



CITY OF CAMPBELL
Community Development Department

March 5, 2021

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

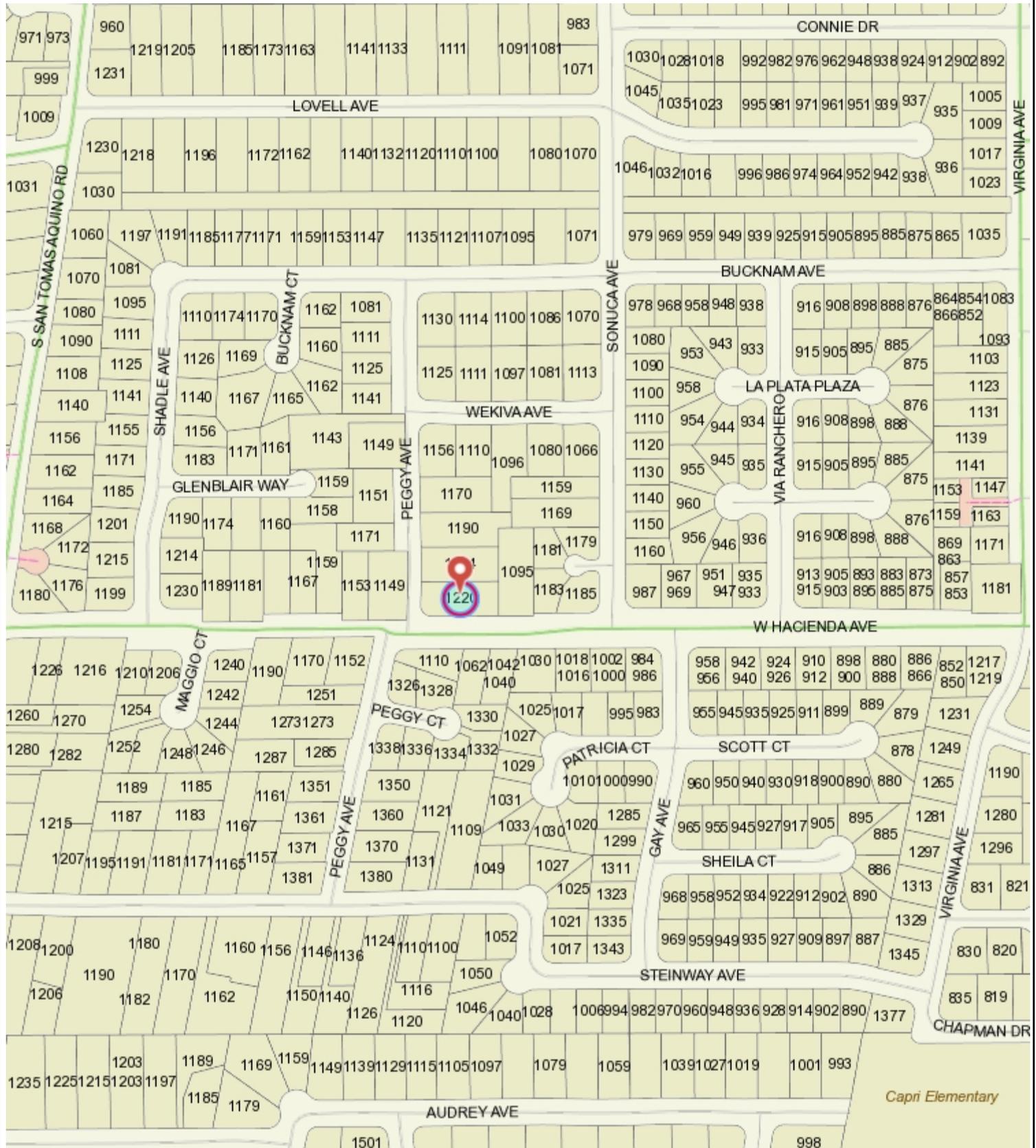
File No.:	PLN2019-246
Applicant:	Ana Manzo
Project Address:	1220 Peggy Avenue
Property Owner:	Elizabeth & Peter Nguyen
Zoning District:	R-1-8 (Single Family Residential)
General Plan:	Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s):	San Tomas Area Community Coalition
Project Description:	To allow the construction of an approximately 1,315 square-foot first-floor addition and remodel of an existing single-family residence.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on March 8, 2021 and ends on March 18, 2021. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **March 18, 2021**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Stephen Rose, Senior Planner, in the Community Development Department, at (408) 866-2142 or by email stephenr@campbellca.gov.



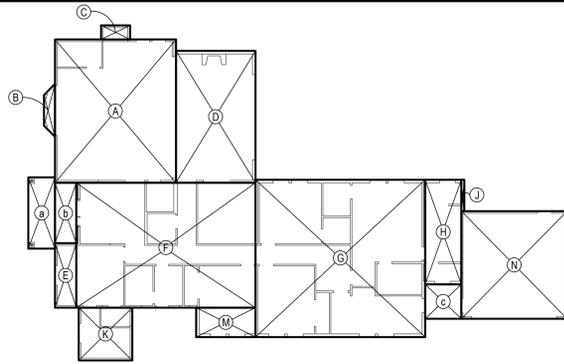
Location Map - 1220 Peggy Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

FLOOR AREA DIAGRAM

FLOOR AREA CALCULATIONS		
AREA	DIMENSIONS	SF
MAIN HOUSE		
A	22'-10" x 26'-11"	615
B	2'-1" x 7'-11"	16
C	5'-6" x 2'-7"	14
D	15'-0" x 24'-19"	371
E	4'-0" x 12'-1"	48
F	33'-10" x 23'-6"	795
G	32'-0" x 29'-8"	950
H	6'-10" x 19'-9"	135
J	0'-7" x 6'-0"	3.5
K	10'-0" x 10'-0"	100
M	11'-2" x 5'-6"	61
SUB TOTAL		3,109
N (GARAGE)	19'-11" x 20'-2"	406
SUB TOTAL		406
TOTAL FLOOR AREA		3,515
COVERED PORCHES		
a	5'-0" x 13'-5"	67.5
b	4'-3" x 11'-4"	48.5
c	6'-10" x 6'-6"	44
TOTAL		160

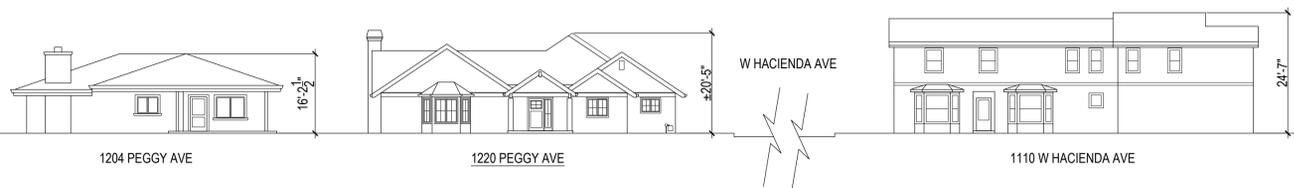


MAIN DWELLING FLOOR PLAN
SCALE: 1/8" = 1'-0"

3D RENDERINGS



STREETSCAPE PHOTOS + DRAWINGS



PROJECT DATA

PROJECT ADDRESS: 1220 PEGGY AVE
A.P.N.: 406-14-057
LOT AREA: 13,914 SF
ZONING: R-1-8 (SAN TOMAS NEIGHBORHOOD PLAN)
YEAR BUILT: 1950
OCCUPANCY: R3/U (SINGLE FAMILY DWELLING / UTILITY)
CONSTRUCTION TYPE: V-B
REQUIRED PARKING: 2 ON-SITE, 1 COVERED SPACES
FIRE SPRINKLERS: YES, REQUIRED

SETBACKS
FRONT: 20'
STREET SIDE: 12'
INTERIOR SIDE: GREATER THAN 8' OR 60% OF THE HEIGHT OF THE BUILDING WALL ADJACENT TO THE PROPERTY LINE
REAR: 20'

ALLOWED
FRONT: 20'
STREET SIDE: 12'
INTERIOR SIDE: GREATER THAN 8' OR 60% OF THE HEIGHT OF THE BUILDING WALL ADJACENT TO THE PROPERTY LINE
REAR: 20'

BUILDING HEIGHT
HOUSE: **ALLOWED** 28' **EXISTING** ±19'-10.5" **PROPOSED** ±20'-5"

FLOOR AREA RATIO	ALLOWED	EXISTING	PROPOSED
HABITABLE HOUSE			
(E) FIRST FLOOR ADDITION		1,794 SF	1,794 SF
(E) SECOND FLOOR (DEMO)		470 SF	N/A
SUB TOTAL		2,264 SF	3,109 SF (22.3%)

ACCESSORY STRUCTURE	ALLOWED	EXISTING	PROPOSED
(E) DETACHED GARAGE		406 SF	406 SF
(E) SHED #1 (DEMO)		194 SF	N/A
(E) SHED #2 (DEMO)		134 SF	N/A
SUB TOTAL		734 SF	406 SF

TOTAL	ALLOWED	EXISTING	PROPOSED
6,261 SF	2,998 SF	3,515 SF (25.3%)	
BUILDING COVERAGE	ALLOWED	EXISTING	PROPOSED
RESIDENCE:		1,794 SF	3,109 SF
GARAGE:		406 SF	406 SF
SHED #1:		194 SF	N/A
SHED #2:		134 SF	N/A
ENTRY PORCH:		48 SF	116 SF
UNCOVERED PORCH:		N/A	44 SF
COVERED PATIO:		531 SF	N/A
SHED #2:		134 SF	N/A
TOTAL	4,870 SF (35%)	3,107 SF (22.3%)	3,675 SF (26.4%)

IMPERVIOUS AREA	EXISTING	PROPOSED
RESIDENCE:	1,780 SF	3,109 SF
GARAGE:	406 SF	406 SF
SHED #1:	194 SF	N/A
SHED #2:	134 SF	N/A
ENTRY PORCH:	48 SF	116 SF
UNCOVERED PORCH:	N/A	44 SF
COVERED PATIO:	531 SF	N/A
UNCOVERED PATIO:	106 SF	N/A
DRIVEWAY:	408 SF	408 SF
HARDSCAPE:	1,168 SF	466 SF
TOTAL	4,775 SF (33.3%)	4,549 SF (32.7%)

TOTAL LANDSCAPE AREA: 9,312 SF, MAX. 25% LAWN = 2,328 SF
 FRONT YARD: 2,046 SF (1,478 MULCH + 59 LANDSCAPE STRIP + 509 LAWN)
 REAR YARD: 7,266 SF (6,967 MULCH + 299 LANDSCAPE STRIP)

MIN. ONE TREE PER 2,000 SF OF NET LOT AREA: 8 TREES REQUIRED, MIN.

