



**CITY OF CAMPBELL**  
**Community Development Department**

January 15, 2021

**NOTICE OF PUBLIC HEARING**  
**THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **January 26, 2021**, for a Public Hearing to consider the application of Ana Manzo for a Site and Architectural Review Permit (PLN2019-235) to allow for the construction of a new 3,149 sq. ft. two-story single-family residence on property located at **1362 Hacienda Court**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

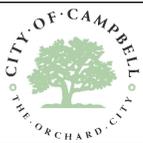
Interested persons may register to electronically participate in this Zoom PC meeting at [https://us02web.zoom.us/webinar/register/WN\\_CaZgE3SzQ0q4JsWeEOxQaA](https://us02web.zoom.us/webinar/register/WN_CaZgE3SzQ0q4JsWeEOxQaA). After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, January 22nd, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to [planning@campbellca.gov](mailto:planning@campbellca.gov). Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, January 15<sup>th</sup> on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or [ClerksOffice@campbellca.gov](mailto:ClerksOffice@campbellca.gov) at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

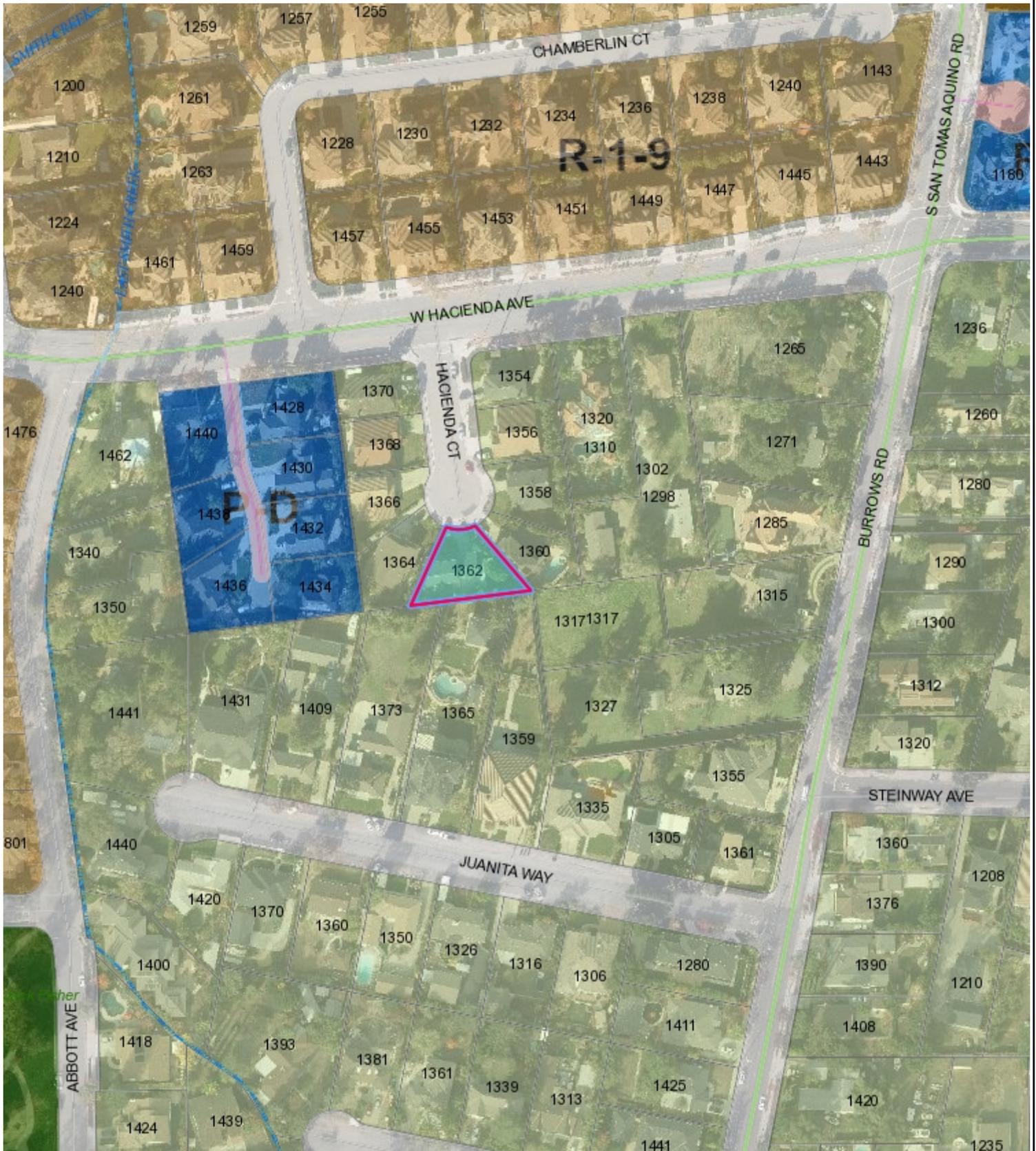
PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE:

