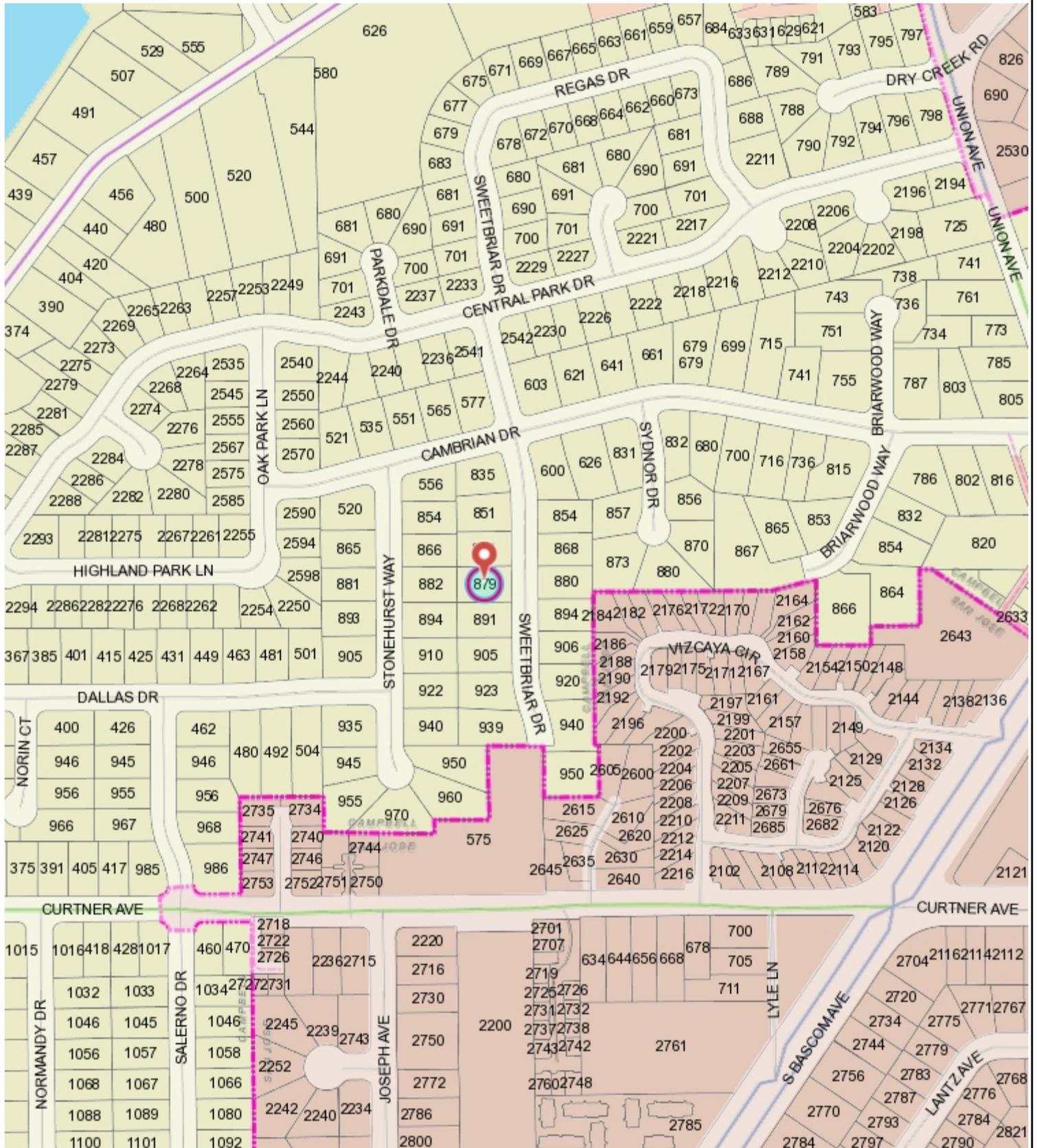
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling on this Notice, refer to **879 Sweetbriar Drive**



Location Map - 879 Sweetbriar Dr.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

FRESH CONCRETE AND MORTAR APPLICATION
BEST MANAGEMENT PRACTICES FOR

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Place hay bales or other erosion controls down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.

GENERAL BUSINESS PRACTICES

- Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

- When breaking up paving, be sure to pick up all the pieces and dispose properly.
- Recycle large chunks of broken concrete at a landfill.
- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never bury waste material.

STORM DRAIN POLLUTION FROM MASONRY AND PAVING

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.

DURING CONSTRUCTION

- Don't mix up more fresh concrete or cement than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.

LANDSCAPING, GARDENING, AND POOL MAINTENANCE
BEST MANAGEMENT PRACTICES FOR THE:

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers

GENERAL BUSINESS PRACTICES

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

POOL/FOUNTAIN/SPA MAINTENANCE

- Never discharge pool or spa water to a street or storm drain.

OR

- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.

- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.
- Do not use copper-based algacides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

LANDSCAPING/GARDEN MAINTENANCE

- Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.

- Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.

- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.

- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algacides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

HEAVY EQUIPMENT OPERATION

BEST MANAGEMENT PRACTICES FOR THE:

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.

- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.

- Do not use diesel oil to lubricate equipment or parts.

- Clean up spills immediately when they happen.

- Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup method (absorbent materials, cat litter, and/or rags) whenever possible. If you must use water, use just enough to keep the dust down.

- Sweep up spilled dry materials immediately. Never attempt to wash them away with water or bury them. Use as little water as possible for dust control.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate spill response agencies immediately.

STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE

Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES

BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.

- For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.

Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.

- For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.

WHAT CAN YOU DO?

- Recycle/reuse leftover paints whenever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

PAINT REMOVAL

- Chemical paint stripping residue is a hazardous waste.

- Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately.

- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.

- When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer.

STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

REVISIONS	DATE

Ownership of Documents
This document and the ideas and designs incorporated herein, as an integral part of the design, are the property of KUOP Designs LLC and is not to be used in whole or in part for any other project without written authorization.
C O D Y T I 9 H T 2 0 2 0

KUOP DESIGNS
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408.357.0818
3141 STEVENS CREEK BLVD #104
SAN JOSE, CA 95117

Blueprint for a Clean Bay

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

EARTH MOVING ACTIVITIES

BEST MANAGEMENT PRACTICES FOR THE:

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

DURING CONSTRUCTION

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around excavations.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

GENERAL BUSINESS PRACTICES

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

DETECTING CONTAMINATED SOIL OR GROUNDWATER

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

WATCH FOR ANY OF THESE CONDITIONS:

- Unusual soil conditions, discoloration, or odor
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.

ROADWORK AND PAVING

BEST MANAGEMENT PRACTICES FOR THE:

- Road Crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of: grading equipment paving machines dump trucks concrete mixers
- Construction inspectors
- General contractors
- Developers

WHAT CAN YOU DO?

GENERAL BUSINESS PRACTICES

- Develop and implement erosion/sediment control plans for embankments.
- Schedule excavation and grading work for dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.

WHEN REFUELING OR VEHICLE/EQUIPMENT MAINTENANCE MUST BE DONE ON SITE, DESIGNATE A LOCATION AWAY FROM STORM DRAINS AND CREEKS.

- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible.

DURING CONSTRUCTION

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

GENERAL CONSTRUCTION AND SITE SUPERVISION

BEST MANAGEMENT PRACTICES FOR THE:

Construction industry

WHAT CAN YOU DO?

- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
- Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
- Catch drips from paver with drip pans or absorbent material (cloth, rags, etc.) placed under machine when not in use.
- Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
- Avoid over application by water trucks for dust control.

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BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION

BEST MANAGEMENT PRACTICES FOR THE:

Construction industry

WHAT CAN YOU DO?

- Practice Source Reduction-minimize waste when you order materials. Order only the amount you need to finish the job.
- Use recyclable materials whenever possible.
- Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay). Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

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ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL

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BLUEPRINT FOR A CLEAN BAY

RESIDENTIAL ADDITION FOR:
MEIDINGER RESIDENCE
879 SWEETBRIAR DRIVE
CAMPBELL, CA 95008
APN# 412-40-031

DATE:	2020.11.18
SCALE:	PER SHEET
DRAWN BY:	DAVID
PLAN NO.:	1937

SHEET:
CVR2



REAR RIGHT OF PROPERTY



REAR OF PROPERTY



REAR LEFT OF PROPERTY



LEFT OF PROPERTY



FRONT LEFT OF PROPERTY



FRONT RIGHT OF PROPERTY

REVISIONS	DATE

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 This document and the ideas and designs incorporated herein, as an agent for the client, are the property of KUOP Designs LLC and is not to be used in whole or in part for any other project without written authorization.
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 SAN JOSE, CA 95117

