



CITY OF CAMPBELL
Community Development Department

February 26, 2021

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 9, 2021**, for a Public Hearing to consider the application (PLN-2020-54) of Pruneyard Office Investors LLC for an Amendment to the Pruneyard Master Use Permit for consideration of (1) a revised phasing plan to allow the approved office building and a partial expansion of the existing parking structure to be constructed as Phase 3 ahead of the approved retail buildings (as new Phase 4), further expansion of the existing parking structure in Phase 4, and a four-year extension of the permit deadline for new Phase 4 from December 2022 to December 2026, (2) minor architectural changes, a nominal increase in building area, and elimination of the underground parking to the approved office building, and associated site/parking layout changes, (3) a revised design for the parking structure expansion to incorporate enhanced architectural treatment and associated site layout/circulation changes around the traffic circle to increase pedestrian connectivity, (4) a change to the land use program to allow medical service clinics as a permitted use within the office parcel, and (5) revise the parking management plan to allow exclusive use of approximately 60 parking stalls for the new office building tenant(s) during typical office hours, (6) require implementation of the valet parking program only at the completion of Phase 3 (which is not required at the current phase) when certain occupancy thresholds are met, and (7) various non-material text clarifications; and a Tentative Parcel Map to allow creation of a fourth parcel created from the existing office parcel, for property located at **1875, 1887, 1901, 1919, 1995, & 1999 S. Bascom Avenue** and **777 E. Campbell Avenue** in the C-2-O (General Commercial / Overlay) Combining Zoning District. Staff is recommending that the Planning Commission consider an Addendum to the previously adopted Mitigated Negative Declaration pursuant to Sections 15162 and 15164 of the CEQA Guidelines.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_QRq7_Ld6R5mPvs3hsgTtPQ. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, March 5th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. *Plans and architectural drawings may be viewed by Friday, February 26th*, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

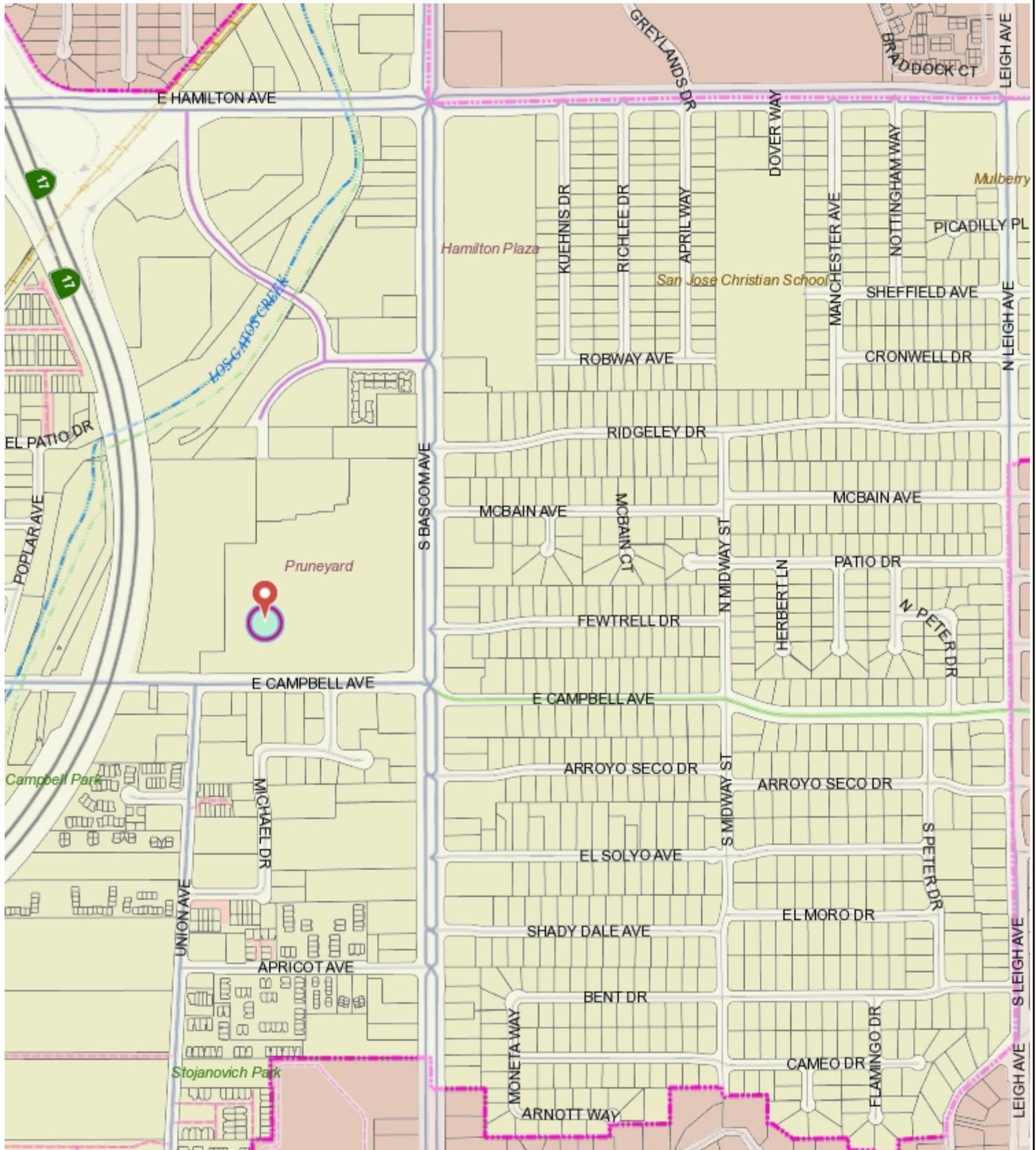
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN / SECRETARY

PLEASE NOTE: When calling on this Notice, refer to **Pruneyard Project**



Location Map - The Pruneyard



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

Volume 1 – Master Plans

Sheet Index

Sheet Number	Sheet Name
A0.00	Cover Sheet
A0.1	General Notes and Project Information
A0.5A	Site Plan – Existing Conditions
A0.5	Site Plan – Phase 3 Areas
A1.0	Site Plan – Phase 3
A1.1	Circulation Plan – Phase 3
A1.2	Site Plan – Phase 4
A1.3	Site Plan w/Fitness – Phase 4
A1.4	Vehicle Circulation Plan – Phase 4
A1.5	Pedestrian Circulation Plan – Phase 4
A1.6	Phasing Plan
C1.0	Phase 3 Emergency Access Plan
C1.1	Existing Site Plan
L1.0	Tree Survey
L1.1	Tree Removal and Preservation Plan
L1.2	Existing Tree Inventory
L1.3	Existing Tree Inventory

PRUNEYARD MASTER PLAN

CITY APPROVAL



CITY APPROVAL



PLANNING SET
09/11/20





ELLIS PARTNERS



ARCHITECTS
KORTH SUNSERI HAGEY

SHEET INDEX

Sheet Number	Sheet Name
A0.00	COVER SHEET
A0.1	GENERAL NOTES AND PROJECT INFORMATION
A0.5	EXISTING SITE PLAN
A1.0	SITE PLAN - PHASE 3
A1.1	CIRCULATION PLAN - PHASE 3
A1.2	SITE PLAN - PHASE 4
A1.3	SITE PLAN W/ FITNESS - PHASE 4
A1.4	VEHICLE CIRCULATION PLAN - PHASE 4
A1.5	PEDESTRIAN CIRCULATION PLAN - PHASE 4
A1.6	PHASING PLAN
C1.0	PHASE 3 EMERGENCY ACCESS PLAN
C1.1	EXISTING SITE PLAN
L1.0	TREE SURVEY
L1.1	TREE REMOVAL AND PRESERVATION PLAN
L1.2	EXISTING TREE INVENTORY
L1.3	EXISTING TREE INVENTORY

PLANNING DEPARTMENT NOTES

Note: The Pruneyard Master Plan was approved by the City of Campbell City Council on October 18, 2016. The architectural design of the Office Building O1 was approved by the City of Campbell Planning Commission on July 10, 2018.

This application proposes modifications to the sequencing of the developments included in Phase 3 and 4 of the Approved Master Plan. The completed development at the end of Phase 4 is unchanged from the Approved Master Plan, however the configuration at the end of Phase 3 is modified and is the focus of this application.

Original Phasing:
Phase 3: R1, R2, R3, Garage G1 Expansion
Phase 4: O1, G2 Garage

Modified Phasing:
Phase 3: O1, Garage G1 Expansion
Phase 4: R1, R2, R3, Further G1 Expansion

The Office Building O1 (Volume 2) has minor modifications to eliminate the buried garage G2 and to modify the penthouse and entry lobby access point. These changes are clouded to allow reviewers to focus on the changes to the current approvals. Garage Expansion G1 (Volume 3) has been modified due to the deferral of the R3 building until Phase 4. Further G1 expansion and site work will be required under Phase 4 and will be submitted under a separate application at a later date, prior to commencement of any Phase 4 development.

ISSUES AND REVISIONS
NO DATE DESCRIPTION

PROJECT NUMBER
1705.00

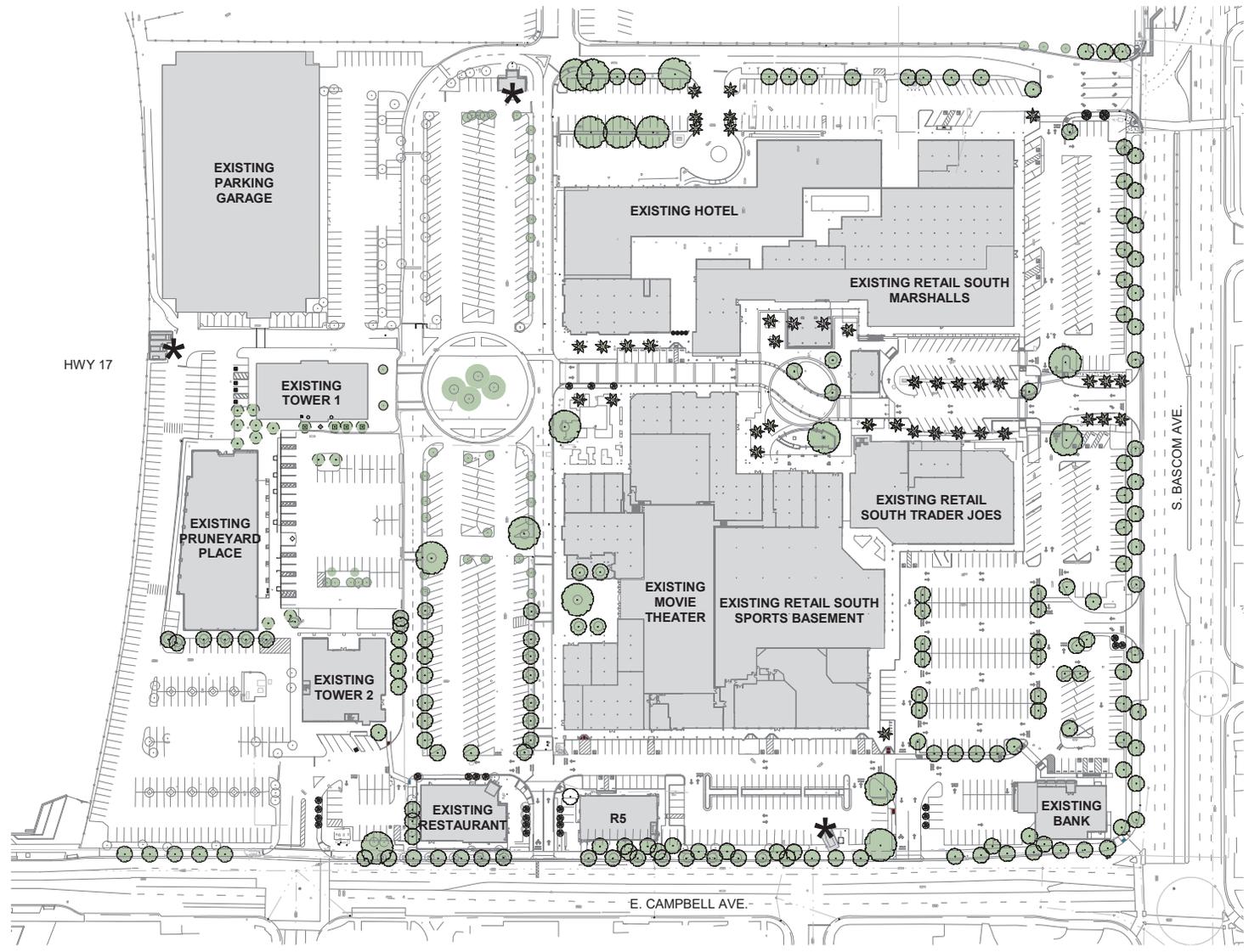
SHEET TITLE
GENERAL NOTES AND PROJECT INFORMATION

SCALE



SHEET NUMBER

A0.1



ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	09/11/20 Planning Revision

PROJECT NUMBER
17005.00

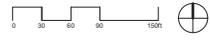
SHEET TITLE
SITE PLAN - EXISTING CONDITIONS

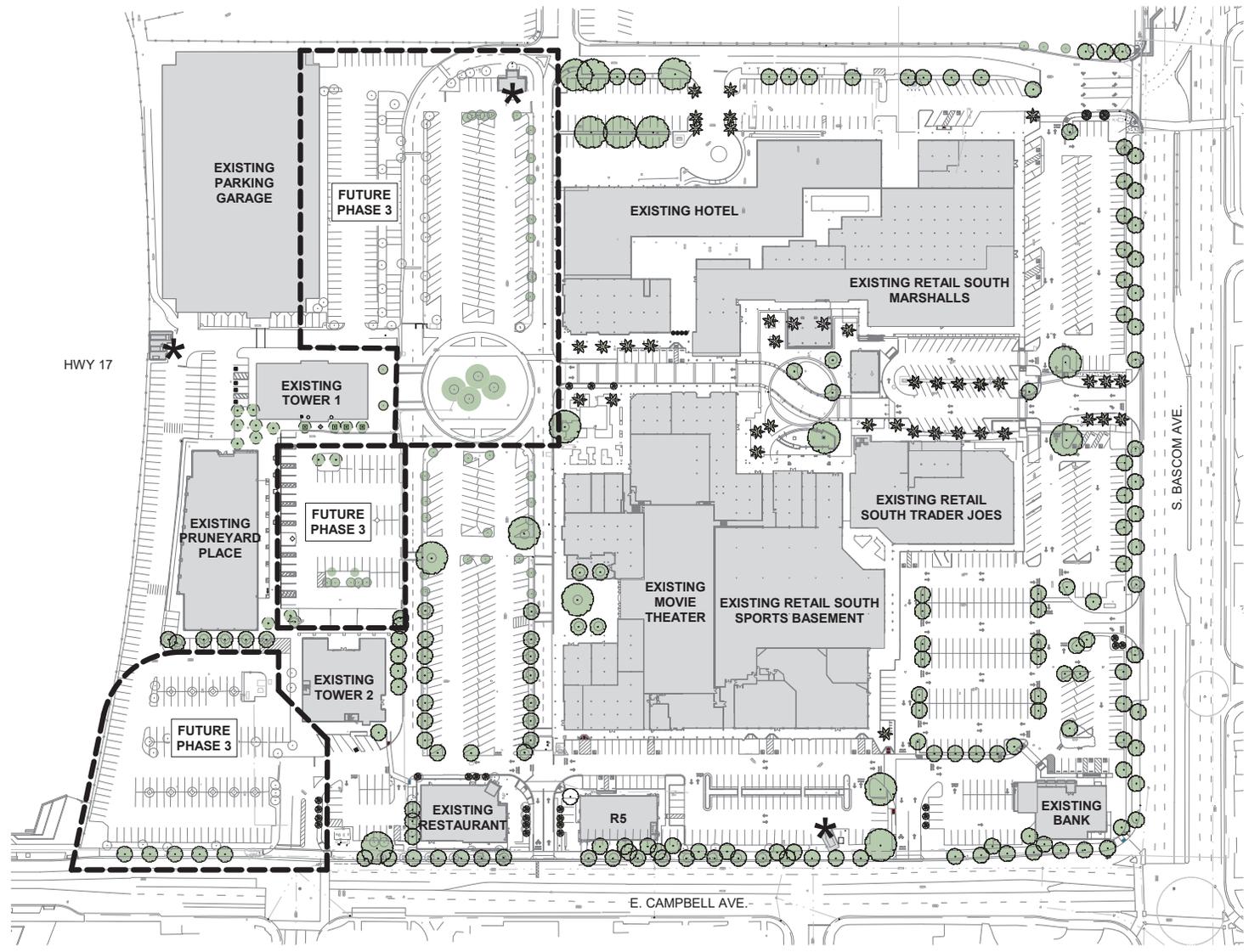
SCALE
1" = 60'-0"



SHEET NUMBER

A0.5A





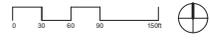
ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	09/11/20 Planning Revision

PROJECT NUMBER
17005.00

SHEET TITLE
SITE PLAN - PHASE 3 AREAS

SCALE
1" = 60'-0"

SHEET NUMBER



A0.5

PARKING TABLE

LOT NAME	TOTAL SPACES	TYP SPACES	ADA ROD	ADA SPACES	VAN ROD	VAN SPACES
LOT 1	152	150	5	2	1	0
LOT 2	135	129	4	5	1	1
LOT 3	153	149	5	3	1	1
LOT 4	361	345	6	11	2	5
LOT 5	127	119	4	6	1	2
LOT 6	88	72	3	14	1	2
LOT 7	140	131	4	6	1	3
GARAGE*	1008	1007	17	1	4	0
TOTAL	2164	2102	49	48	12	14

*Includes existing garage and proposed expansion.

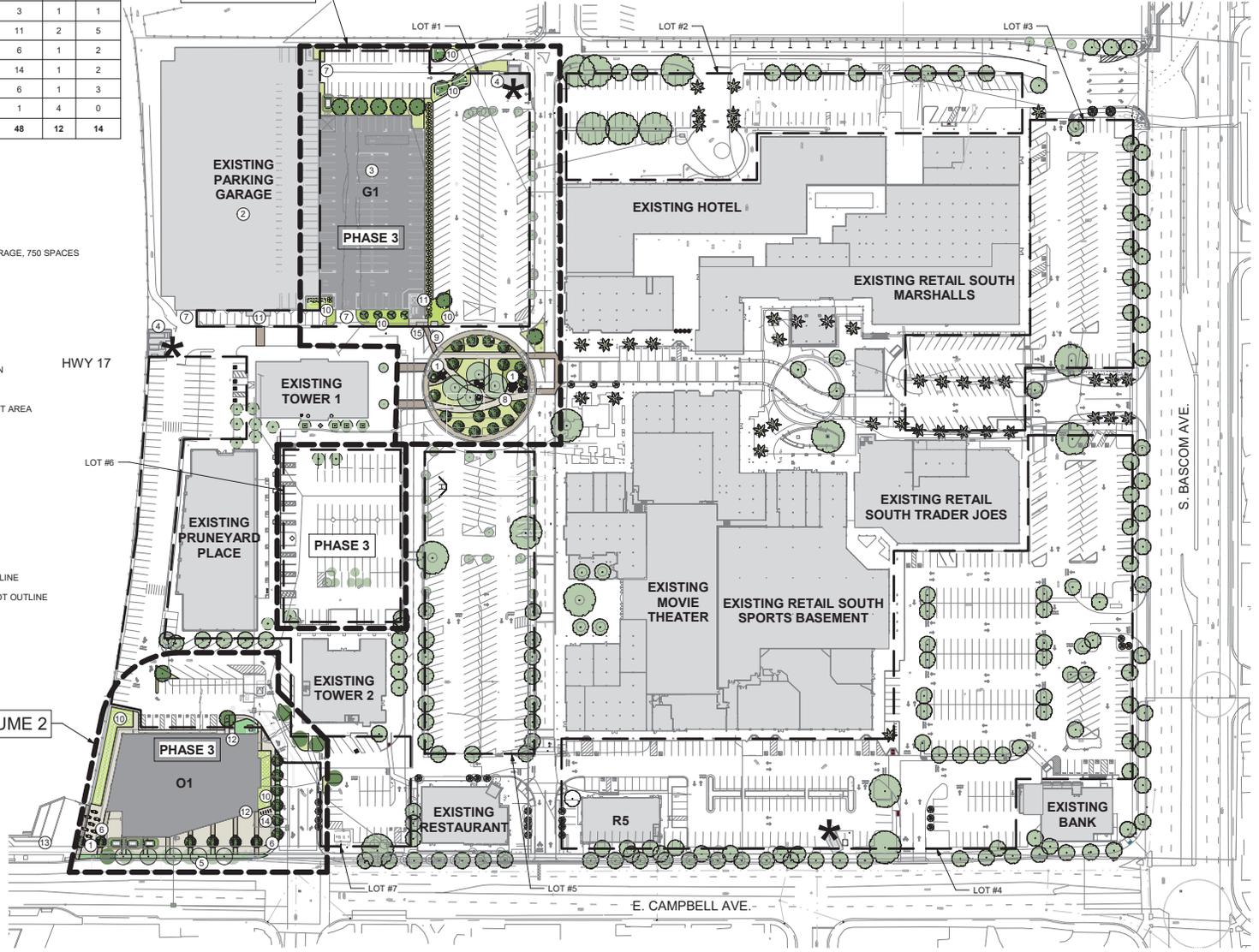
LEGEND

- ① NEW SEATING AREA
- ② EXISTING 4 LEVEL PARKING GARAGE, 750 SPACES
- ③ NEW PARKING GARAGE
- ④ (E) TRASH ENCLOSURE
- ⑤ BUS STOP
- ⑥ NEW SIGNAGE
- ⑦ PARKING GARAGE ENTRY/EXIT
- ⑧ NEW PEDESTRIAN CIRCULATION
- ⑨ SPEED TABLE, RAMP UP
- ⑩ LANDSCAPE WATER TREATMENT AREA
- ⑪ PUBLIC ELEVATORS
- ⑫ OFFICE ENTRY LOBBY
- ⑬ NEW PORTALS PROJECT
- ⑭ BIKE CORRAL
- ⑮ VALET DROP OFF

- PHASE OUTLINE
- PARKING LOT OUTLINE

SEE VOLUME 2

SEE VOLUME 3



NOTE: REFER TO THE LEGEND ON SHEET A1.2 FOR ADDITIONAL INFORMATION.

* = EXISTING REFUSE ENCLOSURE

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	05/12/20	Master Use Permit Modifications
B	07/07/20	Planning Revision

PROJECT NUMBER
17005.00

SHEET TITLE
SITE PLAN - PHASE 3

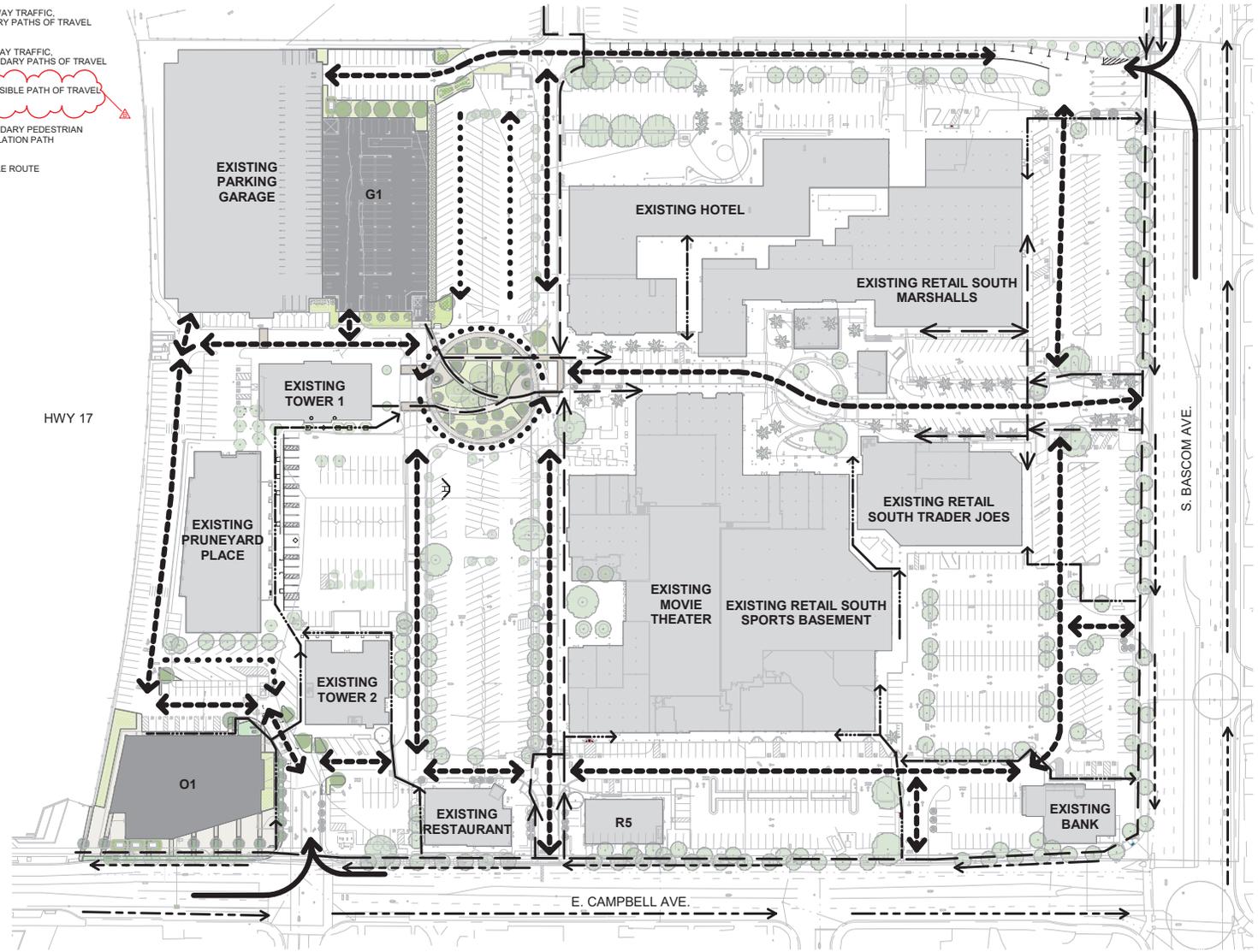
SCALE
As indicated

SHEET NUMBER

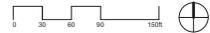
A1.0

LEGEND

- ← SIGNED INTERSECTIONS
- ← TWO-WAY TRAFFIC, PRIMARY PATHS OF TRAVEL
- ← ONE-WAY TRAFFIC, SECONDARY PATHS OF TRAVEL
- ← ACCESSIBLE PATH OF TRAVEL
- ← SECONDARY PEDESTRIAN CIRCULATION PATH
- ← BICYCLE ROUTE



NOTE: REFER TO A1.4 & A1.5 FOR ADDITIONAL CIRCULATION NOTES.



ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	07/07/20 Planning Revision

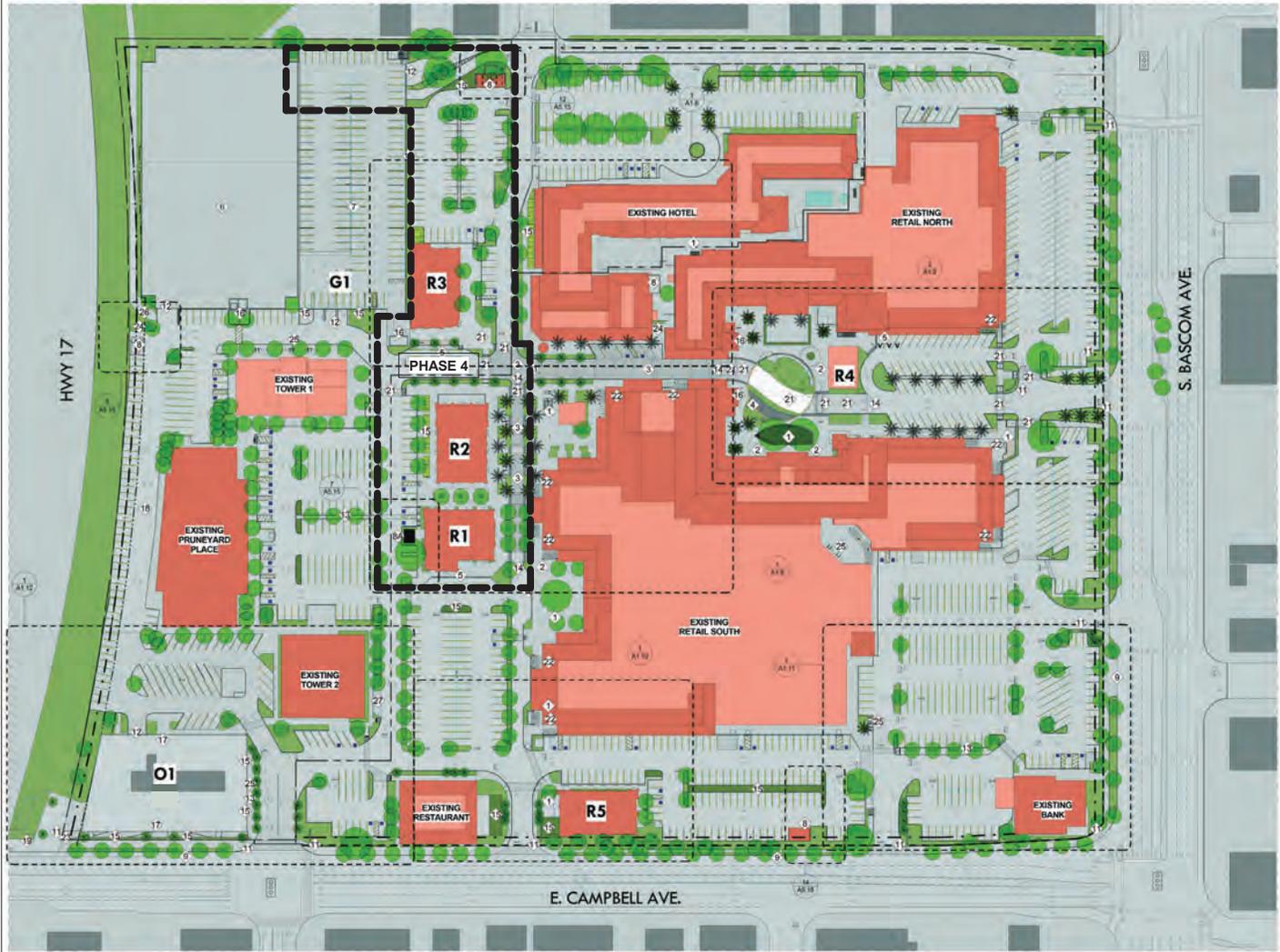
PROJECT NUMBER
17055.00

SHEET TITLE
CIRCULATION PLAN - PHASE 3

SCALE
1" = 60'-0"

SHEET NUMBER

A1.1



SHEET NOTES

SEE FEHR & PEERS MEMO FOR DETAILED PARKING ANALYSIS

LEGEND

- PROPERTY LINE
- SETBACK LINE
- STORM EASEMENT LINE
- PARCEL LINE
- ↑ TRAFFIC SIGNAL
- ↑ DIRECTION OF TRAFFIC

KEY NOTES

- 1 NEW SEATING AREA
- 2 NEW OUTDOOR DINING AREA
- 3 NEW STAMPED ASPHALT PAVING
- 4 CHILDREN'S PLAY AREA
- 5 VALET DROP OFF AREA / OFF PEAK LOADING
- 6 EXISTING 4 LEVEL PARKING GARAGE, 750 SPACES
- 7 NEW PARKING GARAGE
- 8 (E) TRASH ENCLOSURE
- 8A NEW TRASH ENCLOSURE
- 9 BUS STOP
- 10 DROP OFF AREA
- 11 NEW SIGNAGE, SEE SIGNAGE PACKAGE
- 12 PARKING GARAGE ENTRY/EXIT
- 13 NEW PEDESTRIAN CIRCULATION
- 14 SPEED TABLE, RAMP UP
- 15 LANDSCAPE WATER TREATMENT AREA
- 16 PUBLIC ELEVATORS
- 17 OFFICE ENTRY LOBBY
- 18 NEW BIKE LANE
- 19 NEW PORTALS PROJECT
- 20 NEW STRIPING TO ACCOMMODATE LEFT TURN
- 21 STAMPED CONCRETE
- 22 ARCADE REMOVAL / TRELLIS CREATION
- 23 PUBLIC ART IN NEW PLAZA
- 24 ENCLOSURE SCREENING
- 25 BIKE CORRAL
- 26 IMPROVED BIKE TRAIL ACCESS & MARKERS
- 27 OFFICE LOADING ZONE

ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	07/07/20 Planning Revision

PROJECT NUMBER
17005.00

SHEET TITLE
SITE PLAN - PHASE 4

SCALE
N.T.S.

SHEET NUMBER

NOTES:
 1. THIS PLAN INCLUDED IN 10/18/2016 APPROVAL PLAN
 2. PHASE 4 SITE PLAN IS PROVIDED FOR REFERENCE. FINAL PARKING CONFIGURATION AND DESIGN FOR THE EXPANSION/MODIFICATION OF G1 AND ASSOCIATED SITE WORK OCCURRING WITHIN PHASE 4 IS SUBJECT TO SEPARATE CITY APPROVAL.

A1.2



SHEET NOTES

SEE FEHRL & PEERS MEMO FOR DETAILED PARKING ANALYSIS.
OPTIONAL POOL ON R3 SHOWN PENDING TENANT DIRECTION.

LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- - - STORM EASEMENT LINE
- - - PARCEL LINE
- ⬆ TRAFFIC SIGNAL
- ↑ DIRECTION OF TRAFFIC

KEY NOTES

- 1 NEW SEATING AREA
- 2 NEW OUTDOOR DINING AREA
- 3 NEW STAMPED ASPHALT PAVING
- 4 CHILDREN'S PLAY AREA
- 5 VALET DROP OFF AREA / OFF PEAK LOADING
- 6 EXISTING 4 LEVEL PARKING GARAGE, 750 SPACES
- 7 NEW PARKING GARAGE
- 8 TRASH ENCLOSURE
- 9 BUS STOP
- 10 DROP OFF AREA
- 11 NEW SIGNAGE, SEE SIGNAGE PACKAGE
- 12 PARKING GARAGE ENTRY/EXIT
- 13 NEW PEDESTRIAN CIRCULATION
- 14 SPEED TABLE, RAMP UP
- 15 LANDSCAPE WATER TREATMENT AREA
- 16 PUBLIC ELEVATORS
- 17 OFFICE ENTRY LOBBY
- 18 NEW BIKE LANE
- 19 NEW PORTALS PROJECT
- 20 NEW STRIPING TO ACCOMMODATE LEFT TURN
- 21 STAMPED CONCRETE
- 22 ARCADE REMOVAL / TRELLIS CREATION
- 23 PUBLIC ART IN NEW PLAZA
- 24 ENCLOSURE SCREENING
- 25 BIKE CORRAL
- 26 IMPROVED BIKE TRAIL ACCESS & MARKERS
- 27 OFFICE LOADING ZONE

ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	07/07/20 Planning Revision

PROJECT NUMBER
17005.00

SHEET TITLE
SITE PLAN W/ FITNESS - PHASE 4

SCALE
N.T.S.