When calling on this Notice, refer to **1362 Hacienda Court**



# 1362 Hacienda Court



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



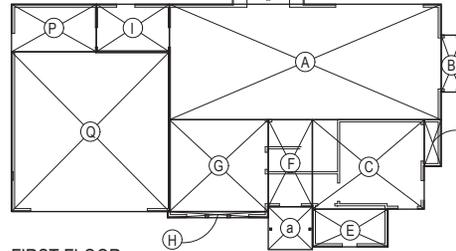
INTERIORS  
REMODEL +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

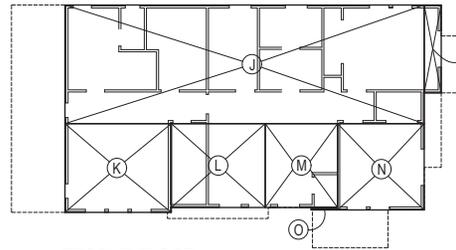
T 408.292.3252  
F 253.399.1125

## FLOOR AREA DIAGRAM

AREA	DIMENSIONS	SF
<b>FLOOR AREA CALCULATIONS</b>		
<b>MANORHOUSE</b>		
A - manorhouse	37'-0" x 10'-0"	370.0
B - manorhouse	2'-10" x 17'-0"	22.0
C - manorhouse	19'-0" x 12'-0"	188.0
D - manorhouse	2'-4" x 10'-0"	19.0
E - manorhouse	10'-0" x 12'-0"	54.0
F - manorhouse	8'-0" x 11'-0"	72.0
G - manorhouse	13'-0" x 12'-0"	129.0
H - manorhouse	13'-0" x 10'-0"	119.0
I - manorhouse	10'-0" x 10'-0"	89.0
<b>SUB TOTAL</b>		
J - manorhouse	48'-0" x 18'-0"	864.0
K - manorhouse	2'-0" x 12'-0"	24.0
L - manorhouse	14'-0" x 12'-0"	179.0
M - manorhouse	12'-0" x 11'-0"	132.0
N - manorhouse	8'-0" x 11'-0"	114.0
O - manorhouse	11'-0" x 11'-0"	146.0
P - manorhouse	3'-0" x 12'-0"	36.0
<b>SUB TOTAL</b>		
Q - manorhouse	11'-0" x 8'-0"	79.0
R - manorhouse	21'-0" x 12'-0"	424.0
<b>SUB TOTAL</b>		
TOTAL FLOOR AREA		3,149
<b>COVERED PORCHES</b>		
S - manorhouse	6'-0" x 9'-0"	36.0
TOTAL		36



FIRST FLOOR  
SCALE: 1/8" = 1'-0"



SECOND FLOOR  
SCALE: 1/8" = 1'-0"