PAGE TITLE
SITE PHOTOGRAPHY

RESIDENTIAL ADDITION FOR:
MEIDINGER RESIDENCE
879 SWEETBRIAR DRIVE
CAMPBELL, CA 95008
APN# 412-40-031

DATE: 2020.11.18
 SCALE: PER SHEET
 DRAWN BY: DAVID
 PLAN NO.: 1937

SHEET:
PLN1

REVISIONS	DATE

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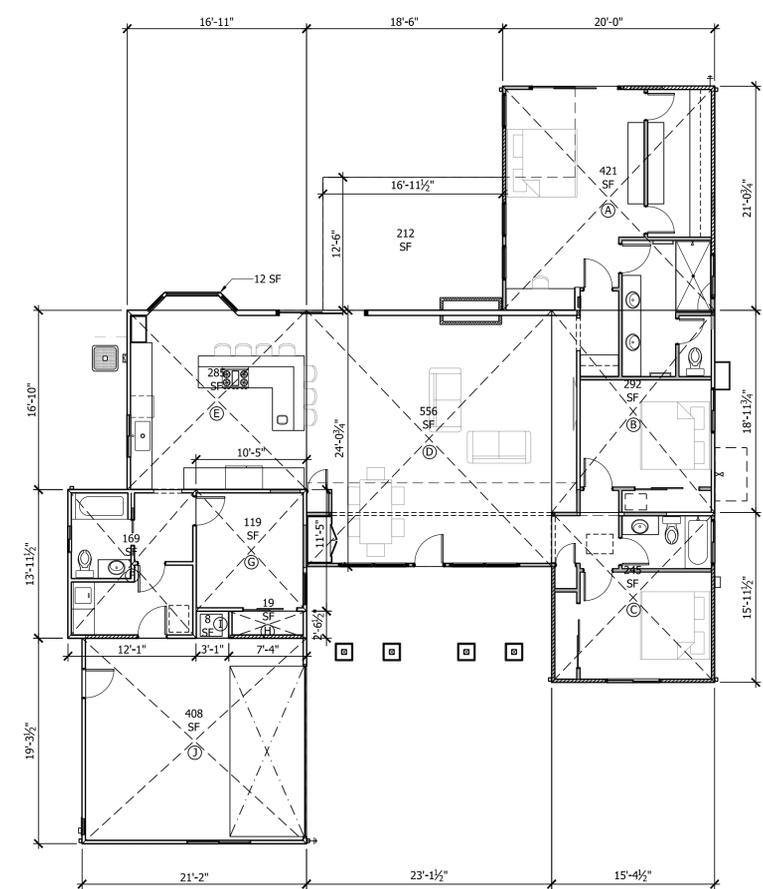
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 davidk@kuopdesigns.com
 408.357.0818
 3141 STEVENS CREEK BLVD #104
 SAN JOSE, CA 95117

PAGE TITLE
FLOOR AREA DIAGRAM

RESIDENTIAL ADDITION FOR:
 MEIDINGER RESIDENCE
 879 SWEETBRIAR DRIVE
 CAMPBELL, CA 95008
 APN# 412-40-031

DATE: 2020.11.18
 SCALE: PER SHEET
 DRAWN BY: DAVID
 PLAN NO.: 1937

SHEET:
PLN2



A	LIVING	421 SF
B	LIVING	292 SF
C	LIVING	245 SF
D	LIVING	556 SF
E	LIVING	285 SF
E1	LIVING	12 SF
F	LIVING	169 SF
G	LIVING	119 SF
H	LIVING	19 SF
TOTAL LIVING		2,118 SF
I	GARAGE	8 SF
J	GARAGE	408 SF
TOTAL GARAGE		416 SF

879 SWEETBRIAR FAR
 1/8" = 1'-0"

REVISIONS	DATE

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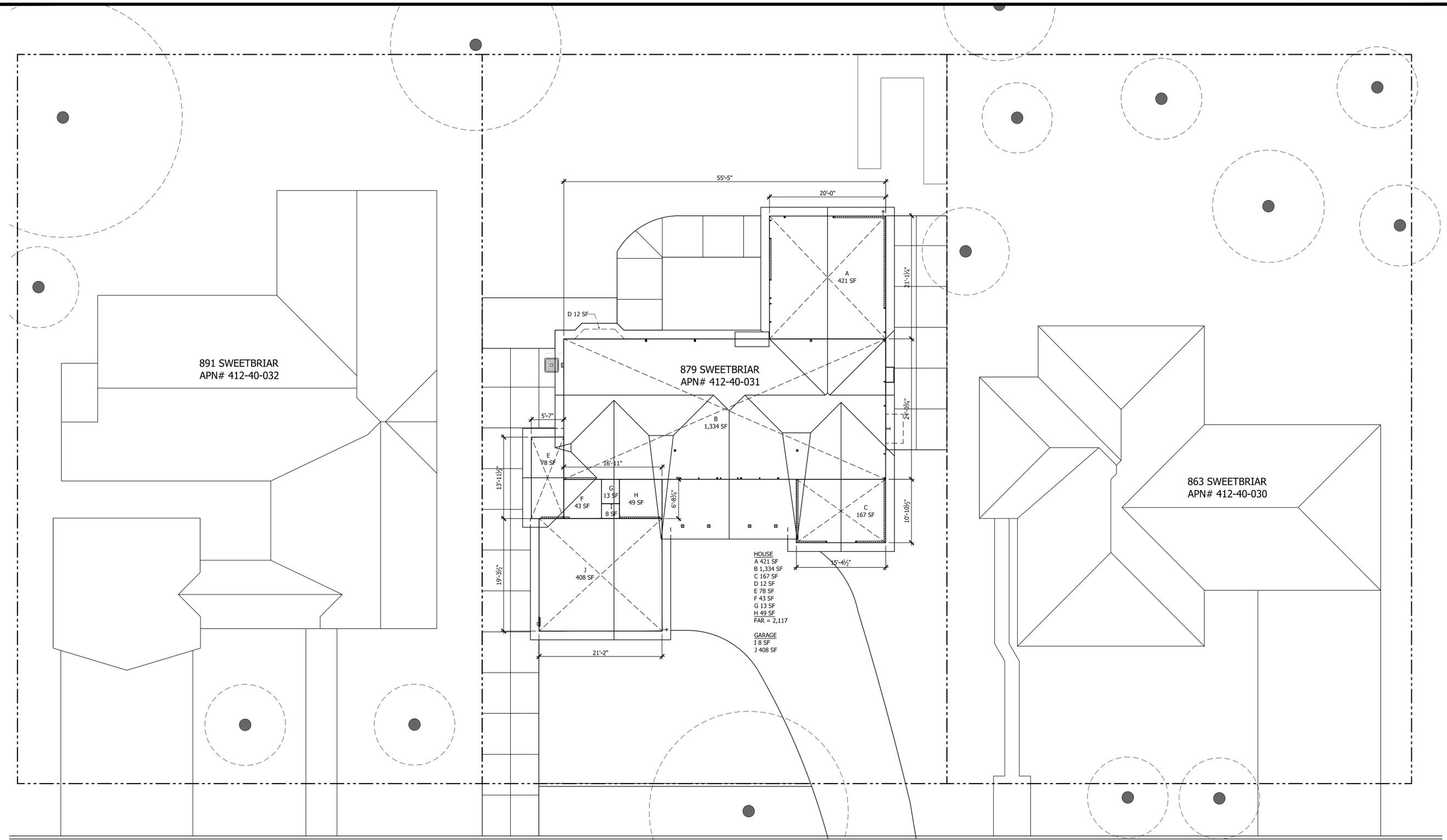
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PAGE TITLE
NEIGHBORHOOD CONTEXT MAP

RESIDENTIAL ADDITION FOR:
 MEIDINGER RESIDENCE
 879 SWEETBRIAR DRIVE
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DATE: 2020.11.18
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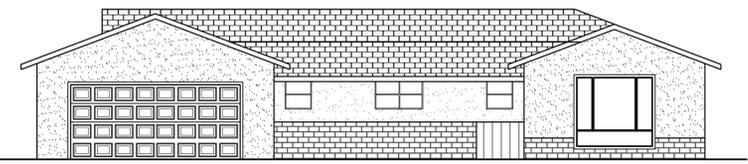
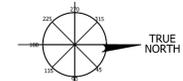
SHEET:
PLN3



879 SWEETBRIAR NEIGHBORHOOD CONTEXT MAP

1/8" = 1'-0"

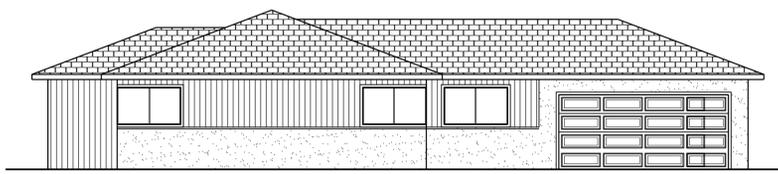
SWEETBRIAR DRIVE 60'-0" WIDE



891 SWEETBRIAR APN# 412-40-032
 1/8" = 1'-0"



879 SWEETBRIAR APN# 412-40-031
 1/8" = 1'-0"



863 SWEETBRIAR APN# 412-40-030
 1/8" = 1'-0"

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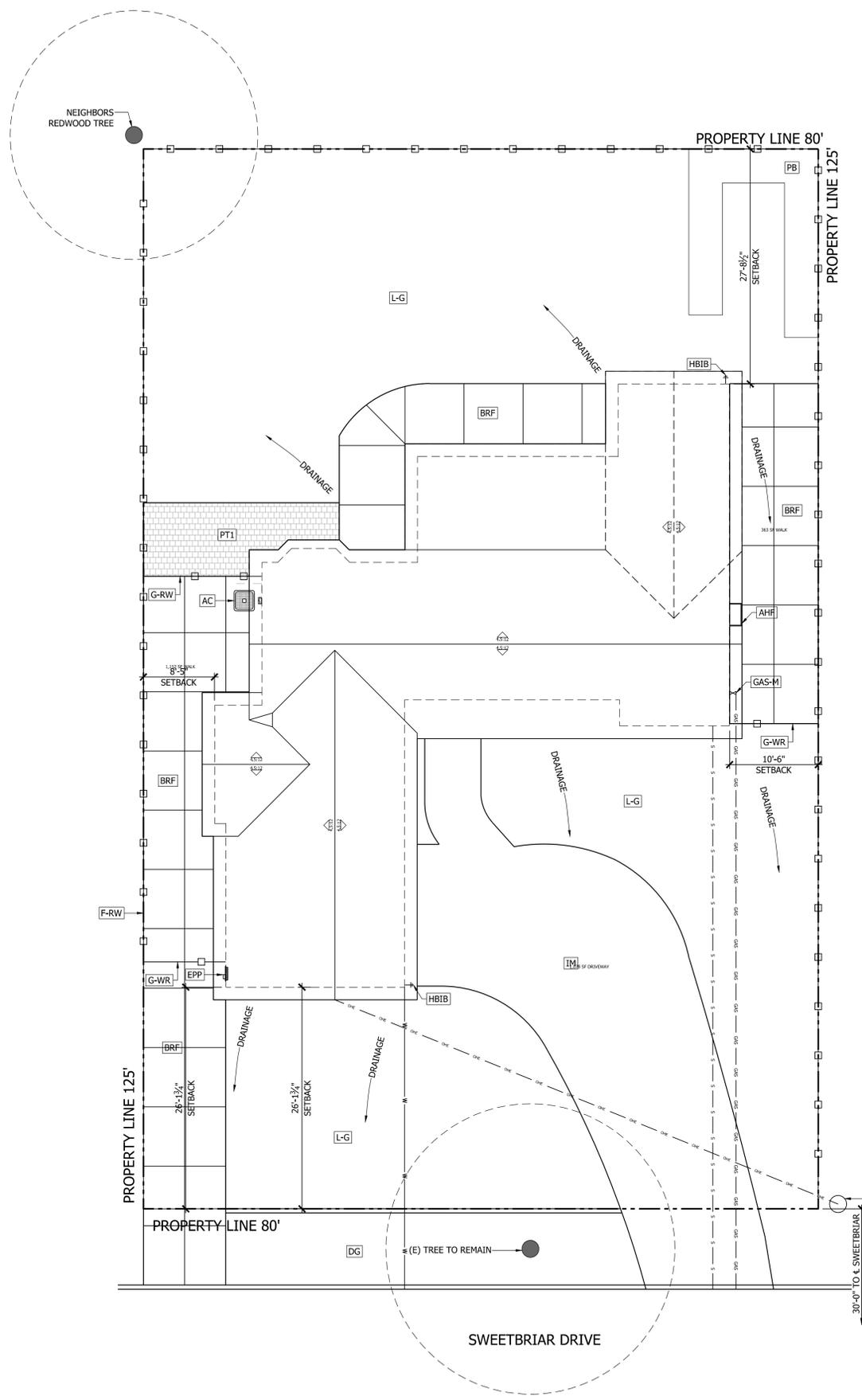
KUOP
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PAGE TITLE
ARCHITECTURAL SITE PLAN