SHEET NUMBER

NOTES:
1. THIS PLAN INCLUDED IN 10/19/2016 APPROVAL PLAN
2. PHASE 4 SITE PLAN IS PROVIDED FOR REFERENCE. FINAL PARKING CONFIGURATION AND DESIGN FOR THE EXPANSION/MODIFICATION OF G1 AND ASSOCIATED SITE WORK OCCURRING WITHIN PHASE 4 IS SUBJECT TO SEPARATE CITY APPROVAL.



NEW CIRCULATION NOTES

- A** NEW TWO WAY ROAD
- B** PEDESTRIAN PRIORITY AREA, ZERO CURB ZONE
- C** RECONFIGURE PARKING TO 90 DEGREE STALLS
- D** VALET DROP OFF LOCATION
- E** NEW STOP SIGNS FOR TRAFFIC CLARITY

LEGEND

- SIGNALLED INTERSECTIONS
- TWO-WAY TRAFFIC, PRIMARY PATHS OF TRAVEL
- ONE WAY TRAFFIC, SECONDARY PATHS OF TRAVEL
- PARKING GARAGE ENTRANCES AND EXITS
- NEW VALET DROP OFF POINT
- TRAFFIC SIGNAL

ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	07/07/20 Planning Revision

PROJECT NUMBER
17005.00

SHEET TITLE
VEHICLE CIRCULATION PLAN - PHASE 4

SCALE
N.T.S.

SHEET NUMBER

NOTES:
 1. THIS PLAN INCLUDED IN 10/18/2016 APPROVAL PLAN
 2. PHASE 4 CIRCULATION PLAN IS PROVIDED FOR REFERENCE. FINAL PARKING CONFIGURATION AND DESIGN FOR THE EXPANSION/MODIFICATION OF G1 AND ASSOCIATED SITE WORK OCCURRING WITHIN PHASE 4 IS SUBJECT TO SEPARATE CITY APPROVAL.



NEW CIRCULATION NOTES

- A** NEW PROJECT ENTRY SIDEWALKS
- B** PEDESTRIAN PRIORITY AREA, ZERO CURB ZONE
- C** NEW CONCRETE & PAVER CROSSWALK
- D** NEW PAINTED CROSSWALK
- E** NEW STOP SIGNS FOR PEDESTRIAN SAFETY
- F** NEW INTERIOR CIRCULATION SIDEWALK
- G** NEW BICYCLE PARKING
- H** NEW BICYCLE ROUTE

LEGEND

- PRIMARY ACCESSIBLE PATH OF TRAVEL
- SECONDARY ACCESSIBLE PATH OF TRAVEL
- BICYCLE ROUTE
- PORTALS PROJECT CONNECTION
- LOS GAIOS CREEK TRAIL CONNECTION
- BIKE PARKING

ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	07/07/20 Planning Revision

PROJECT NUMBER
17005.00

SHEET TITLE
PEDESTRIAN CIRCULATION PLAN - PHASE 4

SCALE
N.T.S.

SHEET NUMBER

NOTES:

- THIS PLAN INCLUDED IN 10/18/2016 APPROVAL PLAN.
- PHASE 4 CIRCULATION PLAN IS PROVIDED FOR REFERENCE. FINAL PARKING CONFIGURATION AND DESIGN FOR THE EXPANSION/MODIFICATION OF G1 AND ASSOCIATED SITE WORK OCCURRING WITHIN PHASE 4 IS SUBJECT TO SEPARATE CITY APPROVAL.

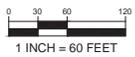
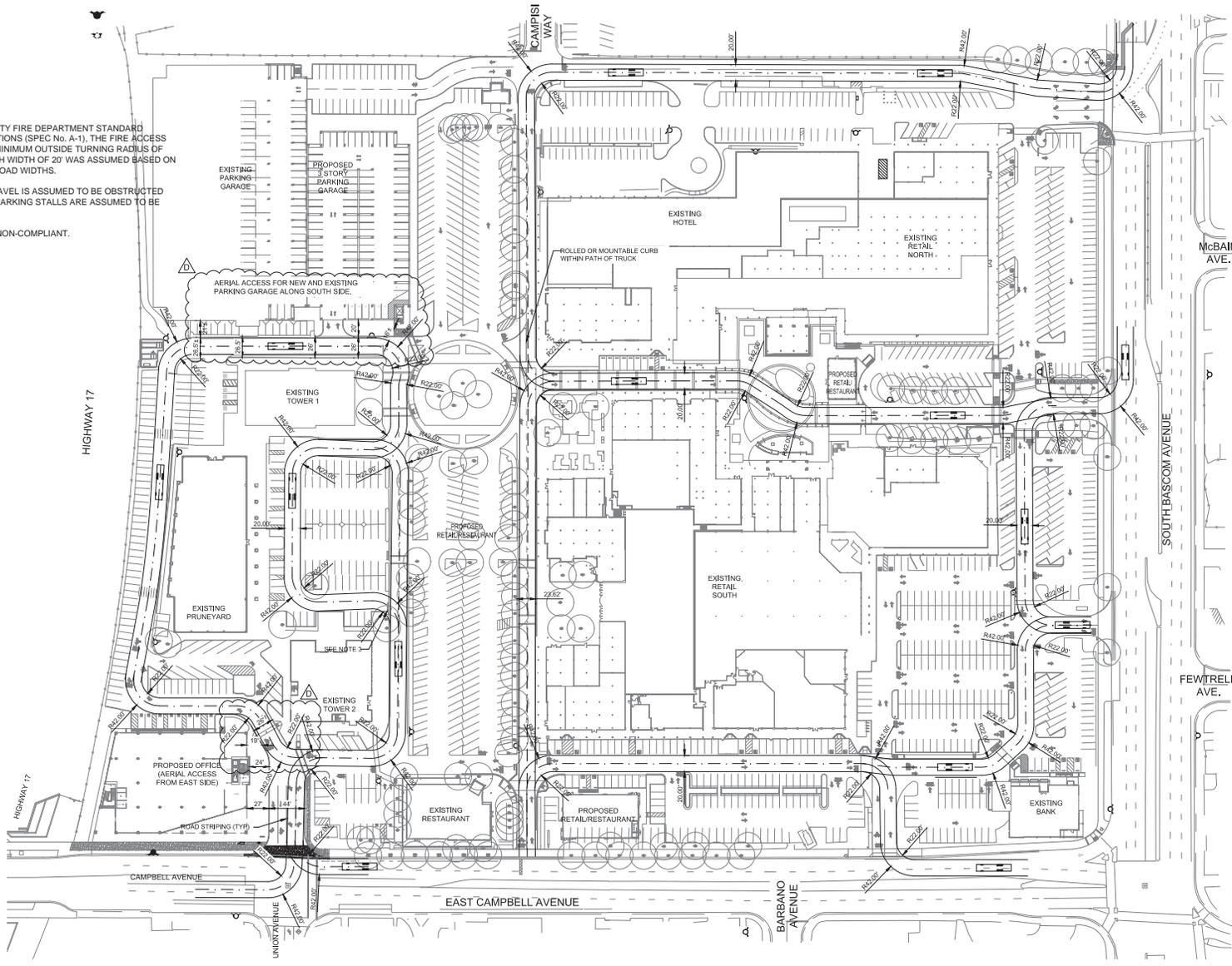
LEGEND



PROPOSED FIRE HYDRANT
EXISTING FIRE HYDRANT

NOTES

1. PER SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS (SPEC No. A-1), THE FIRE ACCESS ROUTE SHOWN USES A MINIMUM OUTSIDE TURNING RADIUS OF 42'. A TRUCK SWEEP PATH WIDTH OF 20' WAS ASSUMED BASED ON MINIMUM FIRE ACCESS ROAD WIDTHS.
2. FIRE TRUCK PATH OF TRAVEL IS ASSUMED TO BE OBSTRUCTED BY ALL CURBS AND ALL PARKING STALLS ARE ASSUMED TO BE OCCUPIED.
3. EXISTING CONDITION IS NON-COMPLIANT.



ELLIS PARTNERS



ARCHITECTS
KORTH SUNSERI HAGEY

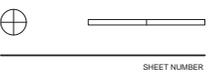


Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMca.com

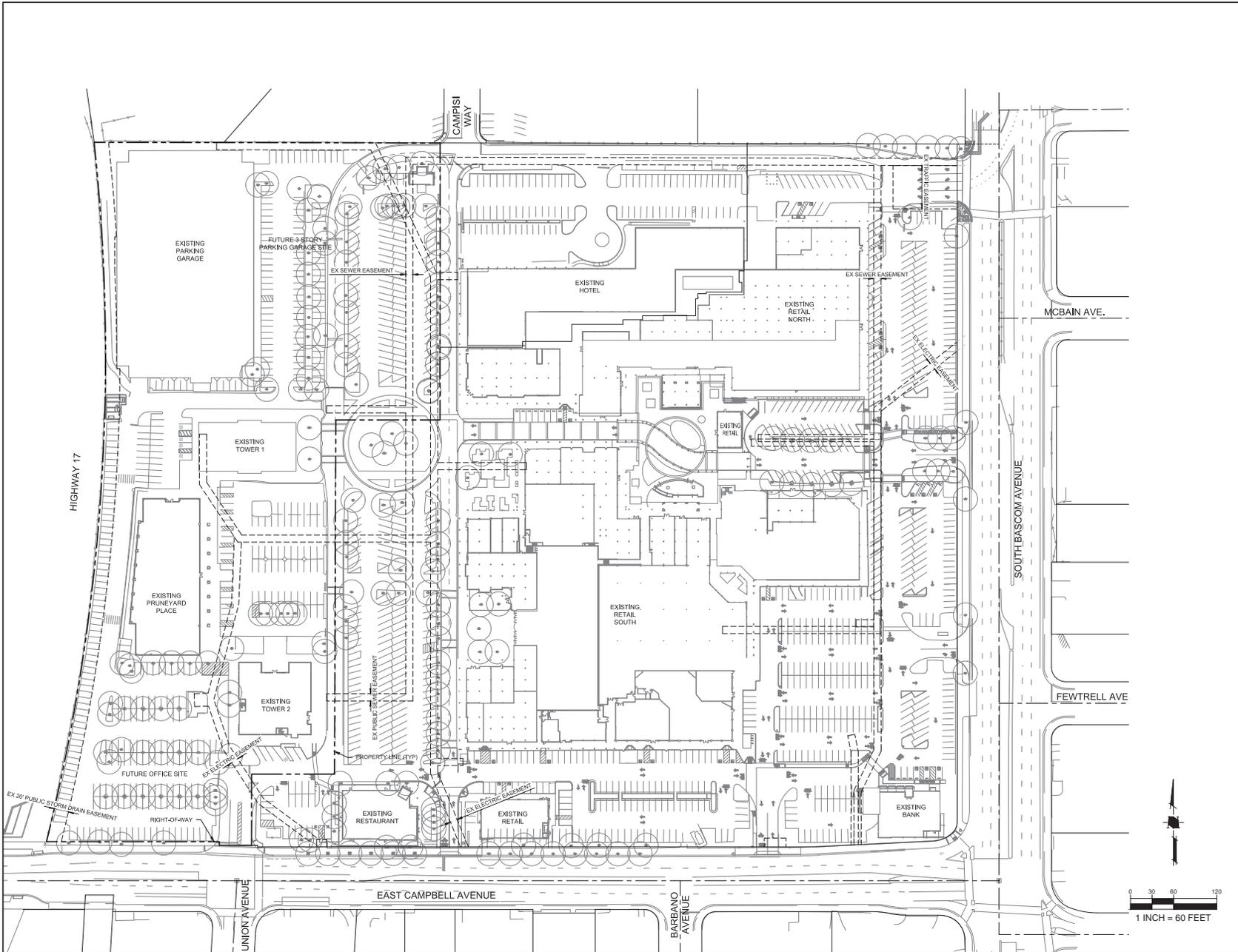
ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	05/08/20	PLANNING SET
B	07/06/20	REVISED PER 6/26/20 PLAN CHECK COMMENTS
C	09/10/20	REVISED PER 8/28/20 PLAN CHECK COMMENTS
D	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER
17005.00

SHEET TITLE
PHASE 3 EMERGENCY ACCESS PLAN



C1.0



ELLIS PARTNERS



ARCHITECTS
KORTH SUNSERI HAGEY



Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMca.com

NO	DATE	DESCRIPTION	ISSUES AND REVISIONS
A	08/23/17	PLANNING SET	
B	03/30/18	CITY OF CAMPBELL APPROVED SET	
C	05/08/20	PLANNING REVISION	

PROJECT NUMBER
17005.00

SHEET TITLE
EXISTING SITE PLAN

SCALE



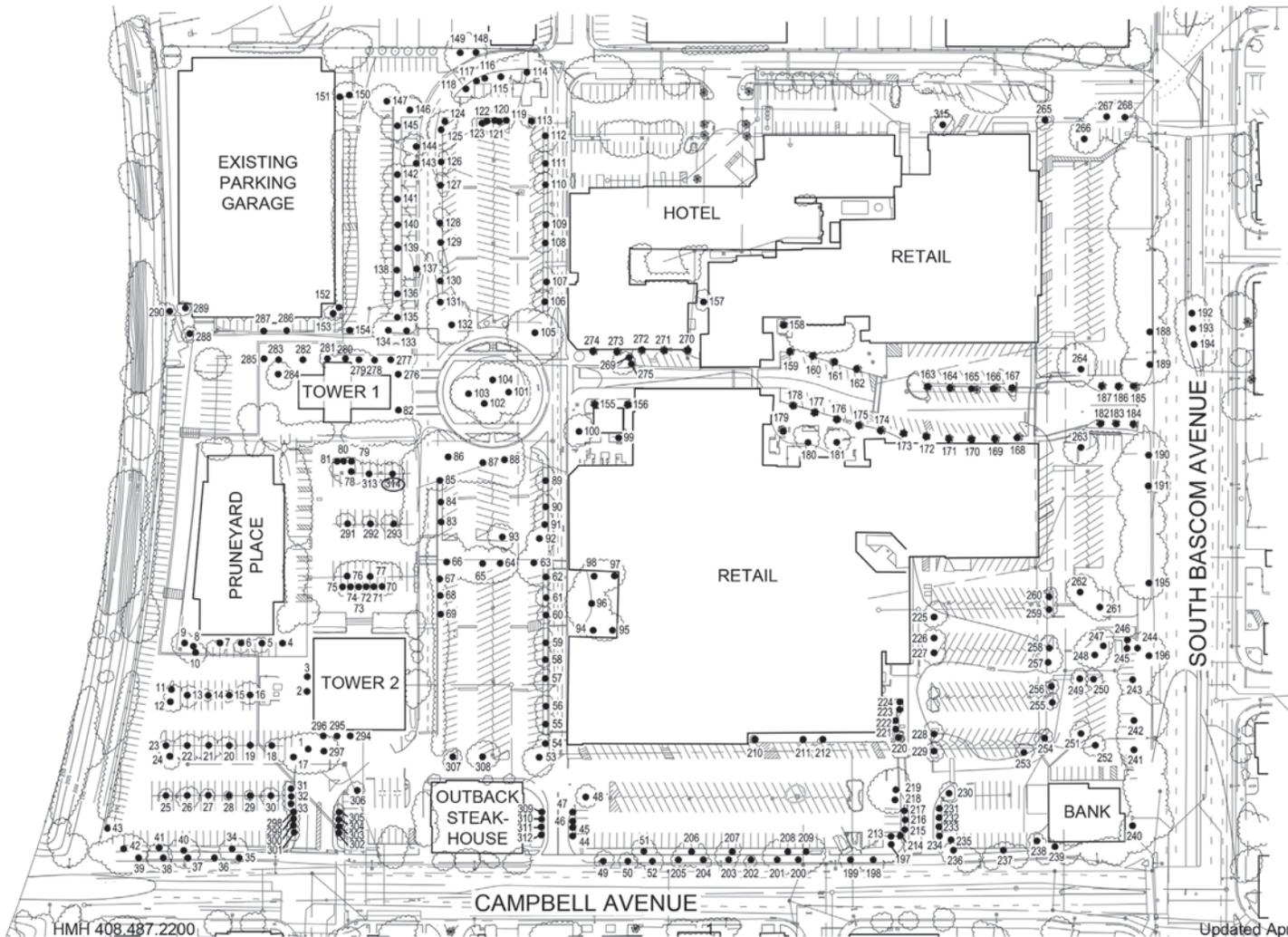
SHEET NUMBER

C1.1

*THIS SHEET PREVIOUSLY APPROVED BY THE CITY OF CAMPBELL



ELLIS PARTNERS



ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	07/07/20 Planning Revision

PROJECT NUMBER
17005.00

SHEET TITLE
TREE SURVEY

SCALE
N.T.S.



SHEET NUMBER

FMH 408.487.2200

Updated April 28, 2017

000 = TREE NUMBER - SEE TREE INVENTORY, SHEETS L1.2 AND L1.3

L1.0

*THIS SHEET PREVIOUSLY APPROVED BY THE CITY OF CAMPBELL



ELLIS PARTNERS

EXISTING TREE LEGEND

-  EXISTING TREE TO REMAIN
-  TREES PREVIOUSLY REMOVED UNDER PHASE 1 & 2
-  EXISTING TREE TO BE RELOCATED
-  TREE NUMBER - SEE TREE INVENTORY, SHEETS L1.2 AND L1.3
-  TREES AFFECTED IN PHASE 3
-  TREES AFFECTED IN PHASE 4

NOTES:
1. NO ADDITIONAL TREES ARE PROPOSED TO BE REMOVED BEYOND THOSE PREVIOUSLY APPROVED TO BE REMOVED.



ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/12/20 Master Use Permit Modifications
B	07/07/20 Planning Revision

PROJECT NUMBER
17005.00

SHEET TITLE
TREE REMOVAL & PRESERVATION PLAN

SCALE
1" = 60'-0"

SHEET NUMBER

L1.1



*THIS SHEET PREVIOUSLY APPROVED BY THE CITY OF CAMPBELL



ELLIS PARTNERS

EXISTING TREE INVENTORY							
TREE #	BOTANICAL NAME	COMMON NAME	DBH	PROTECTED TREE	HEALTH	PRESERVATION BUTIRABILITY	TREE TO BE REMOVED
1	Platanus acerifolia	London Plane	12.5	YES	4	Good	
2	Ulmus parvifolia	Chinese Elm	12.4	YES	3	Moderate	
3	Ulmus parvifolia	Chinese Elm	10.8		3	Moderate	
4	Platanus chinensis	Chinese Platane	4.8		3	Moderate	
5	Koeleria paniculata	Goldenran Tree	11.7		2	Poor	
6	Koeleria paniculata	Goldenran Tree	9.8		3	Moderate	
7	Koeleria paniculata	Goldenran Tree	10.2		3	Moderate	
8	Melaleuca linifolia	Paperbark	31.8	YES	4	Good	
9	Koeleria paniculata	Goldenran Tree	11.9		4	Good	
10	Koeleria paniculata	Goldenran Tree	11.2	YES	4	Good	
11	Koeleria paniculata	Goldenran Tree	9.6		4	Good	
12	Koeleria paniculata	Goldenran Tree	10		4	Good	
13	Koeleria paniculata	Goldenran Tree	11.2		4	Moderate	
14	Platanus chinensis	Chinese Platane	8.2		5	Moderate	
15	Koeleria paniculata	Goldenran Tree	6		4	Moderate	
16	Koeleria paniculata	Goldenran Tree	11.6		4	Moderate	
17	Platanus acerifolia	London Plane	10.9		4	Good	
18	Koeleria paniculata	Goldenran Tree	10.5		3	Moderate	
19	Koeleria paniculata	Goldenran Tree	4.3		1	Poor	
20	Koeleria paniculata	Goldenran Tree	8.4		4	Moderate	
21	Koeleria paniculata	Goldenran Tree	11.7		4	Moderate	
22	Koeleria paniculata	Goldenran Tree	11.9		4	Moderate	
23	Koeleria paniculata	Goldenran Tree	7		4	Good	
24	Koeleria paniculata	Goldenran Tree	10.2		4	Good	
25	Koeleria paniculata	Goldenran Tree	8.2		4	Moderate	
26	Koeleria paniculata	Goldenran Tree	13.1		3	Moderate	
27	Koeleria paniculata	Goldenran Tree	8.5		3	Moderate	
28	Koeleria paniculata	Goldenran Tree	5.4		2	Moderate	
29	Koeleria paniculata	Goldenran Tree	5.9		3	Moderate	
30	Koeleria paniculata	Goldenran Tree	10.2		3	Moderate	
31	Platanus chinensis	Chinese Platane	7.7		3	Moderate	
32	Platanus chinensis	Chinese Platane	5.9		4	Moderate	
33	Platanus chinensis	Chinese Platane	4.6		3	Moderate	
34	Liquidambar styraciflua	Sweet Gum	14.9	YES	4	Good	
35	Platanus chinensis	Chinese Platane	7.9		5	Good	
36	Platanus chinensis	Chinese Platane	5.9		4	Good	
37	Platanus chinensis	Chinese Platane	7.8		4	Good	
38	Platanus chinensis	Chinese Platane	8.7		4	Good	
39	Platanus chinensis	Chinese Platane	3.4		4	Good	
40	Ape piderocites	Norway Maple	12.5	YES	4	Good	
41	Callistemon viminalis	Weeping Bottlebrush	11		3	Moderate	
42	Fraxinus Yan Wist	Ash	29.3	YES	5	Good	
43	Ulmus parvifolia	Chinese Elm	4.9		5	Good	
44	Lagerstroemia indica	Crape Myrtle	4.2		4	Moderate	
45	Lagerstroemia indica	Crape Myrtle	4.8		4	Moderate	
46	Lagerstroemia indica	Crape Myrtle	4.5		4	Moderate	
47	Lagerstroemia indica	Crape Myrtle	5		4	Moderate	
48	Platanus chinensis	Chinese Platane	9.9		4	Good	
49	Platanus chinensis	Chinese Platane	10		4	Good	
50	Platanus chinensis	Chinese Platane	8		4	Good	
51	Olea europaea	Olive	40.8	YES	3	Poor	X
52	Platanus chinensis	Chinese Platane	6.4		4	Good	
53	Pinus canariensis	Canary Island Pine	23.9	YES	3	Moderate	
54	Olea europaea	Olive	15.9	YES	2	Poor	
55	Olea europaea	Olive	28.6		3	Moderate	
56	Olea europaea	Olive	23.9	YES	3	Moderate	
57	Olea europaea	Olive	26	YES	3	Moderate	
58	Olea europaea	Olive	28.4		3	Moderate	
59	Olea europaea	Olive	25.3		3	Moderate	
60	Olea europaea	Olive	23.9	YES	3	Moderate	
61	Olea europaea	Olive	25.3	YES	3	Moderate	
62	Olea europaea	Olive	22.9	YES	2	Moderate	
63	Pinus canariensis	Canary Island Pine	20.5	YES	2	Moderate	
64	Ulmus parvifolia	Chinese Elm	11.9		3	Moderate	
65	Ulmus parvifolia	Chinese Elm	30.4		4	Moderate	
66	Pinus pinus	Italian Stone Pine	29.2	YES	4	Good	
67	Olea europaea	Olive	24.4		2	Poor	
68	Olea europaea	Olive	31		2	Moderate	
69	Olea europaea	Olive	20.5		2	Poor	
70	Pinus californica	Onamental Pear	7.1		4	Good	X
71	Pinus californica	Onamental Pear	6.1		4	Good	X
72	Pinus californica	Onamental Pear	8.4		4	Good	X
73	Pinus californica	Onamental Pear	8.1		4	Good	X

TREES AFFECTED IN PHASE 3

TREES AFFECTED IN PHASE 4

TREE #	BOTANICAL NAME	COMMON NAME	DBH	PROTECTED TREE	HEALTH	PRESERVATION BUTIRABILITY	TREE TO BE REMOVED
74	Pyrus calleryana	Ornamental Pear	8.3		4	Good	X
75	Pyrus calleryana	Ornamental Pear	7.8		4	Good	X
76	Prunus cerasifera	Cherry Plum	11.4		4	Good	X
77	Prunus cerasifera	Cherry Plum	11.6		4	Good	X
78	Prunus cerasifera	Cherry Plum	10.7		4	Moderate	X
79	Pyrus calleryana	Ornamental Pear	7.7		4	Moderate	X
80	Pyrus calleryana	Ornamental Pear	8.5		4	Moderate	X
81	Pyrus calleryana	Ornamental Pear	10.2		4	Moderate	X
82	Pyrus calleryana	Ornamental Pear	11.5		4	Moderate	X
83	Olea europaea	Olive	26.7		5	Moderate	
84	Olea europaea	Olive	22.2		3	Moderate	
85	Olea europaea	Olive	29.3		2	Poor	
86	Ulmus parvifolia	Chinese Elm	22	YES	5	Good	
87	Schinus molle	Peruvian Pepperree	40	YES	5	Moderate	
88	Ulmus parvifolia	Chinese Elm	23	YES	5	Good	
89	Olea europaea	Olive	40	YES	2	Moderate	
90	Olea europaea	Olive	27.5	YES	2	Poor	
91	Olea europaea	Olive	34	YES	2	Poor	
92	Pinus canariensis	Canary Island Pine	24	YES	4	Moderate	
93	Pinus pinus	Italian Stone Pine	15.8	YES	5	Good	
94	Olea europaea	Olive	22.4		5	Moderate	
95	Olea europaea	Olive	30.4		2	Poor	
96	Ulmus parvifolia	Chinese Elm	17.4	YES	5	Moderate	
97	Olea europaea	Olive	10.2		2	Poor	
98	Olea europaea	Olive	27.5	YES	2	Poor	
99	Ulmus parvifolia	Chinese Elm	10.8		5	Good	
100	Endodbya deflexa	Bronze Lomat	18.5	YES	4	Good	X
101	Olea europaea	Olive	32.8	YES	3	Moderate	
102	Olea europaea	Olive	40.7		4	Good	
103	Olea europaea	Olive	40.5		4	Good	
104	Olea europaea	Olive	35.2	YES	4	Good	
105	Platanus chinensis	Chinese Platane	22.4	YES	5	Good	
106	Olea europaea	Olive	27.5	YES	2	Poor	
107	Olea europaea	Olive	32.7	YES	2	Poor	
108	Olea europaea	Olive	36.4	YES	2	Poor	
109	Olea europaea	Olive	33	YES	2	Poor	
110	Olea europaea	Olive	35.1	YES	2	Moderate	
111	Olea europaea	Olive	37.2	YES	3	Moderate	
112	Cedrus deodora	Deodar Cedar	12.5	YES	4	Moderate	
113	Olea europaea	Olive	24.2	YES	3	Moderate	
114	Fraxinus species	Ash	23.9	YES	3	Poor	
115	Olea europaea	Olive	16		1	Poor	
116	Olea europaea	Olive	11.8		2	Poor	
117	Grevillea robusta	Silky Oak	23.2	YES	3	Poor	
118	Olea europaea	Olive	44.4		3	Moderate	
119	Olea europaea	Olive	13.3	YES	2	Moderate	
120	Olea europaea	Olive	17.8		2	Moderate	
121	Olea europaea	Olive	16.1		2	Moderate	
122	Olea europaea	Olive	22.4		3	Moderate	
123	Olea europaea	Olive	21.9		3	Moderate	
124	Olea europaea	Olive	22	YES	3	Moderate	
125	Geijera parriflora	Australian Willow	18.4	YES	2	Poor	
126	Olea europaea	Olive	30.5	YES	3	Moderate	
127	Olea europaea	Olive	38.1		2	Poor	
128	Olea europaea	Olive	29.8	YES	2	Moderate	
129	Olea europaea	Olive	21.6	YES	2	Moderate	
130	Olea europaea	Olive	34.7	YES	2	Poor	
131	Olea europaea	Olive	19.6		1	Poor	
132	Ulmus parvifolia	Chinese Elm	21.8	YES	5	Moderate	
133	Ulmus parvifolia	Chinese Elm	10.5		4	Moderate	
134	Ulmus parvifolia	Chinese Elm	8.8		4	Moderate	
135	Ulmus parvifolia	Chinese Elm	7.9		4	Moderate	
136	Ulmus parvifolia	Chinese Elm	9.3		4	Moderate	
137	Melaleuca linifolia	Paperbark	25.9	YES	2	Poor	
138	Ulmus parvifolia	Chinese Elm	8.8		4	Moderate	
139	Ulmus parvifolia	Chinese Elm	9.6		4	Moderate	
140	Ulmus parvifolia	Chinese Elm	10.3		4	Moderate	
141	Ulmus parvifolia	Chinese Elm	9.5		5	Moderate	
142	Ulmus parvifolia	Chinese Elm	9		4	Moderate	
143	Olea europaea	Olive	24.8	YES	3	Moderate	
144	Olea europaea	Olive	25.5	YES	3	Moderate	
145	Ulmus parvifolia	Chinese Elm	10.8		5	Moderate	
146	Ulmus parvifolia	Chinese Elm	10.8		5	Moderate	

TREE #	BOTANICAL NAME	COMMON NAME	DBH	PROTECTED TREE	HEALTH	PRESERVATION BUTIRABILITY	TREE TO BE REMOVED
147	Ulmus parvifolia	Chinese Elm	11.4	YES	4	Moderate	
148	Magnolia grandiflora	Southern Magnolia	15		4	Good	
149	Schinus molle	Peruvian Pepper	49.6	YES	3	Poor	
150	Ulmus parvifolia	Chinese Elm	8.7		4	Moderate	
151	Populus nigra	Lombardy poplar	14.6	YES	4	Moderate	
152	Olea europaea	Olive	13.2		5	Good	
153	Olea europaea	Olive	13		5	Good	
154	Ulmus parvifolia	Chinese Elm	8.2		4	Moderate	
155	Washingtonia robusta	Mexican Fan Palm	14.8	YES	4	Moderate	
156	Washingtonia robusta	Mexican Fan Palm	12.7	YES	4	Moderate	
157	Xytisma congestum	Xytisma	13.8	YES	3	Moderate	
158	Syagrus romanzoffiana	Queen Palm	11		4	Moderate	
159	Washingtonia robusta	Mexican Fan Palm	13.7	YES	4	Moderate	X
160	Washingtonia robusta	Mexican Fan Palm	14	YES	4	Moderate	X
161	Washingtonia robusta	Mexican Fan Palm	14.3	YES	4	Good	X
162	Washingtonia robusta	Mexican Fan Palm	15.5	YES	4	Good	X
163	Washingtonia robusta	Mexican Fan Palm	14	YES	4	Moderate	
164	Washingtonia robusta	Mexican Fan Palm	13.7	YES	4	Moderate	
165	Washingtonia robusta	Mexican Fan Palm	13	YES	4	Moderate	
166	Washingtonia robusta	Mexican Fan Palm	14.8	YES	4	Moderate	
167	Washingtonia robusta	Mexican Fan Palm	13	YES	4	Moderate	
168	Washingtonia robusta	Mexican Fan Palm	13.5	YES	4	Moderate	
169	Washingtonia robusta	Mexican Fan Palm	13.5	YES	4	Moderate	
170	Washingtonia robusta	Mexican Fan Palm	13.9	YES	4	Moderate	
171	Washingtonia robusta	Mexican Fan Palm	12.2	YES	4	Moderate	
172	Washingtonia robusta	Mexican Fan Palm	15.5	YES	4	Moderate	
173	Washingtonia robusta	Mexican Fan Palm	14	YES	4	Moderate	X
174	Washingtonia robusta	Mexican Fan Palm	14.7	YES	4	Moderate	X
175	Washingtonia robusta	Mexican Fan Palm	16.3	YES	4	Moderate	X
176	Washingtonia robusta	Mexican Fan Palm	12.9	YES	4	Moderate	X
177	Washingtonia robusta	Mexican Fan Palm	13	YES	4	Moderate	X
178	Washingtonia robusta	Mexican Fan Palm	14.8	YES	4	Moderate	X
179	Syagrus romanzoffiana	Queen Palm	10.8		4	Moderate	
180	Olea europaea	Olive	37	YES	4	Moderate	
181	Olea europaea	Olive	41.1		4	Moderate	
182	Washingtonia robusta	Mexican Fan Palm	14.8	YES	4	Moderate	
183	Washingtonia robusta	Mexican Fan Palm	14.8	YES	4	Moderate	
184	Washingtonia robusta	Mexican Fan Palm	14.8	YES	4	Moderate	
185	Washingtonia robusta	Mexican Fan Palm	14.4	YES	4	Moderate	
186	Washingtonia robusta	Mexican Fan Palm	15.9	YES	4	Moderate	
187	Washingtonia robusta	Mexican Fan Palm	15.2	YES	4	Moderate	
188	Platanus acerifolia	London Plane	15.5	YES	5	Good	
189	Platanus acerifolia	London Plane	20.5	YES	4	Good	
190	Platanus acerifolia	London Plane	18.5	YES	5	Good	
191	Platanus acerifolia	London Plane	15.9	YES	5	Good	
192	Platanus acerifolia	London Plane	14.2	YES	4	Good	
193	Platanus acerifolia	London Plane	11.1		4	Good	
194	Platanus acerifolia	London Plane	13.8		4	Good	
195	Platanus acerifolia	London Plane	18.5	YES	4	Good	
196	Platanus acerifolia	London Plane	18.2	YES	4	Good	
197	Pinus canariensis</						