## PROJECT DATA

**PROJECT ADDRESS:** 1362 HACIENDA CT  
**A.P.N.:** 403-16-082  
**LOT AREA:** 7,036 SF<sup>2</sup>  
**ZONING =** R-1:10 (SAN TOMAS NEIGHBORHOOD PLAN)  
 "LEGAL NONCONFORMING LOT - DOESN'T MEET LOT SIZE REQUIREMENTS FOR THE DISTRICT IN WHICH LOCATED. WILL BE BASED ON STANDARDS FOR R1-6."  
**YEAR BUILT =** 1981  
**OCCUPANCY =** R3/U (SINGLE FAMILY DWELLING / UTILITY)  
**CONSTRUCTION TYPE =** V-B  
**REQUIRED PARKING:** 2 OFF STREET SPACES

**SETBACKS**  
**FRONT:** 25'  
**SIDE:** GREATER OF 5' OR HALF OF BUILDING WALL HEIGHT  
**REAR:** 20'

**BUILDING HEIGHT**  
**HOUSE:** ALLOWED 35' PROPOSED ± 24'-11"

**MAX FLOOR AREA RATIO (FAR) =** .45 OR 3,166 SF (7,036 SF x .45)  
**MAX LOT COVERAGE =** .40 OR 2,814 SF (7,036 SF x .40)

FLOOR AREA RATIO	ALLOWED	PROPOSED
HABITABLE HOUSE		
FIRST FLOOR	1,189 SF	1,189 SF
SECOND FLOOR	1,409 SF	1,409 SF
SUB TOTAL	2,598 SF	2,598 SF

ATTACHED GARAGE	ALLOWED	PROPOSED
GARAGE	551 SF	551 SF
TOTAL	3,166 SF	3,149 SF

BUILDING COVERAGE	ALLOWED	PROPOSED
FIRST FLOOR	1,189 SF	1,189 SF
GARAGE	551 SF	551 SF
FRONT PORCH	36 SF	36 SF
TOTAL	2,814 SF (40%)	1,776 SF(25%)

IMPERVIOUS AREA	ALLOWED	PROPOSED
RESIDENCE	1,189 SF	1,189 SF
ATTACHED GARAGE	551 SF	551 SF
DRIVEWAY	475 SF	475 SF
PORCH	36 SF	36 SF
HARDSCAPE	81 SF	81 SF
TOTAL	2,332 SF	2,332 SF

PERVIOUS AREA (REAR DECK) 372 SF

TOTAL LANDSCAPE AREA	ALLOWED	PROPOSED
FRONT YARD	890 SF (573 LAWN + 317 MULCH)	890 SF
REAR YARD	3,384 SF (492 LAWN + 2,536 MULCH, 354 LANDSCAPE STRIP)	3,384 SF

MIN. ONE TREE PER 2,000 SF OF NET LOT AREA: 4 TREES REQUIRED, MIN.

## INDEX

- A1.1 Cover Sheet
- BMP Blasting for Clean Bay
- T-1 Topographic Survey
- A1.4 Existing Site Plan
- A1.5 Proposed Site Plan
- A1.6 Proposed Grading Requirements
- A1.7 Tree Survey/Photos
- A2.1 Existing First + Second Floor Plan (For Reference Only)
- A2.2 Existing Roof Plan (For Reference Only)
- A2.3 Proposed First Floor Plan
- A2.4 Proposed Second Floor Plan
- A2.5 Proposed Roof Plan
- A3.1 Existing Exterior Elevations (For Reference Only)
- A3.2 Proposed Exterior Elevations
- A3.3 Proposed Exterior Elevations
- A4.1 Building Sections
- A4.2 Building Sections

- NEW DRIVEWAY + ENCROACHMENT PERMIT**
- 1 Title Sheet
  - 2 Details
- SUPPORTING DOCUMENTS**
- Materials Board (2 pgs.)
  - 3D Renderings (3 pgs.)
  - Privacy Plan (1 pg.)
  - Neighborhood Subject + Adjacent Properties (3 pgs.)