RESIDENTIAL ADDITION FOR:
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879 SWEETBRIAR DRIVE
CAMPBELL, CA 95008
APN# 412-40-031

DATE: 2020.11.18
 SCALE: PER SHEET
 DRAWN BY: DAVID
 PLAN NO.: 1937

SHEET:
A0.2



LEGEND

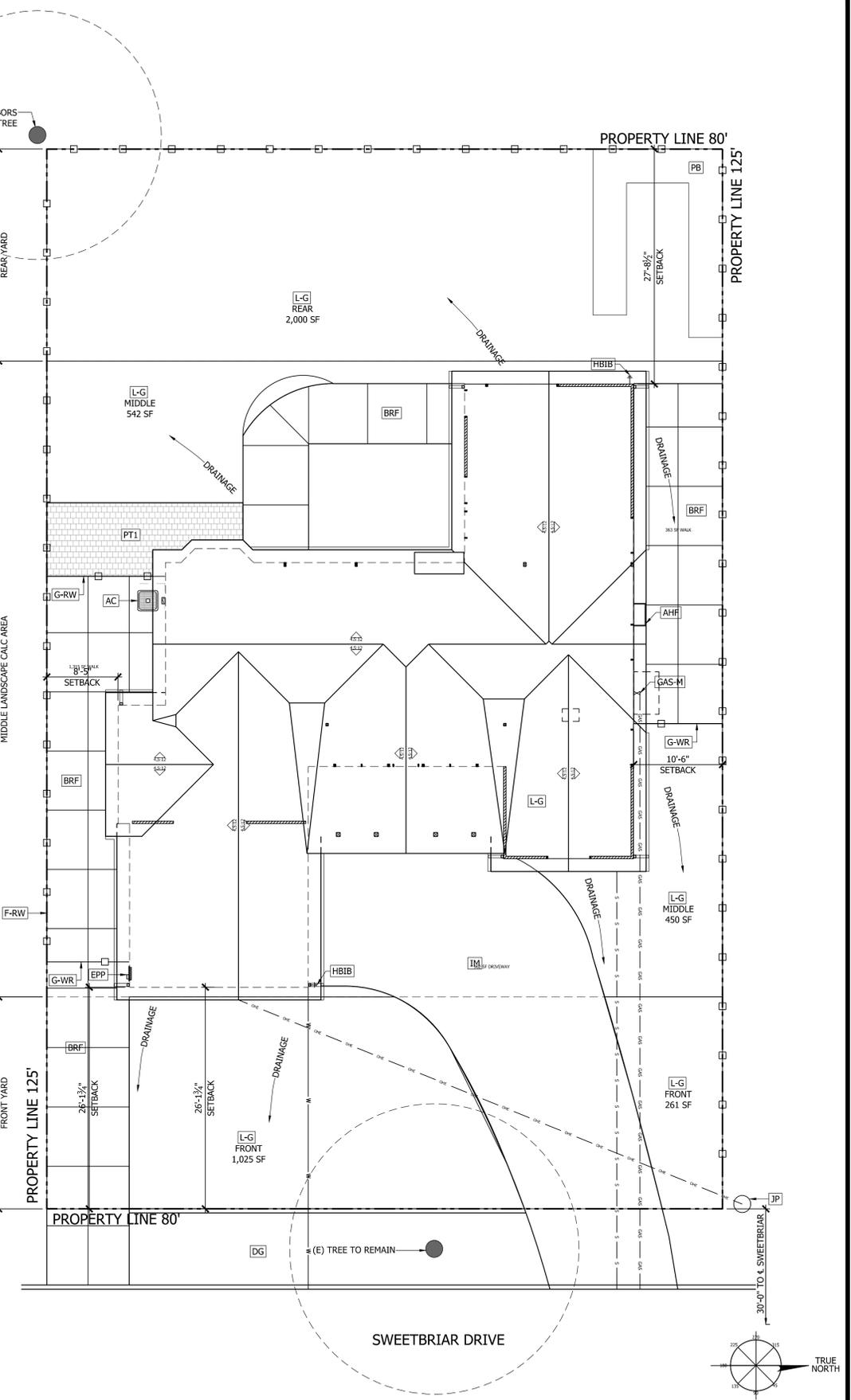
- S — UNDERGROUND WASTE
- W — UNDERGROUND WATER
- GAS — UNDERGROUND GAS
- OH — OVERHEAD ELEC

REFERENCE KEYNOTES

DIVISION 03 - CONCRETE	
TYPES OF FINISHES -	
BRF	- CONCRETE WITH BROOM FINISH
IM	- IMPRINTED CONCRETE
DIVISION 08 - DOORS AND WINDOWS	
AHF	- ACCESS HATCH, FLOOR
DIVISION 09 - FINISHES	
TITLE -	
PT1	- PAVER TILE, No. 1
DIVISION 11 - EQUIPMENT	
AC	- AIR CONDITIONER
GAS-M	- GAS METER SEE PG&E GREENBOOK SECTION 2.4.2 AND FIGURE 2-20 FOR CLEARANCES
DIVISION 22 - PLUMBING	
HBIB	- HOSE BIB
DIVISION 26 - ELECTRICAL	
EPP	- ELECTRICAL POWER PANEL
DIVISION 32 - PLANTING ACCESSORIES	
DG	- DECOMPOSED GRANITE
F-RW	- FENCE REDWOOD
G-RW	- GATE REDWOOD
G-WR	- GATE WROUGHT IRON
L-G	- LANDSCAPE GRASS
PB	- PLANTER BOX
DIVISION 33 - UTILITIES	
JP	- JOINT POLE

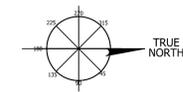
TREE PROTECTION NOTES:
 TREE PROTECTION IS MANDATORY FOR TREES THAT ARE OF A PROTECTED SIZE. FENCING FOR THE PROTECTION ZONES SHOULD BE 6 FOOT TALL METAL CHAIN LINK TYPE SUPPORTED BY 2 INCH DIAMETER METAL POLES POUNDED INTO THE GROUND TO A DEPTH OF NO LESS THAN 2 FEET. THE SUPPORT POLES SHOULD BE SPACED NO MORE THAN 10 FEET. THE SUPPORT POLES SHOULD BE SPACED NO MORE THAN 10 FEET APART ON CENTER. THE LOCATION FOR THE PROTECTION FENCING SHOULD BE PLACED AT A MINIMUM DISTANCE EQUAL TO THE TREES DRIPLINES AND AT A MAXIMUM DISTANCE OF 10 TIMES THE TREES DIAMETERS WHERE POSSIBLE. WHERE TREE PROTECTION FENCING CANNOT BE PLACED AT THE DRIPLINE BECAUSE OF THE PROPOSED WORK, TREE PROTECTION SHOULD BE PLACED AS CLOSE AS POSSIBLE TO THE PROPOSED WORK WHILE STILL ALLOWING ROOM FOR CONSTRUCTION TO SAFELY CONTINUE. SIGNS SHOULD BE PLACED ON FENCING SIGNIFYING TREE PROTECTION ZONE - "KEEP OUT" NO MATERIALS OR EQUIPMENT SHOULD BE STORED OR CLEANED INSIDE THE TREE PROTECTION ZONES. IF TREE PROTECTION ZONES NEED TO BE REDUCED FOR ACCESS THEN A LANDSCAPE BUFFER SHALL BE INSTALLED WHERE TREE PROTECTION DOES NOT EXTEND OUT TO THE MINIMUM DISTANCE EQUAL TO THE TREES DRIPLINE FOR THE PROTECTED TREES ON SITE. FOR THE SMALLER NON PROTECTED TREES, NO PROTECTION IS REQUIRED, ALTHOUGH IT IS RECOMMENDED IF A TREE IS TO BE RETAINED BY PLACING FENCING AT THE DRIPLINE OF THE TREES.