PROPERTY + ADJACENT IMAGES



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PROJECT INFO.

Owner:
 Elizabeth + Peter Nguyen
 1220 Peggy Ave
 Campbell, California 95008

Designer:
 Studio 3 Design
 Contact: Bess Wiersema
 bess@studio-three.com
 638 University Avenue
 Los Gatos, California 95032
 ph: (408) 292-3252
 fax: (253) 399-1125

Topo Survey:
 Christensen & Plouff Land Surveying
 Contact: Kacie Plouff
 101 Church St. #29
 Los Gatos, California 95030
 ph: (408) 755-9784



INTERIORS
 REMODELS +
 ADDITIONS
 NEW CONSTRUCTION

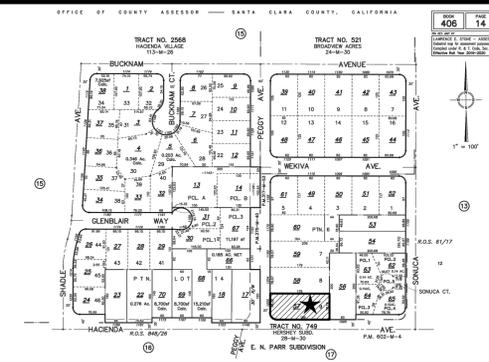
638 UNIVERSITY AVE
 LOS GATOS
 CALIFORNIA
 95032

T 408.292.3252
 F 253.399.1125

PROJECT DESCRIPTION

This project is for a remodel + addition to an existing two-story single family residence (2,264 SF), and the remodel to the existing detached garage (406 sq. ft.), with the demolition of the two existing sheds, (shed #1, 194 sq. ft. and shed #2, 134 sq. ft.). The existing second floor will be removed (converting a two-story to a one-story residence). The existing garage (406 sq. ft.) will be attached to the proposed one-story residence (3,109 sq. ft.). Remodel includes new entry, kitchen, family room with five bedrooms, three full bathrooms, one half bathroom, and new mud/laundry room. The existing entry porch will be extended.

PARCEL MAP



VICINITY MAP



SCC FIRE DEPARTMENT NOTES

Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one and two-family dwellings (including attached garages) as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 sq. ft.

Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

Address Identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background.

Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S 1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

NGUYEN
 1220 PEGGY AVE
 CAMPBELL,
 CA 95008

A.P.N. 406-14-057

08 AUGUST 2019

18 NOVEMBER 2019
 BLDG. DETERMINATION

12 DECEMBER 2019
 SITE + ARCH SUBMITTAL

12 JUNE 2020
 SITE + ARCH SUBMITTAL

28 OCTOBER 2020
 SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
 SITE + ARCH SUBMITTAL

SCALE: N/A

COVER SHEET

A1.1



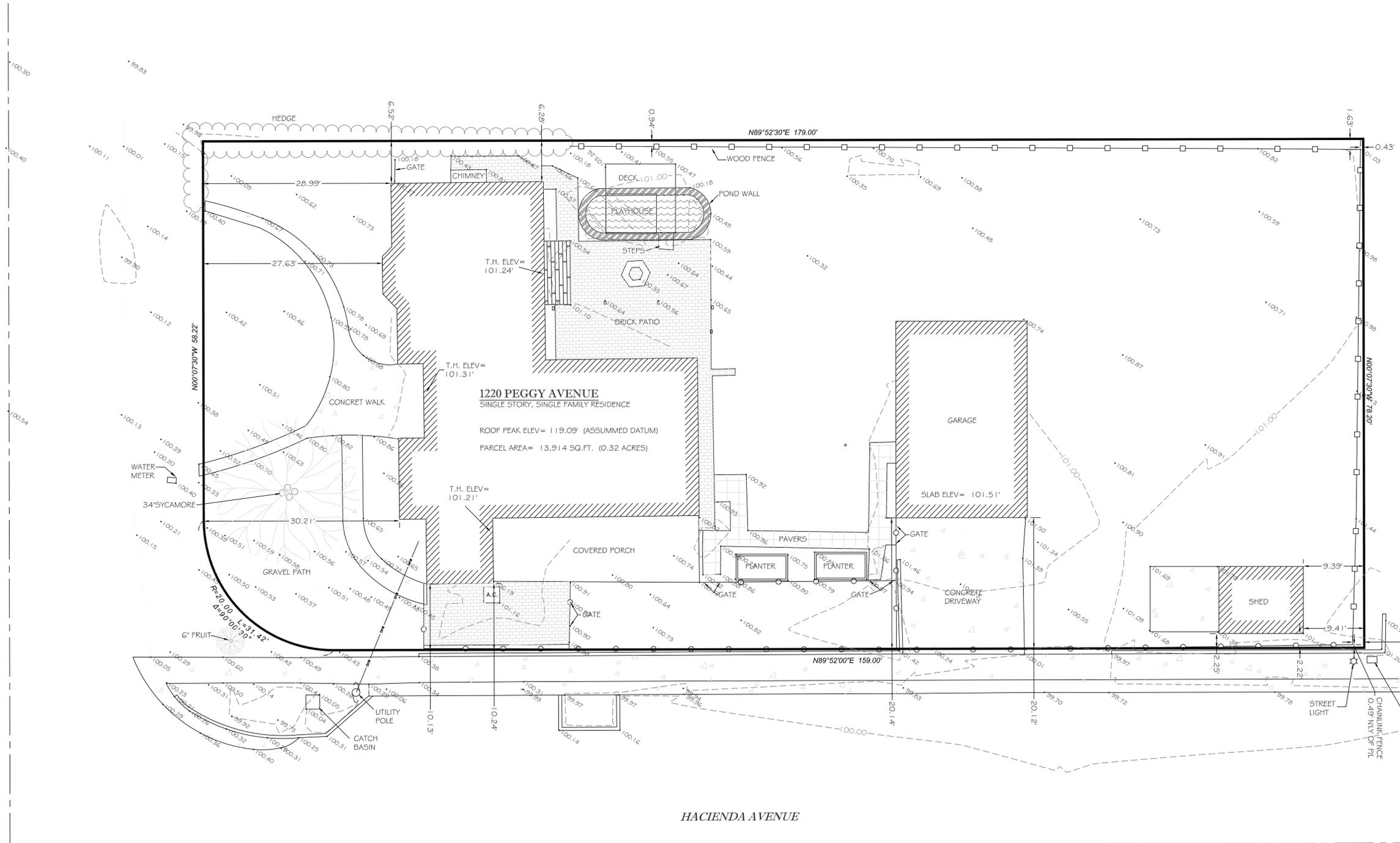
DATE: 10/9/17
 DRAWING SCALE: 1" = 8'
 PREPARED BY: KACIE PLOUFF
 APPROVED BY: KACIE PLOUFF
 FILE NAME: CA-17-087-1220 PEGGY CAMPBELL

STREET, CITY
 COUNTY OF
 STATE OF CALIFORNIA
 APN:

TOPOGRAPHIC SITE PLAN

PROJECT NO.
NCA-17-087
 SHEET NO.
1 OF 1

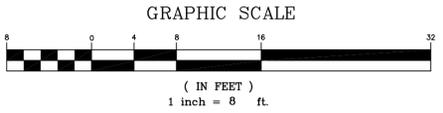
- LEGEND:**
- PROPERTY LINE
 - WOOD FENCE
 - CHAINLINK FENCE
 - OVERHEAD WIRES
 - MAJOR CONTOUR
 - ▨ BUILDING
 - ▨ WALL
 - ▨ CONCRETE
 - ▨ PAVEMENT
 - ▨ BRICK
 - ▨ SLATE / STONE
 - ▨ GRASS
 - SPOT ELEVATION
 - TREE TRUNK, APPROXIMATE DIAMETER IN INCHES
 - TREE DRUPLINE



1220 PEGGY AVENUE
 SINGLE STORY, SINGLE FAMILY RESIDENCE
 ROOF PEAK ELEV = 119.09' (ASSUMED DATUM)
 PARCEL AREA = 13,914 SQ. FT. (0.32 ACRES)

LEGAL DESCRIPTION
 LOT 9 AS SHOWN ON TRACT NO. 749 RECORDED IN VOL. 28 PG. 30 OF SANTA CLARA COUNTY RECORDS.

- SURVEYOR'S NOTES**
- ELEVATIONS ARE BASED ON ASSUMED DATUM. PROJECT SITE BENCHMARK IS SHOWN HEREON.
 - ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.
 - DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.



SURVEYOR'S CERTIFICATE
 I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013).
 I FURTHER CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE REQUEST OF THE CLIENT.