## PROJECT INFO.

**Owner:** Karlynn Kawazoe + Konji Chuang  
 1362 Hacienda Ct  
 Campbell, California 95008

**Designer:** Studio 3 Design  
 Contact: Bess Wersema  
 bess@studio-three.com  
 638 University Avenue  
 Los Gatos, California 95032  
 ph: (408) 292-3252  
 fax: (253) 399-1125

**Topic Survey:** C & D.C., Inc.  
 Contact: Velimir Sulic  
 masonsulic@abglobal.net  
 5901 Casde Drive  
 San Jose, California 95123  
 ph: (408) 966-0165

## PROJECT DESCRIPTION

This project is for the demolition of an existing, two-story, single family residence w/attached garage, and the construction of a new, 3,149 SF, two-story, single family residence (2,598 SF + 551 SF) w/attached garage.

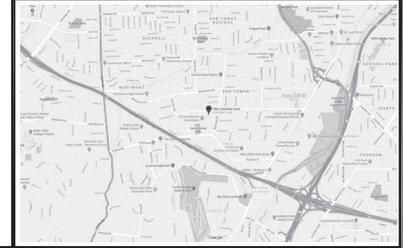
## PARCEL MAP



KAWAZOE CHUANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

A.P.N. 403-16-082

## VICINITY MAP



19 FEBRUARY 2019

6 DECEMBER 2019  
SITE + ARCH SUBMITTAL

30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II

11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

## SCC FIRE DEPARTMENT NOTES

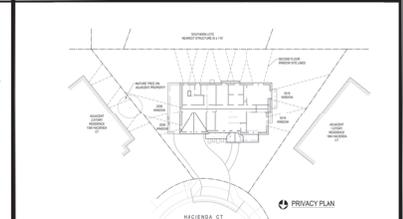
**Fire Sprinklers Required:** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings (including attached garages) as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,500 sq. ft.