NET LOT AREA 10,000 SF
 FRONT YARD: 2,000 SF (HARDSCAPE 50% MAX)
 FRONT HARDSCAPE: 714 SF
 FRONT LANDSCAPE: 1,286 SF
 MIDDLE HARDSCAPE: 2,294 SF
 MIDDLE LOT COVERAGE: 2,724 SF
 MIDDLE LANDSCAPE: 992 SF
 REAR HARDSCAPE: 0 SF
 REAR LANDSCAPE: 2,000 SF



879 SWEETBRIAR SITE PLAN EXISTING
 1/8" = 1'-0"

879 SWEETBRIAR SITE PLAN NEW
 1/8" = 1'-0"



AIR CONDITIONING UNIT NOTES

1. THE INSTALLATION OF THE AIR CONDITIONING UNIT SHALL FOLLOW THE MANUFACTURER'S INSTALLATION INSTRUCTIONS (CRC R106.1.2)
2. AN ELECTRICAL DISCONNECT FOR THE UNIT SHALL BE PROVIDED WITHIN SIGHT OF THE UNIT AND READILY ACCESSIBLE. THE MAIN ELECTRICAL PANEL SHALL BE LABELED WITH THE CIRCUIT FOR THE NEW EQUIPMENT (CEC 408.4(A), 440.11 AND 440.14)
3. PROVIDE A 15 OR 20 AMP RECEPTACLE OUTLET AT AN ACCESSIBLE LOCATION WITHIN 25 FEET OF THE CONDENSER UNIT. IF LOCATED OUTSIDE, THE RECEPTACLE SHALL BE GFCI PROTECTED, WATER-RESISTANT AND IN A WEATHERPROOF COVER (CEC 210.63, 210.8 AND 406.9)
4. THE CONDENSER UNIT SHALL BE LOCATED AND ANCHORAGE TO A MINIMUM 3 INCH THICK SLAB OR APPROVED PLATFORM (CMC 1105.2)
5. THE CONDENSATE DRAINAGE LINE SHALL DRAIN TO A LANDSCAPED AREA OR TO THE TAIL PIECE OF A SANITARY SEWER LINE (CMC 310.1, 310.5, 310.6, 1105.7)
6. THE REFRIGERANT PORT PROTECTION CIRCUIT ACCESS LOCATED OUTDOOR SHALL BE PROTECTED FROM UNAUTHORIZED ACCESS WITH A LOCK-TYPE TAMPER RESISTANT CAP (CMC 1105.11)
7. CONDENSING UNITS FOR A SINGLE-PACKAGE AIR CONDITIONER UP TO 45,000 Btu/h MUST HAVE A MINIMUM SEASONAL ENERGY EFFICIENCY RATING OF 14 (SEER) AND AN ENERGY EFFICIENT RATIO OF 12.2 (EER) (2019 BUILDING ENERGY EFFICIENCY STANDARDS)
8. INSULATION ON THE SUCTION LINE (COOLING REFRIGERANT LINE) SHALL BE PROTECTED FROM PHYSICAL DAMAGE OR ULTRAVIOLET DEGRADATION BY AN ALUMINUM OR METAL SHROUD, PAINT, PLASTIC COVER, OR ULTRAVIOLET RESISTANT TAPE (CENECR 150.0(m)9).
9. CLEARANCE TO A CLOTHES DRYER VENT - WHEN LOCATED OUTDOORS, THE CONDENSING UNIT SHALL BE A MINIMUM OF FIVE FEET CLEARANCE FROM THE TERMINATION OF A CLOTHES DRYER VENT (CENECR 150.0(h)3(A)).
10. AIR CONDITIONING UNITS SHALL NOT BE LOCATED IN A MANNER THAT WOULD NEGATIVELY IMPACT SURROUNDING AREAS AND BE SCREENED FROM PUBLIC VIEW WITH A MINIMUM SETBACK OF THREE FEET FROM ANY PROPERTY LINE.

ENERGY COMPLIANCE NOTES

1. ALL RESIDENCES SHALL MEET THE REQUIREMENTS OF ANSI/ASHRAE STANDARD 62.2-2007.
2. ENERGY STAR COMPLIANT QUIET (1.0 SONE MAX.) CEILING MOUNTED BATH FAN OR REMOTE-MOUNTED INLINE FAN MEETING THE REQUIRED VENTILATION RATE IS REQUIRED.
3. MANDATORY MIN. VENTILATION RATE FOR BATHROOMS = 50 CFM.
4. MANDATORY MIN. VENTILATION RATE FOR KITCHEN HOODS = 100 CFM.
5. UNLESS FUNCTIONING AS A WHOLE HOUSE VENTILATION SYSTEM, BATHROOM FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.

WATER CONSERVATION NOTES

1. ALL FIXTURES ARE NEW! PLUMBING FIXTURES AND PLUMBING FITTINGS SHALL MEET THE FOLLOWING STANDARDS:

LAVATORY FAUCETS	1.2 GPM MAX @ 60 PSI	JULY 1, 2016
KITCHEN FAUCETS	1.8 GPM MAX	JANUARY 1, 2016
WATER CLOSETS	1.28 GAL/FLUSH MAX	JANUARY 1, 2016
*SHOWER DEVICES	1.8 GPM MAX	JULY 1, 2018

* "SHOWER DEVICES" INCLUDES SHOWERHEADS, HANDSHOWERS AND BODY SPRAYS/JETS

NON-COMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENTS

1. EFFECTIVE JANUARY 1, 2014 ALL BUILDINGS UNDERGOING PERMIT ALTERATION, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES

LAVATORY FAUCETS	EXCEED 2.2 GPM
KITCHEN FAUCETS	EXCEED 2.2 GPM
WATER CLOSETS	EXCEED 1.6 GALLONS/FLUSH
SHOWER DEVICES	EXCEED 2.5 GALLONS PER MINUTE

IF THE EXISTING PLUMBING FIXTURE WATER USAGE/FLOW RATE IS EQUAL TO OR LOWER THAN THE FIGURE SHOWN ABOVE, IT IS NOT REQUIRED TO BE UPGRADED. IF AN UPGRADE IS REQUIRED, PLEASE FOLLOW WATER CONSERVATION NOTES ABOVE.

WILDFIRE PROTECTION NOTES (CRC R337)

1. NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE FIRE AREA DESIGNATED BY THE ENFORCING AGENCY SHALL COMPLY WITH PROVISIONS OF CHAPTER R327 AND SHALL BE IGNITION RESISTANT MATERIAL, NON-COMBUSTIBLE MATERIAL, FIRE-RETARDANT-TREATED WOOD, FIRE-RETARDANT-TREATED WOOD SHINGLES AND SHAKES CONFORMING TO SECTION R327.4), R337.1.3 & R337.4.3
2. MATERIAL AND MATERIAL ASSEMBLIES TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION R337.3 SHALL BE ACCEPTED FOR USE WHEN THE RESULTS AND CONDITIONS OF THOSE TESTS ARE MET. PRODUCT EVALUATION TESTING OF MATERIAL AND MATERIAL ASSEMBLIES SHALL BE APPROVED OR LISTED BY THE STATE FIRE MARSHAL, OR IDENTIFIED IN A CURRENT REPORT ISSUED BY AN APPROVED AGENCY. R337.3.2
3. ROOF VALLEY FLASHING SHALL BE NOT LESS THAN NO. 26 GAGE SHEET CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36 INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72 # ASTM D 3909 CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CRC 337.5.3
4. ROOF OR PORCH EAVES AND SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS, NON COMBUSTIBLE CONSTRUCTION, ONE LAYER OF 5/8" TYPE 'X' GYPSUM SHEATHING, OR A 1 HOUR ASSEMBLY APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE RAFTER TAILS OR SOFFIT. THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY. CRC 337.7.5 & R337.7.6
5. EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, HEAVY TIMBER OR LOG CONSTRUCTION WITH WALL COVERINGS EXTENDING FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2-INCH SOLID BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE. THE FOLLOWING SHALL BE DEEMED TO MEET THE ASSEMBLY PERFORMANCE CRITERIA AND INTENT OF THIS SECTION; 1) ONE LAYER OF 5/8" TYPE 'X' GYPSUM SHEATHING APPLIED BEHIND THE EXTERIOR COVERING OR CLADDING ON THE EXTERIOR SIDE OF THE FRAMING. 2) THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY DESIGNED FOR EXTERIOR FIRE EXPOSURE INCLUDING ASSEMBLIES USING THE GYPSUM PANEL AND SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOCIATION FIRE RESISTIVE DESIGN MANUAL. CRC R337.7.3 & R337.7.3.1
6. EXTERIOR DOORS SHALL BE SOLID CORE WITH STILES AND RAILS NOT LESS THAN 1 3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4 INCH OR SHALL HAVE A FIRE RATING OF 20 MINUTES. CRC R337.8.3
7. ALL VENTS SHALL HAVE OPENINGS A MINIMUM OF 1/2" AND SHALL NOT EXCEED 1/8". THE MATERIALS SHALL BE NONCOMBUSTIBLE AND CORROSION RESISTANT.
8. ALL WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF CBC SECTION 2406 SAFETY GLAZING, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES, OR MEET THE REQUIREMENTS OF SFM12-7A-2.
9. ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS PER CRC R337.5
10. VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES OR CORNICES, UNLESS THEY RESIST THE INTRUSION OF FLAME AND EMBERS AND ARE FIRST APPROVED BY THE BUILDING OFFICIAL.
11. THE EXPOSED UNDERSIDE OF ENCLOSED ROOF EAVES, PORCH CEILINGS, AND FLOOR PROJECTIONS SHALL BE NON COMBUSTIBLE, IGNITION RESISTANT, 5/8" GYPSUM SHEATHING, A 1 HR ASSEMBLY, OR MEET THE REQUIREMENTS OF STATE FIRE MARSHALL TEST STANDARD 12-7A-3.
12. DECK, PORCH, BALCONY, AND STAIR WALKING SURFACES SHALL BE IGNITION RESISTANT COMPLYING WITH SFM12-7A-4 AND SFM12-7A-5, FIRE RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL.
13. PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS, COMMONLY CALLED "DEFENSIBLE SPACE", PRESCRIBED IN CALIFORNIA PUBLIC RESOURCES CODE 4291.