KACIE A. PLOUFF, PLS 9013



INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

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CALIFORNIA
95032

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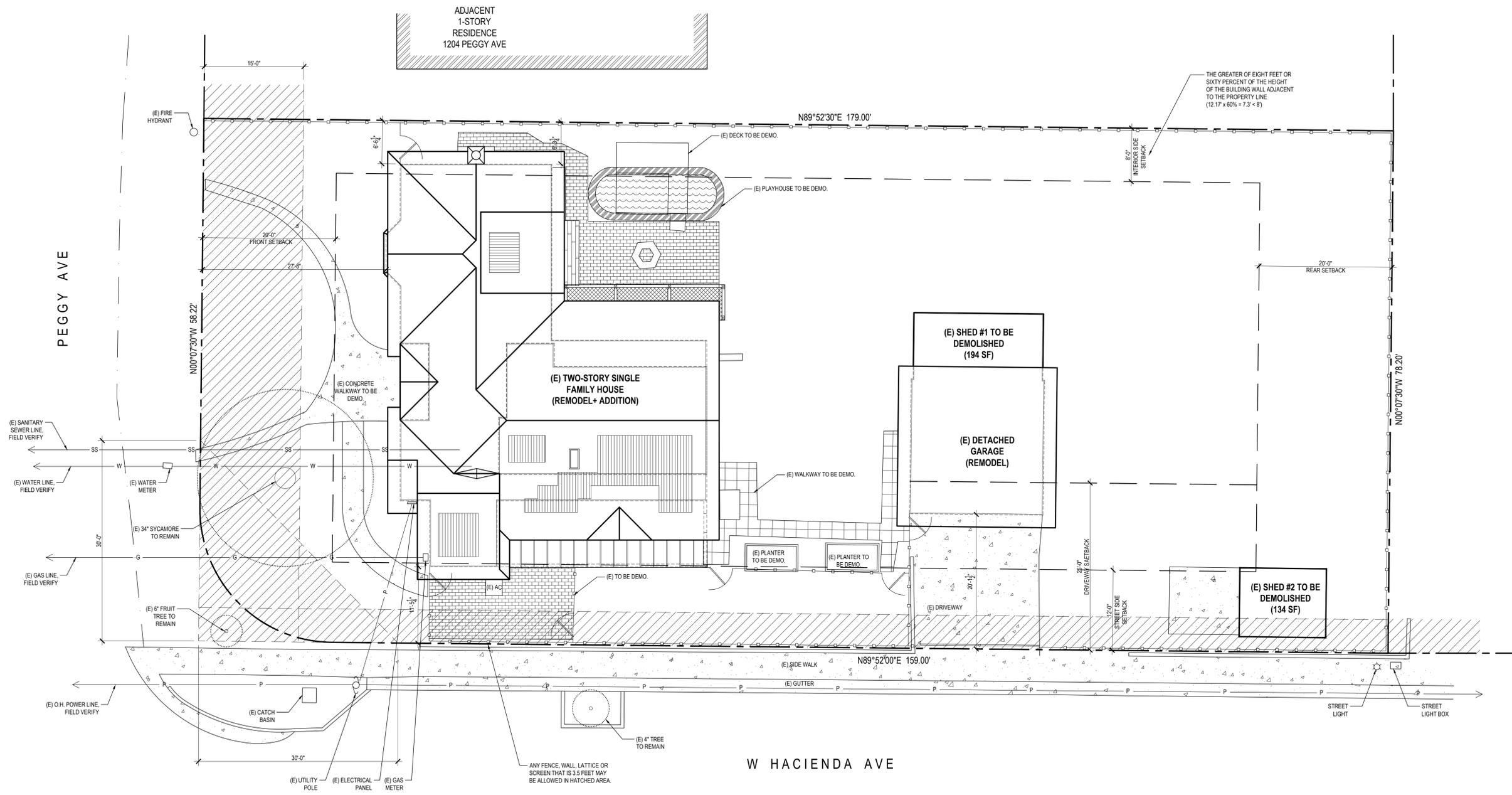
28 OCTOBER 2020
SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/8" = 1'-0"

EXISTING + DEMO
SITE PLAN

A1.4



 EXISTING + DEMO SITE PLAN

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	FENCE
	GAS LINE
	WATER LINE
	POWER LINE
	SANITARY SEWER LINE



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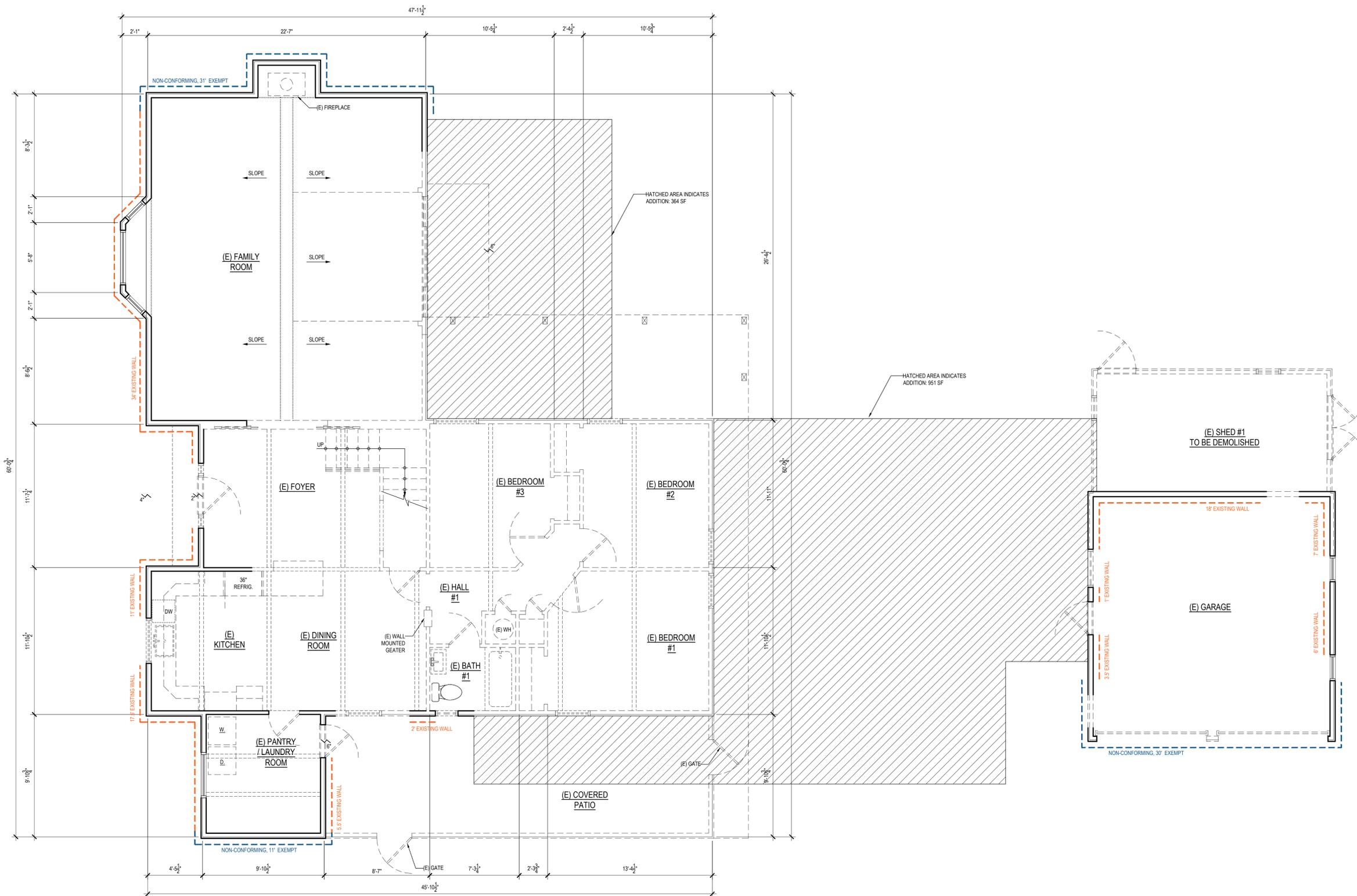
28 OCTOBER 2020
SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

EXISTING + DEMO FIRST
FLOOR PLAN

A2.1



NORTH

EXISTING + DEMO FIRST FLOOR PLAN

WALL LEGEND	
	WALLS TO REMAIN
	WALLS TO BE REMOVED

LEGEND	
	AREA OF ADDITION (CONDITIONED)

EXTERIOR WALLS NOTES
MAIN HOUSE
• EXISTING EXTERIOR WALLS = 225 LINEAR FEET
• 25% = 56 LINEAR FEET, MIN.
• NON-CONFORMING WALL, 42 LINEAR FEET EXEMPT
• EXISTING EXTERIOR WALLS TO REMAIN = 70 LINEAR FEET > 56'
GARAGE
• EXISTING EXTERIOR WALLS = 80.5 LINEAR FEET
• 25% = 20 LINEAR FEET, MIN.
• NON-CONFORMING WALL, 30 LINEAR FEET EXEMPT
• EXISTING EXTERIOR WALLS TO REMAIN = 35.5 LINEAR FEET > 20'
TOTAL EXISTING WALL AREA = 305.5
25% = 76.5 LINEAR FEET
EXISTING EXTERIOR WALLS TO REMAIN = 105.5 LINEAR FEET > 76.5'