*THIS SHEET PREVIOUSLY APPROVED BY THE CITY OF CAMPBELL



ELLIS PARTNERS

TREE #	BOTANICAL NAME	COMMON NAME	DBH	PROTECTED TREE	HEALTH	PRESERVATION RISK/RATELY	TREE TO BE REMOVED
220	Phoenix canariensis	Canary Island Date Palm	31.3	YES	4	Good	
221	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	2.1		4	Good	X
222	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	3.2		4	Good	X
223	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	3.1		4	Good	X
224	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	4.1		5	Good	X
225	Koeleria paniculata	Goldenroan Tree	12.1	YES	4	Good	X
226	Koeleria paniculata	Goldenroan Tree	10.5		4	Good	X
227	Koeleria paniculata	Goldenroan Tree	11.0		4	Good	X
228	Koeleria paniculata	Goldenroan Tree	2.9		2	Poor	X
229	Koeleria paniculata	Goldenroan Tree	6.7		4	Good	X
230	Platanus orientalis	Chinese Plane	8.9		3	Moderate	
231	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	3.0		4	Good	
232	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	3.1		4	Good	
233	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	3.1		4	Good	
234	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	2.8		4	Good	
235	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	3.2		4	Good	
236	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	3.7		4	Good	
237	Olea europaea	Olve	26.0	YES	3	Moderate	
238	Platanus orientalis	Chinese Plane	8.2		5	Good	
239	Olea europaea	Olve	21.4	YES	3	Moderate	
240	Platanus acerifolia	London Plane	16.7	YES	6	Good	
241	Platanus acerifolia	London Plane	12.6	YES	6	Good	
242	Platanus acerifolia	London Plane	13.2	YES	5	Good	
243	Platanus acerifolia	London Plane	13.3	YES	5	Good	
244	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	2.4		5	Good	
245	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	2.9		5	Good	
246	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	2.8		5	Good	
247	Platanus acerifolia	London Plane	11.0		4	Good	
248	Platanus acerifolia	London Plane	13.3	YES	4	Good	
249	Koeleria paniculata	Goldenroan Tree	10.7		2	Moderate	
250	Koeleria paniculata	Goldenroan Tree	8.8		4	Good	
251	Koeleria paniculata	Goldenroan Tree	9.2		4	Good	
252	Koeleria paniculata	Goldenroan Tree	11.4		4	Good	X
253	Koeleria paniculata	Goldenroan Tree	11.5		4	Good	X
254	Koeleria paniculata	Goldenroan Tree	9.9		3	Moderate	X
255	Koeleria paniculata	Goldenroan Tree	10.0		5	Good	X
256	Koeleria paniculata	Goldenroan Tree	7.2		5	Good	X
257	Koeleria paniculata	Goldenroan Tree	10.8		5	Good	X
258	Koeleria paniculata	Goldenroan Tree	6.7		3	Poor	X
259	Koeleria paniculata	Goldenroan Tree	8.3		3	Poor	X
260	Koeleria paniculata	Goldenroan Tree	8.1		5	Good	X
261	Platanus acerifolia	London Plane	11.9		5	Good	
262	Platanus acerifolia	London Plane	15.1	YES	4	Good	
263	Platanus acerifolia	London Plane	16.2	YES	5	Good	
264	Platanus acerifolia	London Plane	16.5	YES	5	Good	
265	Swynga noniiflora	Queen Palm	11.0		2	Poor	
266	Platanus acerifolia	London Plane	14.7	YES	5	Good	
267	Platanus acerifolia	London Plane	13.4	YES	5	Good	
268	Platanus acerifolia	London Plane	10.7	YES	5	Good	
269	Melaleuca linifolia	Paperbark	40.1		4	Good	X
270	Washingtonia robusta	Mexican Fan Palm	13.6	YES	4	Good	
271	Washingtonia robusta	Mexican Fan Palm	17.6	YES	4	Moderate	
272	Washingtonia robusta	Mexican Fan Palm	15.2	YES	4	Moderate	
273	Washingtonia robusta	Mexican Fan Palm	14.1	YES	4	Moderate	
274	Washingtonia robusta	Mexican Fan Palm	13.0	YES	4	Moderate	
275	Melaleuca linifolia	Paperbark	79.1	YES	4	Good	X
276	Pyrus calleryana	Callery Pear	17.0		4	Moderate	
277	Platanus acerifolia	London Plane	10.4		5	Good	
278	Platanus acerifolia	London Plane	6.4		4	Good	
279	Platanus acerifolia	London Plane	8.1		4	Good	
280	Platanus acerifolia	London Plane	7.9		4	Good	
281	Platanus acerifolia	London Plane	8.3		4	Moderate	
282	Platanus acerifolia	London Plane	7.5		4	Moderate	
283	Platanus acerifolia	London Plane	11.0		5	Good	
284	Platanus acerifolia	London Plane	10.3		5	Good	X
285	Koeleria paniculata	Goldenroan Tree	10.5		5	Good	
286	Olea europaea	Olve	12.6		4	Good	
287	Olea europaea	Olve	8.4		4	Good	
288	Olea europaea	Olve	17.3		5	Good	
289	Olea europaea	Olve	13.3		4	Good	
290	Olea europaea	Olve	19.7		5	Good	X
291	Prunus cerasifera	Cherry Plum	8.1		2	Poor	X
292	Prunus cerasifera	Cherry Plum	6.5		0	Poor	X

TREE #	BOTANICAL NAME	COMMON NAME	DBH	PROTECTED TREE	HEALTH	PRESERVATION RISK/RATELY	TREE TO BE REMOVED
293	Prunus cerasifera	Cherry Plum	7.2		0	Poor	X
294	Ulmus parvifolia	Chinese Elm	14.0	YES	4	Good	
295	Ulmus parvifolia	Chinese Elm	8.9		4	Moderate	
296	Ulmus parvifolia	Chinese Elm	7.7		3	Moderate	
297	Platanus acerifolia	London Plane	12.6	YES	5	Good	
298	Lagerstroemia indica 'Natchez'	Crape Myrtle	1.7		4	Good	
299	Lagerstroemia indica 'Natchez'	Crape Myrtle	1.7		4	Good	
300	Lagerstroemia indica 'Natchez'	Crape Myrtle	2.0		4	Good	
301	Lagerstroemia indica 'Natchez'	Crape Myrtle	2.0		4	Good	
302	Lagerstroemia indica 'Natchez'	Crape Myrtle	2.6		4	Good	
303	Lagerstroemia indica 'Natchez'	Crape Myrtle	1.9		4	Good	
304	Lagerstroemia indica 'Natchez'	Crape Myrtle	1.7		4	Good	
305	Lagerstroemia indica 'Natchez'	Crape Myrtle	2.0		4	Good	
306	Platanus orientalis	Chinese Plane	7.0		5	Good	
307	Prunus cerasifera	Callery Pear	16.0	YES	4	Good	
308	Ulmus parvifolia	Chinese Elm	13.0	YES	4	Good	
309	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	4.0		4	Good	
310	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	4.0		4	Good	
311	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	4.0		4	Good	
312	Lagerstroemia indica 'Tuscanor'	Crape Myrtle	4.0		4	Good	
313	Prunus cerasifera	Cherry Plum	10.3		1	Poor	X
314	Prunus cerasifera	Cherry Plum	9.6		1	Poor	X

TREES AFFECTED IN PHASE 3
 TREES AFFECTED IN PHASE 4

ISSUES AND REVISIONS
 NO DATE DESCRIPTION
 A 05/12/20 Master Use Permit Modifications
 B 07/07/20 Planning Revision

PROJECT NUMBER
1705.00

SHEET TITLE
EXISTING TREE INVENTORY

SCALE
12" = 1'-0"



SHEET NUMBER

L1.3

Volume 2 – Office Drawings

Sheet Index

Sheet Number	Sheet Name	Sheet Number	Sheet Name
1-General		4-Architcture	
A0.0	Cover Sheet	A2.1	Level 1 Plan
A0.1	Project Information	A2.2	Level 2 Plan
A0.2	Context Photos	A2.3	Level 3 Plan
2-Civil		A2.4	Level 4 Plan
C1.0	Conceptual Site Plan	A2.5	Level 5 Plan
C1.1	Existing Site Plan	A2.6	Roof Plan
C2.0	Conceptual Grading Plan	A3.1	North and South Elevations
C3.0	Conceptual Utility Plan	A3.2	East and West Elevations
C4.0	Conceptual Stormwater Control Plan	A3.3	Section AA
C4.1	Stormwater Control Details	A3.4	Section BB
3-Landscape		A3.5	Section CC
L2.0	Pruneyard O1 – Phase 3	A3.6	Section Along Street Frontage
L2.1	Pruneyard – Plant Palette	A4.1	Rendering
L2.2	Irrigation Details	A4.2	Rendering
L2.3	Irrigation Details	A4.3	Perspective Views
		A4.5	Color/Materials Board
		5-Construction	
		SL1.0	Conceptual Site Logistics Plan

PRUNEYARD OFFICE BUILDING

777 E. Campbell Avenue



CITY APPROVAL

CITY APPROVAL

PLANNING SET
09/11/20

KSH ARCHITECTS
KORTH SUNSERI HAGEY
ELLIS PARTNERS

PROJECT AREAS

Area Schedule (Gross)		
Name	Area	

Level 1		
BUILDING LOBBY	2115 SF	
ELEVATORS	260 SF	
JANITOR	75 SF	
MEP	399 SF	
RESTROOMS	468 SF	
STAIRS	967 SF	
TENANT SPACE	15220 SF	
Level 2		
ELEVATORS	260 SF	
JANITOR	75 SF	
MEP	241 SF	
RESTROOMS	468 SF	
SHAFTS	158 SF	
STAIRS	967 SF	
TENANT SPACE	17335 SF	
Level 3		
ELEVATORS	260 SF	
JANITOR	75 SF	
MEP	241 SF	
RESTROOMS	468 SF	
SHAFTS	158 SF	
STAIRS	990 SF	
TENANT SPACE	20091 SF	
Level 4		
ELEVATORS	260 SF	
JANITOR	75 SF	
MEP	241 SF	
RESTROOMS	468 SF	
SHAFTS	158 SF	
STAIRS	990 SF	
TENANT SPACE	20722 SF	
Level 5		
CORRIDOR	324 SF	
ELEVATORS	260 SF	
JANITOR	75 SF	
MEP	241 SF	
RESTROOMS	468 SF	
SHAFTS	158 SF	
STAIRS	1030 SF	
TENANT SPACE	15848 SF	
TERRACE	3930 SF	
Roof		
MECHANICAL ENCLOSURE	3523 SF	
STAIRS	449 SF	
Total		
		109884 SF

Area Schedule (FAR)		
Level	Area	

Level 1	19505 SF
Level 2	19505 SF
Level 3	22283 SF
Level 4	22283 SF
Level 5	18405 SF
Total	101981 SF

Area Schedule (Lot Coverage)		
Area Type	Area	

Exterior Area	2472 SF
Gross Building Area	19505 SF
Total	21977 SF

FIRE DEPARTMENT REQUIREMENTS

EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATIONS SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS. REFER TO CFC SEC. 510 FOR FURTHER REQUIREMENTS.

APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW AND EXISTING BUILDINGS AND STRUCTURES SHALL BE PROVIDED IN THE LOCATIONS DESCRIBED IN THIS SECTION OR IN SECTIONS 903.2.1 THROUGH 903.2.18 WHICH EVER IS THE MORE RESTRICTIVE. FOR THE PURPOSES OF THIS SECTION, FIREWALLS USED TO SEPARATE BUILDING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND SHALL BE WITHOUT OPENINGS OR PENETRATIONS. NOTE, THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER SUPPLY PROVIDER IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-40) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC. 903.2 AS ADOPTED AND AMENDED BY CBLMC.

STANDPIPE SYSTEMS SHALL BE PROVIDED IN NEW BUILDINGS AND STRUCTURES IN ACCORDANCE WITH THIS SECTION. FIRE HOSE THREADS USED IN CONNECTION WITH STANDPIPE SYSTEMS SHALL BE APPROVED AND SHALL BE COMPATIBLE WITH FIRE DEPARTMENT HOSE THREADS. THE LOCATION OF FIRE DEPARTMENT HOSE CONNECTIONS SHALL BE APPROVED. STANDPIPES SHALL BE MANUAL, WET TYPE, IN BUILDINGS USED FOR HIGH-RISE COMBUSTIBLE STORAGE. FIRE HOSE PROTECTION SHALL BE IN ACCORDANCE WITH CHAPTER 52, INSTALLATION STANDARD. STANDPIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND NFPA 14 AS AMENDED IN CHAPTER 47. CFC SEC. 905.

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 5/8 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

TWO-WAY COMMUNICATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72 (2016 EDITION), THE CALIFORNIA ELECTRICAL CODE (2015 EDITION), THE CALIFORNIA FIRE CODE (2016 EDITION), THE CALIFORNIA BUILDING CODE (2016 EDITION), AND THE CITY ORDINANCE, WHERE TWO-WAY SYSTEM IS BEING INSTALLED. POLICES, AND STANDARDS, OTHER STANDARDS ALSO CONTAIN DESIGN/INSTALLATION CRITERIA FOR SPECIFIC LIFE SAFETY RELATED EQUIPMENT. THESE OTHER STANDARDS ARE REFERRED TO IN NFPA 72.

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33. REFER TO CFC SEC. 906 AND THE CURRENTLY ADOPTED VERSION OF NFPA 72. SUBMIT SHOP DRAWINGS (S-10) AS A PERMANENT PPLICATION TO THE SDCPS FOR APPROVAL BEFORE INSTALLING OR ALTERING ANY SYSTEM. CALL (408) 378-4400 FOR MORE INFORMATION.

CODE SUMMARY

- | | |
|---|--|
| 1. CONSTRUCTION TYPE (CBC CH. 6) | TYPE 1B |
| 2. USE AND OCCUPANCY (CBC CH. 3) | A-3, B, M, S-2 |
| 3. ALLOWABLE HEIGHT (CBC TABLE 504.3-4)
TABULATED MAX HEIGHT:
(NO HEIGHT INCREASE REQUIRED) | 187' / 12 STORIES (A-3)
187' / 12 STORIES (B)
187' / 12 STORIES (M)
187' / 12 STORIES (S-2) |
| 4. ALLOWABLE AREA PER FLOOR (CBC TABLE 508.2)
TABULATED MAX AREA:
(NO AREA INCREASE REQUIRED) | UL (A-3)
UL (B)
UL (M)
237,000 SF (S-2) - MOST RESTRICTIVE |
| 5. TOTAL ALLOWABLE BUILDING AREA (CBC SEC 506)
(EQUATION 5-2)
$A_b = (A + (NS \times I)) \times S_b$, $b = 1.25 - .75$
$(227,000 + (79,000 \times .75)) \times 3 =$
$(227,000 + (59,250 \times .75)) \times 2 =$ | 888,780 SF ALLOWABLE AREA OF BLDG
892,600 SF ALLOWABLE AREA OF "A" OCC |
| 6. PROPOSED HEIGHT AND GROSS FLOOR AREA (CBC CHAPTER 2) | 5 STORIES
78'-0"
SEE "PROJECT AREAS" |

STORIES ABOVE GRADE: 5 STORIES
MAXIMUM HEIGHT ABOVE GRADE: 78'-0"
GROSS FLOOR AREA:

- PER CBC 503.1.1 THE AREA OF OCCUPIED ROOFS SHALL NOT BE INCLUDED IN THE BUILDING AREA AS REGULATED BY SECTION 506.
- PER CBC 503.1.1 PEN HOUSES AND OTHER ENCLOSED ROOFTOP STRUCTURES SHALL NOT BE REQUIRED TO BE INCLUDED IN DETERMINING THE BUILDING AREA OR NUMBER OF STORIES AS REGULATED BY SECTION 503.1. THE AREA OF SUCH PEN HOUSES SHALL NOT BE INCLUDED IN DETERMINING THE FIRE AREA SPECIFIED IN SECTION 501.7.

7. RATING REQUIREMENTS (CBC TABLE 601)
- | | |
|----------------------------|---------|
| PRIMARY STRUCTURAL FRAME: | 2 HOURS |
| EXTERIOR BEARING WALLS: | 2 HOURS |
| INTERIOR BEARING WALLS: | 2 HOURS |
| EXTERIOR NONBEARING WALLS: | 0 HOURS |
| INTERIOR NONBEARING WALLS: | 0 HOURS |
| FLOOR CONSTRUCTION: | 2 HOURS |
| ROOF CONSTRUCTION: | 2 HOURS |

SHAFT ENCLOSURES 2 HOURS*
*PER CBC 710.1 SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE, AND NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES. THE NUMBER OF STORIES CONNECTED BY THE SHAFT ENCLOSURE SHALL INCLUDE ANY MEZZANINES. SHAFT ENCLOSURES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN THE FLOOR AREAS THEY PENETRATE, BUT NEED NOT EXCEED 3 HOURS.

8. REQUIRED SEPARATIONS (CBC CH. 5)
- | | |
|----------------------|---------|
| OCCUPANCY SEPARATION | 0 HOURS |
|----------------------|---------|
- PER CBC 508.3.2 THE PROPOSED BUILDING HEIGHT AND AREA SHALL WITHIN THE ALLOWABLE LIMITS OF THE MOST RESTRICTIVE USE. SO ALL OCCUPANCIES CAN BE CONSIDERED NONSEPARATED OCCUPANCIES.
PER CBC 508.3.3, NO SEPARATION IS REQUIRED BETWEEN NONSEPARATED OCCUPANCIES.

SHEET INDEX

Sheet Number	Sheet Name
--------------	------------

1-General	
A0.0	COVER SHEET
A0.1	PROJECT INFORMATION
A0.2	CONTEXT PHOTOS

2-Civil	
C1.0	CONCEPTUAL SITE PLAN
C2.0	CONCEPTUAL GRADING AND DRAINAGE PLAN
C3.0	CONCEPTUAL UTILITY PLAN - OFFICE BUILDING
C4.0	STORMWATER CONTROL PLAN
C4.1	STORMWATER CONTROL DETAILS

3-Landscape	
L2.0	PRUNEYARD 01 - PHASE 3
L2.1	PRUNEYARD - PLANT PALETTE
L2.2	IRRIGATION DETAILS
L2.3	IRRIGATION DETAILS

4-Architecture	
A2.1	LEVEL 1 PLAN
A2.2	LEVEL 2 PLAN
A2.3	LEVEL 3 PLAN
A2.4	LEVEL 4 PLAN
A2.5	LEVEL 5 PLAN
A2.6	ROOF PLAN
A3.1	NORTH AND SOUTH ELEVATIONS
A3.2	EAST AND WEST ELEVATIONS
A3.3	SECTION AA
A3.4	SECTION BB
A3.5	SECTION CC
A3.6	SECTION ALONG STREET FRONTAGE

5-Construction	
SL1.0	CONCEPTUAL SITE LOGISTICS PLAN

VICINITY MAP



ELLIS PARTNERS



ARCHITECTS
KORTH SUNSRI HAGEY

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/07/20	PLANNING REVISION
E	09/11/20	PLANNING REVISION

PROJECT NUMBER
17005.00

SHEET TITLE
PROJECT INFORMATION

SCALE
12" = 1'-0"



SHEET NUMBER

A0.1



THE PRUNEYARD



ELLIS PARTNERS



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION

PROJECT NUMBER
17005.00

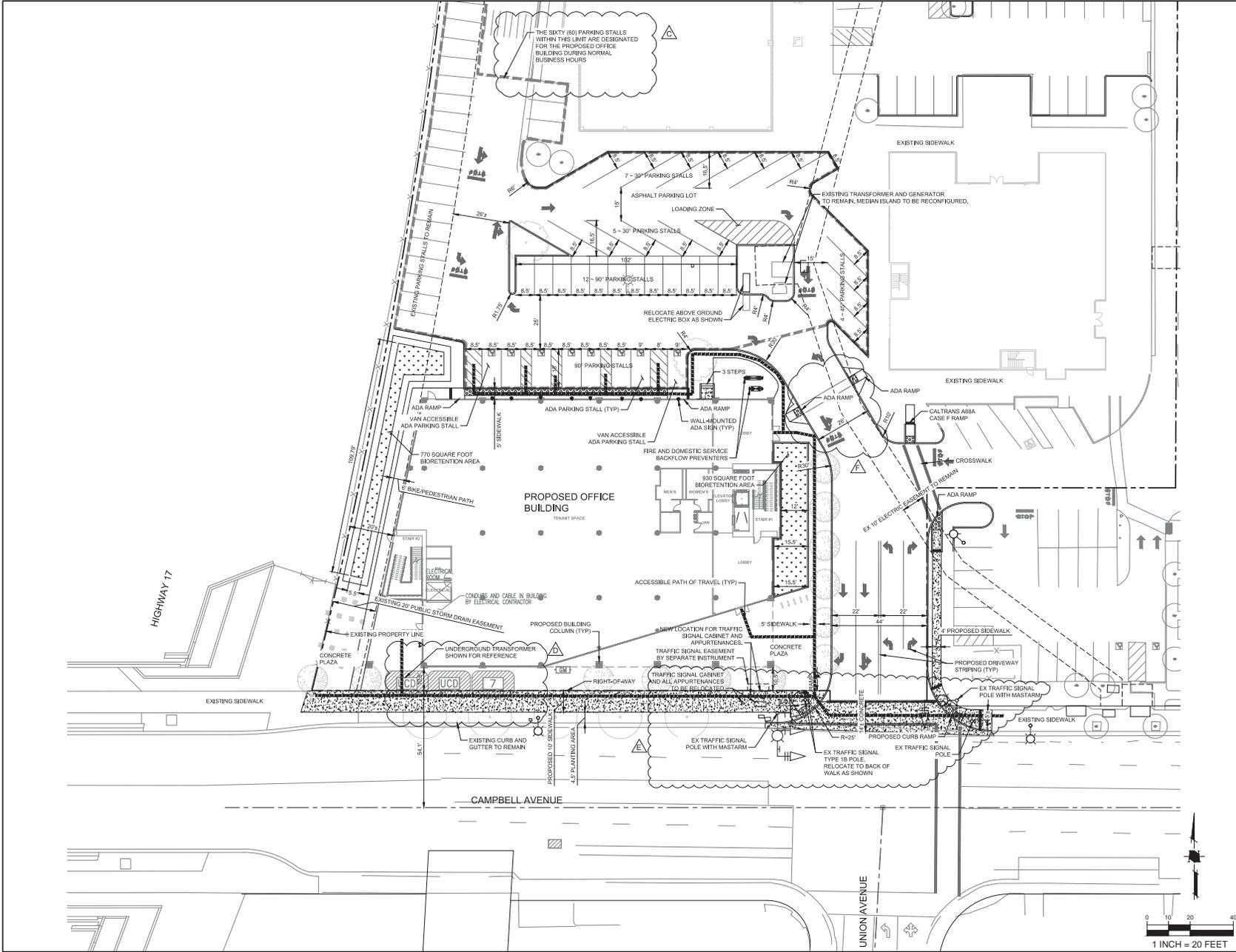
SHEET TITLE
CONTEXT PHOTOS

SCALE



SHEET NUMBER

A0.2



ELLIS PARTNERS



KORTH SUNSRI HAGEY



Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMca.com

ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/08/20	REVISED PER 6/28 CITY COMMENTS
E	09/10/20	REVISED PER 8/28/20 CITY COMMENTS
F	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER 17006-00

SHEET TITLE
CONCEPTUAL SITE PLAN

SCALE



SHEET NUMBER

C1.0



ARCHITECTS
KORTH SUNSERI HAGEY



Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMH.ca

NO	DATE	ISSUES AND REVISIONS
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/08/20	REVISED PER 626 CITY COMMENTS
E	09/10/20	REVISED PER 828/20 CITY COMMENTS
F	10/27/20	REVISED PER 1020/20 FIRE COMMENTS

PROJECT NUMBER
17005.00

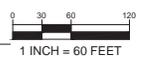
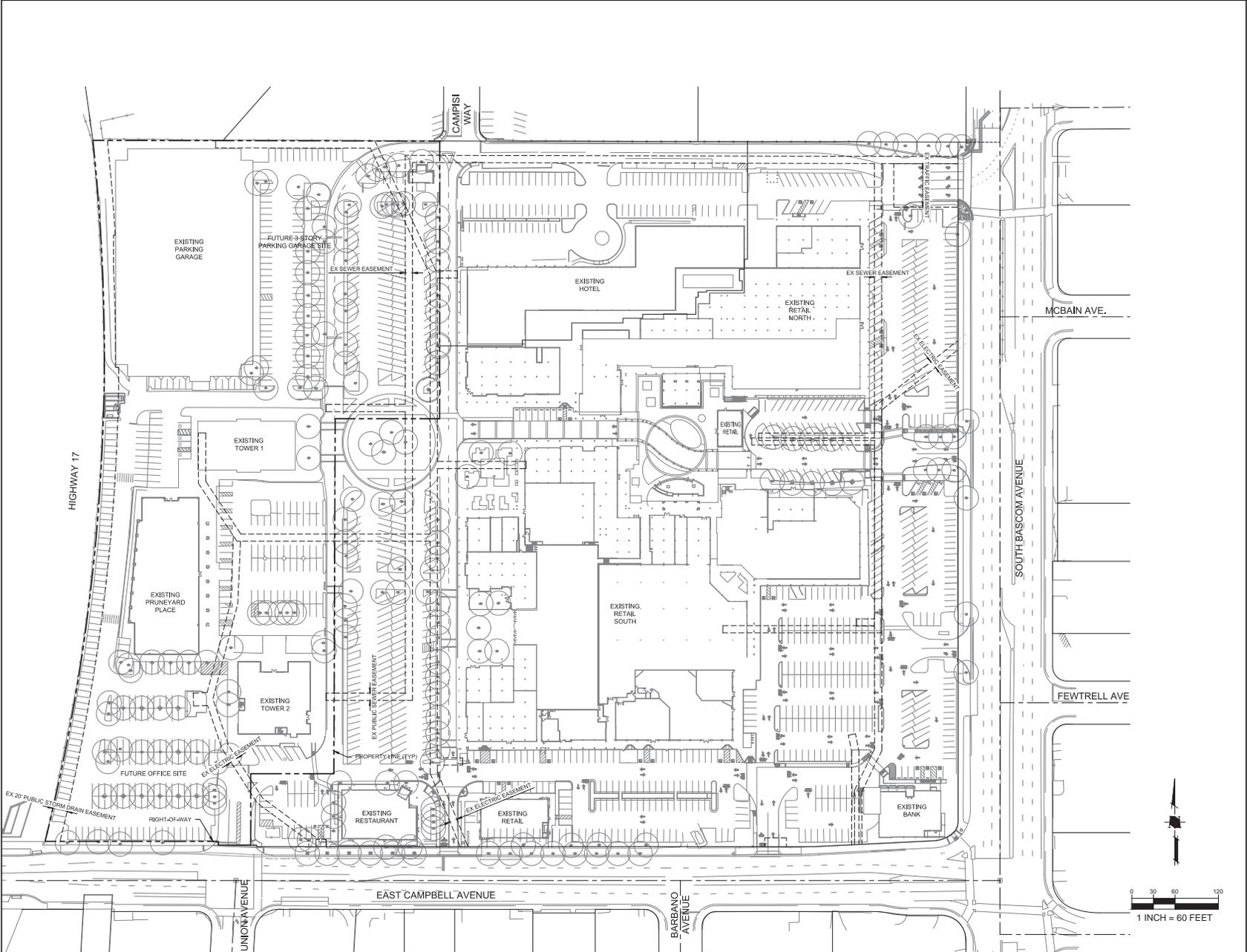
SHEET TITLE
EXISTING SITE PLAN

SCALE



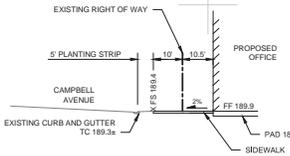
SHEET NUMBER

C1.1

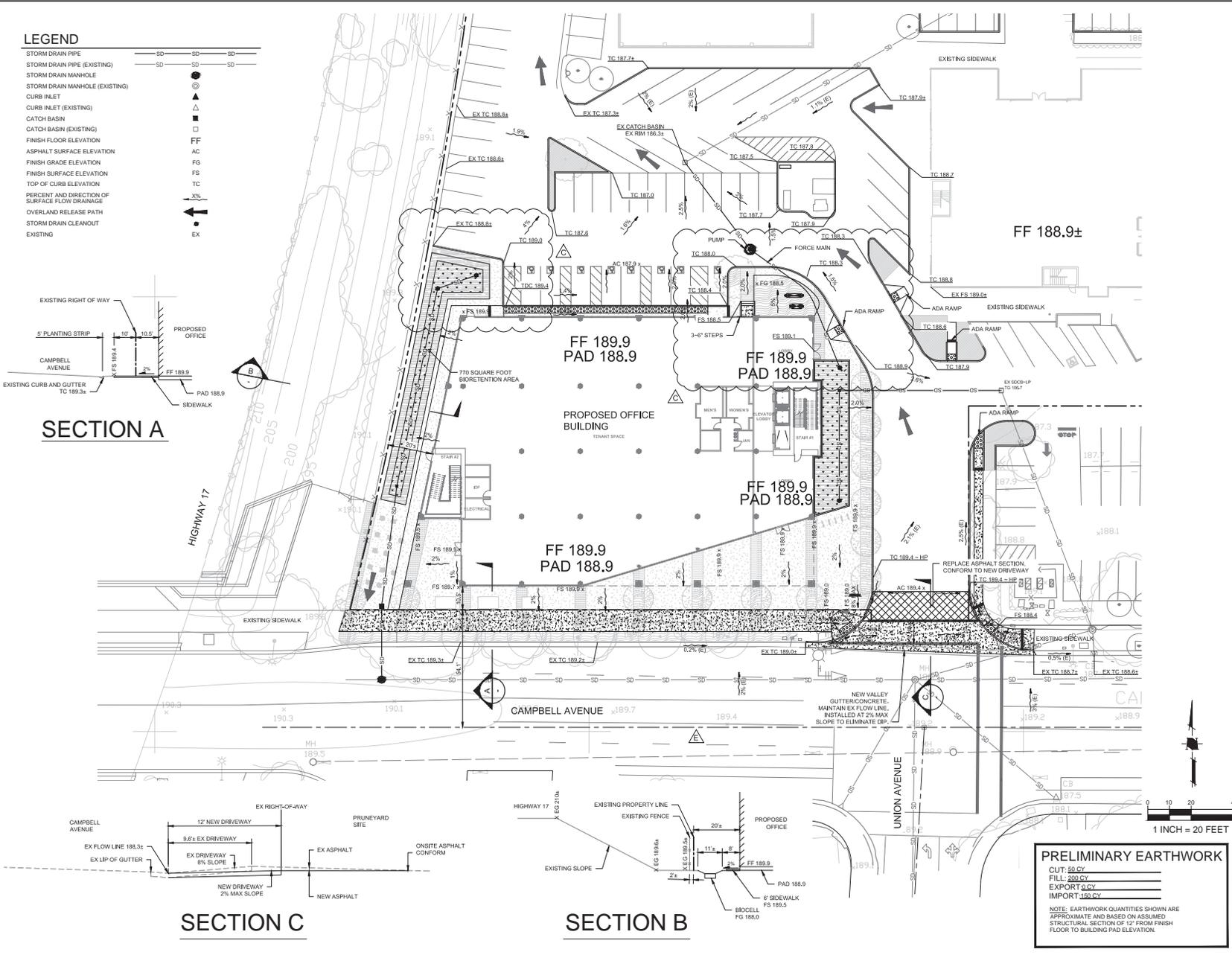


LEGEND

- STORM DRAIN PIPE SD
- STORM DRAIN PIPE (EXISTING) SD
- STORM DRAIN MANHOLE (EXISTING) MH
- CURB INLET CI
- CURB INLET (EXISTING) CI
- CATCH BASIN CB
- CATCH BASIN (EXISTING) CB
- FINISH FLOOR ELEVATION FF
- AC AC
- FINISH GRADE ELEVATION FG
- FINISH SURFACE ELEVATION FS
- TOP OF CURB ELEVATION TC
- PERCENT AND DIRECTION OF SURFACE FLOW DRAINAGE
- OVERLAND RELEASE PATH
- STORM DRAIN CLEANOUT EXISTING EX



SECTION A



SECTION C

SECTION B

PRELIMINARY EARTHWORK

CUT: 50 CY
 FILL: 200 CY
 EXPORT: 0 CY
 IMPORT: 150 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE AND BASED ON ASSUMED STRUCTURAL SECTION OF 12" FROM FINISH FLOOR TO BUILDING PAD ELEVATION.



ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/08/20	REVISED PER 6/28 CITY COMMENTS
E	09/10/20	REVISED PER 8/28/20 CITY COMMENTS
F	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER: 17005-00

SHEET TITLE: **CONCEPTUAL GRADING PLAN**

SCALE:

SHEET NUMBER: **C2.0**



KSH ARCHITECTS
KORTH SUNSRI HAGEY



HMM
Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMca.com

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/08/20	REVISED PER 6/28 CITY COMMENTS
E	09/10/20	REVISED PER 8/28/20 CITY COMMENTS
F	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER
17006-00

SHEET TITLE
**CONCEPTUAL
UTILITY PLAN**
SCALE

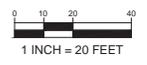
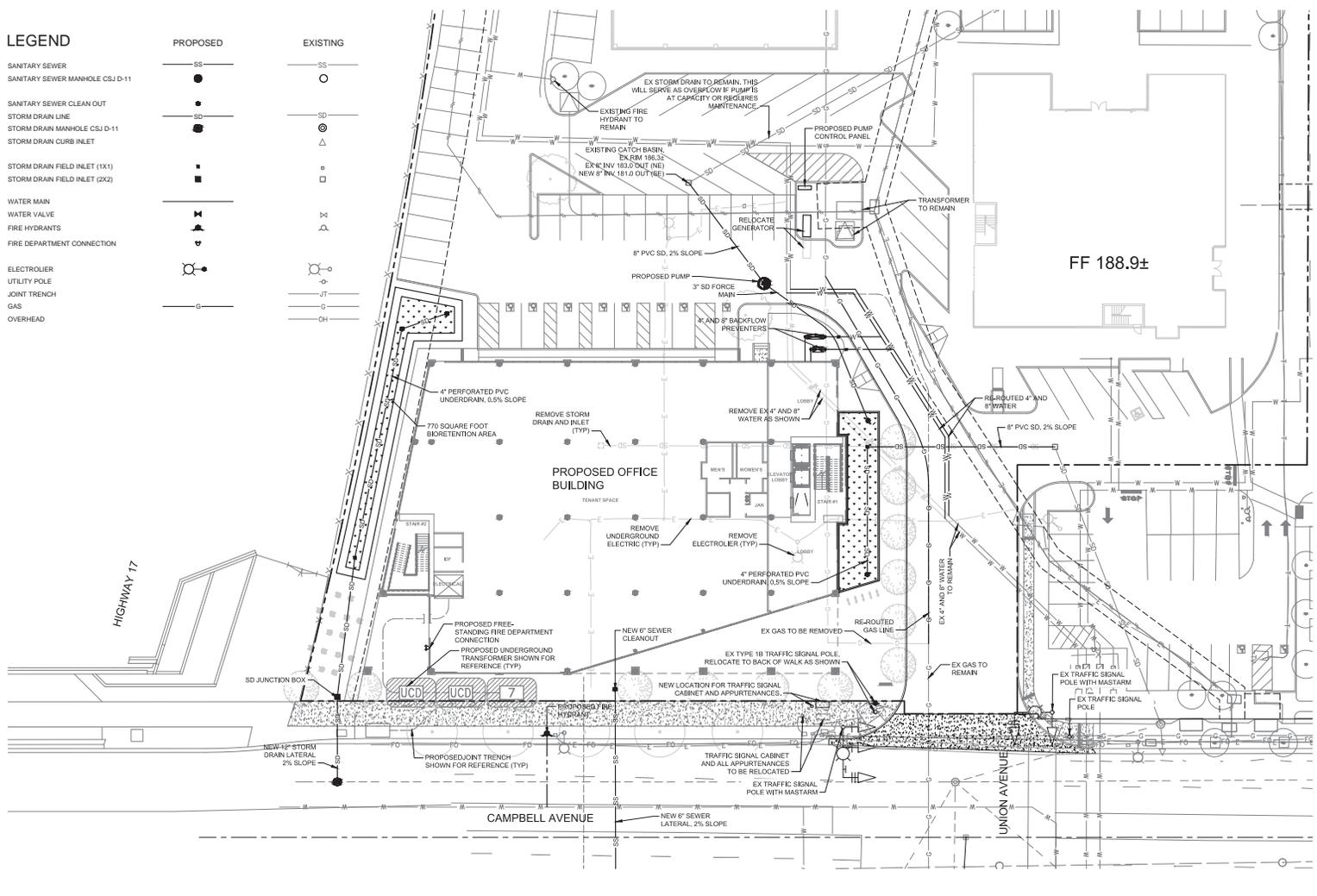


SHEET NUMBER

C3.0

LEGEND

	PROPOSED	EXISTING
SANITARY SEWER	SS	SS
SANITARY SEWER MANHOLE CSJ D-11	●	○
SANITARY SEWER CLEAN OUT	●	
STORM DRAIN LINE	SD	SD
STORM DRAIN MANHOLE CSJ D-11	●	○
STORM DRAIN CURB INLET	■	△
STORM DRAIN FIELD INLET (1X1)	■	■
STORM DRAIN FIELD INLET (2X2)	■	■
WATER MAIN	—	—
WATER VALVE	⊕	⊕
FIRE HYDRANTS	⊕	⊕
FIRE DEPARTMENT CONNECTION	⊕	⊕
ELECTROLIER	⊕	⊕
UTILITY POLE	⊕	⊕
JOINT TRENCH	—	—
GAS	—	—
OVERHEAD	—	—





NO	DATE	DESCRIPTION	ISSUES AND REVISIONS
A	08/23/17	PLANNING SET	
B	03/30/18	CITY OF CAMPBELL APPROVED SET	
C	05/08/20	PLANNING REVISION	
D	07/08/20	REVISED PER 6/26 CITY COMMENTS	
E	09/10/20	REVISED PER 8/28/20 CITY COMMENTS	
F	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS	

PROJECT NUMBER
17005.00

SHEET TITLE
CONCEPTUAL STORMWATER CONTROL PLAN

SCALE
1"=20'

SHEET NUMBER

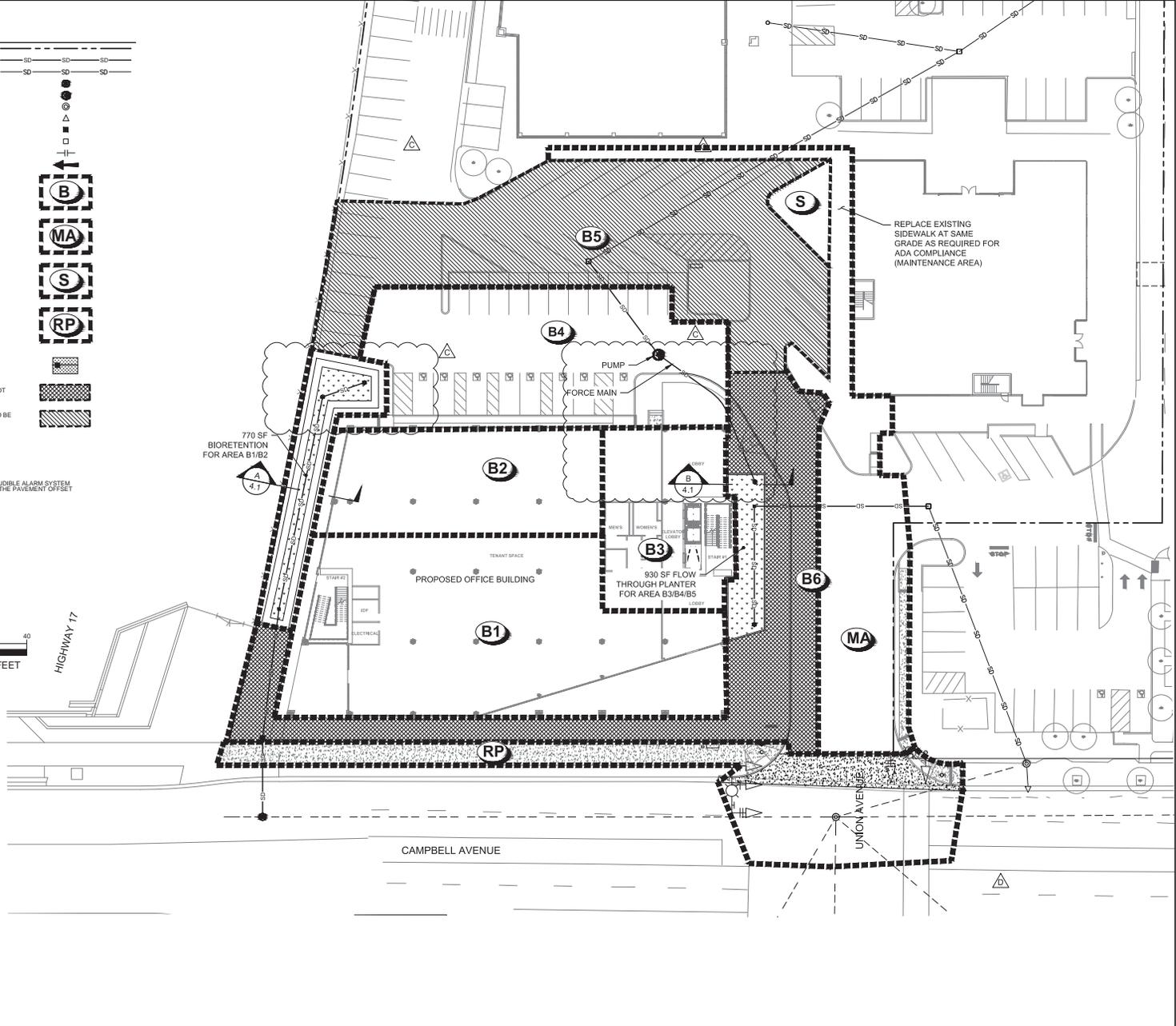
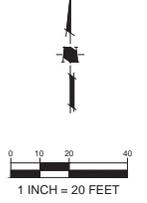
C4.0

LEGEND

- PROJECT BOUNDARY
- STORM DRAIN PIPE
- STORM DRAIN PIPE (EXISTING)
- STORM DRAIN MANHOLE
- PUMP
- STORM DRAIN MANHOLE (EXISTING)
- CURB INLET (EXISTING)
- CATCH BASIN
- CATCH BASIN (EXISTING)
- CURB CUT
- OVERLAND RELEASE PATH
- BIOTREATMENT DRAINAGE AREA BOUNDARY
- MAINTENANCE AREA (UNTREATED)
- SELF-TREATING AREA (PERVIOUS)
- ROADWAY PROJECT (UNTREATED) PER SCVURPPP C3 MANUAL DEFINITION
- BIOTREATMENT LOCATIONS
- NEW PAVEMENT/HARDSCAPE AREA NOT TREATED
- EXISTING PAVEMENT OFFSET AREA TO BE TREATED IN BIOTREATMENT CELLS

NOTES

1. PUMPS TO BE EQUIPPED WITH AUDIBLE ALARM SYSTEM
2. UNTREATED AREA B6 IS 8,000SF THE PAVEMENT OFFSET AREA B5 IS 12,200SF.





ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/08/20	REVISED PER 6/28 CITY COMMENTS
E	09/10/20	REVISED PER 8/28/20 CITY COMMENTS
F	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER
17006-00

SHEET TITLE
STORMWATER CONTROL DETAILS

SCALE
NTS

SHEET NUMBER

C4.1

TABLE 1
ROUTINE MAINTENANCE ACTIVITIES FOR BIOTRETENTION AREAS

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIOTRETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIOTRETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTRETREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIOTRETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2-3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2'-3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTRETREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIOTRETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

a. Total Site Area: 0.51 acres		b. Total Site Area Disturbed: 7.81 acres	
Site Total	Total Existing (Pre-project) Area (ft ²)	Existing Area Retained (ft ²)	Existing Area Replaced (ft ²)
c. Total Impervious Area (IA)	135,612	776,112	38,300
d. Total Area not Impervious Area	-	-	-
e. Total Pervious Area (PA)	41,211	-	-
f. Total Area IA+PA	176,823	-	-
g. Percent Replacement of IA w/ Redevelopment Paving (Existing IA Replaced / Existing Total IA) x 100%	0%	-	-

Drainage Area (ft ²)	B1	B2	B3	B4	B5
1. Total Drainage Area (MPD = 4.0 ft ²)	12,911	6,209	4,101	2,706	12,202
2. Percent imperviousness = 19%					
3. Mean Annual Precipitation = 14.9 in					
4. Runoff Coefficient = 0.35					
5. Runoff Volume (ft ³) = 17.9 ft ³					
6. Runoff Volume (ft ³) = 17.9 ft ³					
7. Average depth of the drainage area = 0.15 ft					
8. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
9. Square Footage = 17.9 ft ²	57'	21'	23'	47'	21'
10. Treatment Surface	57'	21'	23'	47'	21'
11. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
12. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
13. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
14. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
15. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
16. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
17. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
18. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
19. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
20. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
21. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
22. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
23. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
24. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
25. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
26. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
27. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
28. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
29. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
30. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
31. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
32. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
33. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
34. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
35. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
36. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
37. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
38. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
39. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
40. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
41. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
42. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
43. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
44. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
45. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
46. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
47. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
48. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
49. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
50. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
51. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
52. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
53. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
54. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
55. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
56. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
57. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
58. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
59. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
60. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
61. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
62. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
63. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
64. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
65. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
66. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
67. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
68. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
69. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
70. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
71. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
72. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
73. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
74. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
75. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
76. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
77. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
78. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
79. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
80. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
81. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
82. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
83. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
84. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
85. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
86. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
87. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
88. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
89. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
90. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
91. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
92. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
93. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
94. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
95. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
96. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
97. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
98. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
99. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'
100. Total Area (ft ²) = 17.9 ft ²	57'	21'	23'	47'	21'

STANDARD STORMWATER CONTROL NOTES:

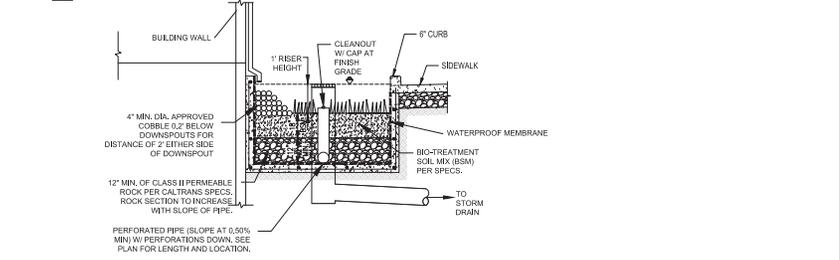
- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION, SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LAICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL. OR CONTRACTOR, CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS. CONTROL WEEDS ON REMOVED UNWANTED GROWTHS. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

BIOTRETREATMENT SOIL REQUIREMENTS

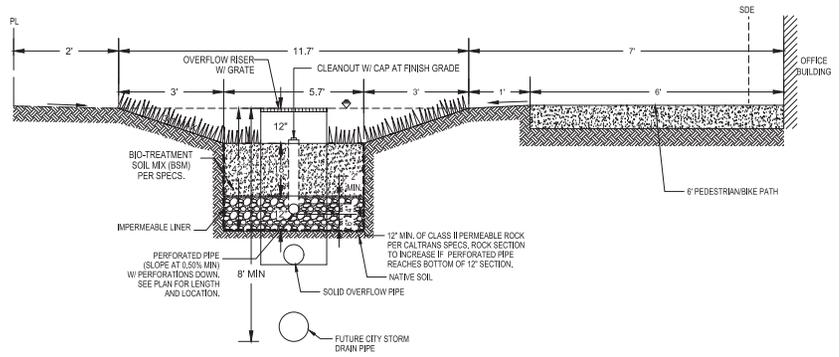
- BIOTRETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60/70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C3 HANDBOOK AT: [HTTP://WWW.SANJOSCAL.GOV/INDEX.ASPX?NID=1761](http://www.sanjosocal.gov/index.aspx?nid=1761)
- PRIOR TO ORDERING THE BIOTRETREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTRETREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

BIOTRETENTION & FLOW-THROUGH PLANTER NOTES:

- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
- PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
- SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS.
- CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED IN LINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
- A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENINGS, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
- DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.



B FLOW THROUGH PLANTER FOR AREA B3/B4/B5
NTS



A BIOTRETREATMENT CELL FOR AREA B1 AND B2
NTS

LANDSCAPE MATERIAL LEGEND

-  COLORED CONCRETE, A
-  COLORED CONCRETE, B
-  UNIT PAVERS
-  NO MOW TURF
-  SHRUB & GROUNDCOVER AREA
-  BIOFILTRATION PLANTING AREA

-  DECOMPOSED GRANITE MULCH
-  PLANTERS
-  TABLES & CHAIRS

TOTAL PLANTING AREA
BIOTREATMENT: 2,632 SQFT.
TYPICAL PLANTING: 4,213 SQFT.

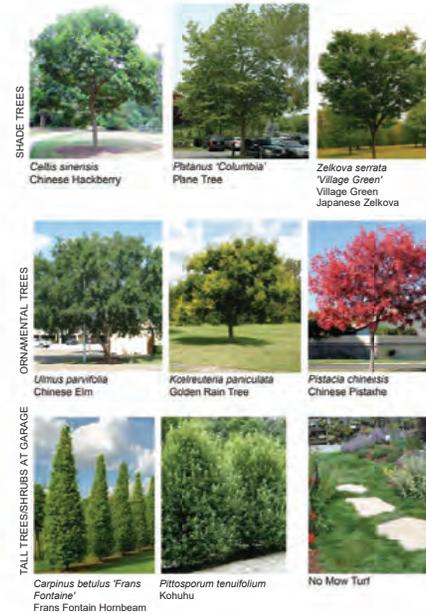
SITE FURNISHINGS & MATERIALS



PGAdesign
LANDSCAPE ARCHITECTS
tel 510.465.1284 url PGAdesign.com
444 17th Street Oakland CA 94612

PROGRESS SET - NOT FOR CONSTRUCTION

PLANT PALETTE



ISSUES AND REVISIONS

No.	Date	Description
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/07/20	PLANNING REVISION

PROJECT NUMBER
17005.00

SHEET TITLE
PRUNEYARD 01 - PHASE 3

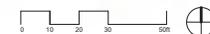
SCALE
1" = 20'-0"

SHEET NUMBER

L2.0



1 O1 - LANDSCAPE
L2.0 1" = 20'-0"



TREES

SHADE TREES



Celtis sinensis
Chinese Hackberry



Platanus 'Columbia'
Plane Tree



Quercus frainetto 'Forest Green'
Forest Green Oak



Zelkova serrata 'Village Green'
Village Green Japanese Zelkova

ORNAMENTAL TREES



Ulmus parvifolia
Chinese Elm



Koehrsenia paniculata
Golden Rain Tree



Pistacia chinensis
Chinese Pistache



Syagrus romanzoffiana
Queen Palm



Washingtonia filifera x robusta
Hybrid Fan Palm



Lagerstroemia 'Natchez'
Grape Myrtle



Laurus 'Saratoga'
Saratoga Bay

TALL TREES/
SHRUBS AT GARAGE



Carpinus betulus 'Frans Fontaine'
Frans Fontain Hornbeam



Pittosporum tenuifolium
Kohuhu

SHRUBS & GROUNDCOVER

PEDESTRIAN
PLANTING AREAS



Lomandra longifolia 'Breeze'
Dwarf Mat Rush



Agave attenuata
Fossil Agave



Arctostaphylos 'Pacific Mist'
Pacific Mist Manzanita



Olea 'Little Olive'
Dwarf Olive



Chondropetalum tectorum
Cape Rush



Chamaerops humilis
Mediterranean Fan Palm

TRANSITION
PLANTING AREAS



Arctostaphylos 'Pacific Mist'
Pacific Mist Manzanita



Senecio mandraliscae
Kleinia



Aloe 'Blue Elf'
Blue Elf Aloe

PARKING LOT
PLANTING AREAS



Mycoporum parvibulum
Creeping Mycoporum



Rosmarinus 'Irene'
Creeping Rosemary



Bulbine frutescens
Stalked Bulbine

BARRIER
PLANTING AREAS



Westringia fruticosa
Coast Rosemary



Correa 'Dusky Bells'
Red Australian Fuchsia



Grevillea lanigera
Woolly Grevillea

STORMWATER
PLANTING AREAS



Juncus patens
California Gray Rush



Muhlenbergia rigens
Deer Grass



Iris douglasiana
Douglas Iris

NO-MOW TURF



No Mow Turf



PGAdesign
LANDSCAPE ARCHITECTS
tel 510.465.1284 url PGAdesign.com
444 17th Street Oakland CA 94612

PROGRESS SET - NOT FOR
CONSTRUCTION

ISSUES AND REVISIONS

No.	Date	Description
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/07/20	PLANNING REVISION

PROJECT NUMBER
17055.00

SHEET TITLE

PRUNEYARD - PLANT
PALETTE

SCALE

1/32" = 1'-0"



SHEET NUMBER

L2.1



PGAdesign
 LANDSCAPE ARCHITECTS
 tel 510.465.1284 url PGAdesign.com
 444 17th Street Oakland CA 94612

PROGRESS SET - NOT FOR CONSTRUCTION

ISSUES AND REVISIONS

No.	Date	Description
A	05/08/20	PLANNING REVISION
B	07/07/20	PLANNING REVISION

PROJECT NUMBER
17055.00

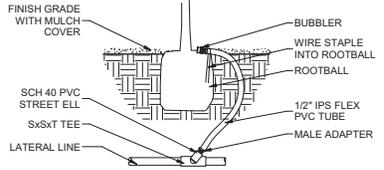
SHEET TITLE
IRRIGATION DETAILS

SCALE
As indicated



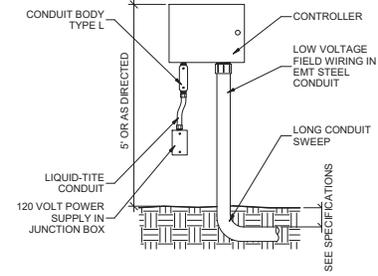
SHEET NUMBER

L2.2



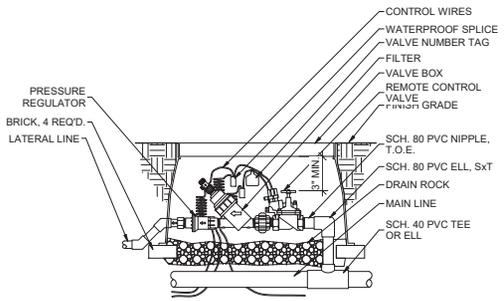
NOTES:
 1. INSTALL BUBBLER ON TOP OF ROOTBALL. STAKE IN PLACE WITH WIRE STAPLE AND COVER WITH MULCH.

1 IRRIGATION BUBBLER ON FLEX RISER
 L2.2 3/4" = 1'-0"



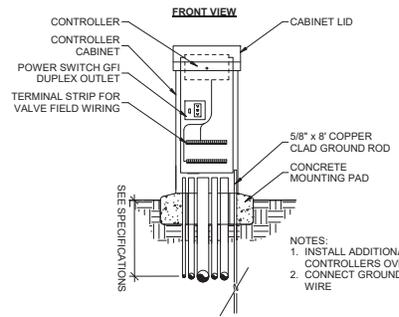
NOTES:
 1. GROUND CONTROLLER PER MANUFACTURER'S INSTRUCTIONS.
 2. EXTEND FIELD WIRING CONDUIT TO MAINLINE TRENCH.

2 IRRIGATION CONTROLLER WALL MOUNT
 L2.2 3/4" = 1'-0"



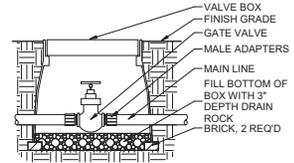
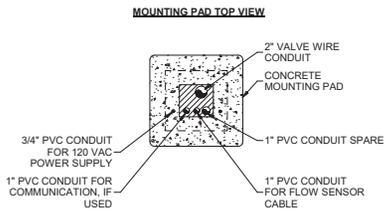
NOTES:
 WRAP FILTER FABRIC AROUND AND UNDER VALVE BOX PRIOR TO INSTALLATION OF DRAIN ROCK.

3 IRRIGATION DRIP ZONE REMOTE CONTROL VALVE
 L2.2 3/4" = 1'-0"



NOTES:
 1. INSTALL ADDITIONAL VALVE WIRE CONDUIT FOR CONTROLLERS OVER 24 STATION CAPACITY
 2. CONNECT GROUND ROD USING #8 BONDED COPPER WIRE

4 IRRIGATION CONTROLLER AND CABINET ASSEMBLY
 L2.2 3/4" = 1'-0"



5 IRRIGATION GATE VALVE
 L2.2 3/4" = 1'-0"

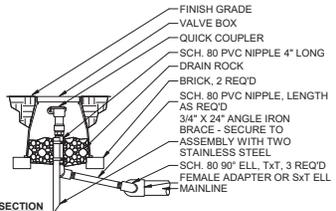
IRRIGATION DESIGN INTENT

IRRIGATION SYSTEM TO CONNECT TO EXISTING PRUNEYARD IRRIGATION MAINLINE NETWORK, WITH EXISTING BACKFLOW PROTECTION. SYSTEM TO USE COMMERCIAL GRADE EQUIPMENT CHOSEN FOR DURABILITY AND MINIMAL MAINTENANCE NEEDS. ALL TREES TO RECEIVE SUPPLEMENTAL DEEP ROOT WATERING VIA PRESSURE COMPENSATING BUBBLERS. ALL SHRUB/GROUND COVER AREAS TO BE IRRIGATED WITH POINT OR LINE SOURCE DRIP SYSTEMS AS APPROPRIATE TO PLANT TYPE AND SPACING. CONTROL OF SYSTEM TO BE BY "SMART" CONTROLLER CAPABLE OF DAILY SELF-ADJUSTMENT OF WATERING SCHEDULES BASED ON REAL-TIME CLIMATE DATA FROM SUBSCRIPTION WEATHER SERVICE (HYDROPOINT). SYSTEM DESIGN AND CONSTRUCTION TO COMPLY WITH CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) AS WELL AS REQUIREMENTS OF CITY OF CAMPBELL.

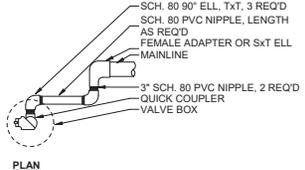


ISSUES AND REVISIONS

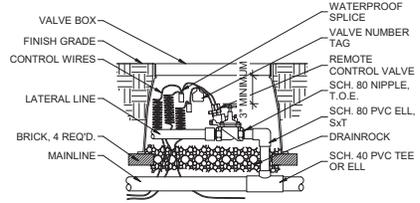
No.	Date	Description
A	05/08/20	PLANNING REVISION
B	07/07/20	PLANNING REVISION



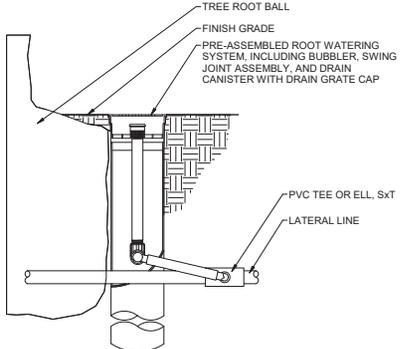
1
L2.3
IRRIGATION QUICK COUPLING VALVE
3/4" = 1'-0"



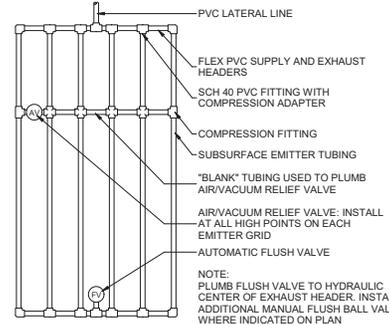
2
L2.3
IRRIGATION REMOTE CONTROL VALVE
3/4" = 1'-0"



NOTES:
WRAP FILTER FABRIC AROUND AND UNDER VALVE BOX PRIOR TO INSTALLATION OF DRAIN ROCK.

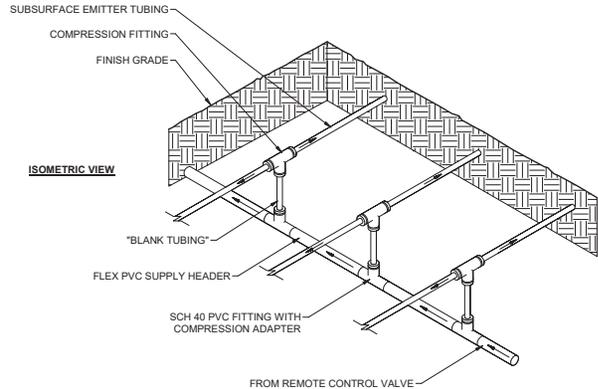


3
L2.3
IRRIGATION ROOT WATERING SYSTEM
3/4" = 1'-0"

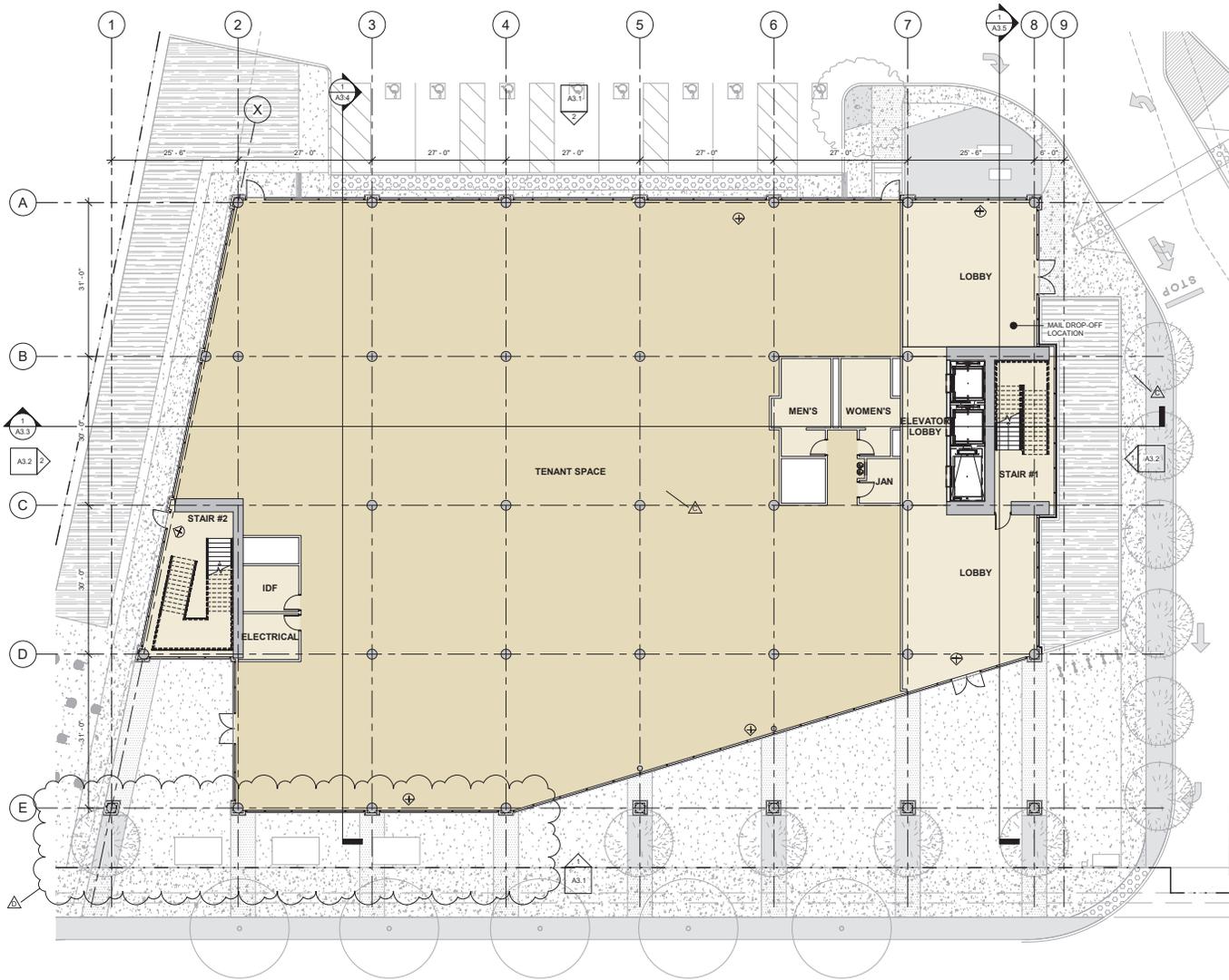


4
L2.3
IRRIGATION SUBSURFACE IRRIGATION LAYOUT
3/4" = 1'-0"

NOTE:
PLUMB FLUSH VALVE TO HYDRAULIC CENTER OF EXHAUST HEADER. INSTALL ADDITIONAL MANUAL FLUSH BALL VALVE WHERE INDICATED ON PLAN.



5
L2.3
IRRIGATION SUBSURFACE TYPICAL CENTER-FEED SUPPLY MANIFOLD
3/4" = 1'-0"



ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/07/20	PLANNING REVISION

PROJECT NUMBER
17055.00

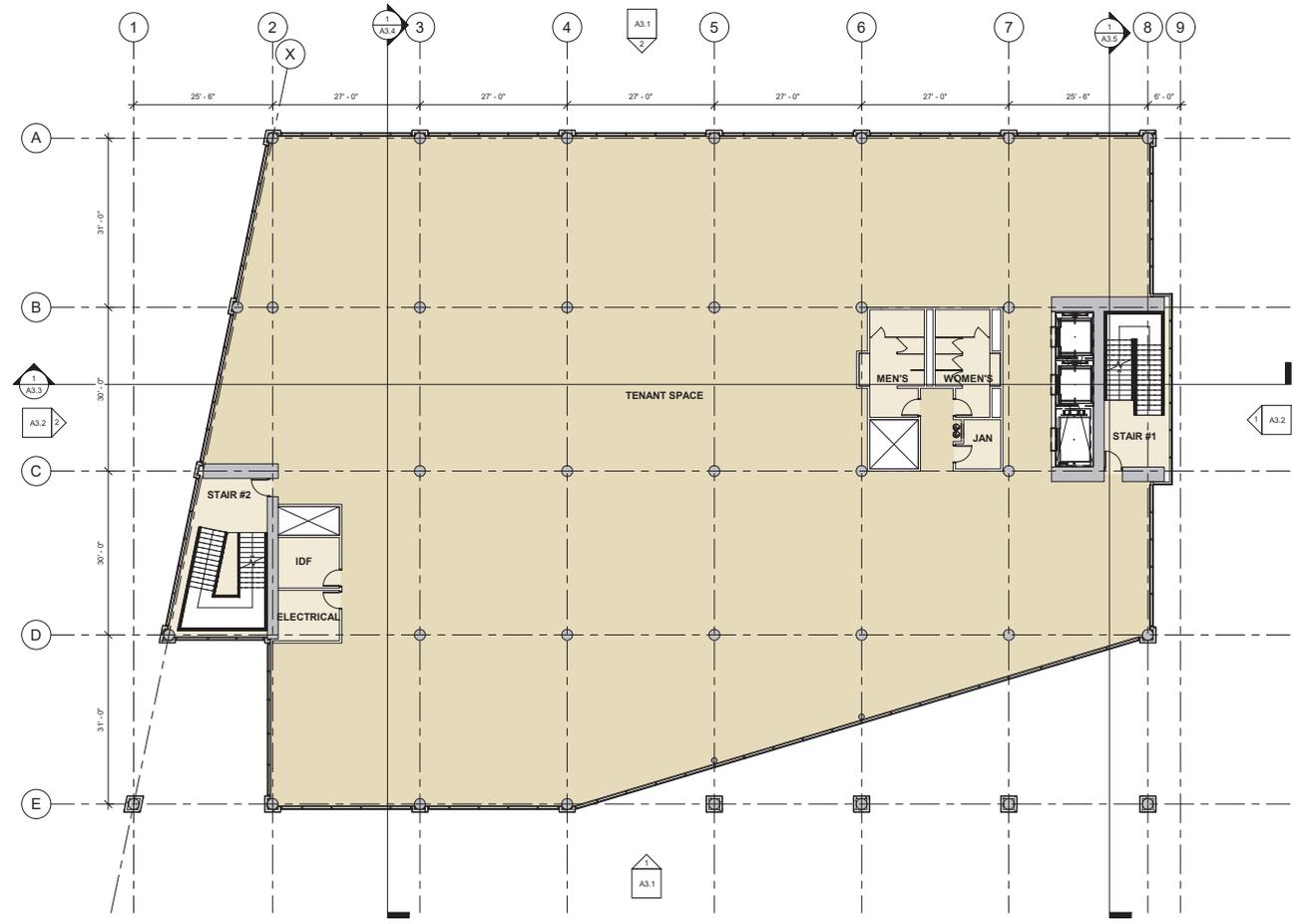
SHEET TITLE
LEVEL 1 PLAN

SCALE
3/32" = 1'-0"