FIRE SEPARATION NOTES

1. GARAGE DOOR: DOOR TO LIVING AREA MUST BE 1-3/8" SOLID CORE OR EQUAL. DOORS WILL BE SELF-CLOSING, WEATHER STRIPPED AND HAVE A SELF LATCHING LATCH.
2. DUCTS IN GARAGES: NO NON-APPROVED, NON-METALLIC PENETRATIONS ARE ALLOWED. AIR DUCTS IN GARAGE THAT PASS THROUGH SEPARATION WALL - TO BE MIN. NO. 26 GAGE STEEL.
3. FIRE CAULKING: SHALL BE INSTALLED WITH APPROVED FIRE CAULKING
4. ALL FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R302.11 AND SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
 - 4.1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS AS FOLLOWS:
 - 4.1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS
 - 4.1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET
 - 4.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS
 - 4.3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7
 - 4.4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
 - 4.5. FOR THE FIRE BLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.

TABLE 501.1 2019 CPC FIRST HOUR RATING WATER HEATER SIZING

NUMBER OF BATHROOMS	1 TO 1.5	2 TO 2.5	3 TO 3.5
NUMBER OF BEDROOMS	2 3 4 5 6	3 4 5 6	4 5 6
FIRST HOUR RATING, GAL	42 54 54	54 67 67 80	67 80 80 80

FOR SI UNITS: 1 GALLON = 3.785 L
 NOTE:

1. THE FIRST HOUR RATING IS FOUND ON THE "ENERGY GUIDE" LABEL.
2. SOLAR WATER HEATERS SHALL BE SIZED TO MEET THE APPROPRIATE FIRST HOUR RATING AS SHOWN IN THE TABLE

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY SITE CONDITIONS AND ALL DIMENSIONS PRIOR TO STARTING WORK, ORDERING MATERIAL, OR BUILDING. NOTIFY OWNER OF ANY DISCREPANCIES.
2. BUILDING INSULATION VALUES:

EXTERIOR WALLS	R-13 BATT
INTERIOR WALLS	R-13 BATT (OPTIONAL)
SLAB	NONE
ROOF	R-30 BATT
3. THE CONTRACTORS SHALL FULLY COORDINATE WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL COMPONENTS OF THE BUILDING.
4. ALL DOORS AND WINDOWS SHALL BE WEATHER-STRIPPED. ALL JOINTS AND PENETRATIONS SHALL BE CAULKED AND SEALED.
5. ALL EGRESS WINDOWS TO HAVE MAX BOTTOM RAIL HEIGHT OF 44 INCHES. MIN CLEAR WIDTH SHALL BE 20 INCHES. MIN CLEAR HEIGHT SHALL BE 24 INCHES. MIN OPENABLE AREA SHALL BE 5.7 SQ FT.
6. SAFETY GLAZING IS REQUIRED IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
7. ALL EXTERIOR WALLS SHALL 2x DF FRAMING @ 16" O.C. & FINISHED WITH STUCCO SYSTEM (3 COAT, 1/2" STUCCO SYSTEM OVER APPROVED LATH AND 2 LAYERS OF CLASS 'D' BUILDING PAPER), ALL INTERIOR WALLS SHALL BE 2x DF FRAMING @ 16" O.C. & FINISHED WITH 1/2" GYPSUM BOARD. CEILINGS SHALL BE FINISHED WITH 5/8" GYPSUM BOARD.
8. PROVIDE WINDOWS WITH LOW E COATING & DUAL GLAZING. OBSERVE URBAN-WILDLAND INTERFACE REQ'S.
9. ALL BUILDING PADS SHALL SLOPE 5% AWAY FROM BUILDING FOR 10'. CRC SEC 1803.3.
10. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGBC 4.410.1
11. POLLUTANT CONTROL AND EMISSIONS SHALL CONFORM TO CGBC SECTION 4.504
12. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR SHALL BE CHECKED BEFORE ENCLOSURE, CGBC 4.505.3
13. GUARDRAILS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARDRAIL HEIGHT WHICH ALLOW THE PASSAGE OF A SPHERE 4" IN DIAMETER (4") AT STAIR RAILS & 6" AT STAIR TREADS.
14. ATTIC ACCESS SHALL BE WEATHER STRIPPED TO PREVENT AIR LEAKAGE AND SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS
15. EXTERIOR DOORS SHALL HAVE AN EXTERIOR LANDING A MAXIMUM OF 7 1/2" BELOW THRESHOLD IF DOOR SWINGS IN AND A MAXIMUM OF 1 1/2" IF DOOR SWINGS OUT
16. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL BE MIN 4" AND CONTRAST WITH THEIR BACKGROUND PER R319.1

MECHANICAL NOTES

1. THE CLOTHES DRYER EXHAUST DUCT IS LIMITED 14' TOTAL LENGTH, INCLUDING ELBOWS, FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2' FOR EVERY ELBOW IN EXCESS OF 2.
2. CLOTHES DRYER EXHAUST SHALL BE A MINIMUM 4 INCHES, TERMINATE TO THE OUTSIDE OF THE BUILDING, SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER AND MEET THE REQUIREMENTS OF CMC 504.3. PROVIDE 100 SQ INCH MINIMUM MAKE-UP AIR OPENING FOR DOMESTIC DRYERS
3. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
4. EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FT ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS.
5. EVAPORATIVE COOLER SHALL BE ISOLATED FROM THE GROUND BY A LEVEL CONCRETE SLAB EXTENDING NOT LESS THAN 3 INCHES ABOVE THE ADJOINING GROUND LEVEL (CMC 935.4.2)
6. GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6
7. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7
8. ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1
9. DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7
10. DIRECT VENT APPLIANCES PER CMC 802.2.1 (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS)
11. 26 GAUGE DUCT IN GARAGE
12. SUITABLE COVER SHALL BE INSTALLED OVER EXTERIOR INSULATED PIPES (AC SUCTION, WATER LINES, ETC) EX PAINTED CANVAS, PLASTIC COVER, SHEET METAL, ETC.) CA ENERGY CODE 150.0(j)3
13. ALL NEWLY INSTALLED GAS FIREPLACES SHALL BE DIRECT VENT AND SEALED-COMBUSTION TYPE. CMC 912.2
14. VENTILATION HEATING AND AIR CONDITIONING SYSTEMS SHALL HAVE MERV 6 FILTERS OR BETTER CEC 150.0(m)28
15. PROVIDE AN ADDITIONAL WATERTIGHT PAN OF CORROSION-RESISTANT MATERIAL WITH A SEPARATE DRAIN LINE, UNDERNEATH CONDENSATE-PRODUCING UNITS TO CATCH THE OVERFLOW CONDENSATE DUE TO A CLOGGED PRIMARY CONDENSATE DRAIN IN THE SPACE. NOTE THAT THE SECONDARY DRAIN LINE MUST BE LOCATED WHERE IT CAN BE READILY OBSERVED. CMC 310.2(2) AND CPC 814.2

PLUMBING NOTES

1. SHOWER AND/OR TUB-SHOWER COMBINATIONS ARE TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE WATER TEMPERATURE MAXIMUM IS A SETTING OR 120 F. SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET.
 2. WATER HEATER TO HAVE SEISMIC BRACING AS PER MANUFACTURERS INSTRUCTIONS OR STATE ARCHITECT OFFICE GUIDELINES. ALL STORAGE TYPE WATER HEATERS NEED A TEMPERATURE/PRESSURE RELIEF VALVE WITHIN A 3/4" HARD PIPE DRAIN WHICH TERMINATES 6" TO 24" ABOVE GRADE AND POINTING DOWNWARD. THE DRAIN PIPE SHALL MAINTAIN A DOWNWARD SLOPE TO THE EXTERIOR. WATER HEATER PAN SHALL BE INSTALLED WITH A 3/4" DRAIN. FIRST 5' HOT AND COLD SHALL BE INSULATED, AND A CATEGORY III OR IV VENT, OR B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED AND A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER AND ALLOWS NATURAL DRAINING WITHOUT PUMP.
 3. FIXTURES ABOVE SHOWERS AND BATHTUB AREAS SHALL BE RATED MOISTURE RESISTIVE.
 4. 2X6 WALL REQUIRED WHEN PIPING OUTER DIAMETER IS GREATER THAN 2" PER CRC 602.69.1
 5. PROVIDE A MINIMUM 3" SEDIMENT TRAP FOR THE GAS LINE TO THE WATER HEATER AND TO THE FURNACE LOCATED ON THE APPLIANCE SIDE OF THE SHUTOFF FOR THE GAS TO EACH APPLIANCE (CPC 1210.B)
 6. PROVIDE 1" INSULATION ON FIRST 5 FT. OF HOT AND COLD WATER PIPES AT THE WATER HEATER, ALL PIPING WITH NOMINAL 3/4" OR LARGER, ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN (CEC 150 (j))
 7. ANTI-SIPHON DEVICES ARE REQUIRED AT ALL HOSE BIBBS. MIN ONE BACK AND ONE FRONT OF STRUCTURE. THIS IS TO PREVENT THE POSSIBLE BACKFLOW OF CONTAMINATED WATER INTO THE POTABLE WATER SYSTEM.
 8. ISOLATION WATER VALVES REQUIRED FOR INSTANTANEOUS WATER HEATERS 6.8KBTUHR & ABOVE. VALVES SHALL BE INSTALLED ON BOTH COLD AND HOT WATER LINES. CA ENERGY CODE 110.3(c)7
 9. SUITABLE COVER SHALL BE INSTALLED OVER EXTERIOR INSULATED PIPES (AC SUCTION, WATER LINES, ETC) EX PAINTED CANVAS, PLASTIC COVER, SHEET METAL, ETC.) CA ENERGY CODE 150.0(j)3
 10. WATER, SOIL AND WASTE PIPES IN ATTICS AND CRAWL SPACES SHALL BE PROVIDED WITH FREEZE PROTECTION. CPC 312.6
 11. ABS PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINTS. CPC 312.13
 12. PVC PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINT, .04" THICK WRAP OR OTHERWISE PROTECTED FROM UV DEGRADATION. CPC 312.14
 13. THE ADJACENT SPACE NEXT TO SHOWERS WITHOUT THRESHOLDS (CURBLESS) SHALL BE CONSIDERED A "WET LOCATION"
 14. DOMESTIC HOT WATER LINES SHALL BE INSULATED. INSULATION SHALL BE THE THICKNESS OF THE PIPE DIAMETER UP TO 2" IN SIZE AND MINIMUM 2" THICKNESS FOR PIPES LARGER THAN 2" IN DIAMETER.
 15. UNDERFLOOR CLEANOUTS SHALL NOT BE MORE THAN 5 FEET (OLD CODE WAS 20FT) FROM AN UNDERFLOOR ACCESS, ACCESS DOOR OR TROOP DOOR.
 16. 710.1. DRAINAGE PIPING SERVING FIXTURES WHICH HAVE FLOOD LEVEL RIMS LESS THAN TWELVE (12) INCHES (304.8 MM) ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE AND/OR FLUSHING INLET COVER AT THE PUBLIC OR PRIVATE SEWER SYSTEM SERVING SUCH DRAINAGE PIPING SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE BACKWATER VALVE. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE, UNLESS FIRST APPROVED BY THE ADMINISTRATIVE AUTHORITY.
 17. NO DOMESTIC DISH WASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHING AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD-LEVEL MARKING AT OR ABOVE THE FLOOR LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER. CPC 807.3
 18. ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 2019 CPC & CGBC SECTION 4.303.2
 19. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM RATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGBC SECTION 4.406.1
- SHOWER NOTES**
1. THE SHOWER COMPARTMENT(S) REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ INCHES AND ALSO CAPABLE OF ENCOMPASSING 30" CIRCLE. THE MIN. REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND AT A POINT TANGENT TO ITS CENTERLINE. THE AREA AND DIMENSION SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70 INCHES ABOVE THE SHOWER DRAIN OUTLET. PER 2019 CPC 408.6
 2. SHOWERS (AND TUB/SHOWERS) ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS. PER 2019 CPC 408.3 SHOWER (AND TUB/SHOWER) WALLS HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET PER 2019 CPC 307.2
 3. THE FINISHED FLOOR OF THE RECEPTOR SHALL SLOPE UNIFORMLY FROM THE SIDES TOWARD THE DRAIN NOT LESS THAN 1/4" PER FOOT AND NOT MORE THAN 1/2" PER FOOT
 4. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60 INCHES VERTICALLY AND 60" HORIZONTALLY ABOVE THE ADJACENT TO THE STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER 2019 CRC 308.4.5
 5. DOOR INTO THE ENCLOSE PROVIDES A MINIMUM 22" CLEAR WIDTH DIMENSION PER 2019 CPC 408.5 DOOR MUST OPEN OUTWARD
 6. THE LOCATION OF THE VALVE CONTROLS LOCATED ON THE SIDE WALL OR ARRANGED SO THAT THE SHOWER DOES NOT SPRAY DIRECTLY AT THE ENTRANCE.