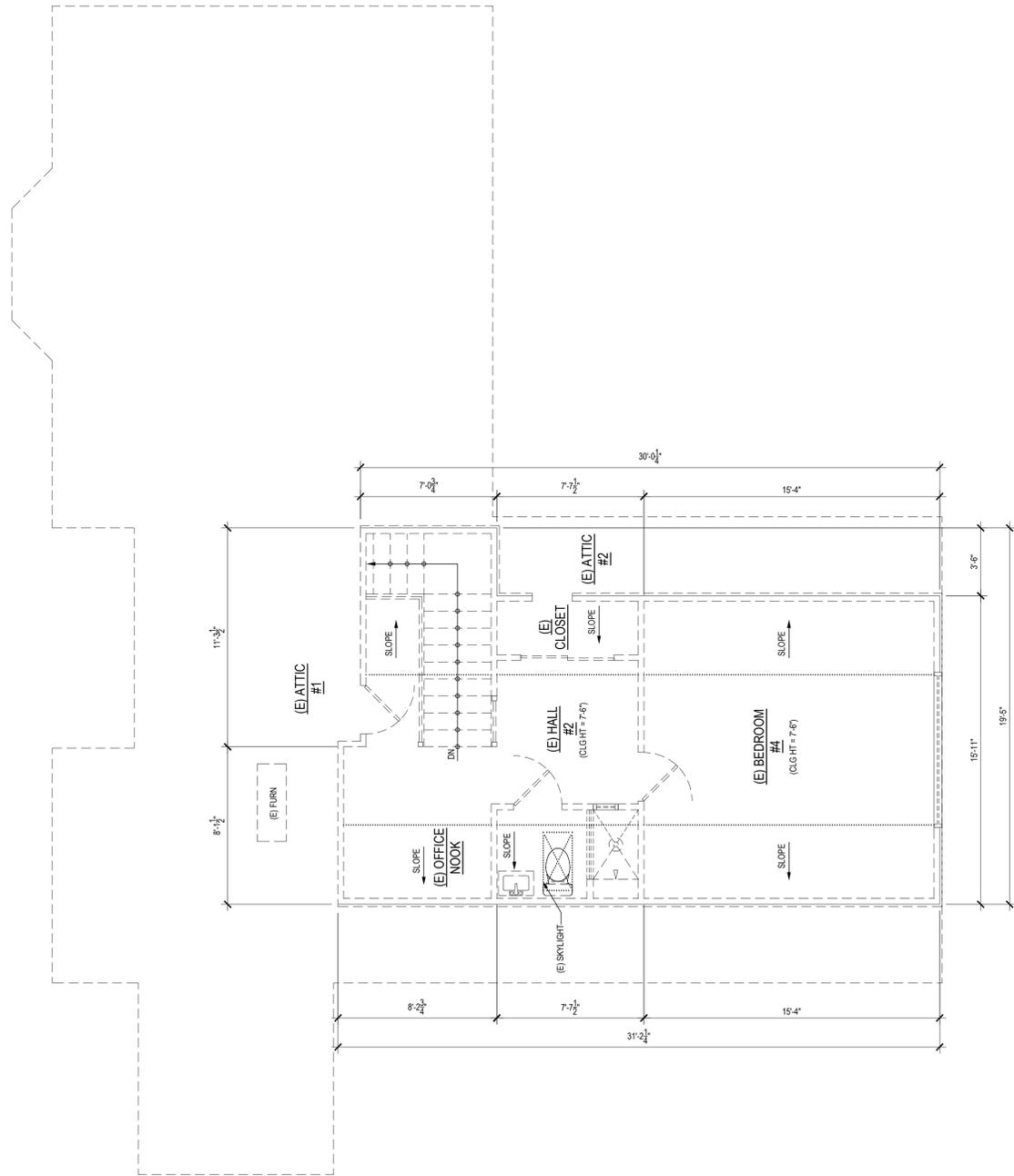


STUDIO THREE DESIGN

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EXISTING + DEMO SECOND FLOOR PLAN

WALL LEGEND	
	WALLS TO REMAIN
	WALLS TO BE REMOVED

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- 03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

EXISTING + DEMO
SECOND FLOOR PLAN

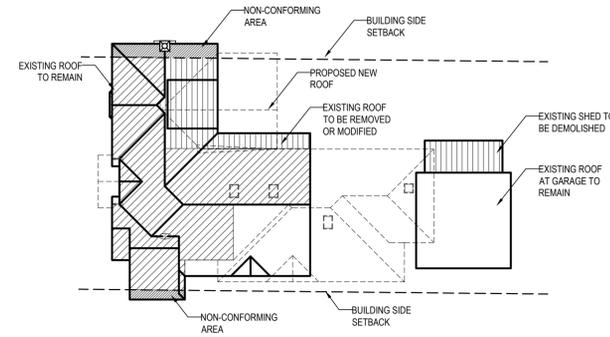


STUDIO THREE DESIGN

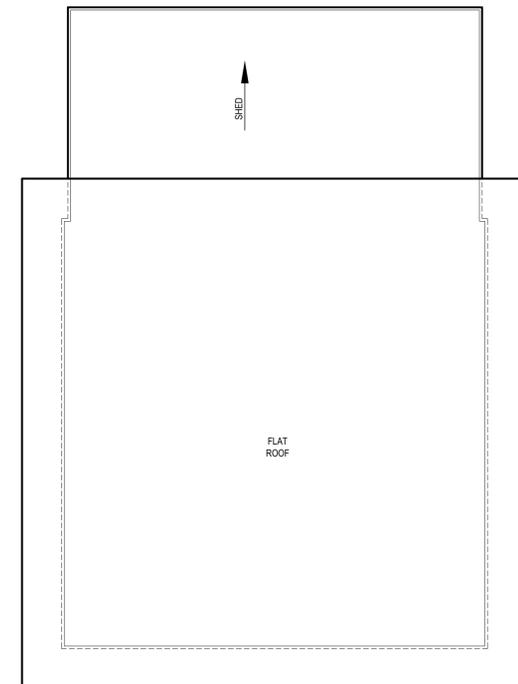
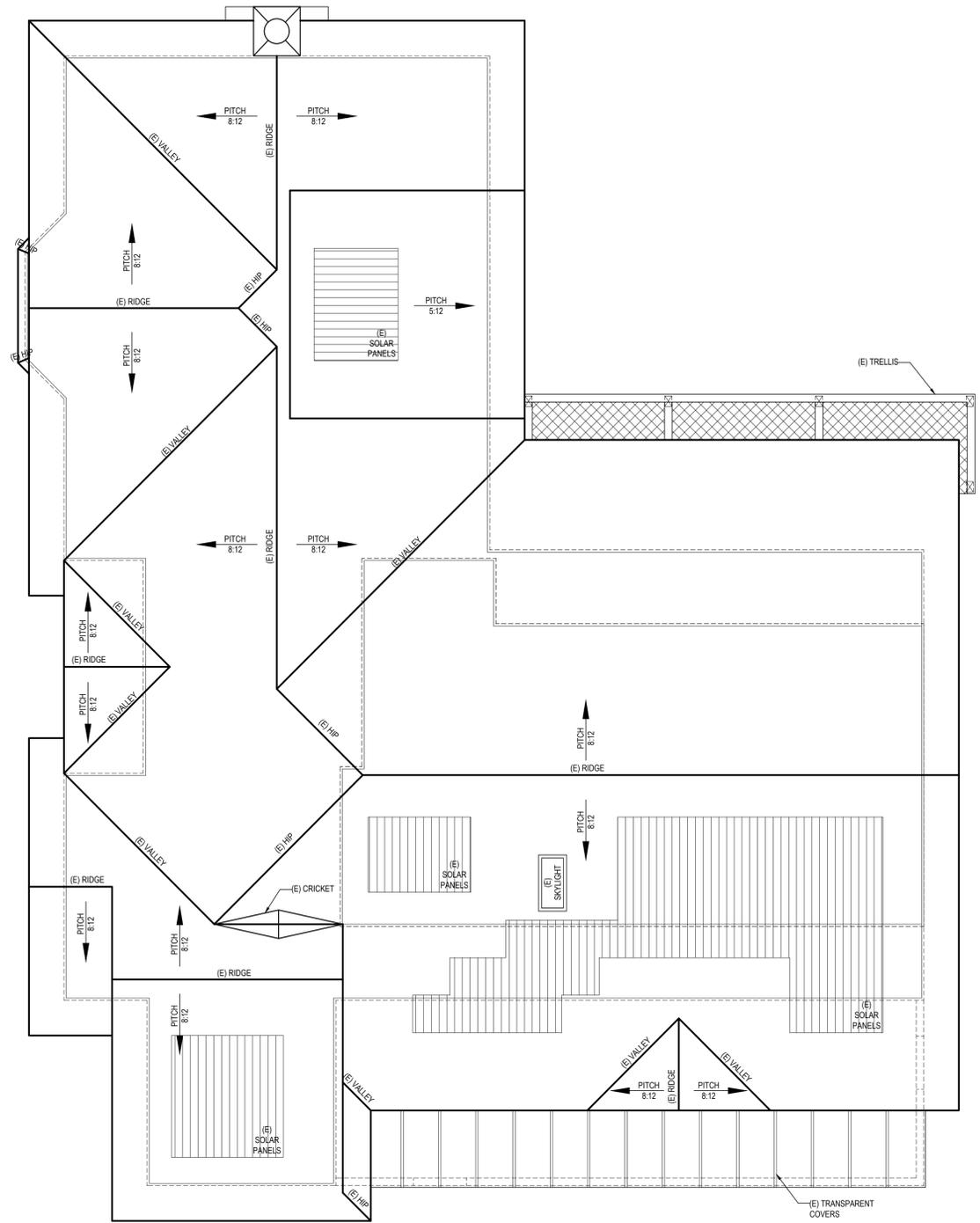
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ROOF AREAS