SHEET NUMBER

A2.1

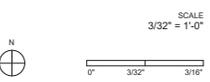


ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET

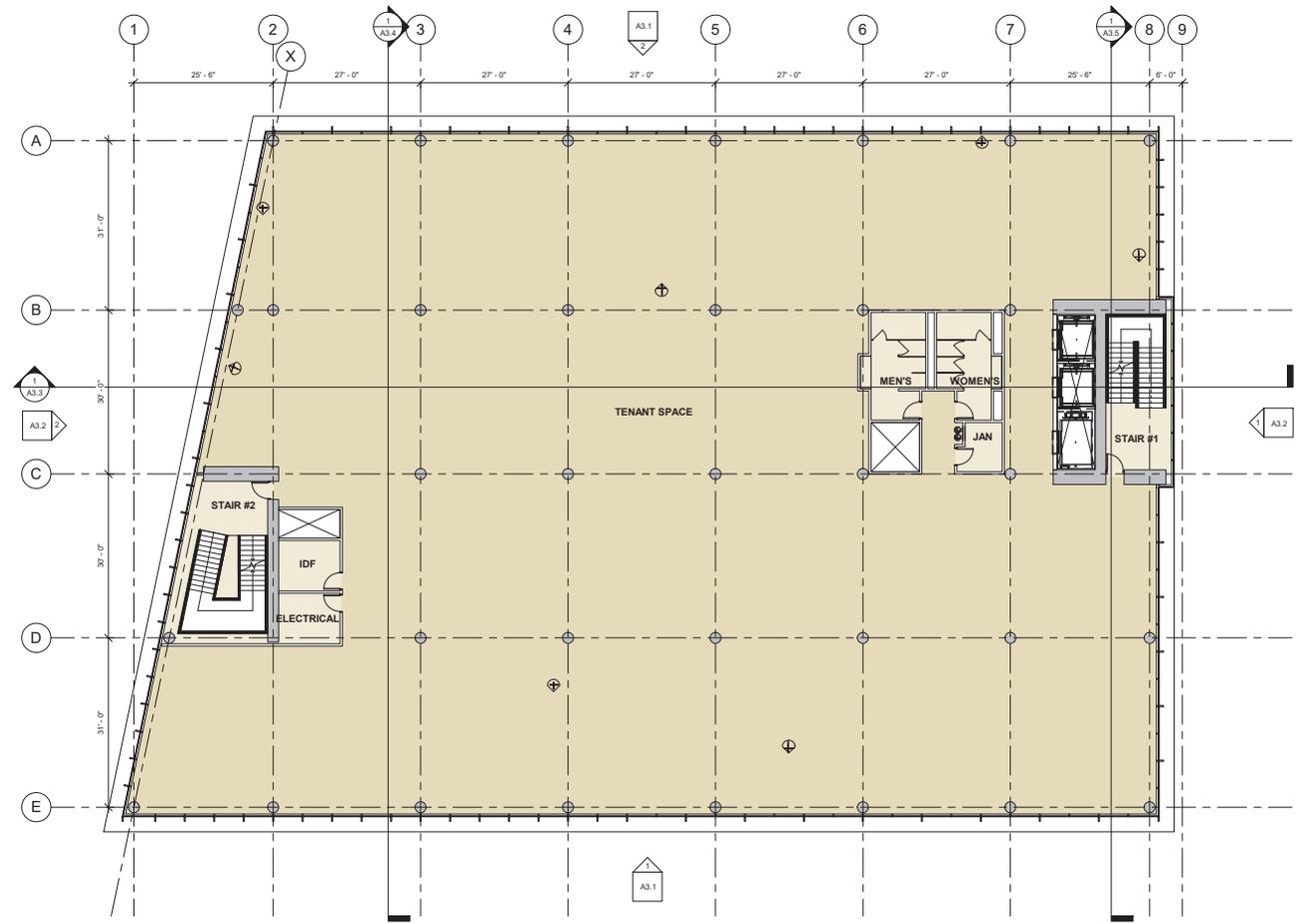
PROJECT NUMBER
17055.00

SHEET TITLE
LEVEL 2 PLAN



SHEET NUMBER

A2.2



ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET

PROJECT NUMBER
17055.00

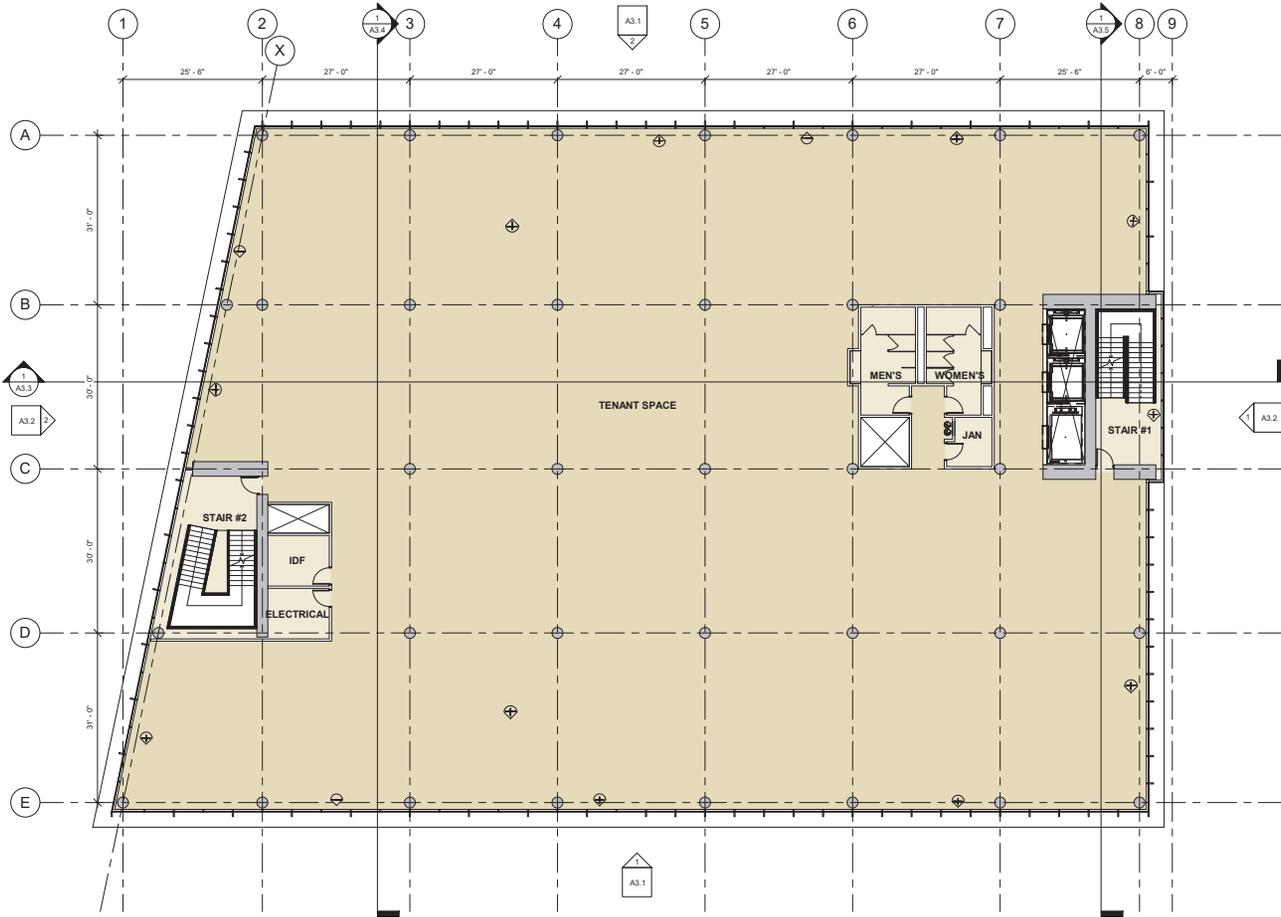
SHEET TITLE
LEVEL 3 PLAN

SCALE
3/32" = 1'-0"



SHEET NUMBER

A2.3



ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET

PROJECT NUMBER
17055.00

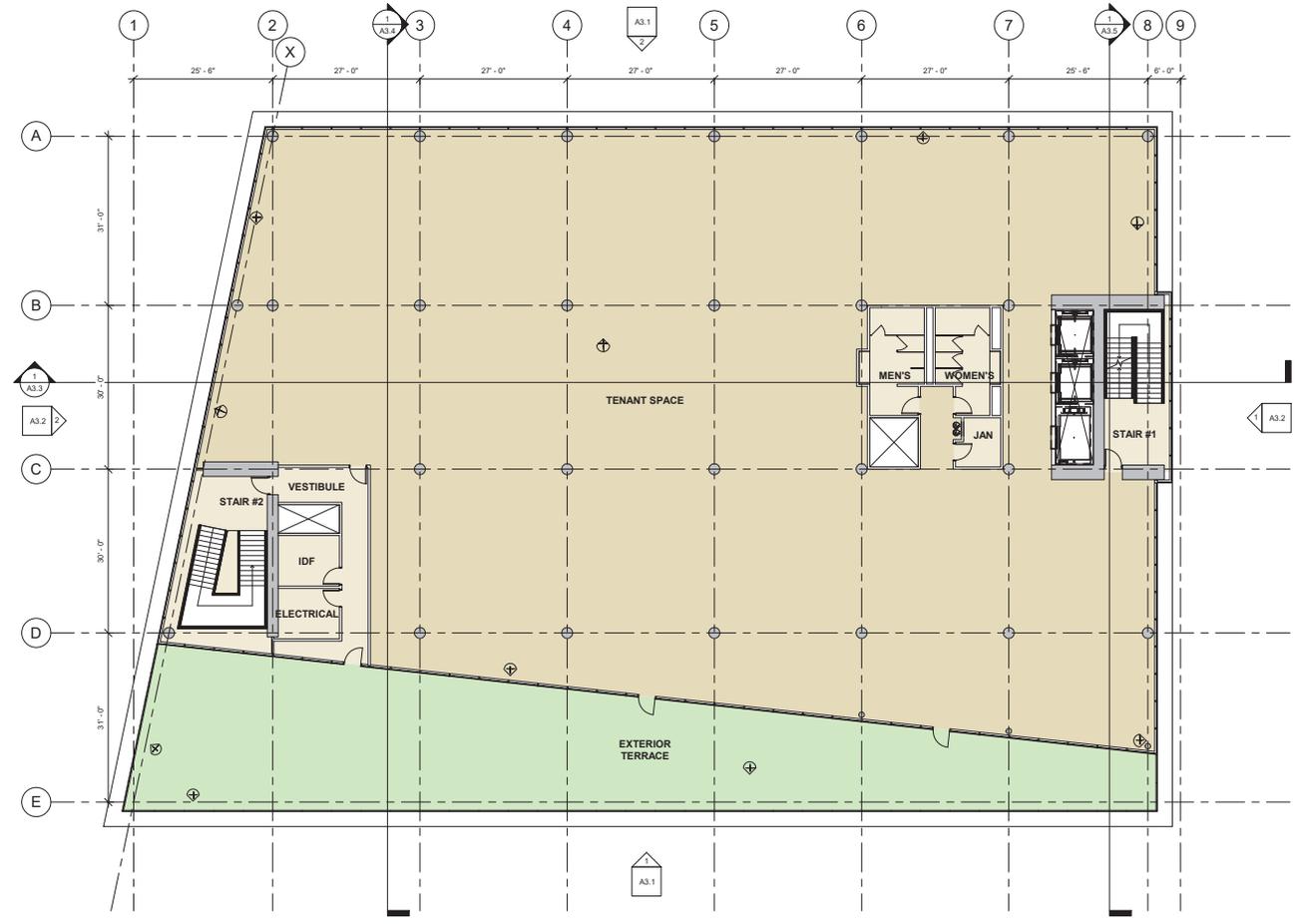
SHEET TITLE
LEVEL 4 PLAN

SCALE
3/32" = 1'-0"



SHEET NUMBER

A2.4



ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET

PROJECT NUMBER
17055.00

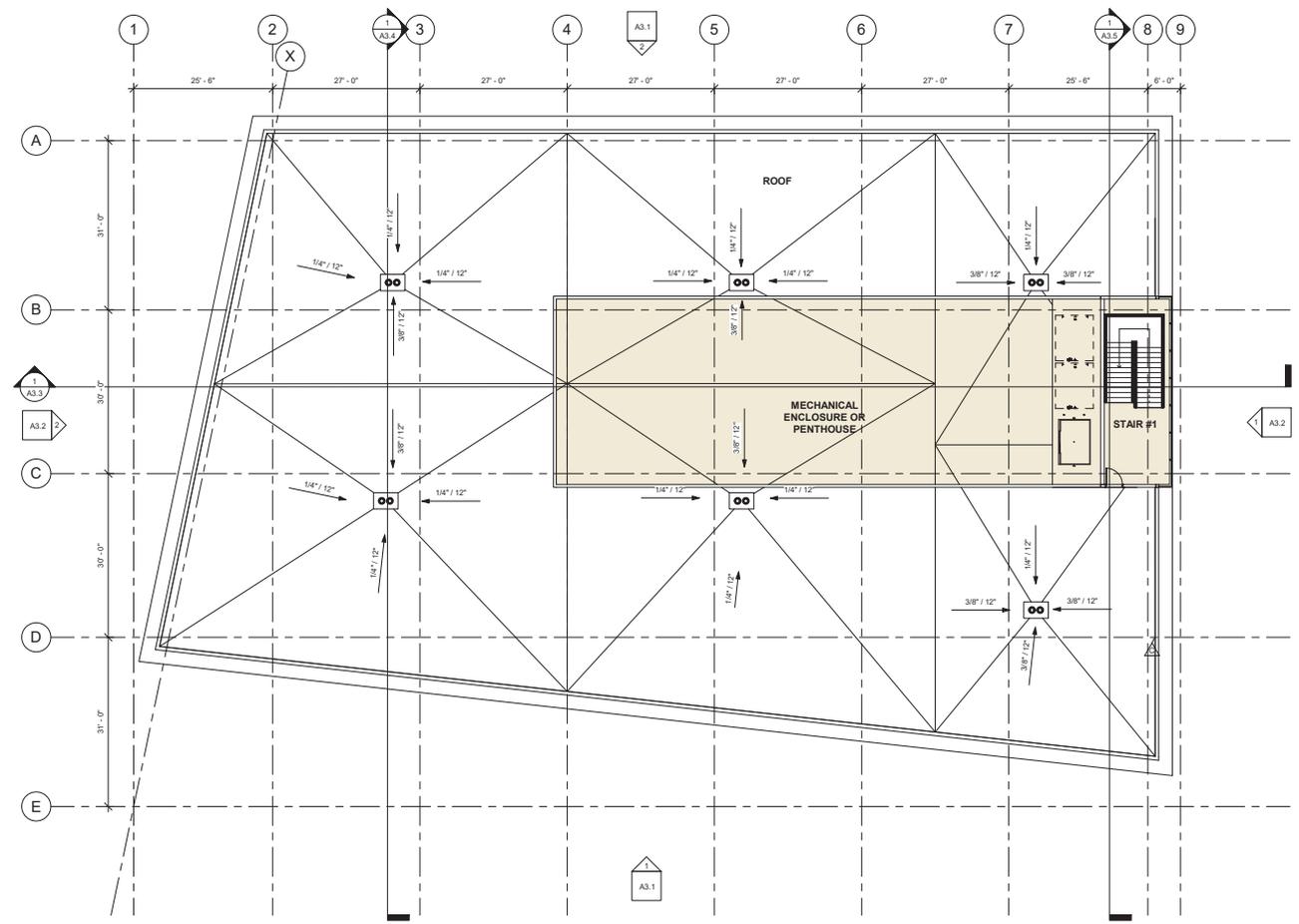
SHEET TITLE
LEVEL 5 PLAN

SCALE
3/32" = 1'-0"

0" 3/32" 3/16"

SHEET NUMBER

A2.5



ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION

PROJECT NUMBER
17055.00

SHEET TITLE
ROOF PLAN

SCALE
3/32" = 1'-0"



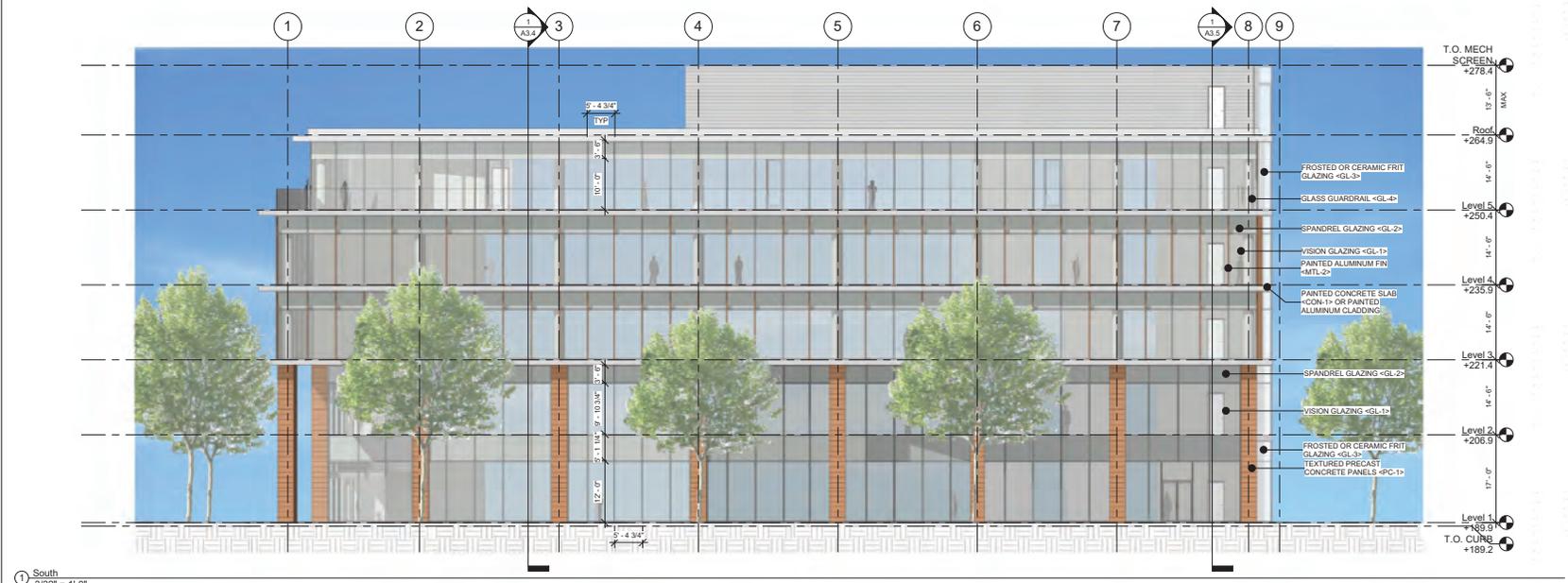
SHEET NUMBER

A2.6

1 Roof
3/32" = 1'-0"



② North
3/32" = 1'-0"



① South
3/32" = 1'-0"

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION

PROJECT NUMBER
17005.00

SHEET TITLE
NORTH AND SOUTH ELEVATIONS



SHEET NUMBER

A3.1



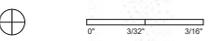
ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION

PROJECT NUMBER
17005.00

SHEET TITLE
EAST AND WEST ELEVATIONS

SCALE
3/32" = 1'-0"

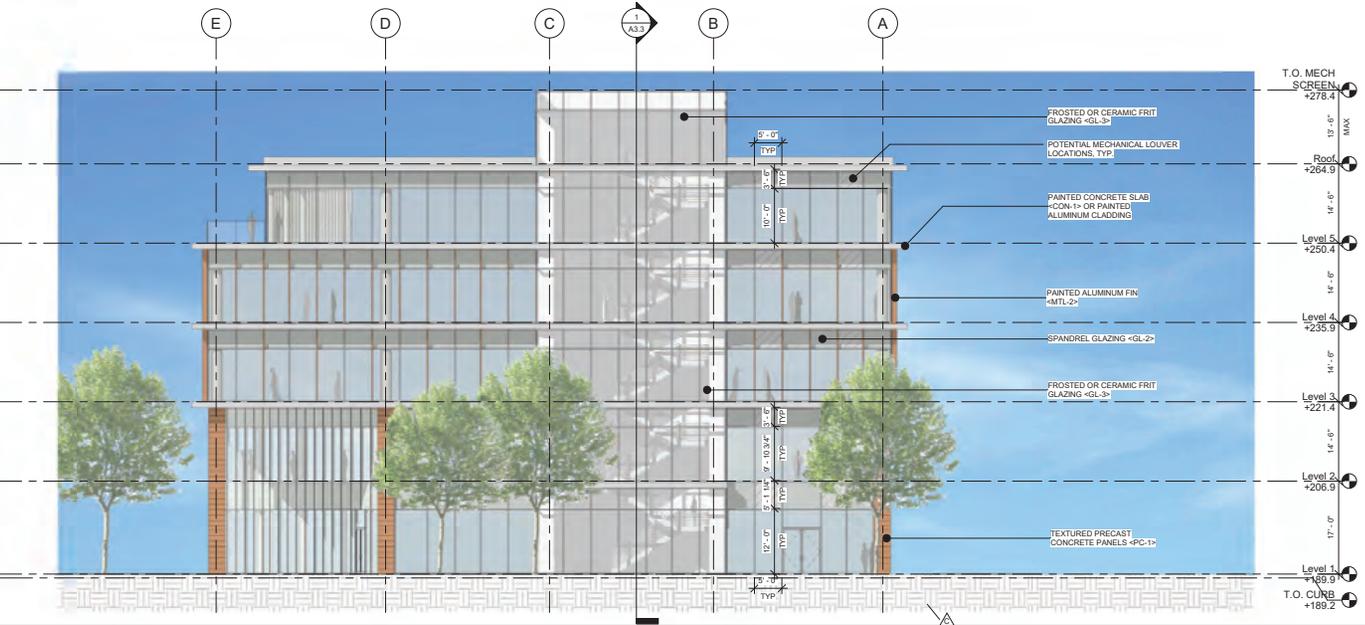


SHEET NUMBER

A3.2



② West
3/32" = 1'-0"



① East
3/32" = 1'-0"



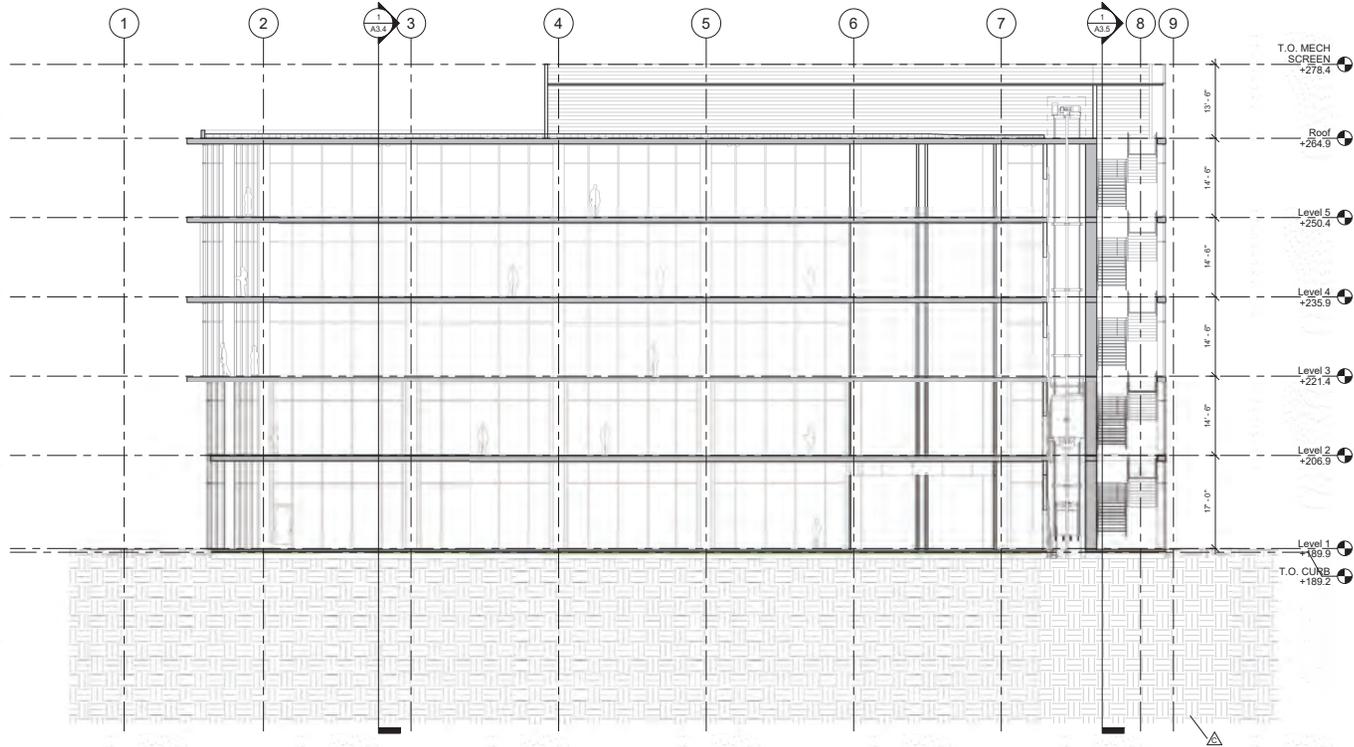
ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION

PROJECT NUMBER
17005.00

SHEET TITLE
SECTION AA

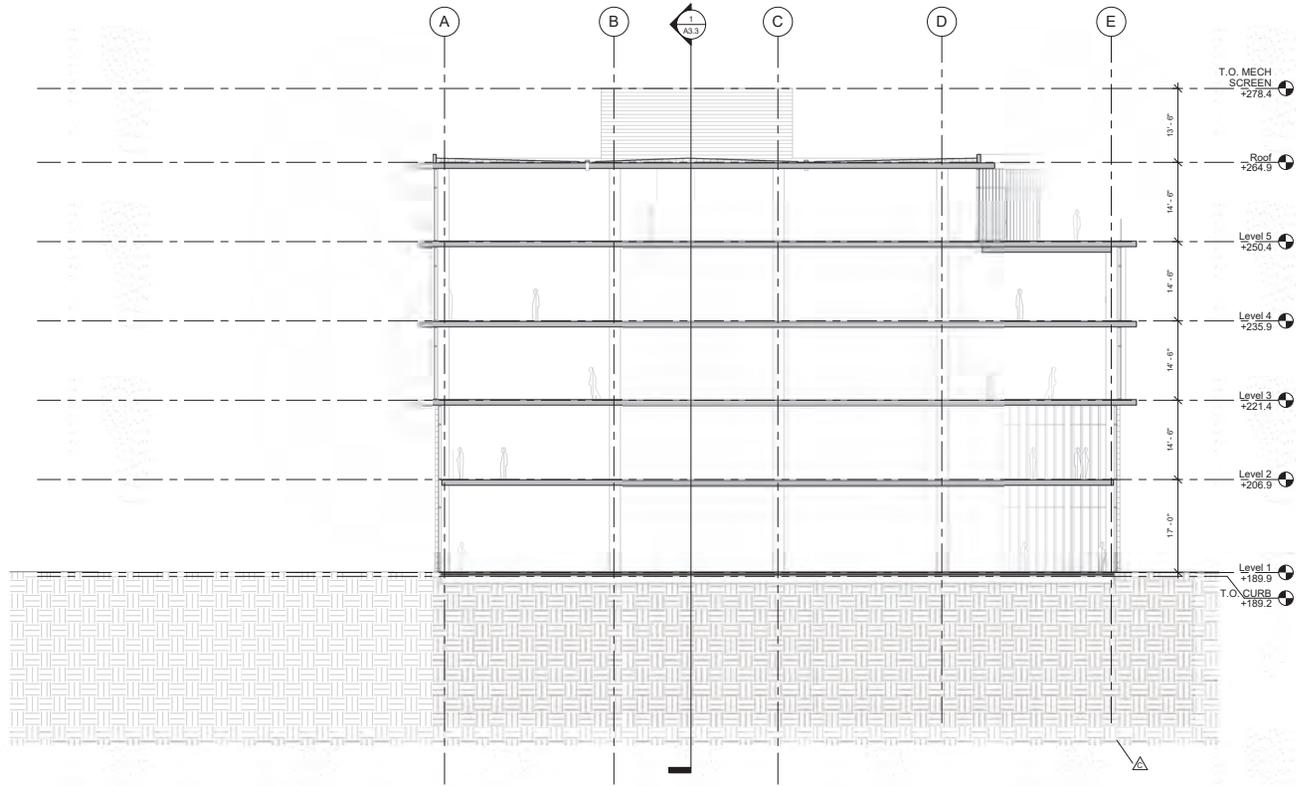
SCALE
3/32" = 1'-0"

SHEET NUMBER



SECTION AA
3/32" = 1'-0"

A3.3

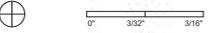


ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION

PROJECT NUMBER
17055.00

SHEET TITLE
SECTION BB

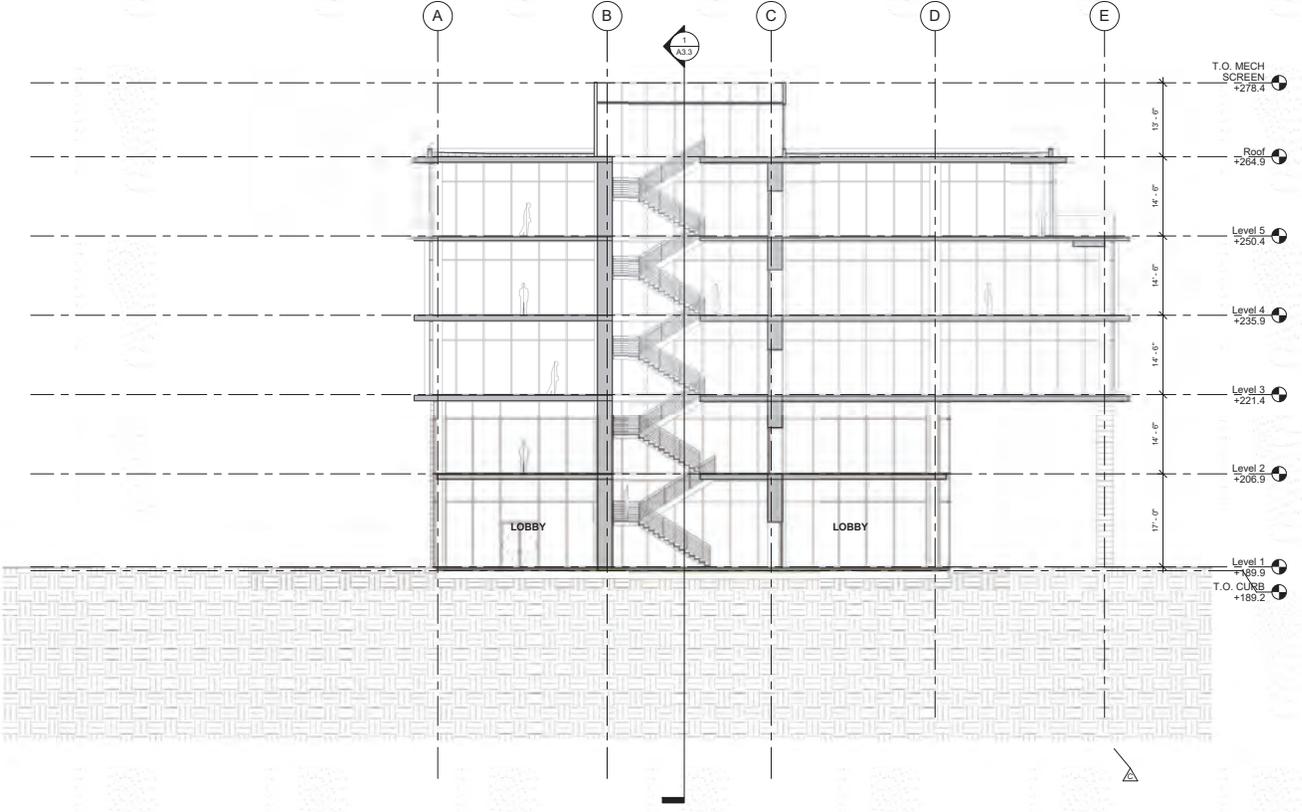
SCALE
3/32" = 1'-0"



SHEET NUMBER

A3.4

SECTION BB
3/32" = 1'-0"

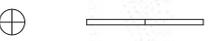


ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION

PROJECT NUMBER
17055.00

SHEET TITLE
SECTION CC

SCALE
3/32" = 1'-0"



SHEET NUMBER

A3.5



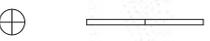
ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION
D	07/07/20	PLANNING REVISION

PROJECT NUMBER
17055.00

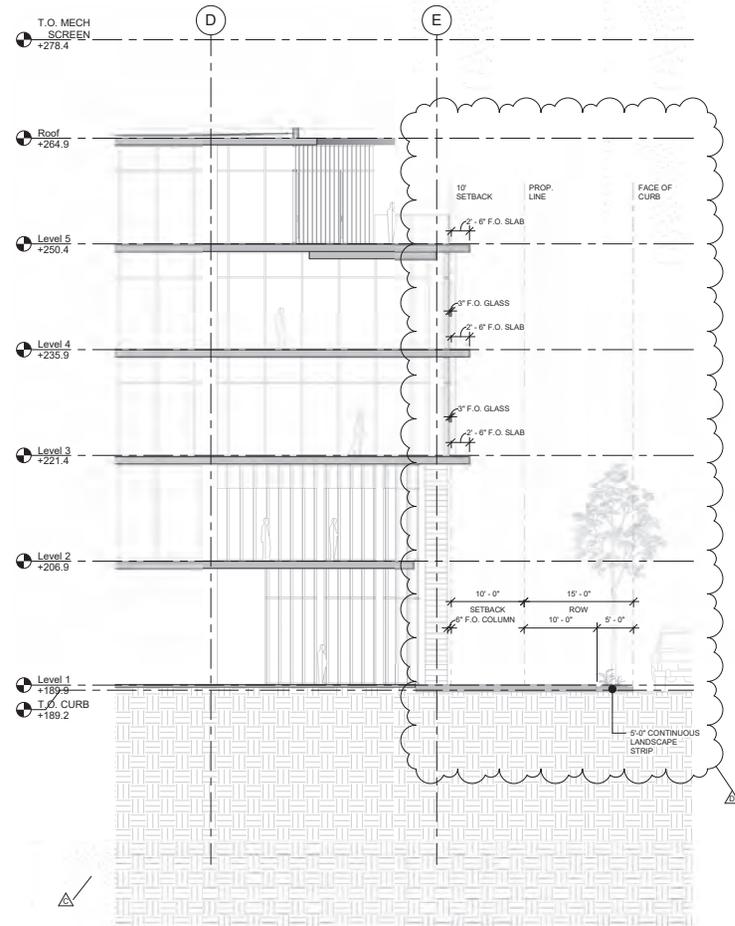
SHEET TITLE
SECTION ALONG STREET FRONTAGE

SCALE
1/8" = 1'-0"

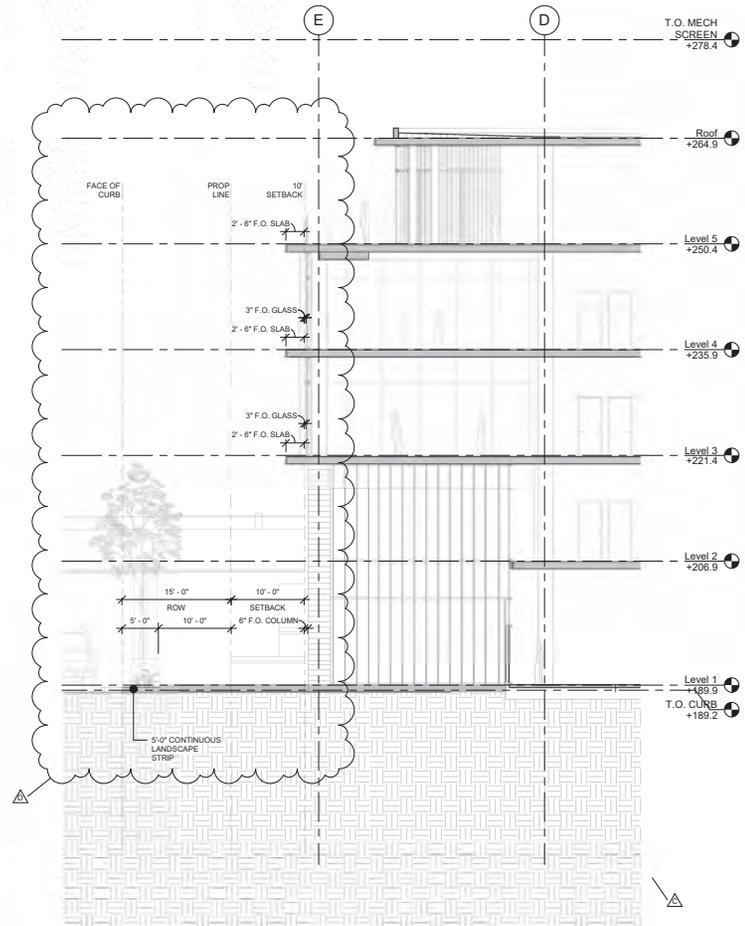


SHEET NUMBER

A3.6



SECTION ALONG STREET LOOKING EAST
1/8" = 1'-0"



SECTION ALONG STREET LOOKING WEST
1/8" = 1'-0"



ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET

PROJECT NUMBER
17055.00

SHEET TITLE
RENDERING

SCALE
3/8" = 1'-0"