**Water Supply Requirements:** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

**Address identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background.

**Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S 1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

## PRIVACY PLAN



SCALE: N/A

COVER SHEET

## STREETSCAPE PHOTOS + DRAWING



1358 HACIENDA CT



1360 HACIENDA CT



1362 HACIENDA CT - PROJECT SITE



1362 HACIENDA CT - PROJECT SITE



1364 HACIENDA CT



1366 HACIENDA CT



1360 HACIENDA CT



1362 HACIENDA CT



1364 HACIENDA CT

\*PROJECT IS LOCATED AT THE END OF CUL-DE-SAC - ADJACENT HOMES ARE SKEWED + NOT AS SHOWN

FRESH CONCRETE AND MORTAR APPLICATION		LANDSCAPING, GARDENING, AND POOL MAINTENANCE		LANDSCAPING/GARDEN MAINTENANCE		HEAVY EQUIPMENT OPERATION		PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES	
BEST MANAGEMENT PRACTICES FOR:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:		BEST MANAGEMENT PRACTICES FOR THE:	
<ul style="list-style-type: none"> <li>• Masons and bricklayers</li> <li>• Sidewalk construction crews</li> <li>• Patio construction workers</li> <li>• Construction inspectors</li> <li>• General contractors</li> <li>• Home builders</li> <li>• Developers</li> </ul>	<ul style="list-style-type: none"> <li>• When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.</li> <li>• Place hay bales or other erosion control down-slope to capture runoff carrying mortar or cement before it reaches the storm drain.</li> </ul>	<ul style="list-style-type: none"> <li>• Landscapers</li> <li>• Gardeners</li> <li>• Swimming pool/spa service and repair workers</li> <li>• General contractors</li> <li>• Home builders</li> <li>• Developers</li> </ul>	<ul style="list-style-type: none"> <li>• Never discharge pool or spa water to a street or storm drain.</li> <li>OR</li> <li>• When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.</li> </ul>	<ul style="list-style-type: none"> <li>• Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.</li> <li>• Dispose of unused pesticide as hazardous waste.</li> <li>• Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.</li> <li>• In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that accepts yard waste.</li> <li>• Do not place yard waste in gutters.</li> <li>• Do not hoes or rake leaves, etc. into the street.</li> </ul>	<ul style="list-style-type: none"> <li>• Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup method (absorbent materials, cat litter, and/or rags) whenever possible. If you must use water, use just enough to keep the dust down.</li> <li>• Sweep up spilled dirty materials immediately. Never attempt to wash them away with water or bury them. Use a little water as possible for dust control.</li> <li>• Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.</li> <li>• Report significant spills to the appropriate spill response agencies immediately.</li> </ul>	<ul style="list-style-type: none"> <li>• Painters</li> <li>• Paperhangers</li> <li>• Plasterers</li> <li>• Graphic artists</li> <li>• Dry wall crews</li> <li>• Floor covering installers</li> <li>• General contractors</li> <li>• Home builders</li> <li>• Developers</li> </ul>	<ul style="list-style-type: none"> <li>• Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.</li> <li>• For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.</li> <li>• For oil based paints, paint out brushes to the extent possible. Filter and reuse thinners and solvents. Dispose of excess liquids and residue in hazardous waste.</li> <li>• Recycle/reuse leftover paints whenever possible.</li> <li>• Recycle excess water-based paint, or use as disposal of excess liquid, including sludges, as hazardous waste.</li> <li>• Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.</li> </ul>	<p>Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.</p>	<p>WHAT CAN YOU DO?</p> <ul style="list-style-type: none"> <li>• Recycle/reuse leftover paints whenever possible.</li> <li>• Recycle excess water-based paint, or use as disposal of excess liquid, including sludges, as hazardous waste.</li> <li>• Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.</li> </ul>
<p><b>GENERAL BUSINESS PRACTICES</b></p> <ul style="list-style-type: none"> <li>• Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff.</li> <li>• Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.</li> <li>• Wash out concrete mixers only in designated washout areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.</li> </ul>	<p><b>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</b></p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.</p>	<p><b>GENERAL BUSINESS PRACTICES</b></p> <ul style="list-style-type: none"> <li>• Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.</li> <li>• Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.</li> <li>• Schedule grading and excavation projects for dry weather.</li> <li>• Use temporary check dams or ditches to divert runoff away from storm drains.</li> <li>• Protect storm drains with hay bales or other erosion control.</li> <li>• Revegetation is an excellent form of erosion control for any site.</li> </ul>	<p><b>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</b></p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.</p>	<p><b>STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE</b></p> <p>Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by installing equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.</p>	<p><b>PAINT REMOVAL</b></p> <ul style="list-style-type: none"> <li>• Chemical paint stripping residue is a hazardous waste.</li> <li>• Chips and dust from mastic paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately.</li> <li>• Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.</li> <li>• When stripping or cleaning liquid or solid products or from building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spuds into soil. Or, check with the local wastewater treatment authority to find out if you can collect (emp or ocean) building cleaning water and dispose of the sanitary sewer.</li> </ul>	<p><b>STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES</b></p> <p>All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to dump brushes in an area where paint residue can flow to a gutter, street, or storm drain.</p>	<p>Date: 07/29/03</p> <p>Revision:</p> <p>By:</p> <p>Drawn By:</p> <p>Design By:</p>		