EXISTING ROOF PLAN

- ROOF NOTES
- MAIN HOUSE
- EXISTING ROOF AREA = 3000 SF
 - 25% = 750 SF MIN
 - NON-CONFORMING ROOF, 100 SF EXEMPT
 - EXISTING ROOF TO REMAIN = 1338 SF > 750 SF
- GARAGE
- EXISTING ROOF AREA = 720 SF (572 SF GARAGE, 148 SF SHED)
 - 25% = 180 SF MIN
 - EXISTING ROOF TO REMAIN = 572 SF > 180 SF

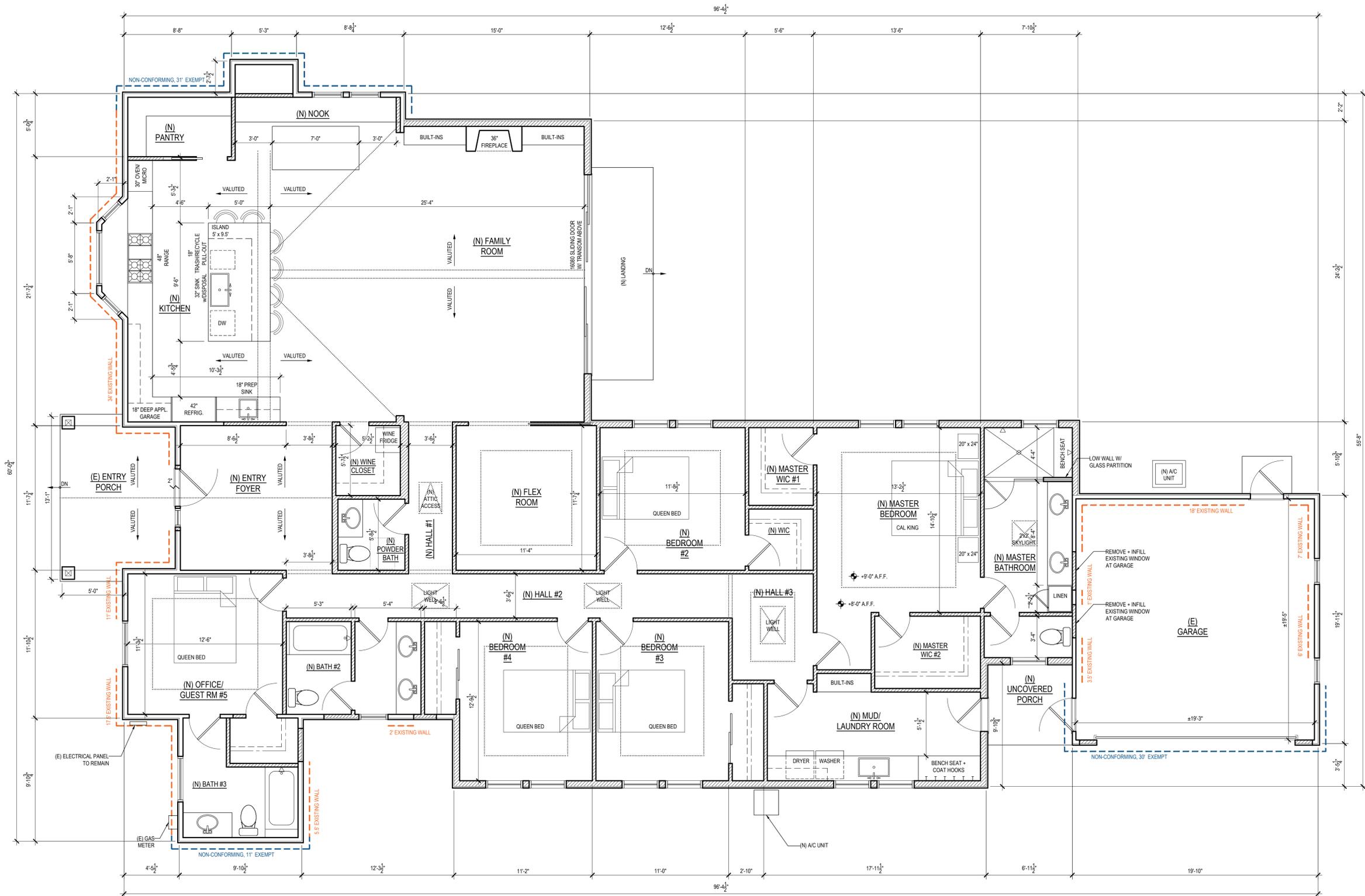
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SCALE: 1/4" = 1'-0"

EXISTING ROOF PLAN



PROPOSED FLOOR PLAN

WALL LEGEND

- WALLS TO REMAIN
- NEW WALLS

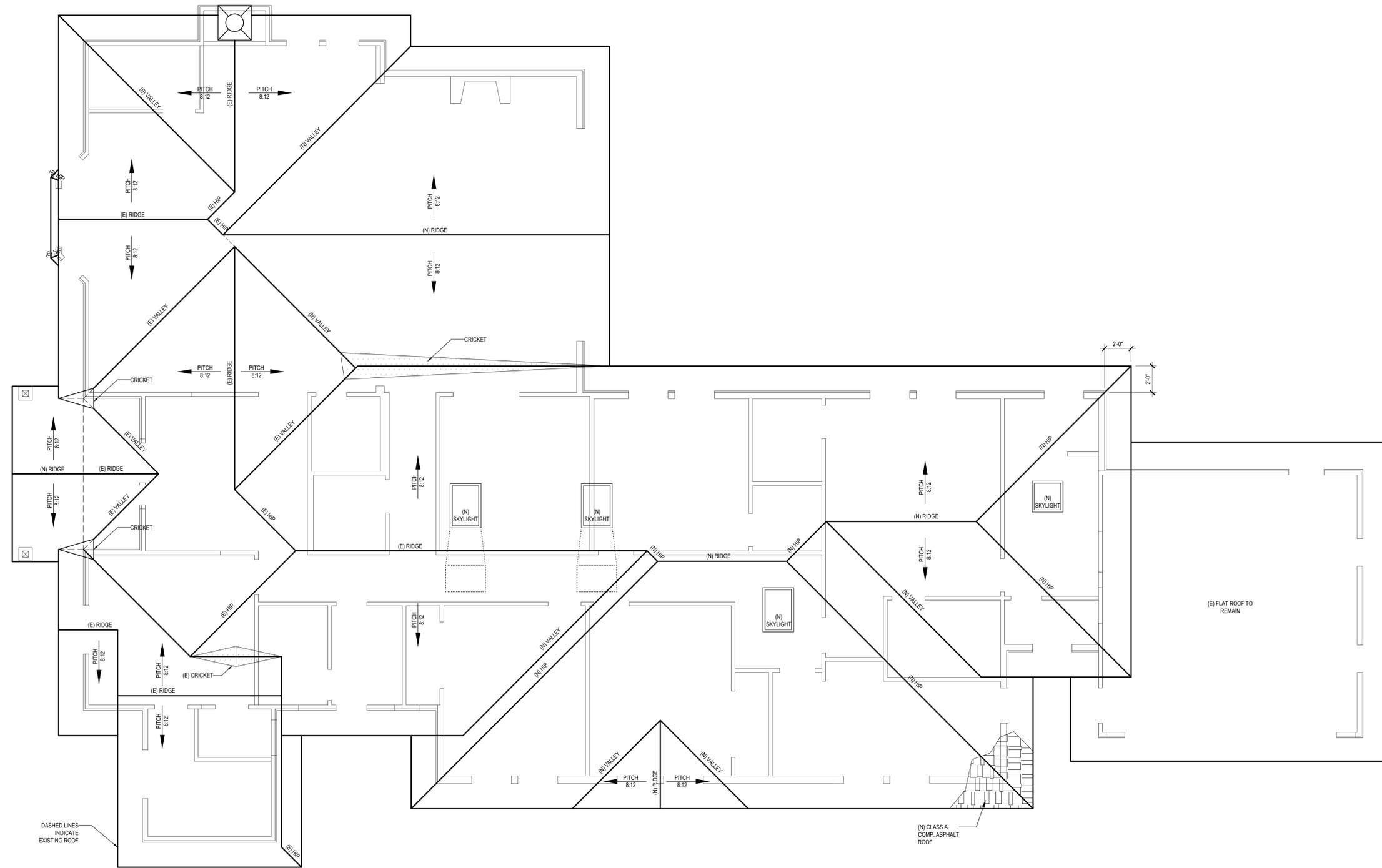


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DASHED LINES
INDICATE
EXISTING ROOF