REVISIONS	DATE

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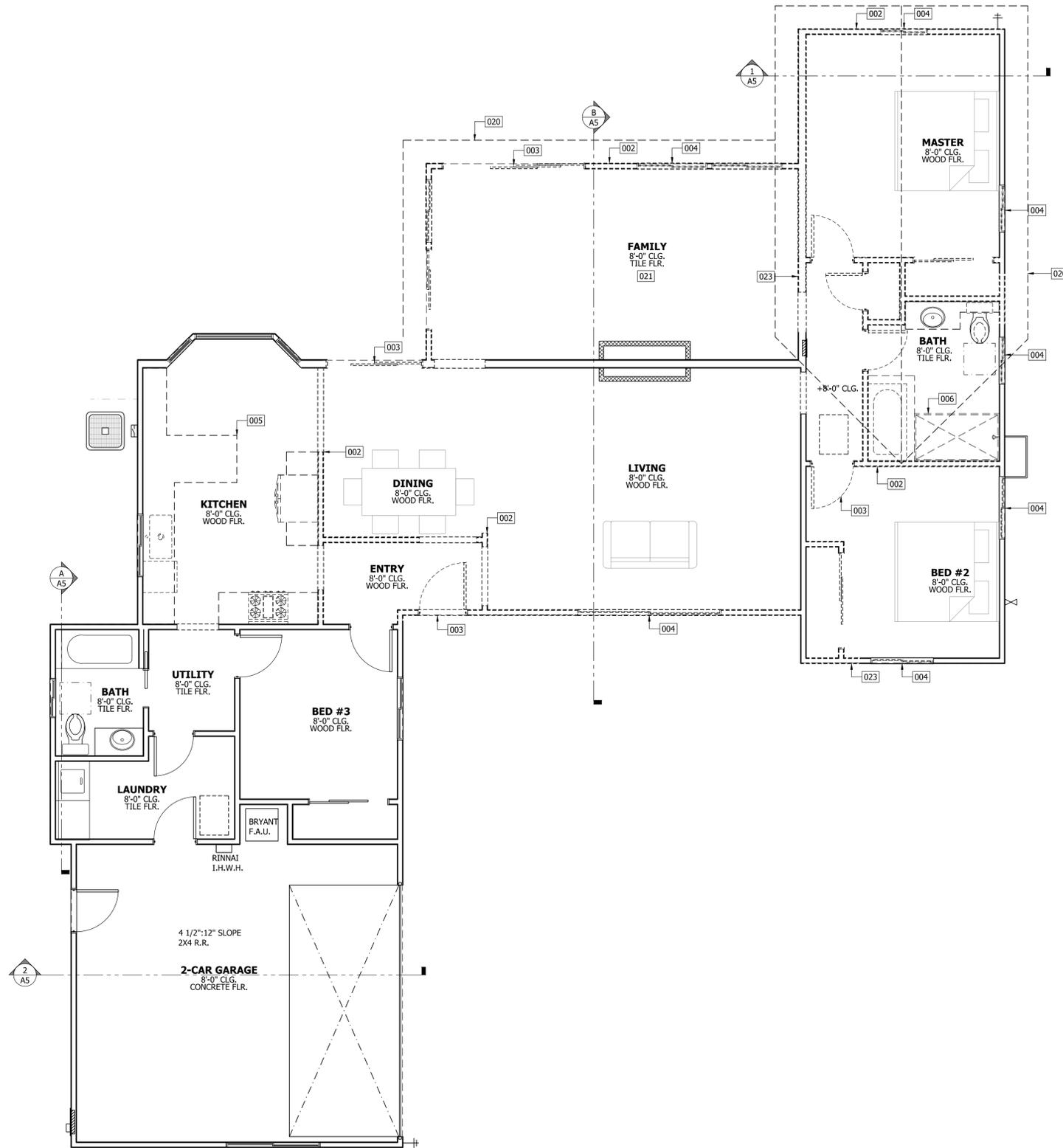
PAGE THREE

ARCHITECTURAL NOTES

RESIDENTIAL ADDITION FOR:
MEIDINGER RESIDENCE
 879 SWEETBRIAR DRIVE
 CAMPBELL, CA 95008
 APN# 412-40-031

DATE: 2020.11.18
 SCALE: PER SHEET
 DRAWN BY: DAVID
 PLAN NO.: 1937

SHEET:
A1.1



REFERENCE KEYNOTES

DIVISION 02 - DEMOLITION	
002	- REMOVE PORTION OF EXISTING WALL
003	- REMOVE EXISTING DOOR
004	- REMOVE EXISTING WINDOW
005	- REMOVE EXISTING KITCHEN CABINETS AND FIXTURES
006	- REMOVE EXISTING BATHROOM CABINETS AND FIXTURES
020	- REMOVE EXISTING ROOF FRAMING
021	- REMOVE EXISTING FOUNDATION
023	- REMOVE PORTION OF EXISTING STEM WALL FOR UNDER FLOOR ACCESS

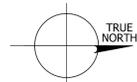
CONSTRUCTION WASTE MANAGEMENT:
 RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE PER CGC 4.408.1

WALL LEGEND

	NEW WALL (SEE GENERAL NOTE #7/A0.1)
	EXISTING WALL
	DEMOLITION WALL
	1 HR FIRE WALL
	SHEAR WALL, SEE STRUCTURAL DRAWINGS

879 SWEETBRIAR FLOOR PLAN EXISTING

1/4" = 1'-0"