<p><b>DURING CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>• Don't mix up fresh concrete or cement than you will use in a day.</li> <li>• Set up and operate small mixers on tarps or heavy plastic drop cloths.</li> </ul>	<p><b>DURING CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>• Remove existing vegetation only when absolutely necessary.</li> <li>• Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.</li> <li>• Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.</li> <li>• Use check dams or ditches to divert runoff around excavations.</li> <li>• Cover stockpiles and excavated soil with secured tarps or plastic sheeting.</li> </ul>	<p><b>ROADWORK AND PAVING</b></p> <p><b>DETECTING CONTAMINATED SOIL OR GROUNDWATER</b></p> <p>As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.</p> <p><b>WATCH FOR ANY OF THESE CONDITIONS:</b></p> <ul style="list-style-type: none"> <li>• Unusual soil conditions, discoloration, or odor</li> <li>• Abandoned underground tanks</li> <li>• Abandoned wells</li> <li>• Buried barrels, debris, or trash</li> </ul> <p><b>STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES</b></p> <p>Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of soil instability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff eroding a site and slow the flow with check dams or roughened ground surfaces.</p>	<p><b>GENERAL BUSINESS PRACTICES</b></p> <ul style="list-style-type: none"> <li>• Road Crews</li> <li>• Driveway/sidewalk/parking lot construction crews</li> <li>• Seal coat contractors</li> <li>• Operators of grading equipment</li> <li>• Dump trucks</li> <li>• Concrete mixers</li> <li>• Construction inspectors</li> <li>• General contractors</li> <li>• Developers</li> </ul> <p><b>WHAT CAN YOU DO?</b></p> <ul style="list-style-type: none"> <li>• Develop and implement erosion/sediment control plans for embankments.</li> <li>• Schedule excavation and grading work for dry weather.</li> <li>• Check for and repair leaking equipment.</li> <li>• Perform major equipment repairs in designated areas at your yard, away from the construction site.</li> </ul> <p><b>ASPHALT/CONCRETE REMOVAL</b></p> <ul style="list-style-type: none"> <li>• Avoid creating excess dust when breaking asphalt or concrete.</li> <li>• After breaking old pavement, be sure to remove all chunks and pieces.</li> <li>• Make sure broken pavement does not come in contact with rainfall or runoff.</li> <li>• Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.</li> <li>• Never hose down streets to clean up tracked dirt.</li> </ul> <p><b>STORM DRAIN POLLUTION FROM ROADWORK</b></p> <p>Road paving, surfacing, and pavement removal happens right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>	<p><b>GENERAL CONSTRUCTION AND SITE SUPERVISION</b></p> <p><b>BEST MANAGEMENT PRACTICES FOR THE: MATERIALS/WASTE/HANDLING</b></p> <ul style="list-style-type: none"> <li>• Construction industry</li> <li>• Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.</li> <li>• Use recyclable materials whenever possible.</li> <li>• Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay.) Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.</li> </ul> <p><b>STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES</b></p> <p>Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street cause a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.</p>	<p><b>BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION</b></p> <p>In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or baysides. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.</p> <p>Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.</p> <p>Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.</p>	<p><b>SPILL RESPONSE AGENCIES</b></p> <ul style="list-style-type: none"> <li>1. Dial 911</li> <li>2. Santa Clara Valley Water District Environmental Compliance Division (408) 927/4710.</li> <li>3. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours).</li> </ul> <p><b>Local Pollution Control Agencies</b></p> <ul style="list-style-type: none"> <li>Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195</li> <li>Santa Clara Valley Water District (408) 927-0710</li> <li>San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300</li> <li>Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga</li> <li>Sunnyvale Water Pollution Control Plant (408) 730-7270</li> <li>Palo Alto Regional Water Quality Control Plant (415) 238-2298</li> <li>Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford</li> </ul>	<p><b>ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL</b></p> <p><b>A. Criminal Penalties.</b> Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p><b>B. Civil Penalties.</b> Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys' fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p><b>C. Civil Liability.</b> Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys' fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p><b>D. Remedies Cumulative.</b> The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p>		