PROPOSED ROOF PLAN

NORTH

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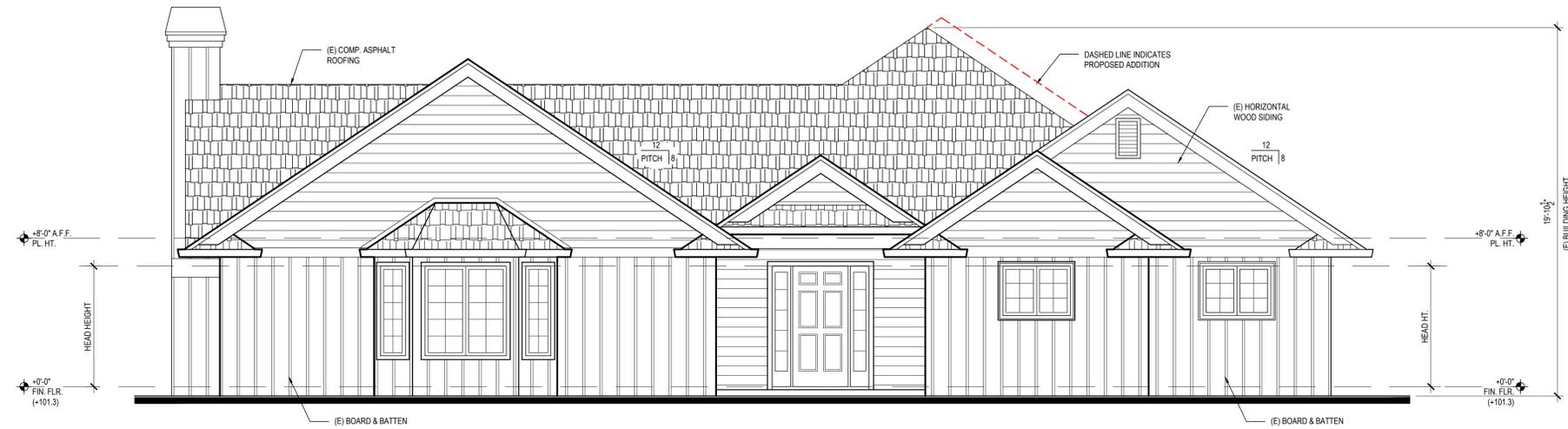
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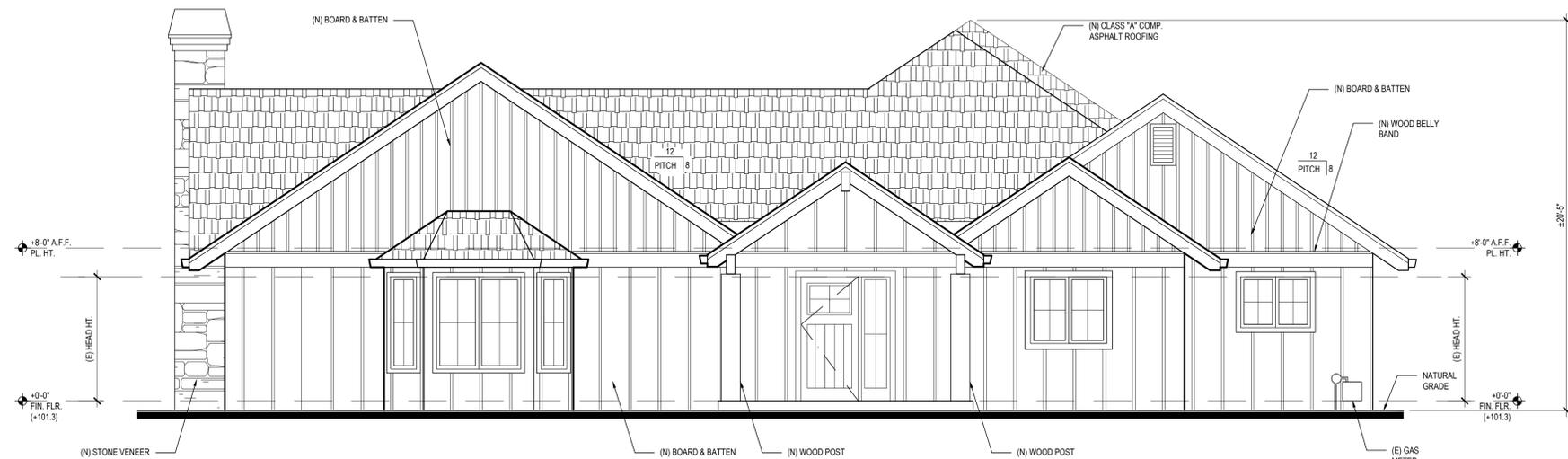
PROPOSED ROOF PLAN



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**1 - EXISTING WEST ELEVATION
(FRONT - PEGGY AVE)**



**5 - PROPOSED WEST ELEVATION
(FRONT - PEGGY AVE)**

MATERIALS NOTES:	
SIDING:	VERTICAL BOARD & BATTEN WOOD SIDING, BENJAMIN MOORE HC-168 OR APPROVED EQ.
STONE VENEER:	EL DORADO/EL DORADOFIELD STONE, OR APPROVED EQ.
BELLY BAND:	PAINTED WOOD, OR APPROVED EQ.
WINDOWS:	SIERRA PACIFIC WINDOW, BLACK ALUMINUM CLAD EXTERIOR, WOOD INTERIOR, OR APPROVED EQ.
WINDOW TRIM:	PAINTED WOOD, BENJAMIN MOORE HC-168, OR APPROVED EQ.
POSTS & BEAMS:	WRAPPED, CHERRY SOUTH WESTERN, OR APPROVED EQ.
ROOFING:	CLASS 'A' COMPOSITION SHINGLE ROOF, SHADOW GREY, OR APPROVED EQ.
FASCIA & GUTTERS:	PAINTED G.S.M., BENJAMIN MOORE HC-105, OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE HC-168, OR APPROVED EQ.
DOWNSPOUTS:	PAINTED G.S.M., BENJAMIN MOORE HC-168, OR APPROVED EQ.
FRONT DOOR:	KELLEHER CORP. DOOR, 4461-V, OR APPROVED EQ.
GARAGE DOOR:	NORTHWEST DOOR, MODERN CLASSIC GARAGE DOOR, DARK BRONZE, ANODIZED FRAME, INSULATED STAIN ETCHED GLASS, OR APPROVED EQ.

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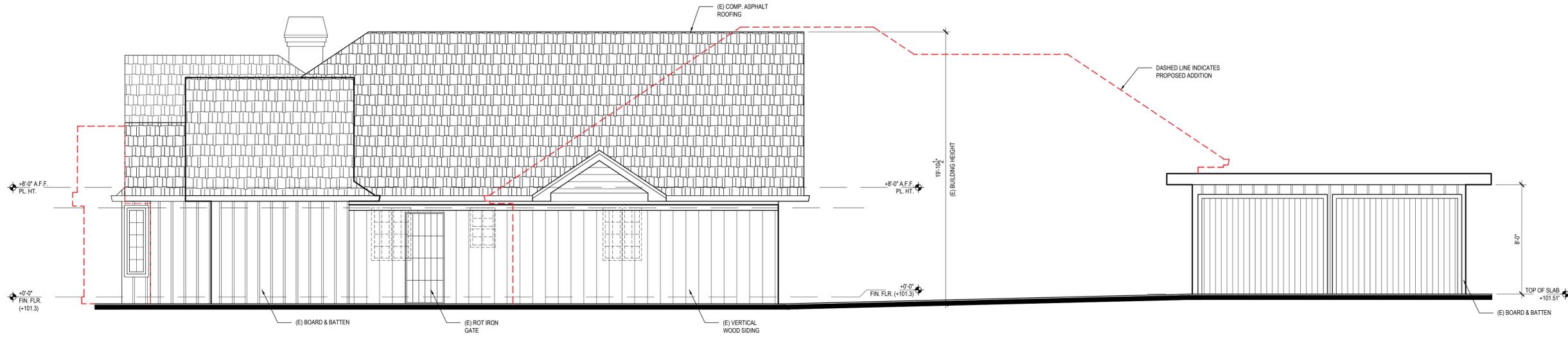
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EXISTING + PROPOSED
EXTERIOR ELEVATIONS

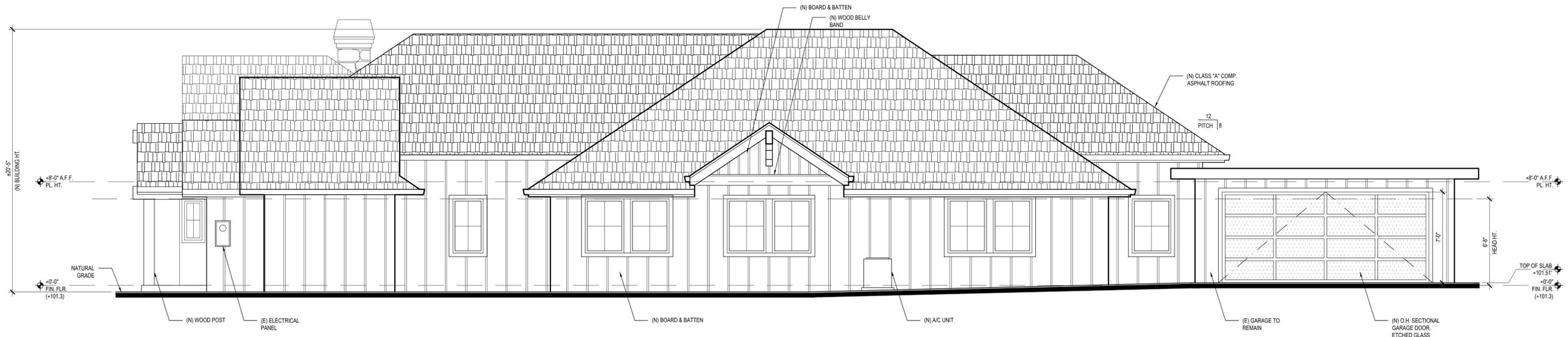
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**2 - EXISTING SOUTH ELEVATION
(STREET SIDE - W HACIENDA AVE)**



**6 - PROPOSED SOUTH ELEVATION
(STREET SIDE - W HACIENDA AVE)**

MATERIALS NOTES:	
SIDING:	VERTICAL BOARD & BATTEN WOOD SIDING, BENJAMIN MOORE HC-168, OR APPROVED EQ.
STONE VENEER:	EL DORADO/EL DORADO/FIELD STONE, OR APPROVED EQ.
BELLY BAND:	PAINTED WOOD, OR APPROVED EQ.
WINDOWS:	SIERRA PACIFIC WINDOW, BLACK ALUMINUM CLAD EXTERIOR, WOOD INTERIOR, OR APPROVED EQ.
WINDOW TRIM:	PAINTED WOOD, BENJAMIN MOORE HC-168, OR APPROVED EQ.
POSTS & BEAMS:	WRAPPED, CHERRY SOUTH WESTERN, OR APPROVED EQ.
ROOFING:	CLASS "A" COMPOSITION SHINGLE ROOF, SHADOW GREY, OR APPROVED EQ.
FASCIA & GUTTERS:	PAINTED G.S.M., BENJAMIN MOORE HC-105, OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE HC-168, OR APPROVED EQ.
DOWNSPOUTS:	PAINTED G.S.M., BENJAMIN MOORE HC-168, OR APPROVED EQ.
FRONT DOOR:	KELLEHER CORP. DOOR, 4461-V, OR APPROVED EQ.
GARAGE DOOR:	NORTHWEST DOOR, MODERN CLASSIC GARAGE DOOR, DARK BRONZE, ANODIZED FRAME, INSULATED STAIN ETCHED GLASS, OR APPROVED EQ.