SHEET NUMBER

A4.1



 THE PRUNEYARD



ELLIS PARTNERS



ARCHITECTS
KORTH SUNSERI HAGEY

ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	08/23/17	PLANNING SET
B	03/30/18	CITY OF CAMPBELL APPROVED SET

PROJECT NUMBER
17005.00

SHEET TITLE
RENDERING

SCALE
3/8" = 1'-0"



SHEET NUMBER

A4.2



PERSPECTIVE VIEW FROM HIGHWAY 17 LOOKING NORTH-EAST



PERSPECTIVE VIEW FROM UNION AVENUE LOOKING NORTH



PERSPECTIVE VIEW FROM HIGHWAY 17 LOOKING SOUTH-EAST

ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
B	03/30/18	CITY OF CAMPBELL APPROVED SET
C	05/08/20	PLANNING REVISION

PROJECT NUMBER
17005.00

SHEET TITLE
PERSPECTIVE VIEWS

SCALE
1" = 10'-0"



SHEET NUMBER



GL-1: VISION GLAZING
 MANUFACTURER: VIRACON
 TYPE: VNE30-63
 MAKE UP: 1/4" OPTIGRAY WITH VNE-63 #2
 1/2" AIRSPACE
 1/4" CLEAR
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



GL-2: SPANDREL GLAZING
 MANUFACTURER: VIRACON
 TYPE: VNE30-63
 MAKE UP: 1/4" OPTIGRAY WITH VNE-63 #2
 1/2" AIRSPACE
 1/4" CLEAR WITH CUSTOM COLOR VIRASPAN COATING
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



MTL-1 AND 2: PAINTED ALUMINUM MULLIONS AND MULLION CAPS (FNS)
 MANUFACTURER: GLAZING SUBCONTRACTOR
 TYPE: EXTRUDED ALUMINUM
 COLOR/FINISH: MTL-1: P-1 (CUSTOM COLOR GRAY)
 MTL-2: P-2 (TO MATCH COLOR OF PC-1)
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



MTL-3: CORRUGATED SCREEN
 MANUFACTURER: TBD
 TYPE: RF TRANSPARENT
 COLOR/FINISH: P-1
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



PC-1: TEXTURED PRECAST CONCRETE PANELS
 MANUFACTURER: PRECAST CONCRETE SUBCONTRACTOR
 TYPE: -
 COLOR/FINISH: INTEGRAL CUSTOM COLOR
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



CON-1: PAINTED CONCRETE SLAB
 MANUFACTURER: NEDGARD
 TYPE: PEMA/GARD FC COATING SYSTEM
 COLOR/FINISH: P-3 (GRAY)
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
B	03/30/18 CITY OF CAMPBELL APPROVED SET
D	07/07/20 PLANNING REVISION

PROJECT NUMBER
17005.00

SHEET TITLE
COLOR/MATERIALS BOARD

SCALE
1 1/2" = 1'-0"



SHEET NUMBER



CONCEPTUAL SITE LOGISTICS - PHASE 4



Imagery ©2019 Google, Imagery ©2019 AM/BAG, C



ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
C	05/08/20	PLANNING REVISION

PROJECT NUMBER	17005.00
SHEET TITLE	CONCEPTUAL SITE LOGISTICS PLAN
SCALE	
SHEET NUMBER	



SL1.0

Volume 3 – Garage Drawings

Sheet Index

Sheet Number	Sheet Name	Sheet Number	Sheet Name
1-General		4-Architcture	
A0.0	Cover Sheet	A2.1	Level 1 Plan – Phase 3
A0.1	Project Information	A2.2	Level 2 Plan – Phase 3
A0.2	Context Photos – Existing Garage	A2.3	Level 3 Plan – Phase 3
A3.0	Context Photos - Roundabout	A3.1	Elevations – Phase 3
2-Civil		A3.5	Sections – Phase 3
C1.0	Conceptual Site Plan Phase 3	A4.1	Rendering – Phase 3
C2.0	Conceptual Grading and Drainage Plan Phase 3	A4.3	Enlarged Stair Tower
C3.0	Conceptual Utility Plan Phase 3	A4.4	Color/Materials Board
C4.0	Conceptual Stormwater Control Plan Phase 3	A4.5	Enlarged Garage Photometrics
C4.1	Conceptual Stormwater Details Phase 3	5-Construction	
3-Landscape		SL1.0	Conceptual Site Logistics Plan
L1.01	Pruneyard Roundabout – Phase 3		
L1.02	Pruneyard – Plant Palette		

PRUNEYARD GARAGE EXPANSION



CITY APPROVAL



CITY APPROVAL



PLANNING SET
09/11/20

KSH ARCHITECTS
KORTH SUNSERI HAGEY
ELLIS PARTNERS

SHEET INDEX

Sheet Number	Sheet Name
1-General	
A0.0	COVER SHEET
A0.1	PROJECT INFORMATION
A0.2	CONTEXT PHOTOS - EXISTING GARAGE
A0.3	CONTEXT PHOTOS - ROUNDABOUT
2-Civil	
C1.0	CONCEPTUAL SITE PLAN PHASE 3
C2.0	CONCEPTUAL GRADING PLAN PHASE 3
C3.0	CONCEPTUAL UTILITY PLAN PHASE 3
C4.0	CONCEPTUAL STORMWATER PLAN PHASE 3
C4.1	CONCEPTUAL STORMWATER DETAILS PHASE 3
3-Landscape	
L1.01	PRUNEYARD ROUNDABOUT - PHASE 3
L1.02	PRUNEYARD - PLANT PALETTE
4-Architectural	
A2.1	LEVEL 1 - PHASE 3
A2.2	LEVEL 2 - PHASE 3
A2.3	LEVEL 3 - PHASE 3
A3.1	ELEVATIONS - PHASE 3
A3.5	SECTIONS - PHASE 3
A4.1	RENDERING - PHASE 3
A4.3	ENLARGED STAIR TOWER
A4.4	COLOR MATERIALS BOARD
A4.5	ENLARGED GARAGE PHOTOMETRICS
5-Construction	
SL1.0	CONCEPTUAL SITE LOGISTICS PLAN

FIRE DEPARTMENT REQUIREMENTS

EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS. REFER TO CFC SEC. 510 FOR FURTHER REQUIREMENTS.

APPROVED AUTOMATIC SPRINKLER SYSTEMS IN NEW AND EXISTING BUILDINGS AND STRUCTURES SHALL BE PROVIDED IN THE LOCATIONS DESCRIBED IN THIS SECTION OR IN SECTIONS 903.2.1 THROUGH 903.2.18 WHICHEVER IS THE MORE RESTRICTIVE. FOR THE PURPOSES OF THIS SECTION, FIREWALLS USED TO SEPARATE BUILDING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND SHALL BE WITHOUT OPENINGS OR PENETRATIONS. NOTE: THE OWNERS, OCCUPANTS(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATIONER OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC. 903.2 AS ADOPTED AND AMENDED BY CBLMC.

STANDPIPE SYSTEMS SHALL BE PROVIDED IN NEW BUILDINGS AND STRUCTURES IN ACCORDANCE WITH THIS SECTION. FIRE HOSE THREADS USED IN CONNECTION WITH STANDPIPE SYSTEMS SHALL BE APPROVED AND SHALL BE COMPATIBLE WITH FIRE DEPARTMENT HOSE THREADS. THE LOCATION OF FIRE DEPARTMENT HOSE CONNECTIONS SHALL BE APPROVED. STANDPIPES SHALL BE MANUAL WET TYPE. IN BUILDINGS USED FOR HIGH-PILE COMBUSTIBLE STORAGE, FIRE HOSE PROTECTION SHALL BE IN ACCORDANCE WITH CHAPTER 32, INSTALLATION STANDARD. STANDPIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THIS SECTION AND NFPA 14 AS AMENDED IN CHAPTER 47, CFC SEC. 905.

NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1.

TWO-WAY COMMUNICATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72 (2016 EDITION), THE CALIFORNIA ELECTRICAL CODE (2013 EDITION), THE CALIFORNIA FIRE CODE (2016 EDITION), THE CALIFORNIA BUILDING CODE (2016 EDITION), AND THE CITY ORDINANCE. WHERE TWO WAY SYSTEM IS BEING INSTALLED, POLICIES AND STANDARDS, OTHER STANDARDS ALSO CONTAIN DESIGN/INSTALLATION CRITERIA FOR SPECIFIC LIFE SAFETY RELATED EQUIPMENT. THESE OTHER STANDARDS ARE REFERRED TO IN NFPA 72.

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS AS APPROPRIATE TO THE PROJECT. CFC CHP. 33

PARKING COUNT

GARAGE G1		
Stall Type	Count	
Level 1		
EV Stall - Accessible	1	
EV Stall - Standard	14	
EV Stall - Van Accessible	1	
Standard Stall	66	
Level 2		
Standard Stall	82	
Level 3		
Standard Stall	86	
Level 3		
Standard Stall	86	
Total		
	254	

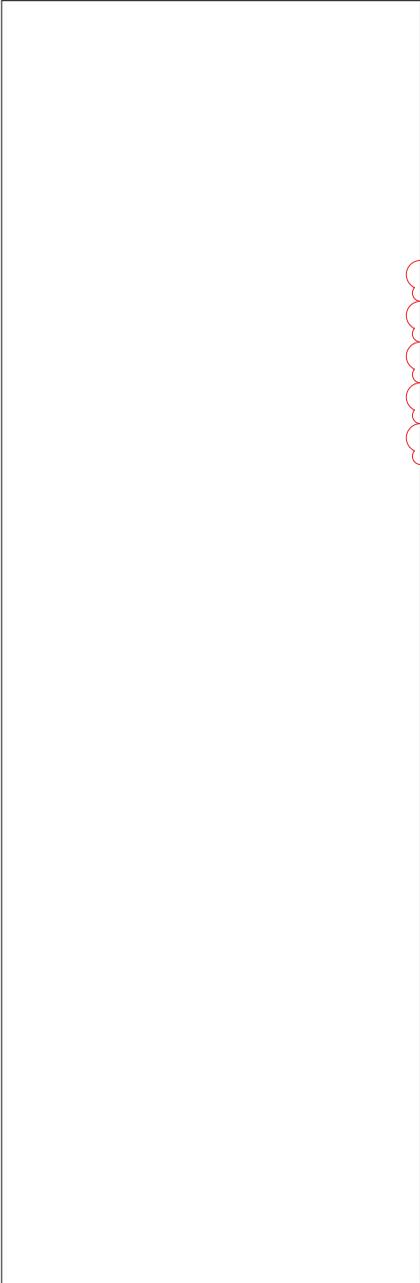
PROJECT AREAS

Area Schedule (Gross Floor Area)		
Level	Area	
Level 1		
Level 1	20240 SF	
Level 2	2082 SF	
Level 2		
Level 2	2082 SF	
Total		
	8750 SF	

CODE SUMMARY

- CONSTRUCTION TYPE (CBC CH. 6)** TYPE 1B
- USE AND OCCUPANCY (CBC CH. 3)** S-2
- ALLOWABLE HEIGHT (CBC TABLE 504.3-4)** 180' / 12 STORIES (S-2)
TABULATED MAX HEIGHT:
(NO HEIGHT INCREASE REQUIRED)
- ALLOWABLE AREA PER FLOOR (CBC TABLE 506.2)** 237,000 SF (S-2) - MOST RESTRICTIVE
TABULATED MAX AREA:
(NO AREA INCREASE REQUIRED)
- TOTAL ALLOWABLE BUILDING AREA (CBC SEC 506)** 888,790 SF ALLOWABLE AREA OF BLDG
(EQUATION S-2)
 $A_t = [A + (N-1) \times S_n] \times S_n + 1.25 \times .75$
 $[237,000 + (79,000 \times 75)] \times 3 +$
- PROPOSED HEIGHT AND GROSS FLOOR AREA (CBC CHAPTER 2)**
STORIES ABOVE GRADE: 5 STORIES
MAXIMUM HEIGHT ABOVE GRADE: 75'-0"
GROSS FLOOR AREA: SEE "PROJECT AREAS"
- RATING REQUIREMENTS (CBC TABLE 601)**
PRIMARY STRUCTURAL FRAME: 2 HOURS
EXTERIOR BEARING WALLS: 2 HOURS
INTERIOR BEARING WALLS: 0 HOURS
EXTERIOR NONBEARING WALLS: 0 HOURS
INTERIOR NONBEARING WALLS: 0 HOURS
FLOOR CONSTRUCTION: 2 HOURS
ROOF CONSTRUCTION: 2 HOURS
SHAFT ENCLOSURES: 2 HOURS*
*PER CBC 714, SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE AND NOT LESS THAN 1 HOUR WHERE CONNECTING LESS THAN FOUR STORIES. THE NUMBER OF STORIES CONNECTED BY THE SHAFT ENCLOSURE SHALL INCLUDE ANY BASEMENTS BUT NOT ANY MEZZANINES. SHAFT ENCLOSURES SHALL HAVE A FIRE RESISTANCE RATING OF LESS THAN THE FLOOR ASSEMBLY PENETRATED, BUT NEED NOT EXCEED 2 HOURS.
- REQUIRED SEPARATIONS (CBC CH. 5)** OCCUPANCY SEPARATION: 0 HOURS
PER CBC 503.2, THE PROPOSED BUILDING HEIGHT AND AREA FALLS WITHIN THE ALLOWABLE LIMITS OF THE MOST RESTRICTIVE USE. SO ALL OCCUPANCIES CAN BE CONSIDERED NONSEPARATED OCCUPANCIES.
PER CBC 503.3, NO SEPARATION IS REQUIRED BETWEEN NONSEPARATED OCCUPANCIES.

VICINITY MAP





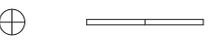
ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
----	------	-------------

PROJECT NUMBER
17005.00

SHEET TITLE
CONTEXT PHOTOS - EXISTING
GARAGE

SCALE



SHEET NUMBER

A0.2



ISSUES AND REVISIONS

NO	DATE	DESCRIPTION

PROJECT NUMBER
17005.00

SHEET TITLE
CONTEXT PHOTOS - ROUNDABOUT

SCALE



SHEET NUMBER



ARCHITECTS
KORTH SUNSURI HAGEY



HMM
Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMca.com

ISSUES AND REVISIONS

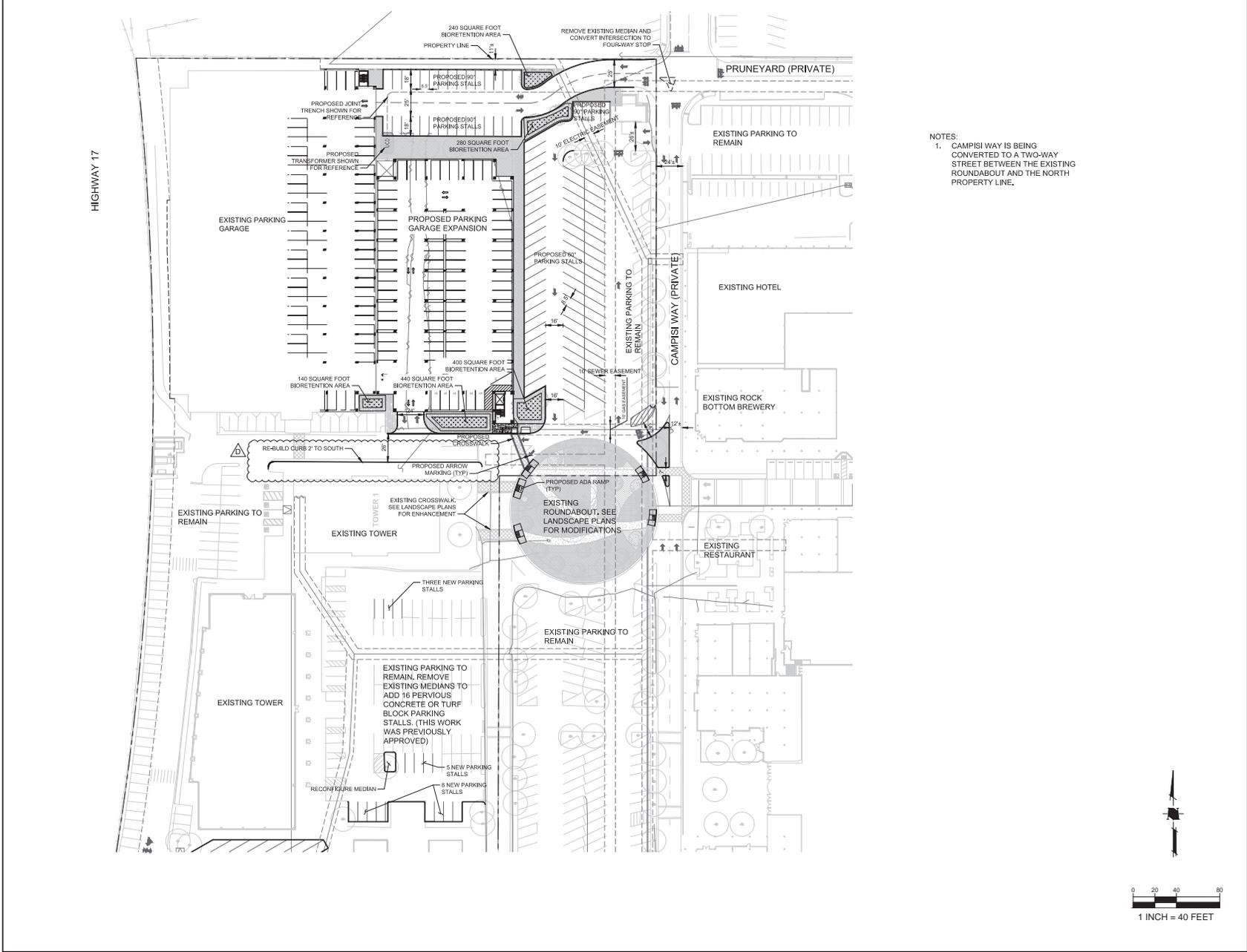
NO	DATE	DESCRIPTION
A	05/08/20	PLANNING SET
B	07/09/20	REVISED PER 6/26/20 PLAN CHECK COMMENTS
C	09/10/20	REVISED PER 9/28/20 PLAN CHECK COMMENTS
D	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER
17005-00

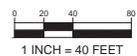
SHEET TITLE
**CONCEPTUAL SITE PLAN
PHASE 3**



SHEET NUMBER
C1.0



NOTES:
1. CAMPISI WAY IS BEING CONVERTED TO A TWO-WAY STREET BETWEEN THE EXISTING ROUNDABOUT AND THE NORTH PROPERTY LINE.





ARCHITECTS
KORTH SUNSRI HAGEY



Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMM.com

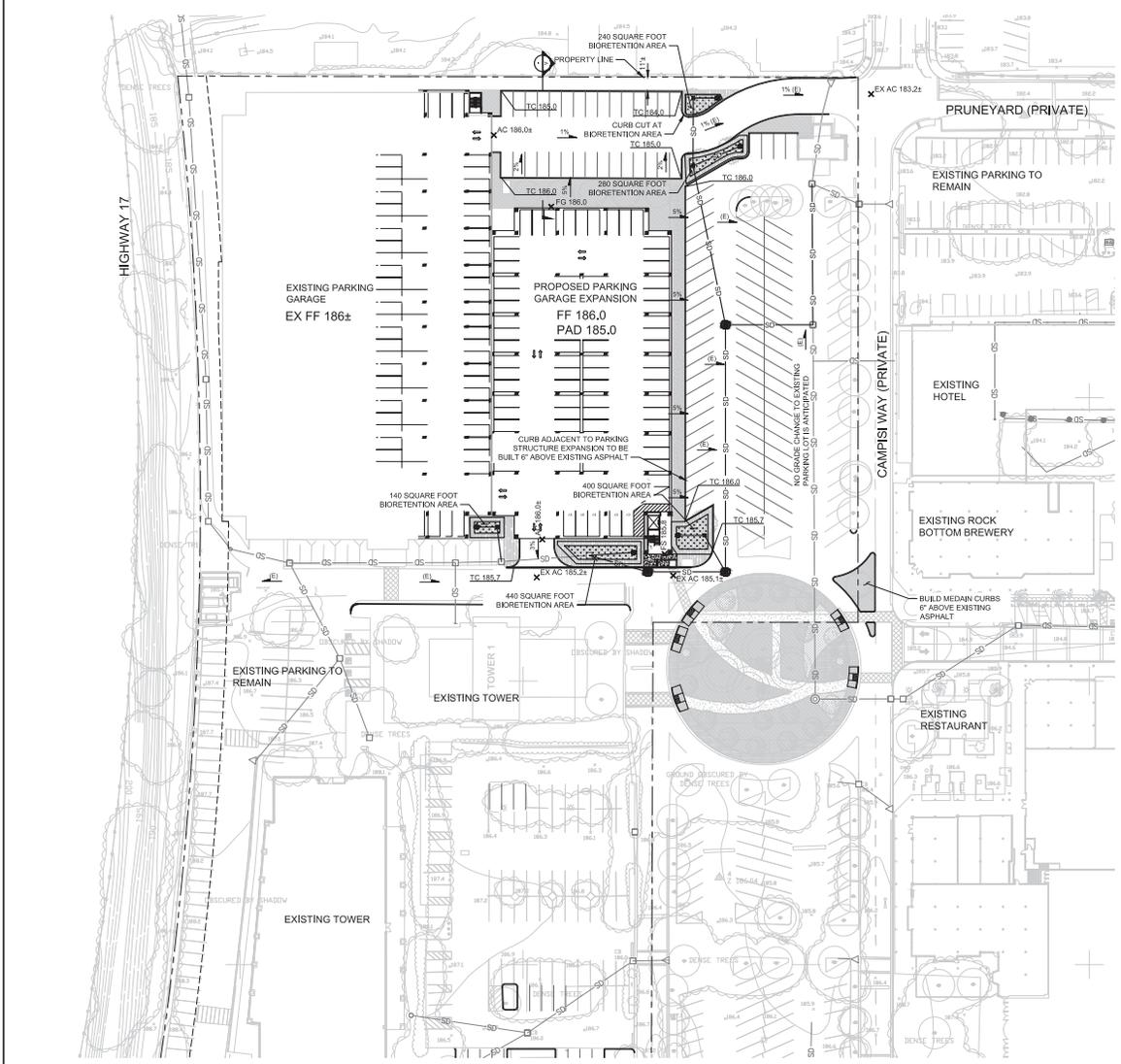
ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	05/08/20	PLANNING SET
B	07/09/20	REVISED PER 6/26/20 PLAN CHECK COMMENTS
C	09/10/20	REVISED PER 8/28/20 PLAN CHECK COMMENTS
D	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER
17006-00

SHEET TITLE
**CONCEPTUAL GRADING
AND DRAINAGE
PLAN PHASE 3**

SHEET NUMBER

C2.0



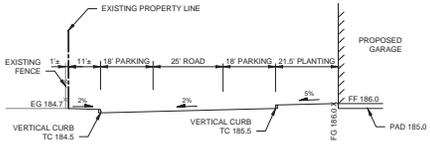
LEGEND

- STORM DRAIN PIPE
- STORM DRAIN PIPE (EXISTING)
- STORM DRAIN MANHOLE
- STORM DRAIN MANHOLE (EXISTING)
- CURB INLET
- CURB INLET (EXISTING)
- CATCH BASIN
- CATCH BASIN (EXISTING)
- FINISH FLOOR ELEVATION
- ASPHALT SURFACE ELEVATION
- FINISH GRADE ELEVATION
- FINISH SURFACE ELEVATION
- TOP OF CURB ELEVATION
- PERCENT AND DIRECTION OF SURFACE FLOW DRAINAGE
- OVERLAND RELEASE PATH
- STORM DRAIN CLEANOUT
- EXISTING

PRELIMINARY EARTHWORK

CUT: 20.0 CY
FILL: 200.0 CY
EXPORT: 0.0 CY
IMPORT: 200.0 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE AND BASED ON ASSUMED STRUCTURAL SECTION OF 12" FROM FINISH FLOOR TO BUILDING PAD ELEVATION.



SECTION A





KSH ARCHITECTS
KORTH SUNSURI HAGEY



HMM
Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance
1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMca.com

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	05/08/20	PLANNING SET
B	07/09/20	REVISED PER 6/26/20 PLAN CHECK COMMENTS
C	09/10/20	REVISED PER 8/28/20 PLAN CHECK COMMENTS
D	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER
17006-00

SHEET TITLE
CONCEPTUAL UTILITY
PLAN PHASE 3



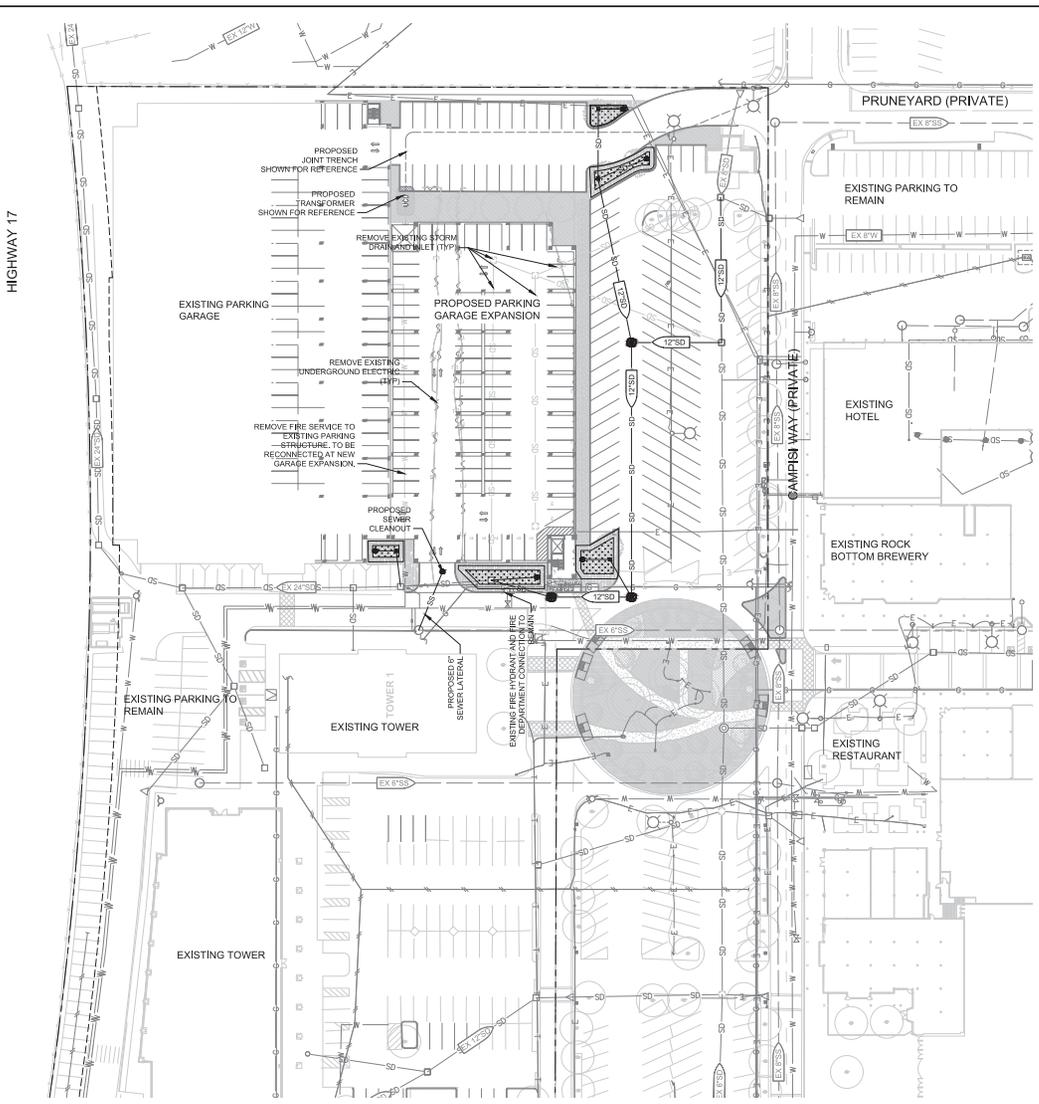
SHEET NUMBER

C3.0

1. INFORMATION REGARDING EXISTING UTILITIES IS BASED ON RECORD DOCUMENTS PROVIDED BY CLIENT AND CITY OF CAMPBELL. CONTRACTOR TO FIELD VERIFY LOCATIONS.
2. EXISTING UTILITIES ARE PRESENT UNDER PROPOSED BUILDING LOCATIONS. FINAL DESIGN REQUIREMENTS ARE NOT KNOWN AT THIS TIME. ABANDONMENT AND/OR RE-ROUTING OF UTILITIES IS EXPECTED.
3. PROPOSED GAS, ELECTRIC AND COMMUNICATION FACILITIES ARE TO BE DESIGNED BY OTHERS AND ARE NOT SHOWN ON THIS PLAN.

LEGEND

	PROPOSED	EXISTING
SANITARY SEWER	SS	SS
SANITARY SEWER MANHOLE CSJ D-11	●	○
SANITARY SEWER CLEAN OUT	●	○
STORM DRAIN LINE	SD	SD
STORM DRAIN MANHOLE CSJ D-11	●	○
STORM DRAIN CURB INLET	■	△
STORM DRAIN FIELD INLET (1X1)	■	□
STORM DRAIN FIELD INLET (2X2)	■	□
WATER MAIN	WM	WM
WATER VALVE	WV	WV
FIRE HYDRANTS	FH	FH
FIRE DEPARTMENT CONNECTION	FD	FD
ELECTROLUER	EL	EL
UTILITY POLE	UP	UP
JOINT TRENCH	JT	JT
GAS	G	G
OVERHEAD	OH	OH



HIGHWAY 17

0 20 40 80
1 INCH = 40 FEET

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
A	05/08/20	PLANNING SET
B	07/08/20	REVISED PER 6/26/20 PLAN CHECK COMMENTS
C	09/10/20	REVISED PER 6/28/20 PLAN CHECK COMMENTS
D	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

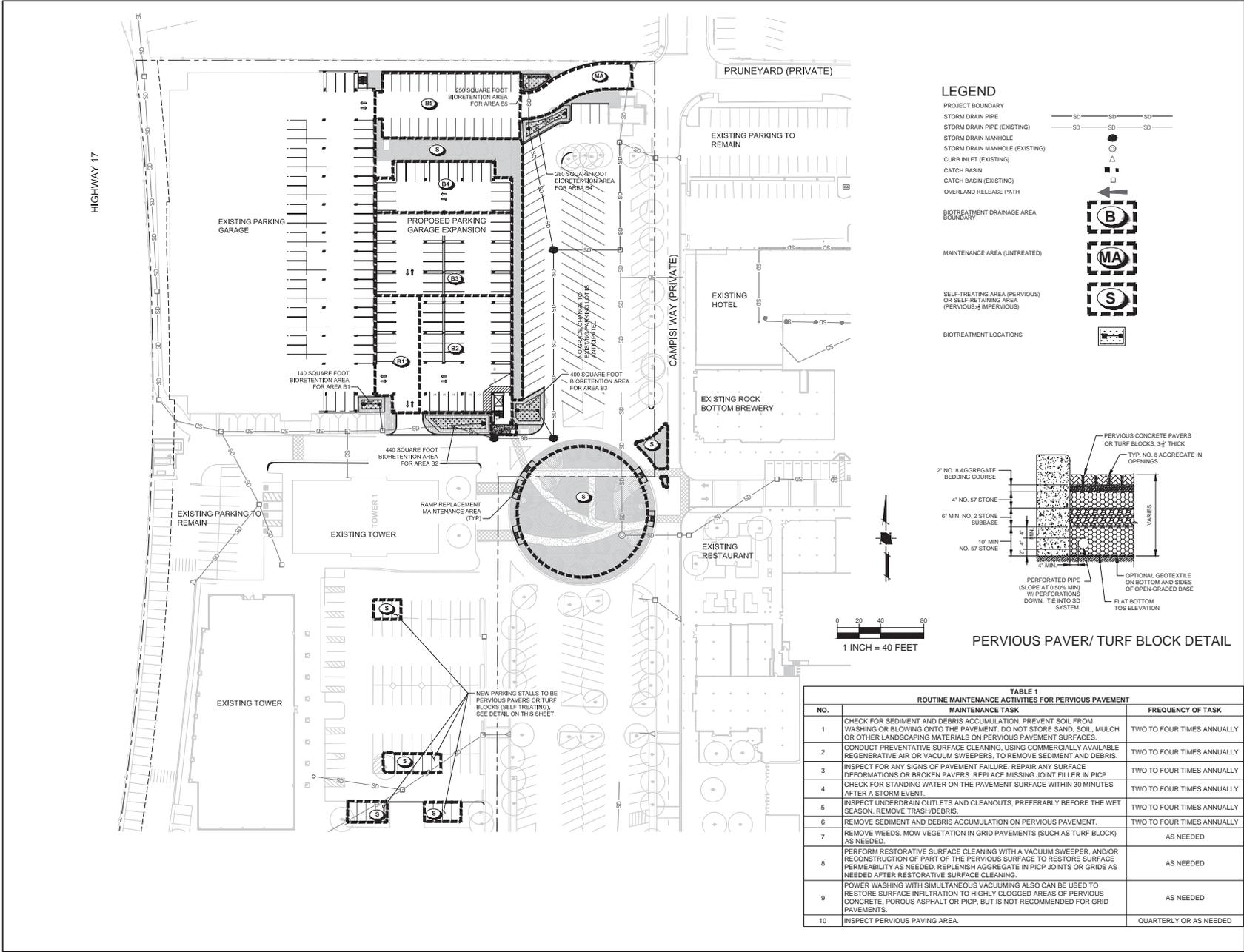
PROJECT NUMBER
17006-00

SHEET TITLE
**CONCEPTUAL
STORMWATER
CONTROL PLAN PHASE 3**



SHEET NUMBER

C4.0





KORTH SUNSERI HAGEY



Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance

1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMMca.com

ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
A	05/08/20	PLANNING SET
B	07/08/20	REVISED PER 6/26/20 PLAN CHECK COMMENTS
C	09/10/20	REVISED PER 6/28/20 PLAN CHECK COMMENTS
D	10/27/20	REVISED PER 10/20/20 FIRE COMMENTS

PROJECT NUMBER
17006-00

SHEET TITLE

CONCEPTUAL
STORMWATER
DETAILS PHASE 3



SHEET NUMBER

C4.1

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS, AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2" - 3" OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