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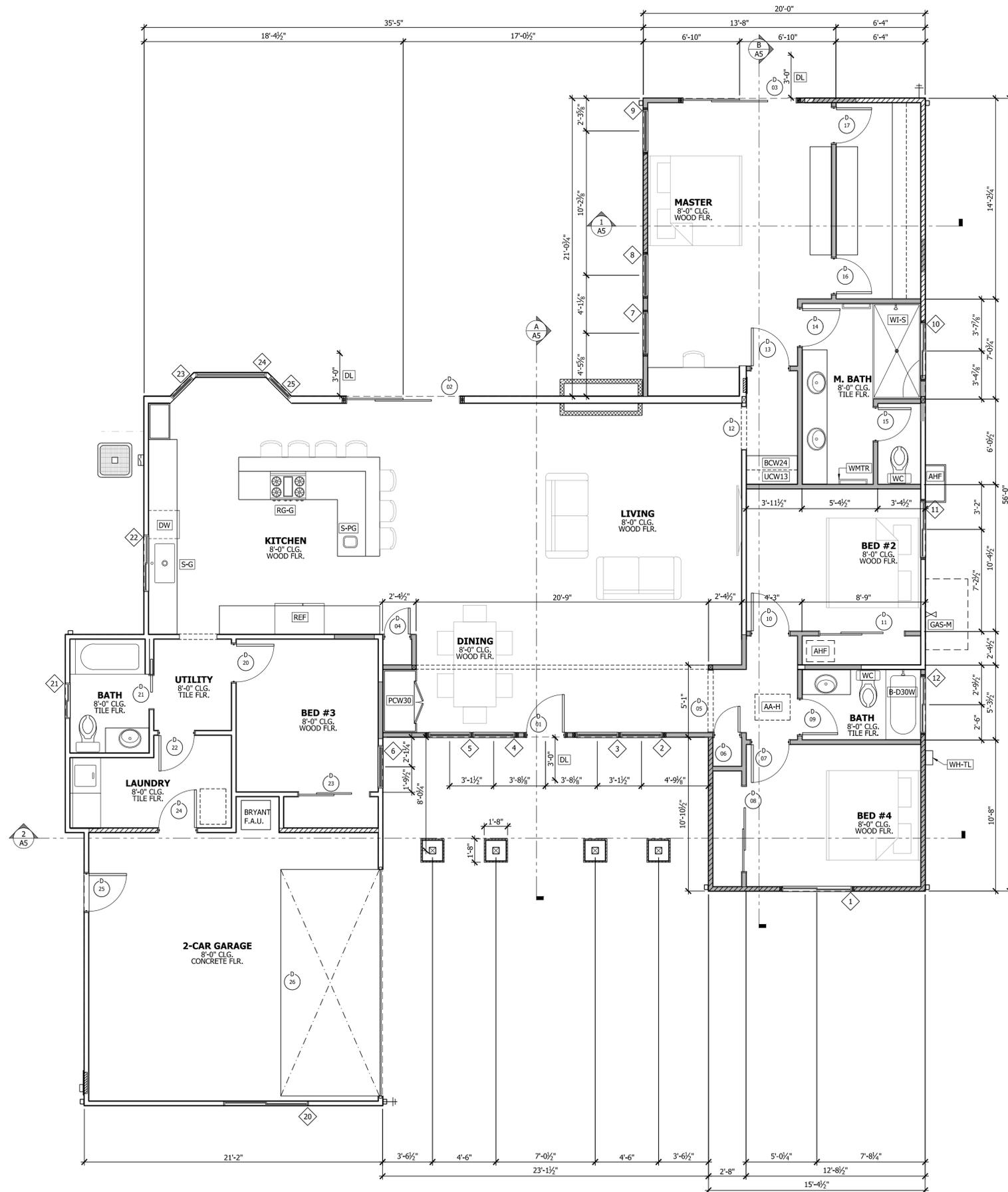
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FLOOR PLAN EXISTING

RESIDENTIAL ADDITION FOR:
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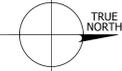
DATE: 2020.11.18
 SCALE: PER SHEET
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SHEET:
A2.1



879 SWEETBRIAR FLOOR PLAN EXISTING

1/4" = 1'-0"



REFERENCE KEYNOTES

DIVISION 06 - WOOD AND PLASTICS

CABINETRY -

BCW24 - BASE CABINET, WOOD, 24" DEEP, W/ ADJUSTABLE SHELVES
 PCW30 - TALL PANTRY CABINET, WOOD, 30" DEEP W/ ADJUSTABLE SHELVES
 UCW13 - UPPER CABINET, WOOD, 13" DEEP W/ ADJUSTABLE SHELVES

DIVISION 08 - DOORS AND WINDOWS

AHF - ACCESS HATCH, FLOOR
 DL - LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS

DIVISION 10 - SPECIALTIES

TOILET ACCESSORIES -

WMTR - WALL MOUNT TOWEL RACK

DIVISION 11 - EQUIPMENT

AA-H - ATTIC ACCESS HATCH 22" X 30"
 GAS-M - GAS METER SEE PG&E GREENBOOK SECTION 2.4.2 AND FIGURE 2-20 FOR CLEARANCES

DIVISION 22 - PLUMBING

B-D30W - BATHTUB, DROP IN, 30" WIDE X 60" LONG
 WC - WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 10/A10.1
 WH-TL - RELOCATE EXISTING RINNAI TANKLESS WATER HEATER
 WI-S - WALK-IN SHOWER, SEE SHOWER NOTES SHEET A1.1

WINDOW SCHEDULE

NUMBER	SIZE		STYLE	HEAD HEIGHT	SHCG	U-FACTOR	NOTES
	WIDTH	HEIGHT					
1	5'-0"	4'-0"	SLIDER	6'-8"	.25	.32	EGRESS
2	3'-0"	5'-0"	SINGLE HUNG	6'-8"	.25	.32	--
3	3'-0"	5'-0"	SINGLE HUNG	6'-8"	.25	.32	--
4	3'-0"	5'-0"	SINGLE HUNG	6'-8"	.25	.32	--
5	3'-0"	5'-0"	SINGLE HUNG	6'-8"	.25	.32	--
6	3'-0"	5'-0"	SINGLE HUNG	6'-8"	.25	.32	--
7	3'-0"	5'-0"	SINGLE HUNG	6'-8"	.25	.32	--
8	3'-0"	5'-0"	SINGLE HUNG	6'-8"	.25	.32	--
9	3'-0"	5'-0"	SINGLE HUNG	6'-8"	.25	.32	--
10	4'-0"	2'-0"	SLIDER	6'-8"	.25	.32	TEMP
11	4'-0"	4'-0"	SLIDER	6'-8"	.25	.32	EGRESS
12	4'-0"	2'-0"	SLIDER	6'-8"	.25	.32	TEMP
20	6'-0"	2'-0"	SLIDER	2'-0"	.25	.32	EXISTING
21	2'-6"	3'-0"	SLIDER	6'-8"	.25	.32	EXISTING
22	4'-0"	3'-0"	SLIDER	6'-8"	.25	.32	EXISTING
23	2'-0"	4'-6"	SINGLE HUNG	6'-8"	.25	.32	EXISTING
24	5'-0"	4'-6"	PICTURE	6'-8"	.25	.32	EXISTING
25	2'-0"	4'-6"	SINGLE HUNG	6'-8"	.25	.32	EXISTING

DOOR AND FRAME SCHEDULE

Number	SIZE	STYLE	FIRE RATING	NOTES
01	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
02	PR 4'-0" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--	--
03	PR 4'-0" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--	--
04	1'-10" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
05	4'-4" x 8'-0" x 0"	GYPSUM OPENING	--	--
06	1'-10" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
07	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
08	PR 3'-0" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--	--
09	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
10	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
11	PR 3'-0" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--	--
12	3'-0" x 8'-0" x 0"	GYPSUM OPENING	--	--
13	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
14	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
15	2'-4" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
16	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
17	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	--
20	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	EXISTING
21	2'-4" x 6'-8" x 1-3/4"	POCKET	--	EXISTING
22	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	EXISTING
23	PR 2'-6" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--	EXISTING
24	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--	EXISTING
25	2'-8" x 6'-8" x 1-3/4"	SINGLE - EXTERIOR	--	EXISTING
26	16'-0" x 7'-0" x 1"	OVERHEAD SECTIONAL	--	EXISTING

WALL LEGEND

- NEW WALL (SEE GENERAL NOTE #7/A0.1)
- EXISTING WALL
- DEMOLITION WALL
- 1 HR FIRE WALL
- SHEAR WALL, SEE STRUCTURAL DRAWINGS

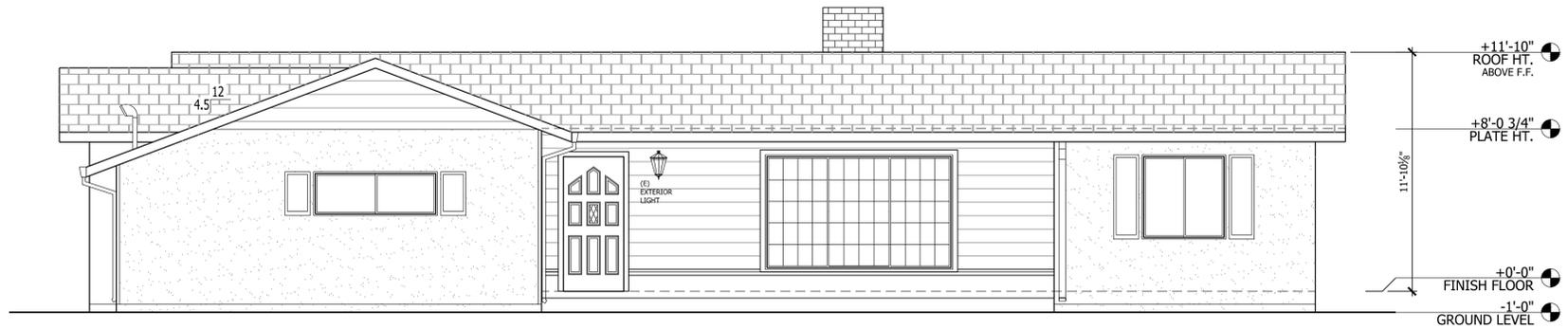
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FLOOR PLAN NEW

RESIDENTIAL ADDITION FOR:
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 APN# 412-40-031