NGUYEN
1220 PEGGY AVE
CAMPBELL,
CA 95008

A.P.N. 406-14-057

08 AUGUST 2019

18 NOVEMBER 2019
BLDG. DETERMINATION

12 DECEMBER 2019
SITE + ARCH SUBMITTAL

12 JUNE 2020
SITE + ARCH SUBMITTAL

28 OCTOBER 2020
SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

EXISTING + PROPOSED
EXTERIOR ELEVATIONS

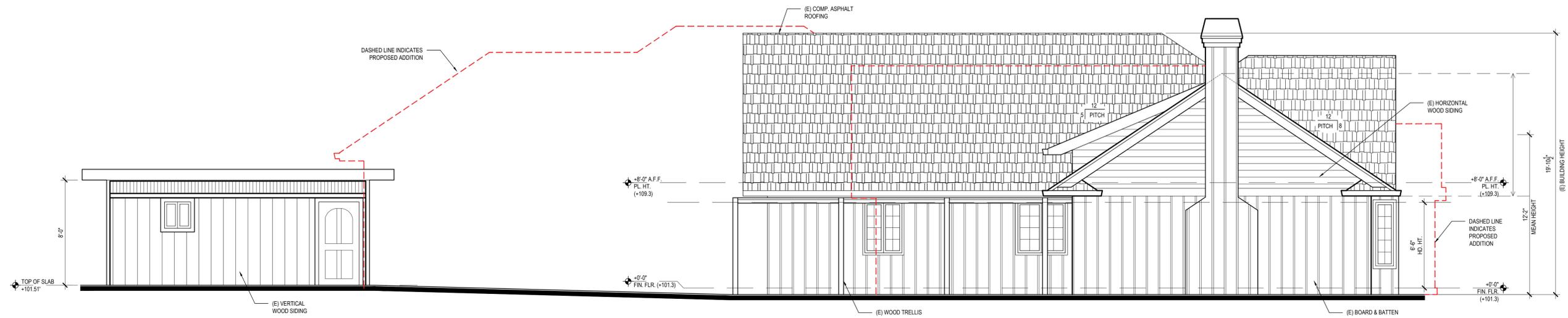
A3.2



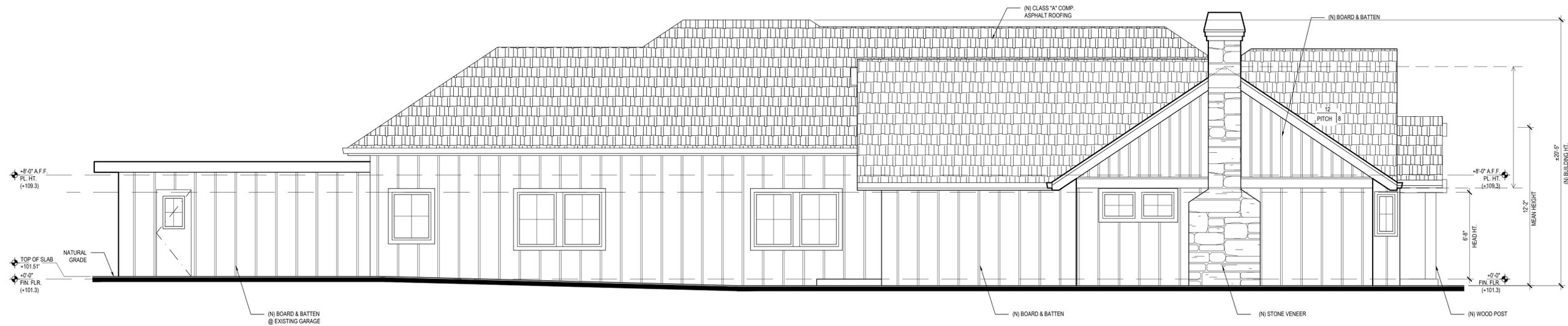
INTERIORS
REMODELS +
ADDITIONS
NEW CONSTRUCTION

638 UNIVERSITY AVE
LOS GATOS
CALIFORNIA
95032

T 408.292.3252
F 253.399.1125



4 - EXISTING NORTH ELEVATION
(INTERIOR SIDE)



8 - PROPOSED NORTH ELEVATION
(INTERIOR SIDE)

MATERIALS NOTES:

SIDING:	VERTICAL BOARD & BATTEN WOOD SIDING, BENJAMIN MOORE HC-168 OR APPROVED EQ.
STONE VENEER:	EL DORADO/EL DORADO/FIELD STONE, OR APPROVED EQ.
BELLY BAND:	PAINTED WOOD, OR APPROVED EQ.
WINDOWS:	SIERRA PACIFIC WINDOW, BLACK ALUMINUM CLAD EXTERIOR, WOOD INTERIOR, OR APPROVED EQ.
WINDOW TRIM:	PAINTED WOOD, BENJAMIN MOORE HC-168, OR APPROVED EQ.
POSTS & BEAMS:	WRAPPED, CHERRY SOUTH WESTERN, OR APPROVED EQ.
ROOFING:	CLASS "A" COMPOSITION SHINGLE ROOF, SHADOW GREY, OR APPROVED EQ.
FASCIA & GUTTERS:	PAINTED G.S.M., BENJAMIN MOORE HC-105, OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE HC-168, OR APPROVED EQ.
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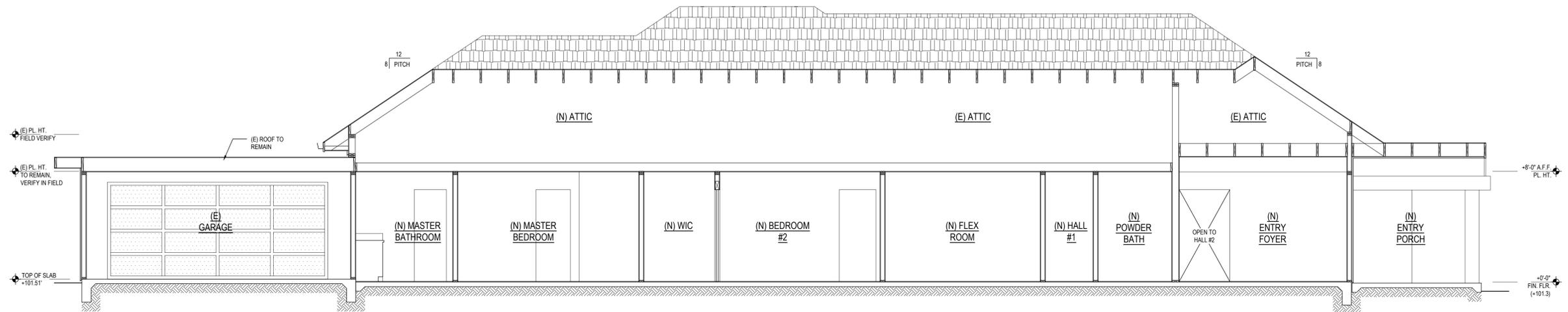
SCALE: 1/4" = 1'-0"

EXISTING + PROPOSED
EXTERIOR ELEVATIONS

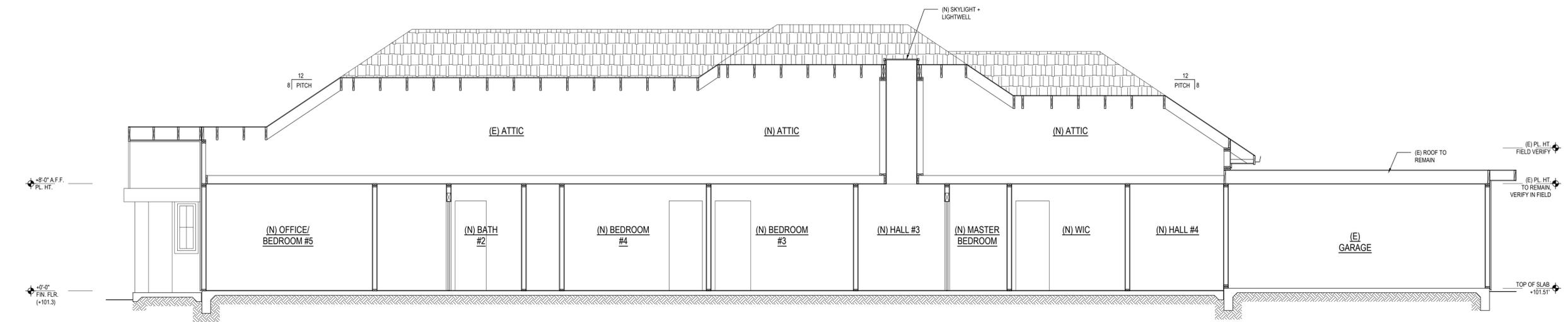
A3.4



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REMODELS +
ADDITIONS
NEW CONSTRUCTION
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A - BUILDING SECTION



B - BUILDING SECTION

NGUYEN
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CAMPBELL,
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- 08 AUGUST 2019
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- 28 OCTOBER 2020
SITE + ARCH SUBMITTAL
- 03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