A. Total Site Area: 6.62 acres		B. Total Site Area Disturbed: 1.02 acres	
Including Existing Land Use Footprints		Including Existing Land Use Footprints	
1. Total Planting Area to BMP: $A \times (1 - C)$	4.42	4.10	4.00
2. Max. Area of Planting: 100%	4.42	4.10	4.00
3. Max. Area of Planting: 14.9%	0.99	0.99	0.99
4. Max. Area of Planting: 14.9%	0.99	0.99	0.99
5. Max. Area of Planting: 14.9%	0.99	0.99	0.99
6. Max. Area of Planting: 14.9%	0.99	0.99	0.99
7. Max. Area of Planting: 14.9%	0.99	0.99	0.99
8. Max. Area of Planting: 14.9%	0.99	0.99	0.99
9. Max. Area of Planting: 14.9%	0.99	0.99	0.99
10. Max. Area of Planting: 14.9%	0.99	0.99	0.99
11. Max. Area of Planting: 14.9%	0.99	0.99	0.99
12. Max. Area of Planting: 14.9%	0.99	0.99	0.99
13. Max. Area of Planting: 14.9%	0.99	0.99	0.99
14. Max. Area of Planting: 14.9%	0.99	0.99	0.99
15. Max. Area of Planting: 14.9%	0.99	0.99	0.99
16. Max. Area of Planting: 14.9%	0.99	0.99	0.99
17. Max. Area of Planting: 14.9%	0.99	0.99	0.99
18. Max. Area of Planting: 14.9%	0.99	0.99	0.99
19. Max. Area of Planting: 14.9%	0.99	0.99	0.99
20. Max. Area of Planting: 14.9%	0.99	0.99	0.99
21. Max. Area of Planting: 14.9%	0.99	0.99	0.99
22. Max. Area of Planting: 14.9%	0.99	0.99	0.99
23. Max. Area of Planting: 14.9%	0.99	0.99	0.99
24. Max. Area of Planting: 14.9%	0.99	0.99	0.99
25. Max. Area of Planting: 14.9%	0.99	0.99	0.99
26. Max. Area of Planting: 14.9%	0.99	0.99	0.99
27. Max. Area of Planting: 14.9%	0.99	0.99	0.99
28. Max. Area of Planting: 14.9%	0.99	0.99	0.99
29. Max. Area of Planting: 14.9%	0.99	0.99	0.99
30. Max. Area of Planting: 14.9%	0.99	0.99	0.99
31. Max. Area of Planting: 14.9%	0.99	0.99	0.99
32. Max. Area of Planting: 14.9%	0.99	0.99	0.99
33. Max. Area of Planting: 14.9%	0.99	0.99	0.99
34. Max. Area of Planting: 14.9%	0.99	0.99	0.99
35. Max. Area of Planting: 14.9%	0.99	0.99	0.99
36. Max. Area of Planting: 14.9%	0.99	0.99	0.99
37. Max. Area of Planting: 14.9%	0.99	0.99	0.99
38. Max. Area of Planting: 14.9%	0.99	0.99	0.99
39. Max. Area of Planting: 14.9%	0.99	0.99	0.99
40. Max. Area of Planting: 14.9%	0.99	0.99	0.99
41. Max. Area of Planting: 14.9%	0.99	0.99	0.99
42. Max. Area of Planting: 14.9%	0.99	0.99	0.99
43. Max. Area of Planting: 14.9%	0.99	0.99	0.99
44. Max. Area of Planting: 14.9%	0.99	0.99	0.99
45. Max. Area of Planting: 14.9%	0.99	0.99	0.99
46. Max. Area of Planting: 14.9%	0.99	0.99	0.99
47. Max. Area of Planting: 14.9%	0.99	0.99	0.99
48. Max. Area of Planting: 14.9%	0.99	0.99	0.99
49. Max. Area of Planting: 14.9%	0.99	0.99	0.99
50. Max. Area of Planting: 14.9%	0.99	0.99	0.99
51. Max. Area of Planting: 14.9%	0.99	0.99	0.99
52. Max. Area of Planting: 14.9%	0.99	0.99	0.99
53. Max. Area of Planting: 14.9%	0.99	0.99	0.99
54. Max. Area of Planting: 14.9%	0.99	0.99	0.99
55. Max. Area of Planting: 14.9%	0.99	0.99	0.99
56. Max. Area of Planting: 14.9%	0.99	0.99	0.99
57. Max. Area of Planting: 14.9%	0.99	0.99	0.99
58. Max. Area of Planting: 14.9%	0.99	0.99	0.99
59. Max. Area of Planting: 14.9%	0.99	0.99	0.99
60. Max. Area of Planting: 14.9%	0.99	0.99	0.99
61. Max. Area of Planting: 14.9%	0.99	0.99	0.99
62. Max. Area of Planting: 14.9%	0.99	0.99	0.99
63. Max. Area of Planting: 14.9%	0.99	0.99	0.99
64. Max. Area of Planting: 14.9%	0.99	0.99	0.99
65. Max. Area of Planting: 14.9%	0.99	0.99	0.99
66. Max. Area of Planting: 14.9%	0.99	0.99	0.99
67. Max. Area of Planting: 14.9%	0.99	0.99	0.99
68. Max. Area of Planting: 14.9%	0.99	0.99	0.99
69. Max. Area of Planting: 14.9%	0.99	0.99	0.99
70. Max. Area of Planting: 14.9%	0.99	0.99	0.99
71. Max. Area of Planting: 14.9%	0.99	0.99	0.99
72. Max. Area of Planting: 14.9%	0.99	0.99	0.99
73. Max. Area of Planting: 14.9%	0.99	0.99	0.99
74. Max. Area of Planting: 14.9%	0.99	0.99	0.99
75. Max. Area of Planting: 14.9%	0.99	0.99	0.99
76. Max. Area of Planting: 14.9%	0.99	0.99	0.99
77. Max. Area of Planting: 14.9%	0.99	0.99	0.99
78. Max. Area of Planting: 14.9%	0.99	0.99	0.99
79. Max. Area of Planting: 14.9%	0.99	0.99	0.99
80. Max. Area of Planting: 14.9%	0.99	0.99	0.99
81. Max. Area of Planting: 14.9%	0.99	0.99	0.99
82. Max. Area of Planting: 14.9%	0.99	0.99	0.99
83. Max. Area of Planting: 14.9%	0.99	0.99	0.99
84. Max. Area of Planting: 14.9%	0.99	0.99	0.99
85. Max. Area of Planting: 14.9%	0.99	0.99	0.99
86. Max. Area of Planting: 14.9%	0.99	0.99	0.99
87. Max. Area of Planting: 14.9%	0.99	0.99	0.99
88. Max. Area of Planting: 14.9%	0.99	0.99	0.99
89. Max. Area of Planting: 14.9%	0.99	0.99	0.99
90. Max. Area of Planting: 14.9%	0.99	0.99	0.99
91. Max. Area of Planting: 14.9%	0.99	0.99	0.99
92. Max. Area of Planting: 14.9%	0.99	0.99	0.99
93. Max. Area of Planting: 14.9%	0.99	0.99	0.99
94. Max. Area of Planting: 14.9%	0.99	0.99	0.99
95. Max. Area of Planting: 14.9%	0.99	0.99	0.99
96. Max. Area of Planting: 14.9%	0.99	0.99	0.99
97. Max. Area of Planting: 14.9%	0.99	0.99	0.99
98. Max. Area of Planting: 14.9%	0.99	0.99	0.99
99. Max. Area of Planting: 14.9%	0.99	0.99	0.99
100. Max. Area of Planting: 14.9%	0.99	0.99	0.99

STANDARD STORMWATER CONTROL NOTES:

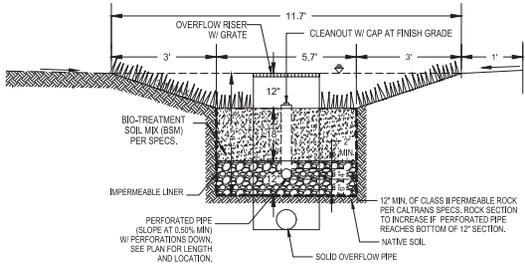
- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION, SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LAIRVIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS; CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

BIOTREATMENT SOIL REQUIREMENTS

- BIORETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C3 HANDBOOK AT: [HTTP://WWW.SANJOSEDA.GOV/INDEX.ASP?NID=1761](http://www.sanjoseda.gov/index.asp?nid=1761)
- PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

BIORETENTION & FLOW-THROUGH PLANTER NOTES:

- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
- PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS.
- SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS.
- CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED IN LINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
- A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
- DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

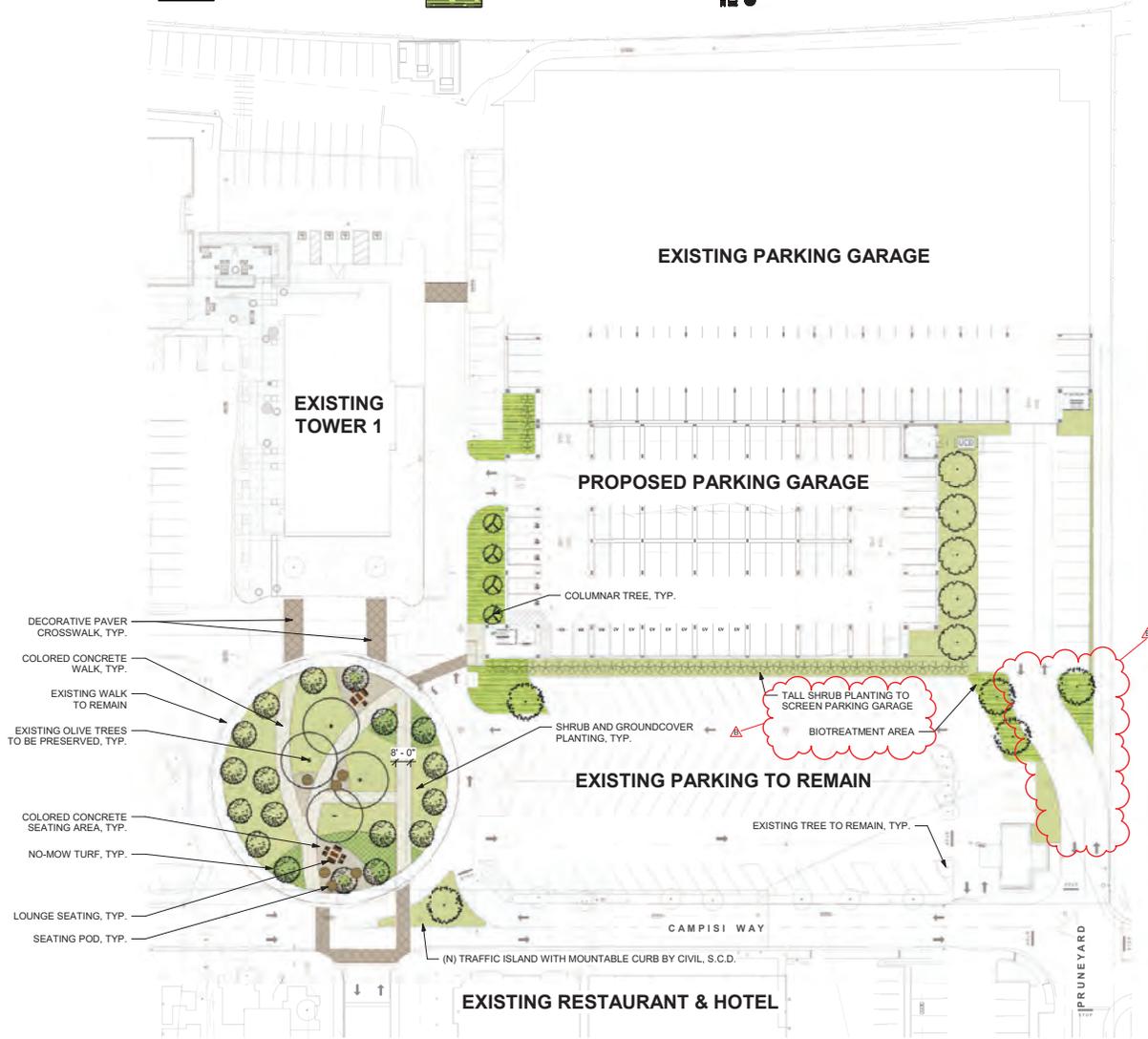


A BIOTREATMENT CELL FOR AREA B1-B4

LANDSCAPE MATERIAL LEGEND

-  COLORED CONCRETE, A
-  COLORED CONCRETE, B
-  UNIT PAVERS
-  NO MOW TURF
-  SHRUB & GROUNDCOVER AREA
-  BIOFILTRATION PLANTING AREA
-  DECOMPOSED GRANITE MULCH
-  PLANTERS
-  TABLES & CHAIRS

TOTAL PLANTING AREA
BIOTREATMENT: 4,178 SQFT.
TYPICAL PLANTING: 14,369 SQFT.



- DECORATIVE PAVER CROSSWALK, TYP.
- COLORED CONCRETE WALK, TYP.
- EXISTING WALK TO REMAIN
- EXISTING OLIVE TREES TO BE PRESERVED, TYP.
- COLORED CONCRETE SEATING AREA, TYP.
- NO-MOW TURF, TYP.
- LOUNGE SEATING, TYP.
- SEATING POD, TYP.

EXISTING OLIVE TREES



PAVER CROSSWALK EXAMPLE



SITE FURNISHING EXAMPLES



PLANT PALETTE

SHADE TREES			
	<i>Celtis sinensis</i> Chinese Hackberry	<i>Pistacia 'Columbia'</i> Pine Tree	<i>Zelkova serrata</i> 'Village Green' Japanese Zelkova
ORNAMENTAL TREES			
	<i>Ulmus parvifolia</i> Chinese Elm	<i>Koeberlinia paniculata</i> Golden Rain Tree	<i>Pistacia chinensis</i> Chinese Pistache
TREESTALL SHRUBS AT GARAGE			
	<i>Carpinus betulus</i> 'Frans Fontaine' Frans Fontain Hornbeam	<i>Pittosporum tenuifolium</i> Kohuhu	No Mow Turf



ELLIS PARTNERS



ARCHITECTS
KORTH SUNSERI HAGEY

PGAdesign
LANDSCAPE ARCHITECTS
tel 510.465.1284 url PGAdesign.com
444 17th Street Oakland CA 94612

ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	05/08/20	Planning Set
B	07/07/20	Revised per 6/26/20 Plan Check Comments

PROJECT NUMBER
17055.00

SHEET TITLE
PRUNEYARD ROUNDABOUT - PHASE 3

SCALE
1" = 30'-0"



SHEET NUMBER

L1.01





ARCHITECTS
KORTH SUNSERI HAGEY

PGAdesign

LANDSCAPE ARCHITECTS
tel 510.465.1284 url PGAdesign.com
444 17th Street Oakland, CA 94612

ISSUES AND REVISIONS	
NO	DATE DESCRIPTION
A	05/08/20 Planning Set
B	07/07/20 Revised per 6/26/20 Plan Check Comments

PROJECT NUMBER
17005.00

SHEET TITLE
PRUNEYARD - PLANT PALETTE

SCALE
1/32" = 1'-0"



SHEET NUMBER

L1.02

TREES

SHADE TREES



Celtis sinensis Chinese Hackberry
Platanus 'Columba' Plane Tree



Quercus frainetto 'Forest Green' Forest Green Oak
Zelkova serrata 'Village Green' Village Green Japanese Zelkova

ORNAMENTAL TREES



Ulmus parvifolia Chinese Elm
Koelreuteria paniculata Golden Rain Tree
Pistacia chinensis Chinese Pistache



Syagrus romanzoffiana Queen Palm
Washingtonia filifera x robusta Hybrid Fan Palm



Lagerstroemia 'Natchez' Crape Myrtle
Laurus 'Saratoga' Saratoga Bay

TALL TREES/ SHRUBS AT GARAGE



Carpinus betulus 'Frans Fontaine' Frans Fountain Hornbeam
Pittosporum tenuifolium Kohuhu

SHRUBS & GROUNDCOVER

PEDESTRIAN PLANTING AREAS



Lomandra longifolia 'Breeze' Dwarf Mat Rush
Agave attenuata Foxtail Agave
Arctostaphylos 'Pacific Mist' Pacific Mist Manzanita
Olea 'Little Olive' Dwarf Olive
Chondropetalum tectorum Cape Rush
Chamaerops humilis Mediterranean Fan Palm

TRANSITION PLANTING AREAS



Arctostaphylos 'Pacific Mist' Pacific Mist Manzanita
Senecio mandraliscae Kleinia
Aloe 'Blue Elf' Blue Elf Aloe

PARKING LOT PLANTING AREAS



Myoporum parvibulum Creeping Myoporum
Rosmarinus 'Irene' Creeping Rosemary
Bulbine frutescens Stalked Bulbine

BARRIER PLANTING AREAS



Westringia fruticosa Coast Rosemary
Cornus 'Dusky Belles' Red Australian Fuchsia
Grevillea lanigera Woolly Grevillea

STORMWATER PLANTING AREAS



Juncus patens California Gray Rush
Muhlenbergia ripens Deer Grass
Iris douglasiana Douglas Iris

NO-MOW TURF



No Mow Turf

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	05/08/20	Planning Set

PROJECT NUMBER
17055.00

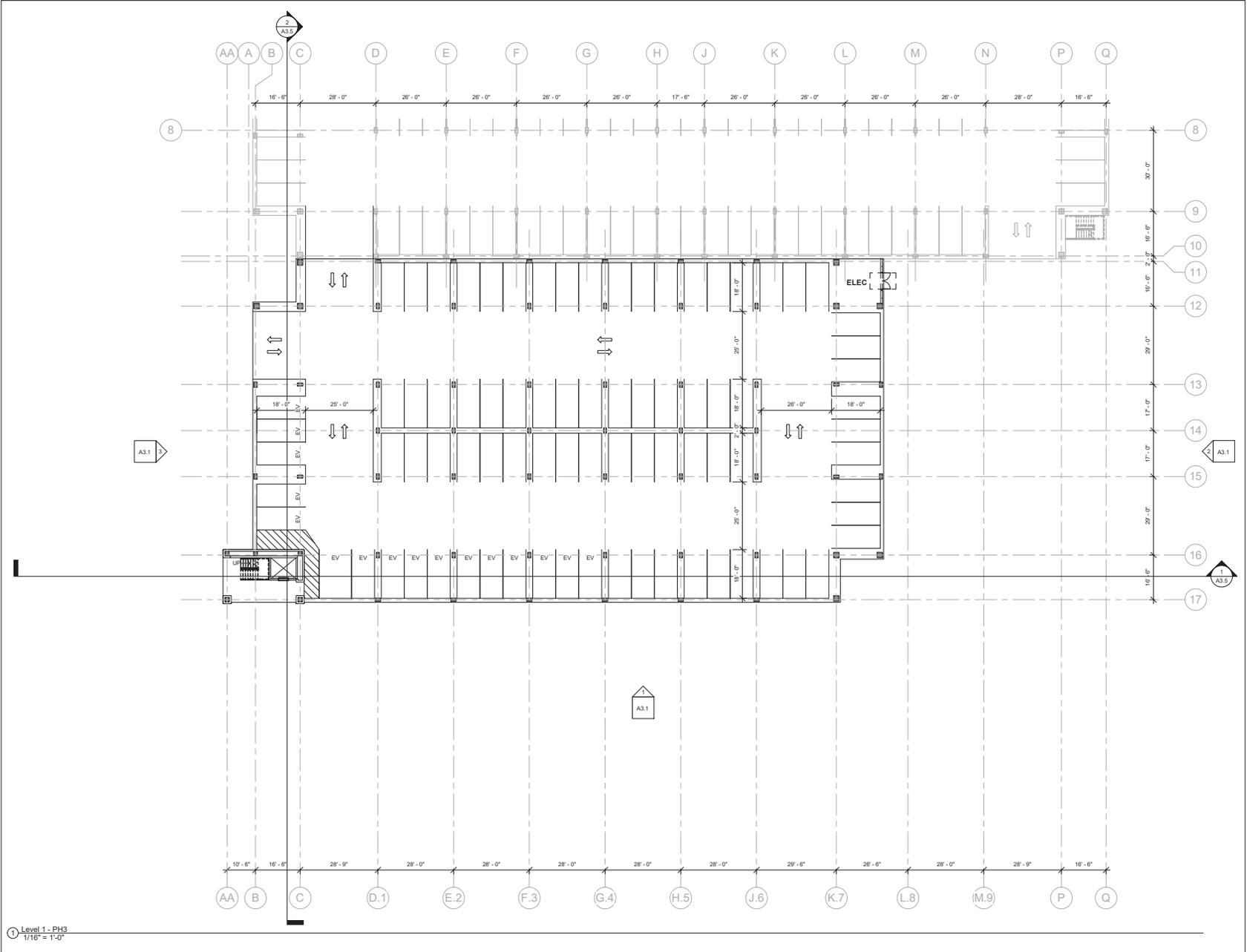
SHEET TITLE
LEVEL 1 - PHASE 3

SCALE
1/16" = 1'-0"



SHEET NUMBER

A2.1



1 Level 1 - Ph3
1/16" = 1'-0"



ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	05/08/20	Planning Set

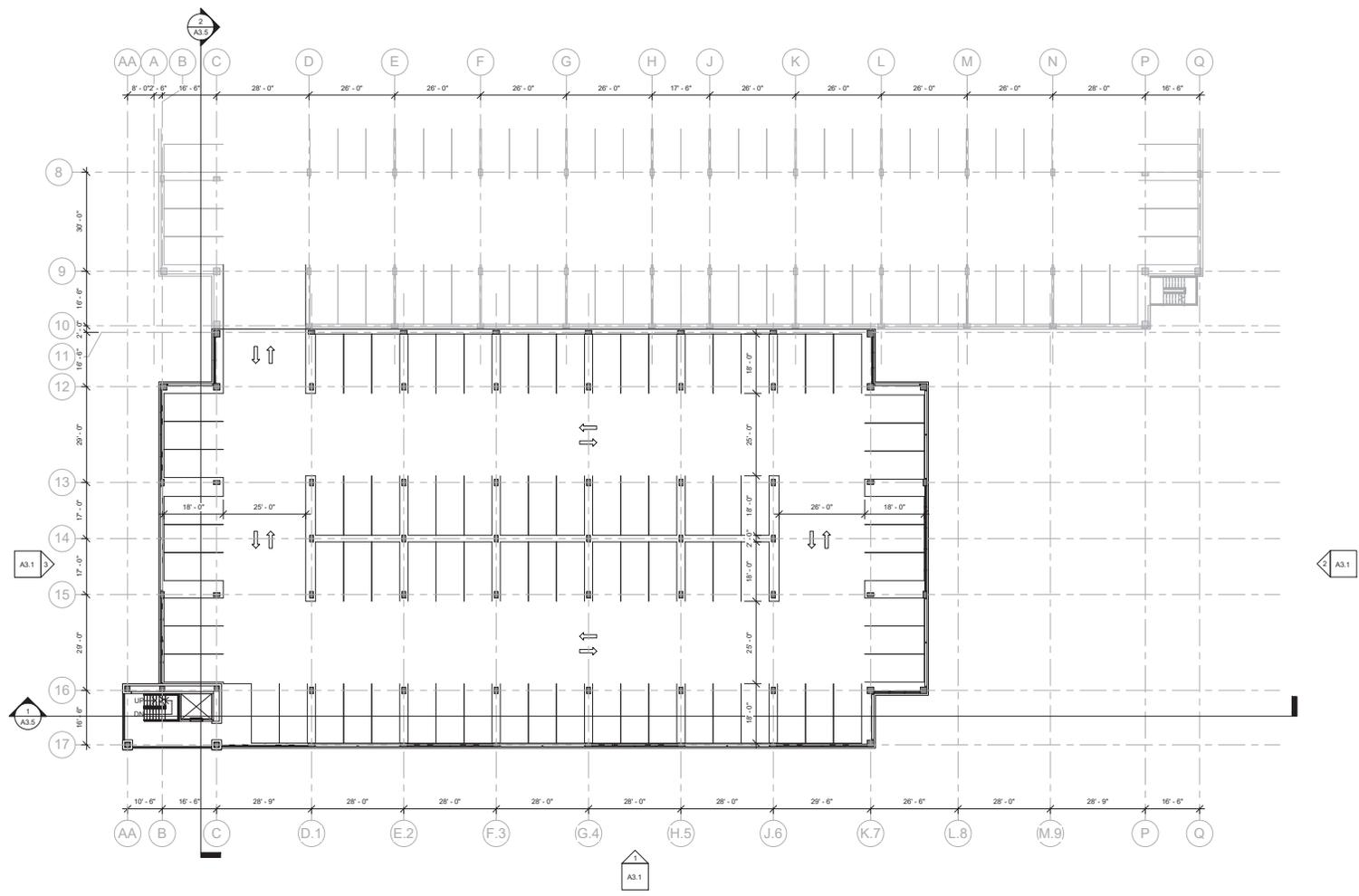
PROJECT NUMBER
17055.00

SHEET TITLE
LEVEL 2 - PHASE 3

SCALE
1/16" = 1'-0"



SHEET NUMBER



① Level 2-PH03
1/16" = 1'-0"

A2.2



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
A	05/08/20	Planning Set

PROJECT NUMBER
17055.00

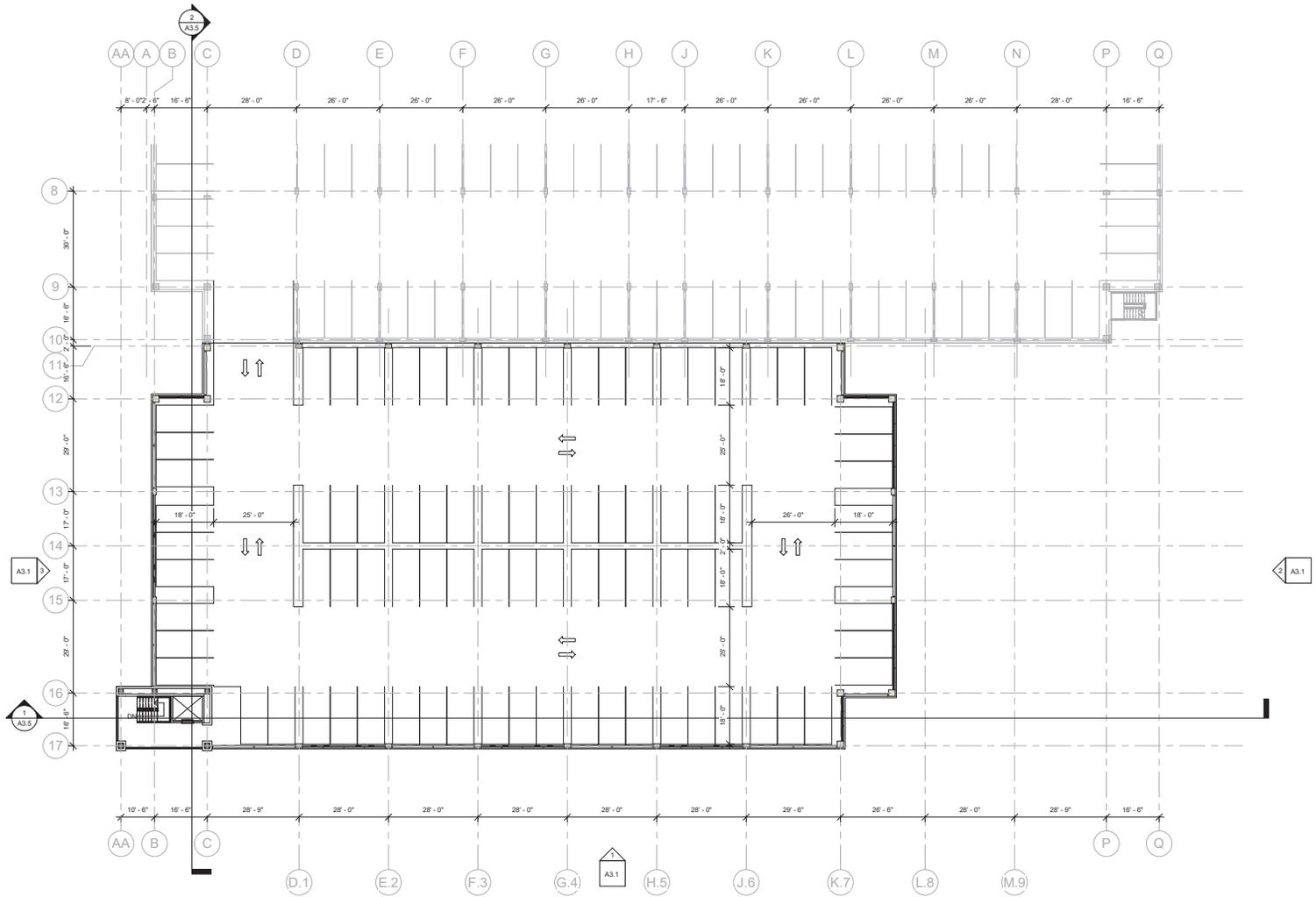
SHEET TITLE
LEVEL 3 - PHASE 3

SCALE
1/16" = 1'-0"



SHEET NUMBER

A2.3



① Level 3-PH03
1/16" = 1'-0"

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	05/08/20	Planning Set

PROJECT NUMBER
17005.00

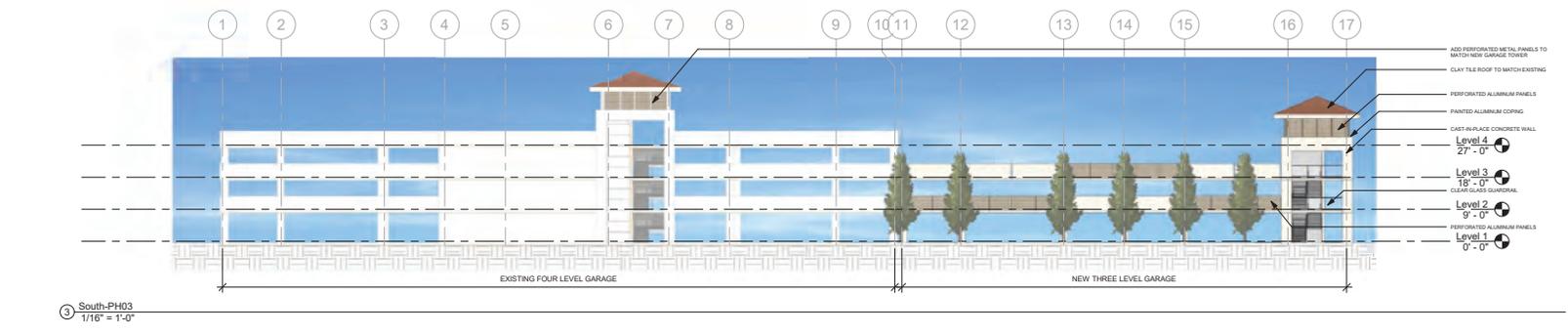
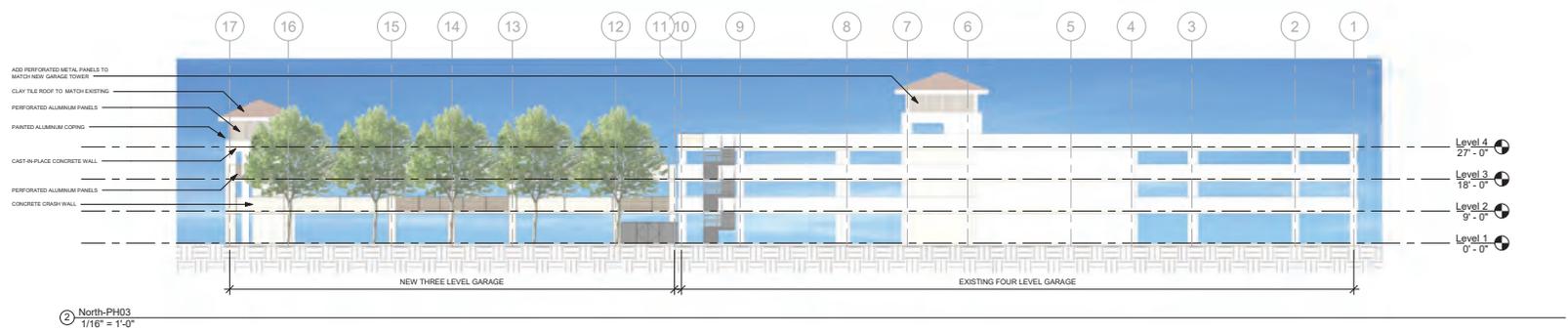
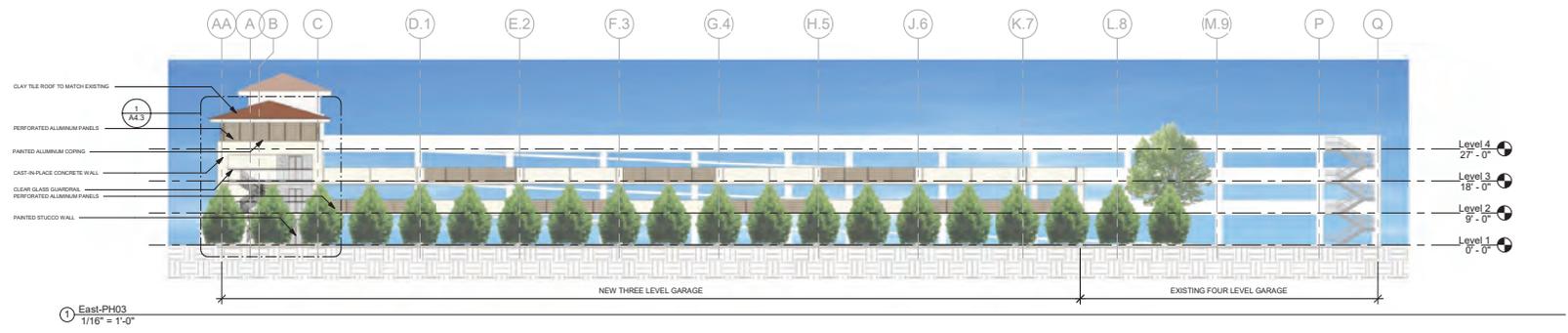
SHEET TITLE
ELEVATIONS - PHASE 3

SCALE
1/16" = 1'-0"



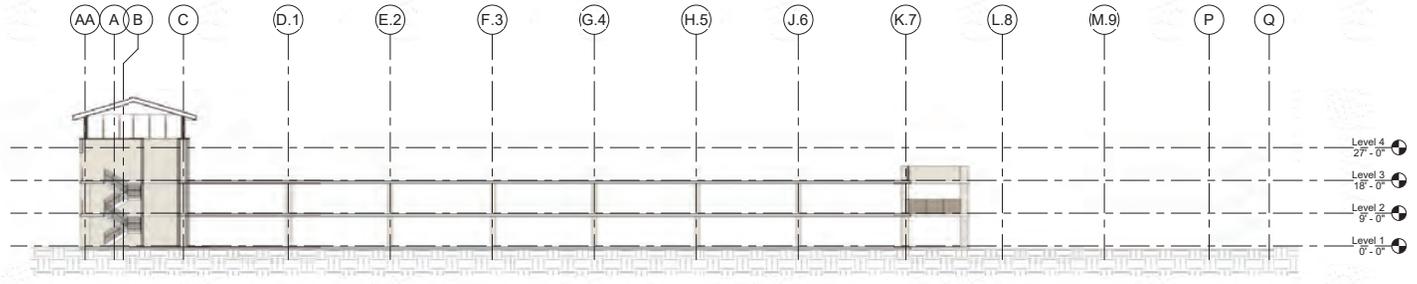
SHEET NUMBER

A3.1

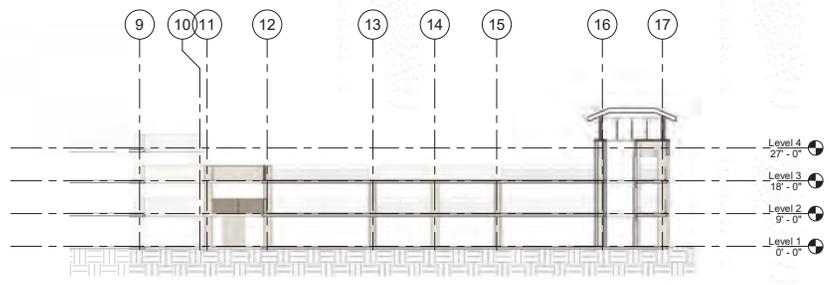




ARCHITECTS
KORTH SUNSERI HAGEY



Section 1 - PH 03
1/16" = 1'-0"