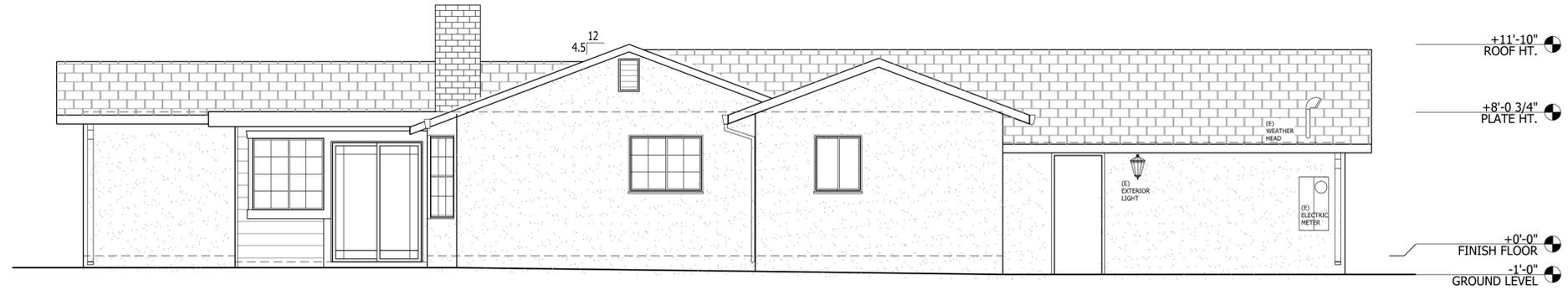
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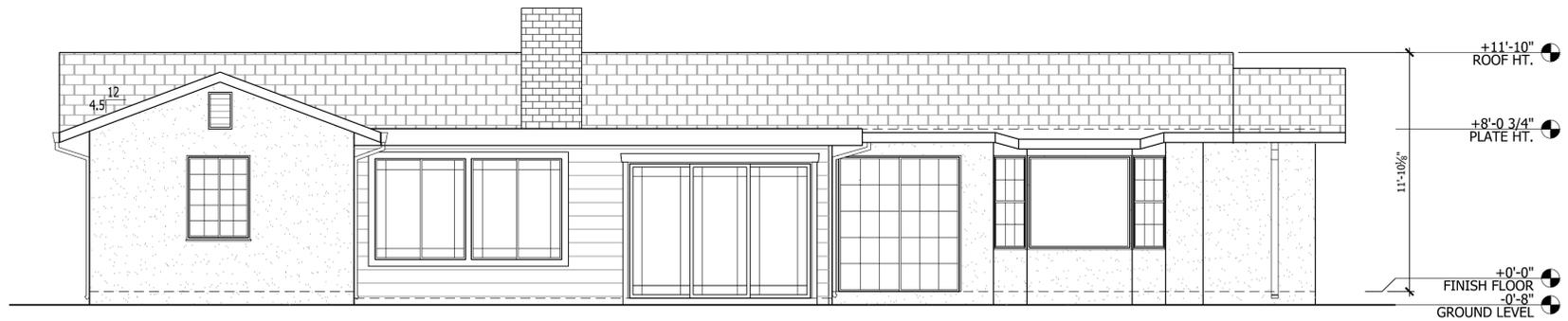
FRONT ELEVATION (EAST) EXISTING

1/4" = 1'-0"



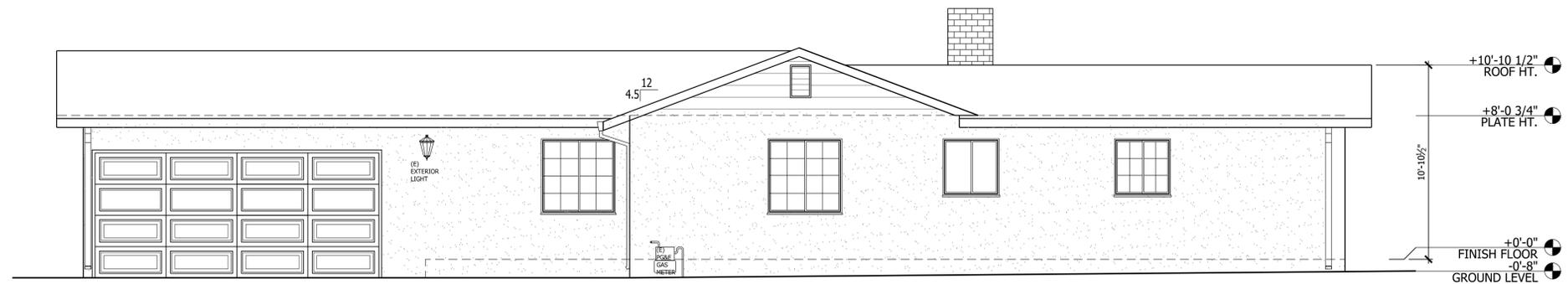
LEFT ELEVATION (SOUTH) EXISTING

1/4" = 1'-0"



REAR ELEVATION (WEST) EXISTING

1/4" = 1'-0"



RIGHT ELEVATION (NORTH) EXISTING

1/4" = 1'-0"

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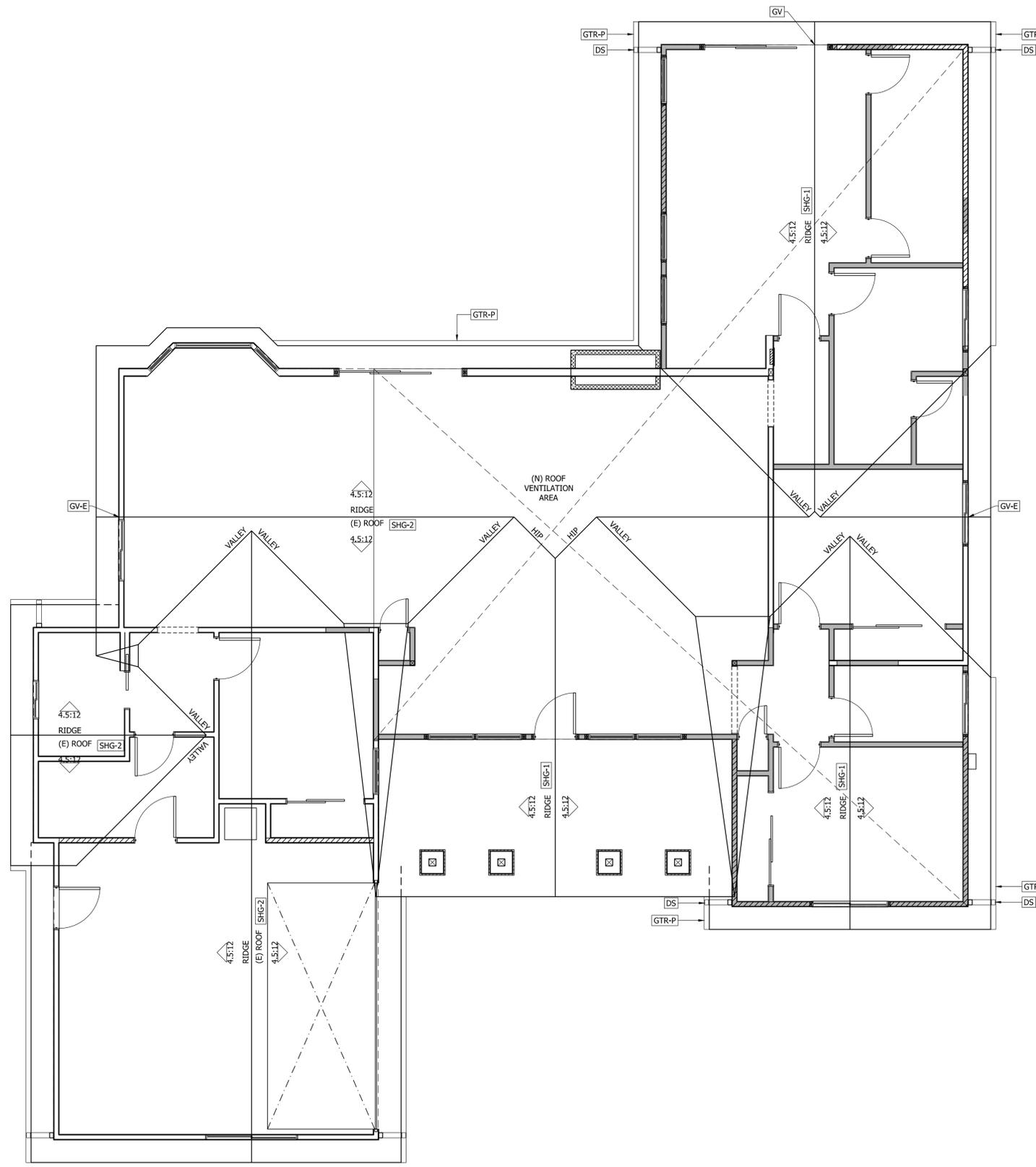
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ELEVATIONS EXISTING

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REFERENCE KEYNOTES

FLASHING AND SHEET METAL -

DS - NEW DOWNSPOUT WITH SPLASH BLOCK;
 GTR-P - GUTTER, PREFINISH, PREFINISHED TO MATCH EXISTING, SEE DETAIL 1/A10.1

ROOFING AND SIDING -

GV - GABLE VENT 14X24 TO MATCH EXISTING
 GV-E - GABLE VENT EXISTING
 SHG-1 - CLASS 'A' COMPOSITION SHINGLE ROOFING, MATCH EXISTING OVER 30# FELT AND ROOF SHEATHING W/ RADIANT BARRIER
 SHG-2 - CLASS 'A' COMPOSITION SHINGLE ROOFING, MATCH EXISTING OVER EXISTING SHEATHING

ATTIC VENTILATION CALCULATIONS:

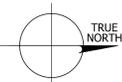
1,522 SF ATTIC/300 EQUAL TOTAL 5.0 SF
 NEED 40%-50% TOTAL REQUIRED SF HIGH VENT
 (3) 14X24 GABLE VENT @ .8 SF EACH 2.4 SF
 NEED 2.5 SF LOW VENT
 (9) LOW PRO VENTS @ .3 SF EACH 2.7 SF
 TOTAL TO BE INSTALLED 5.1 SF

ROOF NOTES:

- PLYWOOD FOR ANY SURFACE OR EDGE EXPOSED TO WEATHER MUST BE BONDED WITH EXTERIOR GLUE.
- EXPOSED GLU-LAMS SHALL BE PRESERVATIVE TREATED, APPLIED BY THE MANUFACTURER, OR MADE FROM NATURALLY DURABLE WOOD.
- ALL FASTENERS USED FOR ATTACHMENT OF SIDING SHALL BE CORROSION-RESISTANT (R703.4)
- NEW ROOF SHEATHING TO BE MINIMUM 15/32"CDX/O5B APA RATED FOR 24" O.C. FRAMING, RADIANT BARRIER NAIL WITH 8d AT 6" O.C. EDGE, 12 O.C. FIELD. INSTALL WITH FACE GRAIN PERPENDICULAR TO FRAMING, STAGGER END JOINTS.
- CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT OPENINGS AND INTERSECTIONS/ATTACHMENTS. (R703.8)
- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; VERTICALLY AT FLOOR AND CEILING LEVELS, HORIZONTALLY AT INTERVALS NOT TO EXCEED 10' (R302.11)
- FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR SHALL BE CHECKED BEFORE ENCLOSURE, CBC 4.505.3

879 SWEETBRIAR ROOF PLAN

1/4" = 1'-0"



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ROOF PLAN

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