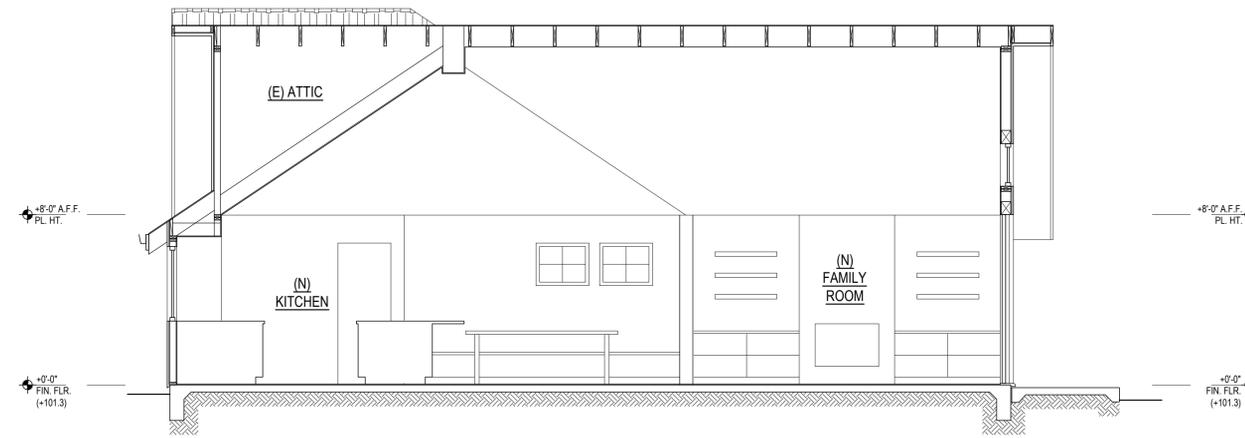


STUDIO THREE DESIGN

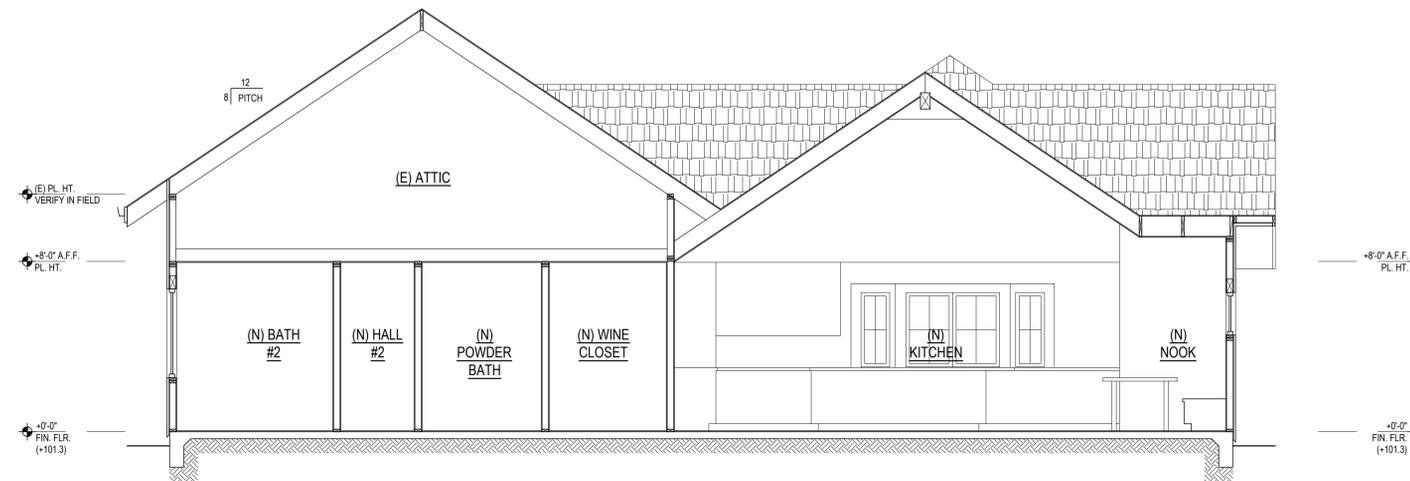
INTERIORS
RENDELS +
ADDITIONS
NEW CONSTRUCTION

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C - BUILDING SECTION



D - BUILDING SECTION

NGUYEN
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SITE + ARCH SUBMITTAL

03 FEBRUARY 2021
SITE + ARCH SUBMITTAL

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A4.2

City of Campbell
70 N. First Street
Campbell, CA 95008
(408) 866-2130



Date: Wednesday, October 28, 2020

Bess Wiersema
Studio Three Design Inc.
638 University Avenue
Los Gatos CA 95032
bess@studio-three.com

Permit Number BLD-2020-1005
Job Address: 1220 PEGGY AVE, CAMPBELL 95008

Bess Wiersema,

This review is from Campbell's Building Inspection Division, as well as additional reviews from other agencies are as listed below. Do not re-submit drawings or other documents until all agencies have completed their review. When ready, upload the revised documents as well as a plan check response letter(s), inclusive of what actions were taken to resolve the comment and the location of said action. No clouding is required.

1. A complete set of Construction Plans (Sub. 2, 3, or 4 etc) in PDF format (including architectural, structural, T-24, electrical, etc)
2. A complete set of the required documents/specs to address comments (Sub. 2, 3, or 4 etc) (such as structural calculations, T-24, soil etc.) (if the documents have not been changed, upload not required).
3. Response letter (Sub. 2, 3, or 4 etc)

Building Plan Check Comments

The following comments have been provided by Bob Lennen. Should you have any questions or require additional information regarding any of these comments, please contact Bob Lennen by telephone at (408) 866-2133 or by email at bobl@campbellca.gov.

In figuring the new house determination, the first and the second floor exterior walls are divided into the walls to remain. The same holds true for the interior walls and the roof. Any wall that will be altered in anyway will not be added to the "to remain" side of the equation. This is not an exacting process and there are understandably areas where there can be some guesswork. I am normally generous in my math and lean towards making remodel determinations.

1220 Peggy 9/22/20 I determine this proposed project would be classified as a new home. Exterior walls to remain, 21%, Interior walls to remain 2%, roof to remain 18%

As-designed at this second submittal I have determined the project to be an Addition/Remodel, however the Planning Department has a comment and request for a site plan before they can make the determination complete.

Planning Division

The following comments have been provided by Paula Ruffinelli. Should you have any questions or require additional information regarding any of these comments, please contact Paula Ruffinelli by telephone at (408) 866-2732 or by email at paular@campbellca.gov.

I need a site plan that shows the property boundaries and the setbacks in order to do my review. Please update the plans to reflect that, thank you.

Thank you,

Building Inspections Division
City Hall - Upper Level



New Dwelling Using Portions of the Original Structure

Please complete the following information for a determination by the Building Official if a proposed remodel and addition is to be classified as a construction of a new house. This determination will be made using the following criteria that are provided in Campbell Municipal Code Chapter 18.32:

A project submitted as a "Remodel" or "Remodel and Addition" shall be considered and defined as a "New Dwelling using portions of the original structure" when at least three of the following criteria are satisfied:

1. The valuation of the proposed work exceeds one hundred eighty-five thousand dollars (valuation calculated using established Valuation Tables published by the International Code Council (ICC) and modified by the Building Division);
2. Seventy-five percent or more of the existing roof framing (Area) is proposed to be removed. Existing roof covered by a new roof shall be considered as removed for the purposes of this calculation;
3. Seventy-five percent or more of the existing exterior walls (Lineal Footage of Wall Length) are removed, altered, filled in, or rebuilt. In no event shall new exterior walls exceed more than seventy-five percent of the length of the existing exterior walls as determined by the building official. Nonconforming exterior walls shall not be included in the twenty-five percent remaining calculation;
4. Seventy-five percent or more of the existing interior walls (Lineal Footage of Wall Length) are removed, altered, filled in, or rebuilt. In no event shall new interior walls exceed more than seventy-five percent of the length of the existing interior walls as determined by the building official.

REQUIRED PLANS

- Floor Plan indicating new walls and existing walls to remain *and* to be removed
- Roof Plans indicating dimensions, form, and pitch, and the extent of new roofing
- Site Plans indicating property lines and dimensions, all existing and proposed structures, and existing and proposed setbacks

PROJECT INFORMATION

Property Address: 1220 PEGGY

Project Description: ADD/REN (2 STORY)

2020-1005
STUDIO THREE DESIGN
'BESS WIERSEMA'

APPELLANT INFORMATION

Name: BESS WIERSEMA Email: BESS C STUDIO-THREE.COM

Address: 638 UNIVERSITY AVE City: LOS GATOS Zip: 95032

Phone: (325) 292-3252

BUILDING OFFICIAL DETERMINATION (FOR CITY USE ONLY)

Remodel and Addition: New House:

Building Official Signature: [Signature] Date: 10/28/20

Non-Conforming Setback (Yes/No): _____ Planner: _____



638 UNIVERSITY AVENUE
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1220 PEGGY AVE MATERIAL BOARD



Fascia & Gutter, Painted,
Benjamin Moore HC-105
Rockport Gray



Stone Veneer,
El Dorado/Field Stone/
Andante



Modern Classic garage door,
Dark bronze anodized frame,
insulated stain etched glass



Vertical Board & batten siding,
Benjamin Moore HC-168
Chelsea Gray



Class A comp. asphalt
shingle roofing,
shadow grey



Sierra Pacific window,
Black aluminum clad
exterior, wood interior,
Painted wood trim



Wood posts and beams,
Cedar



VIEW 1



VIEW 2



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1220 PEGGY AVE



VIEW 3



VIEW 4