Section 2 - PH 03
1/16" = 1'-0"

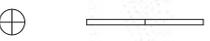
ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	05/08/20	Planning Set

PROJECT NUMBER
17005.00

SHEET TITLE
SECTIONS - PHASE 3

SCALE
1/16" = 1'-0"



SHEET NUMBER

A3.5



ARCHITECTS
KORTH SUNSERI HAGEY

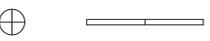


ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	05/08/20	Planning Set

PROJECT NUMBER
17005.00

SHEET TITLE
RENDERING - PHASE 3

SCALE



SHEET NUMBER

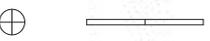
A4.1

ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	05/08/20	Planning Set

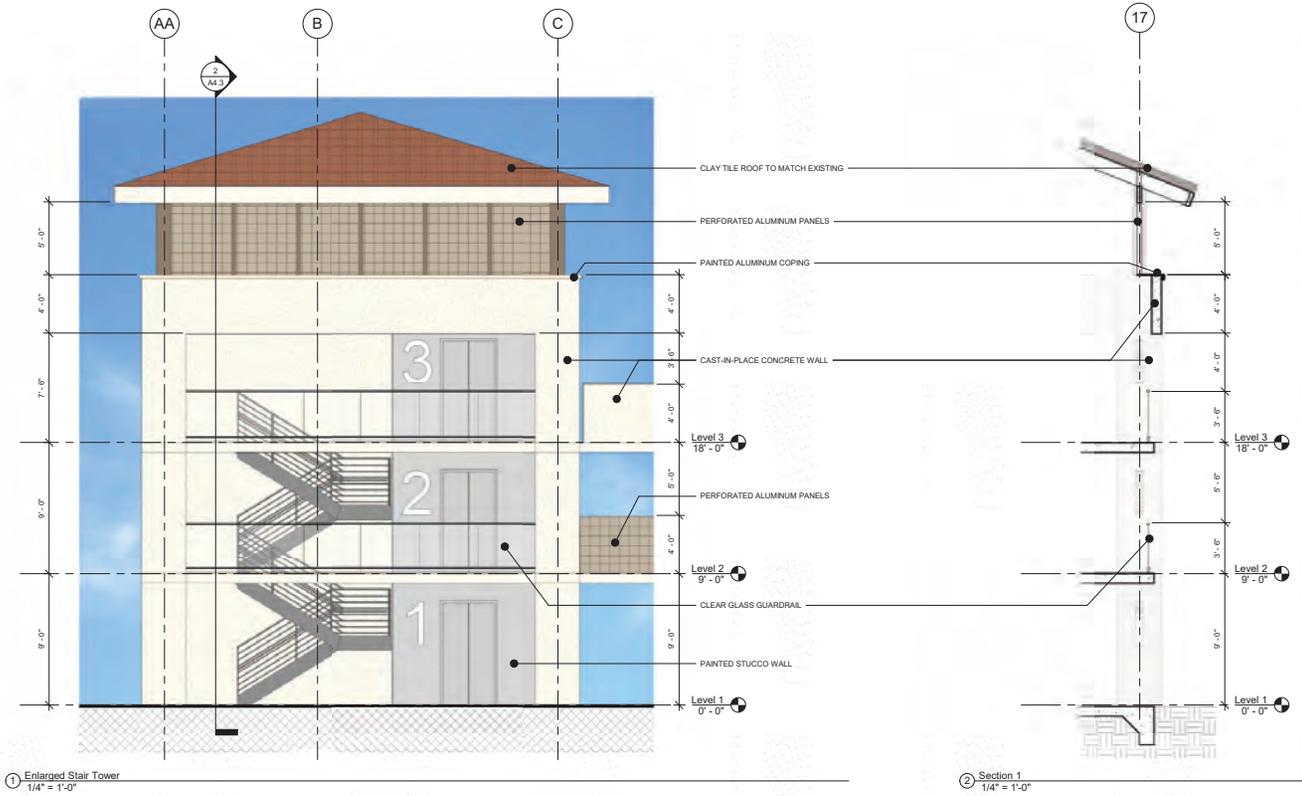
PROJECT NUMBER
17055.00

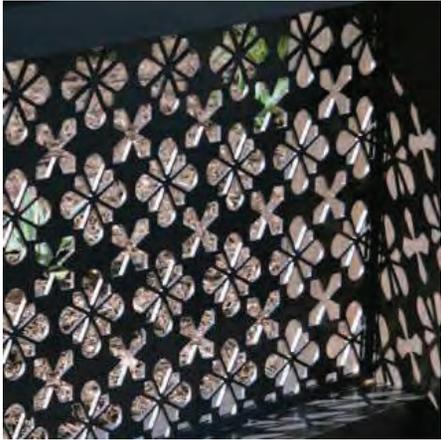
SHEET TITLE
ENLARGED STAIR TOWER

SCALE
1/4" = 1'-0"



SHEET NUMBER





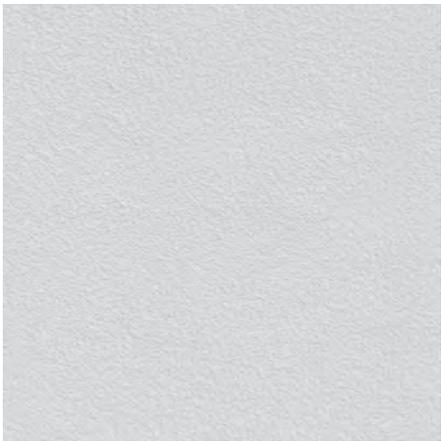
MTL-1 (ALT): PERFORATED ALUMINUM PANELS
 MANUFACTURER: TBD
 TYPE: TBD
 COLOR/FINISH: TO MATCH EXISTING
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



MTL-1: PERFORATED ALUMINUM PANELS
 MANUFACTURER: TBD
 TYPE: TBD
 COLOR/FINISH: TO MATCH EXISTING
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



GL-1: GLASS GUARDRAILS
 MANUFACTURER: VIRACON
 TYPE: CLEAR
 MAKE UP: 1/4" CLEAR INTER-LAYER
 1/4" CLEAR
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.



CON-1: PAINTED CONCRETE WALLS
 MANUFACTURER: NEGARD
 TYPE: PEDA/GARD FC COATING SYSTEM
 COLOR/FINISH: P-3 (GRAY)
 REPRESENTATIVE SAMPLE. MANUFACTURER AND FINISH TO BE CONFIRMED.

ISSUES AND REVISIONS

NO	DATE	DESCRIPTION
A	05/08/20	Planning Set

PROJECT NUMBER
17055.00

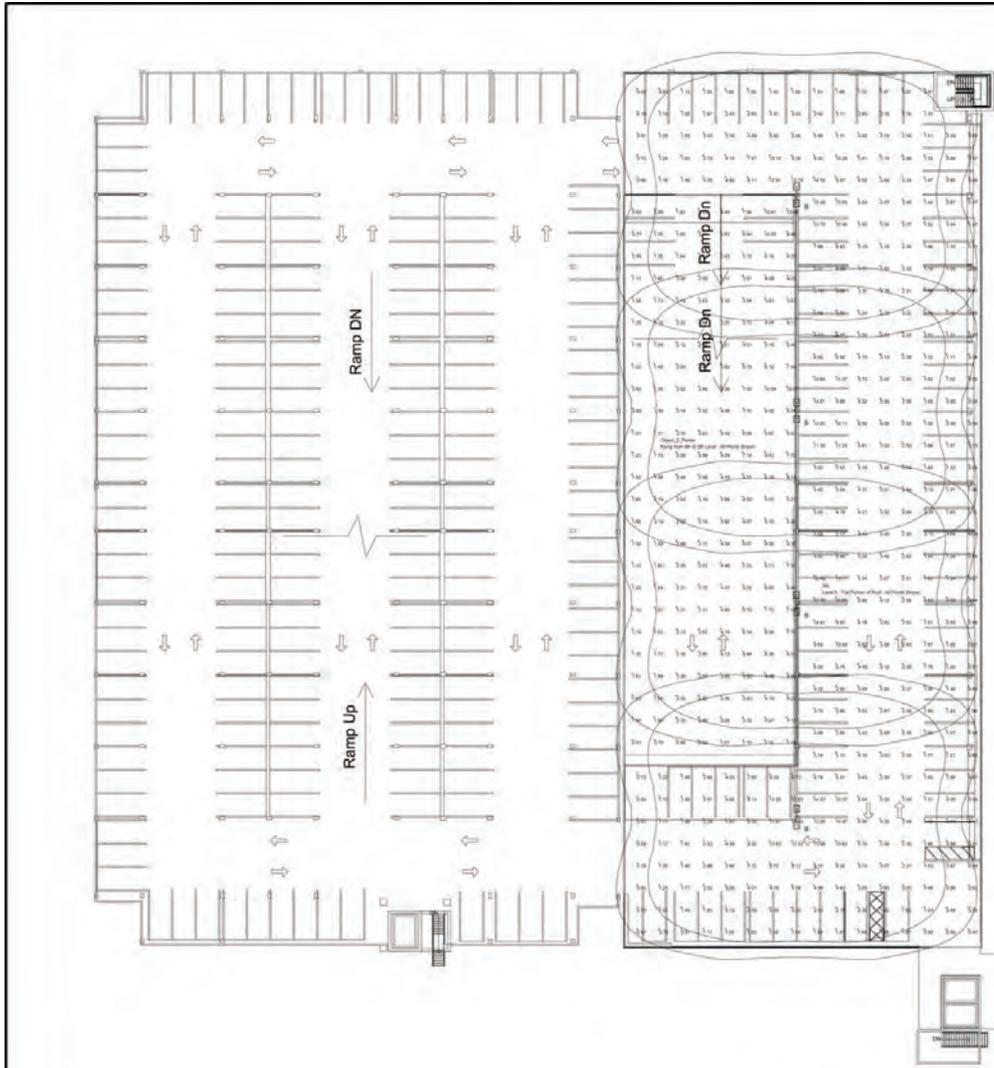
SHEET TITLE
COLOR/MATERIALS BOARD

SCALE
1 1/2" = 1'-0"



SHEET NUMBER

A4.4

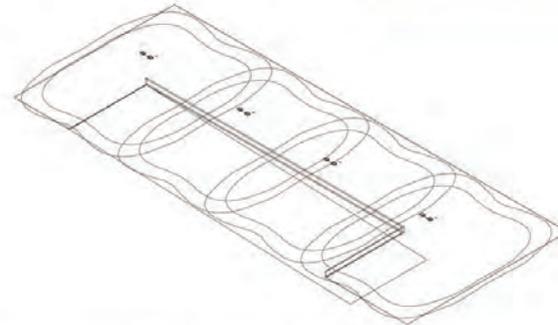


VLX LED Project Name: Catalog Number: Type:

Dimensional Drawings

Fixture	A	B	C	D	Max. Watts	Lbs
VLX-1	36"	10.25"	15.5"	4"	414	58

VISIONAIRE LIGHTING
Performance In A Whole New Light™



Symbol	Qty	Label	Arrangement	Lum. Lumens	Av. Lum. Lumens	SAF	LED	LED	Description	Fixture	Lum. Width	Av. Beam
☐	1	A	8000-8000	24075	4800	0.90	0.994	0.90	Visionaire VLX-1 17.5W 4000K 15.5" x 3.6" (17.5" Dia) 17.5" Dia	VLX-1 17.5W 4000K 15.5" x 3.6" (17.5" Dia) 17.5" Dia	210	480

Level	Quantity	Unit	Area	Max. Area	Min. Area	Perimeter	Perimeter	Perimeter	Perimeter	Perimeter
Level 1	1	Sq. Ft.	1442	1442	1442	1442	1442	1442	1442	1442

Level	Label	X	Y	Z	Class	Fix	Beamwidth
1	A	481.36	2033.29	20	80	8	80°
2	B	481.36	2188.18	20	80	8	80°
3	C	441.36	1519.26	20	80	8	80°
4	D	441.36	1684.12	20	80	8	80°

LIGHTING LAYOUT RECOMMENDATION



PROJECT NAME
The Pruneyard

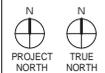
ELLIS PARTNERS

1875 S. Bascom Ave. Campbell, CA 95008

CONSULTANT

CONSULTANT STAMP

#	DATE	ISSUES & REVISIONS	BY
	08/12/15	ENTITLEMENT	
	10/30/15	RESUBMITTAL 1	
	12/15/15	RESUBMITTAL 2	
	04/29/16	RESUBMITTAL 3	



DRAWN BY: Author
PROJECT NUMBER: 14-051
SHEET TITLE:

ENLARGED GARAGE PHOTOMETRICS

SHEET NUMBER
A4.5

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT FINISHED FLOOR

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON DATA OBTAINED FROM MANUFACTURER'S LAMP RANGES. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP QUALITY, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IEEE standards and good practice. Some differences between measured values and calculated results may occur due to measurement techniques and field conditions such as voltage and temperature variations. Field data used for verifying the calculated calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the field measurement conditions do not match the field data, differences will occur between measured values and calculated values.

Associated Lighting Representatives, Inc.

ASSOCIATED LIGHTING REPRESENTATIVES, INC.
7777 FAUCET LANE
P.O. BOX 220
DALY CITY, CA 94024
PHONE: (415) 982-0100 FAX: (415) 982-0099

REPORT FOR: LOWNEY ARCHITECTURE, SAN JOSE/CA
BY: APPLICATIONS ENGINEERING, JON & MARGY SALES REPRESENTATIVE, ALR, SAN JOSE

AG32 VERSION 16.7
4400 JI TOWNSHIPS CENTER, ANAHEIM, CA 92806
12094 HAL-A DRIVE, SUITE 202
LETTERING, CO. 92617

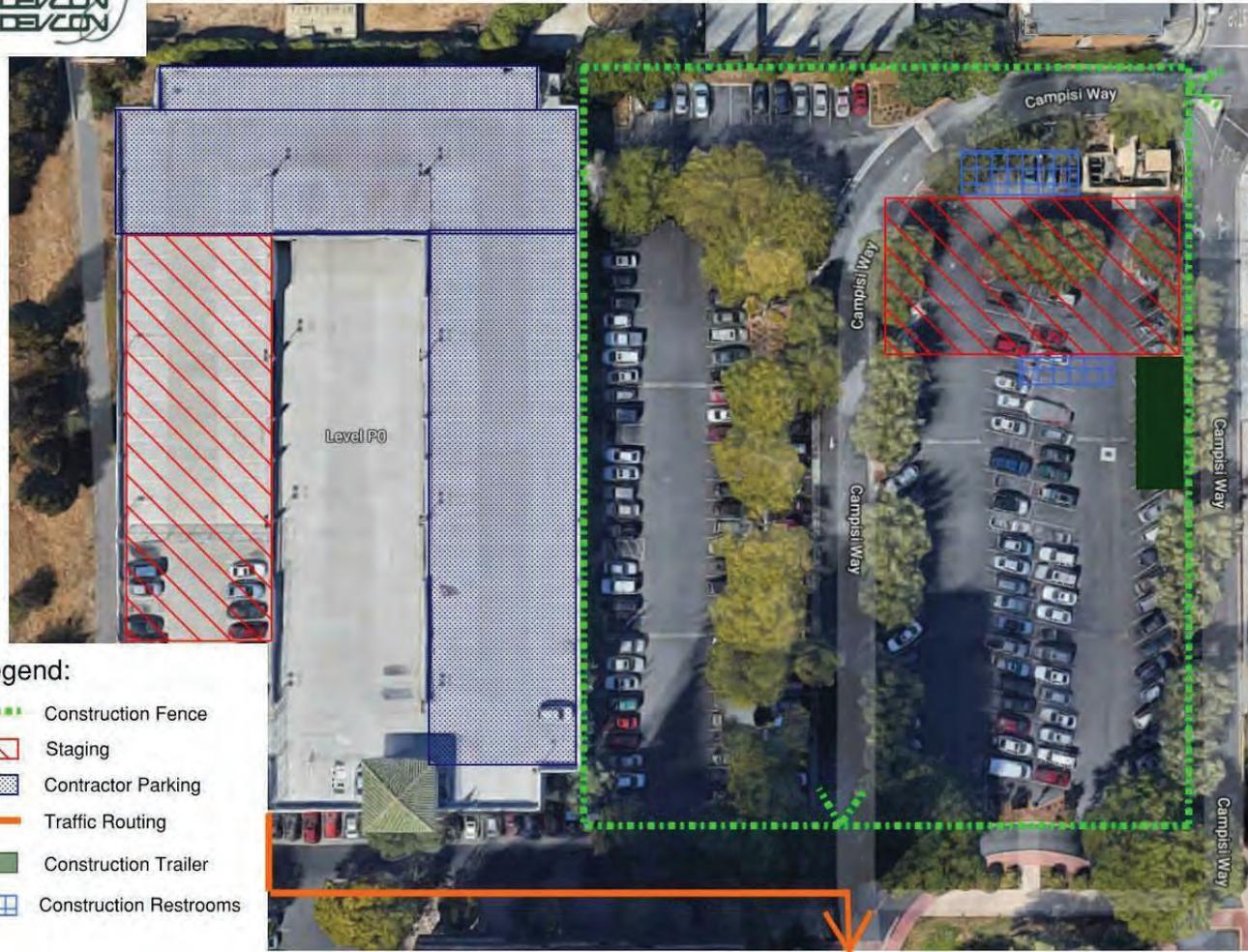
PROJECT DESCRIPTION
THE PRUNEYARD - GARAGE 1 - ROOF DECK CAMPBELL, CA

PROJNO: 14051
12094HAL-A.DWG / A32

SCALE: 1" = 16'
SHEET: 5 OF 1
DATE: 10/12/2015
REV: 0'



CONCEPTUAL SITE LOGISTICS - PHASE 3



Legend:

- Construction Fence
- Staging
- Contractor Parking
- Traffic Routing
- Construction Trailer
- Construction Restrooms

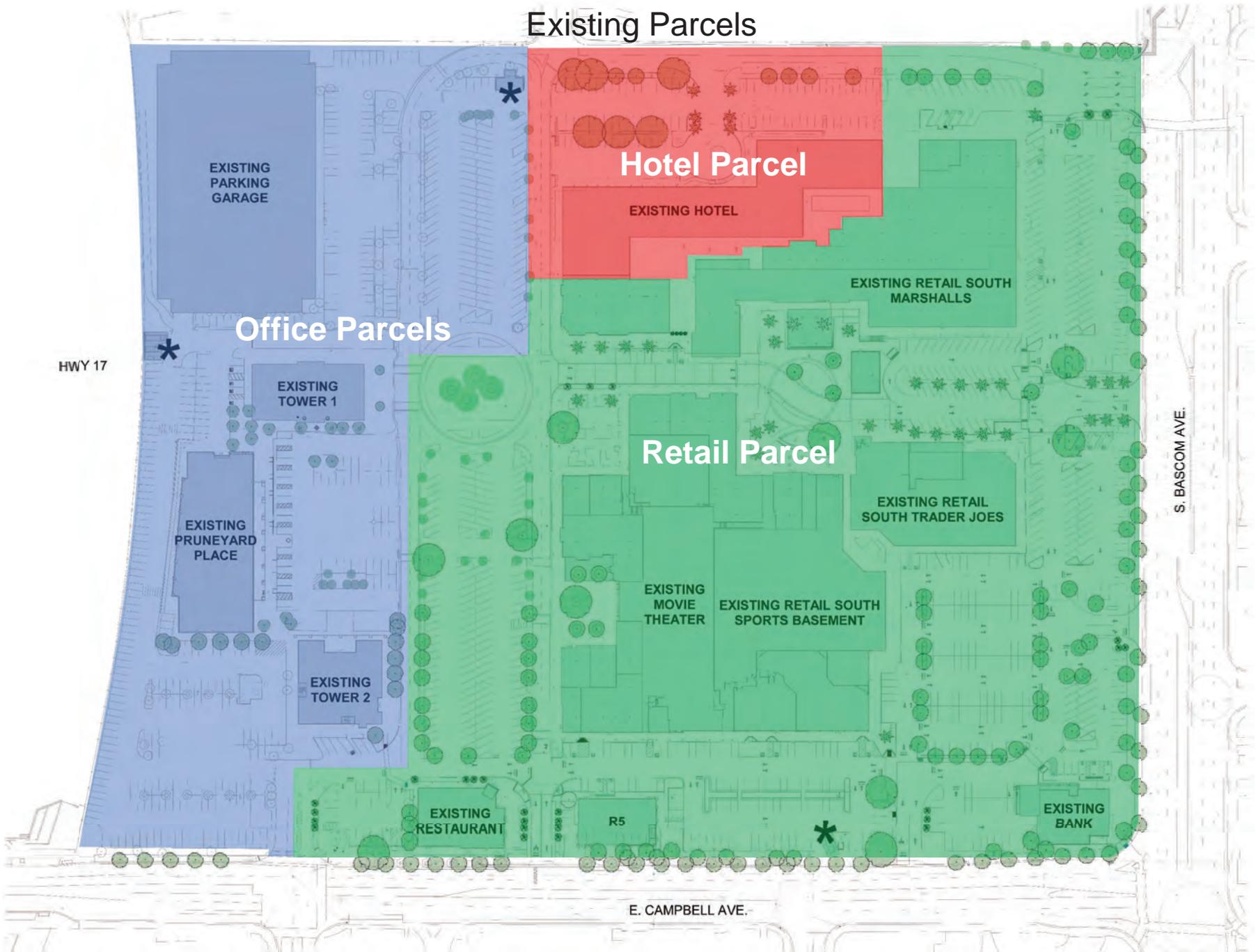
ISSUES AND REVISIONS		
NO	DATE	DESCRIPTION
A	05/08/20	Planning Set

PROJECT NUMBER	17005.00
SHEET TITLE	CONCEPTUAL SITE LOGISTICS PLAN
SCALE	
SHEET NUMBER	

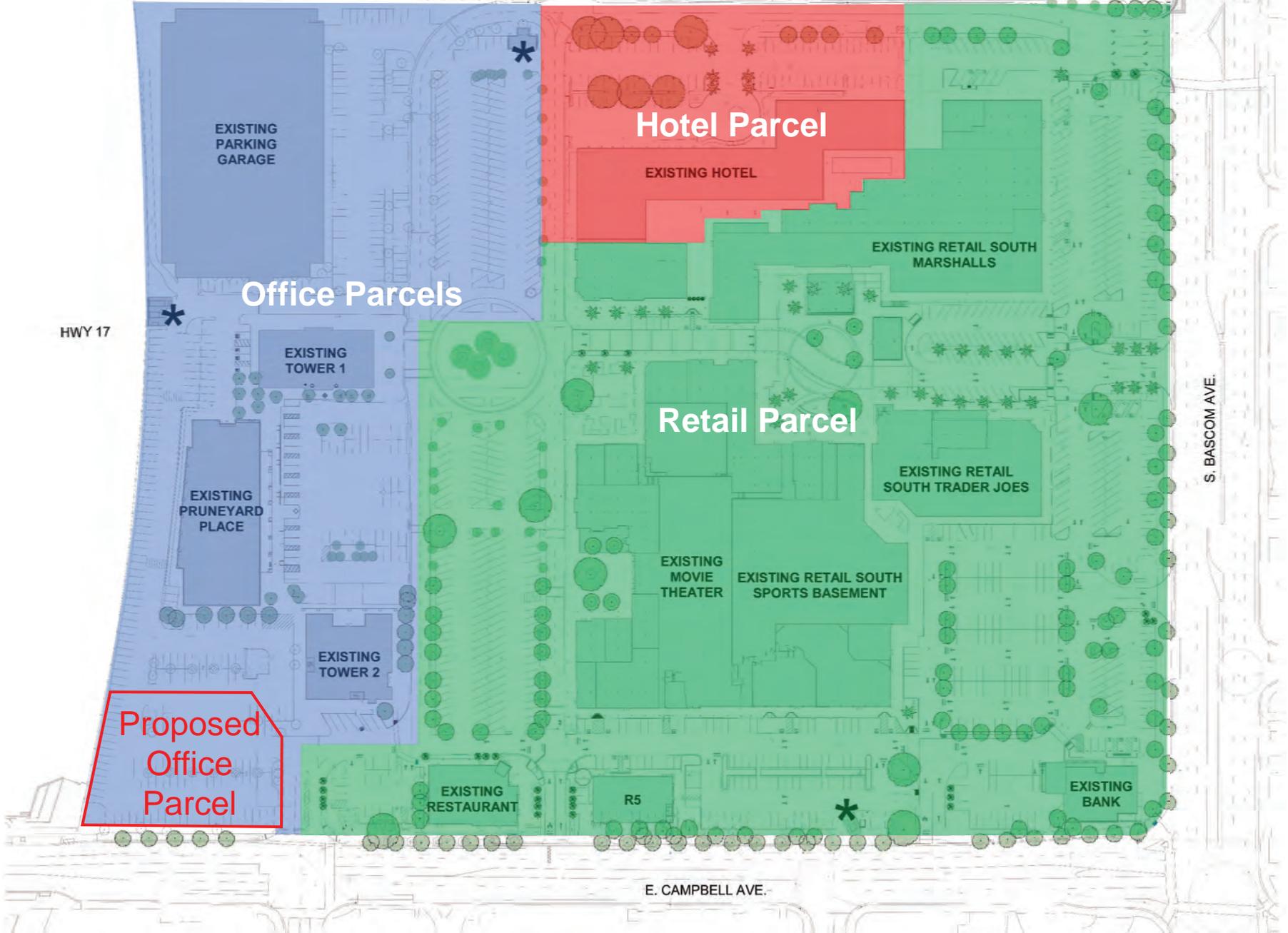
SL1.0

Volume 4 – Tentative Parcel Map

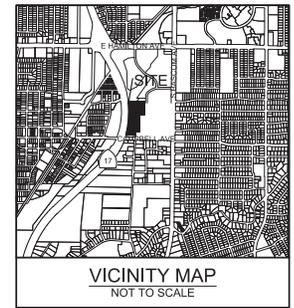
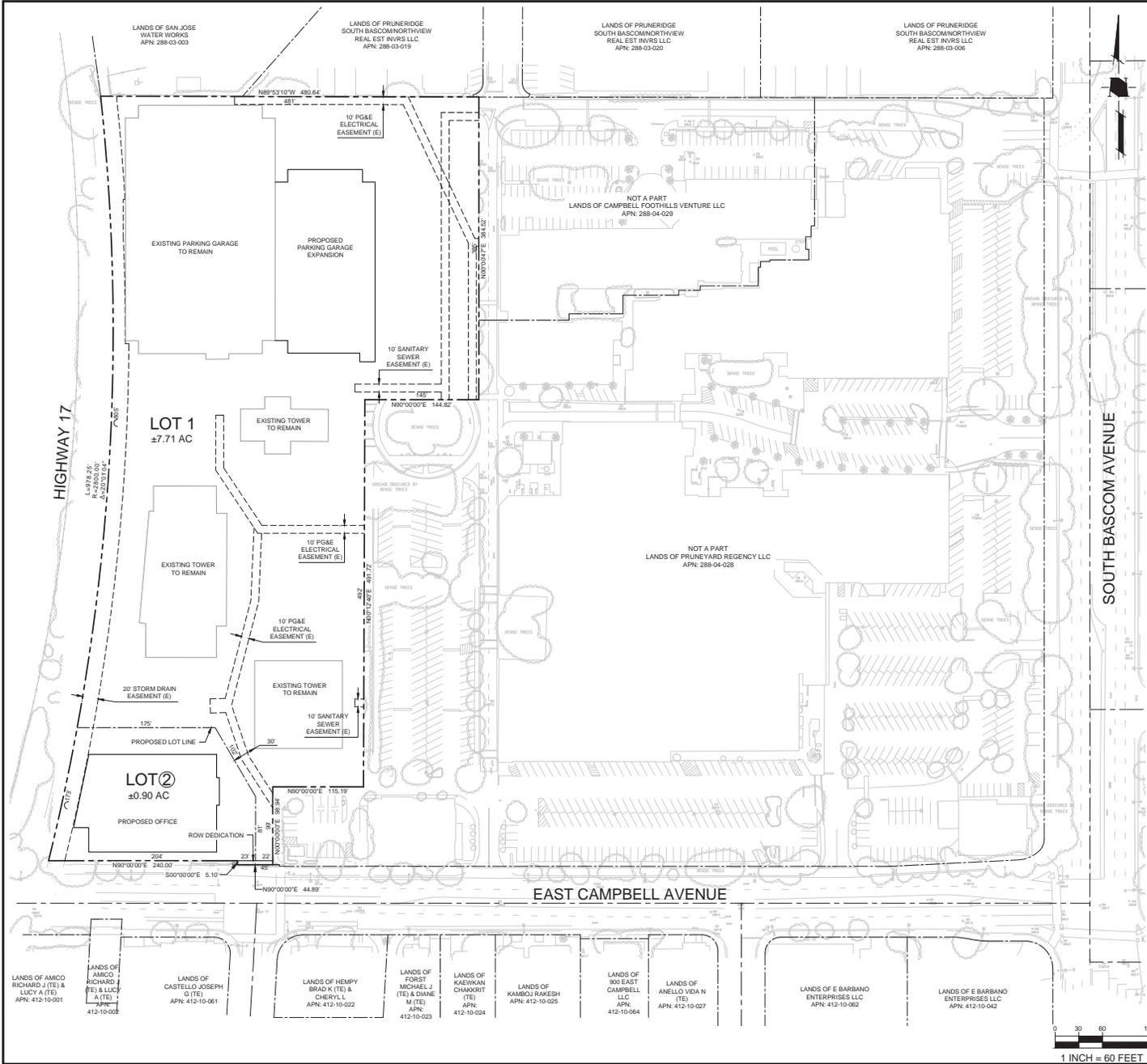
Existing Parcels



Proposed Office Parcel



THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THIS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THIS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THIS REPORT.



- LEGEND**
- TENTATIVE MAP BOUNDARY
 - PROPOSED LOT LINE
 - EXISTING PROPERTY LINE
 - PROPOSED EASEMENT
 - EXISTING EASEMENT
 - CENTER LINE
 - EXISTING BUILDING
 - EXISTING (E)
 - PROPOSED (P)

- GENERAL NOTES**
- PROJECT NAME: THE PRUNEYARD
 - OWNER: CPEP PRUNEYARD LLC, 1901 S. BASCOM AVENUE, CAMPBELL, CA 95008
 - SUBDIVIDER: ELLIS PARTNERS LLC, 111 SUTTER ST #800, SAN FRANCISCO, CA 94104
 - ENGINEER: HMM ENGINEERS, 1570 OAKLAND ROAD, SAN JOSE, CA 95131
 - STREET LOCATION: 1901 SOUTH BASCOM AVE.
 - EXISTING ZONING: GENERAL COMMERCIAL
 - EXISTING GP DESIGNATION: GENERAL COMMERCIAL
 - EXISTING USE: RETAIL HOTEL OFFICE
 - PROPOSED USE: RETAIL HOTEL OFFICE
 - WATER SUPPLY: SAN JOSE WATER COMPANY
 - SEWAGE DISPOSAL: WEST VALLEY SANITATION DISTRICT
 - ASSESSOR'S PARCEL #S: 288-04-027
 - STREET TREES: SHALL CONFORM TO CITY OF CAMPBELL STANDARDS
 - TOTAL SITE AREA: 48.61 ACRES
 - RIGHT-OF-WAY DEDICATION: 46.00 ACRES
 - NET SITE AREA: 48.61 ACRES
 - EXISTING LOTS: 1 LOT
 - PROPOSED LOTS: 2 LOTS
 - FLOOD ZONE: ZONE X

- REFER TO PLANNING APPLICATIONS PLN2015-76, PLN2015-77, PLN2015-79, AND PLN2020-64 FOR GRADINGS AND DRAINAGE, STORMWATER, AND CROSS SECTIONS FOR THE PROJECT.
- THE TITLE REPORT THAT WAS USED FOR THE PREPARATION OF THIS MAP WAS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER: NCS6246664-SL, DATED: DECEMBER 14, 2016.
- ALL DIMENSIONS DEPICTED HEREON ARE APPROXIMATE AND ARE SUBJECT TO REVISION AT FINAL MAPS STAGE.
- TOPOGRAPHY PROVIDED BY AERO-GEODECTIC, DATED 6/15/2007.
- ALL EXISTING BUILDINGS TO REMAIN.
- THE PARCELS CREATED BY THIS MAP WILL BE SUBJECT TO THE COVENANTS, CONDITIONS, AND RESTRICTIONS CONTAINED IN A SEPARATE DOCUMENT TO BE RECORDED IN CONJUNCTION WITH THE MAP.
- THE COVENANTS SHALL BE RECORDED WHICH OBLIGATE EXISTING AND FUTURE PROPERTY OWNERS TO JOINTLY PROVIDE FOR STREET IMPROVEMENTS, AS REQUIRED BY CHAPTER 11.24 OF THE CAMPBELL MUNICIPAL CODE.
- EASEMENTS NOTED AS FUTURE MAY BE REQUIRED IF NEW DEVELOPMENT OCCURS.
- INGRESS/EGRESS, RECIPROCAL PARKING, UTILITY, STORM DRAIN RELEASE EASEMENTS ARE TO BE OUTLINED IN THE CC&RS.
- EMERGENCY VEHICLE ACCESS EASEMENTS ARE TO BE DESIGNATED ON PARCEL MAP.
- DEMOLITION PERMITS MAY BE ISSUED PRIOR TO ISSUANCE OF FINAL BUILDING PERMITS AND RECORDED OF FINAL MAP.
- NO WELLS EXIST ON THIS SITE.
- NO NEW STREET NAMES HAVE BEEN APPROVED AT THIS TIME.
- PROJECT WILL PROVIDE MONUMENTATION PER CITY CODE 20.76.010. IN THE EVENT MONUMENTATION CANNOT BE PROVIDED PER CITY CODE, DOCUMENTATION AND PHOTOS WILL BE PROVIDED TO THE CITY ENGINEER INDICATING THE PREMISE FOR DEVIATION FROM CITY MONUMENTATION CODE.



**TENTATIVE PARCEL MAP
 PLN2020-
 THE PRUNEYARD
 1901 SOUTH BASCOM AVE, CAMPBELL**

NO	DATE	DESCRIPTION

PROJECT NO:	3655.70
CAD DWG FILE:	288510TM.DWG
DESIGNED BY:	MP
DRAWN BY:	MP
CHECKED BY:	AM
DATE:	SEPTEMBER 16, 2020
SCALE:	1" = 60'
© HMM	

**VESTING
 TENTATIVE PARCEL
 MAP**

TM-1
 PLOTTED: 09/23/2020 09:31:37