# Blueprint for a Clean Bay

## BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

### SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

PLAN FOR THE IMPROVEMENT OF  
**BLUEPRINT FOR A CLEAN BAY**  
 ENGINEERING PERMIT INC.



SCALE:  
N.T.S.

SHEET:  
X OF X





INTERIORS  
REMODEL +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

KAWAZDE CHUANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019

6 DECEMBER 2019  
SITE + ARCH SUBMITTAL

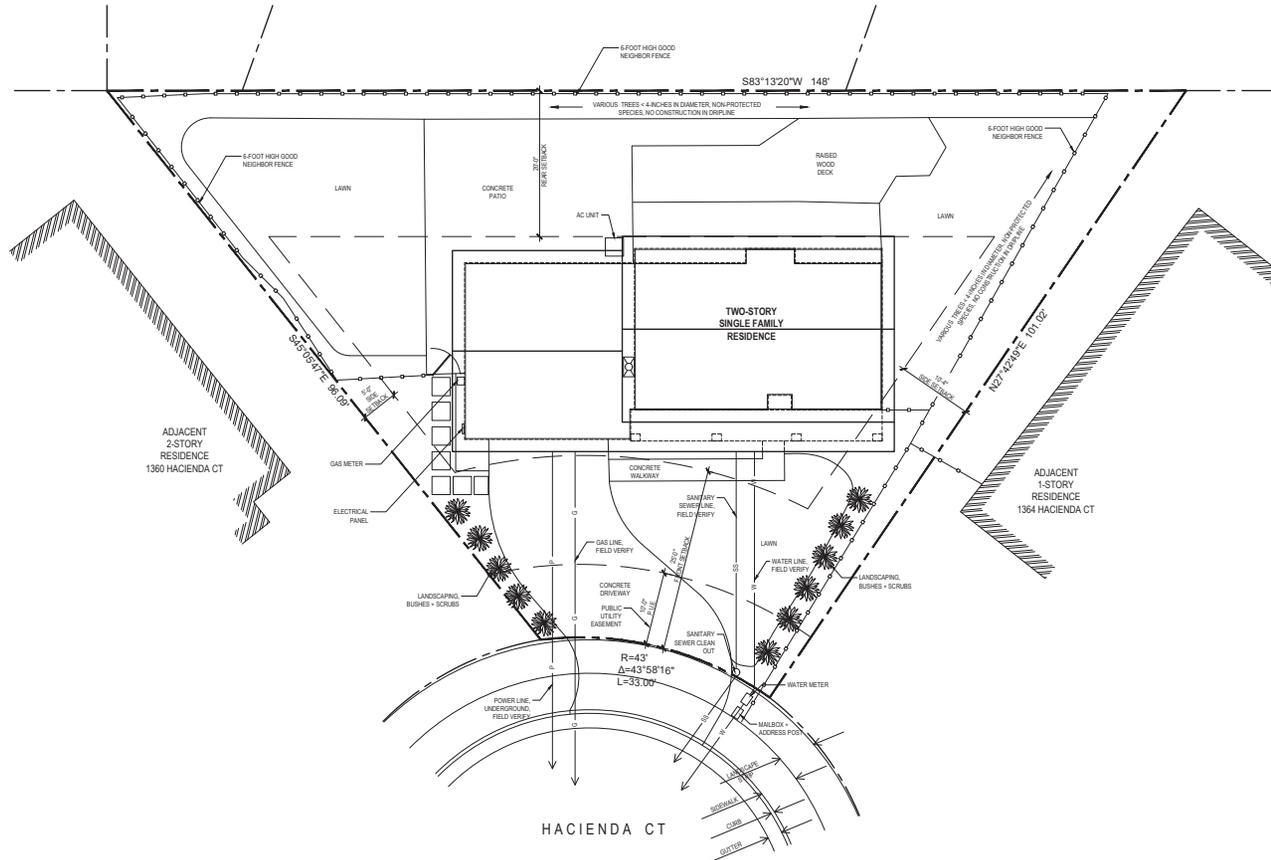
30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II

11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

EXISTING SITE PLAN

A1.4



EXISTING SITE PLAN

GENERAL NOTES:

1. THE SITE IS FLAT AND REQUIRES NO GRADING ANTICIPATED.
2. MAINTAIN EXISTING DRAINAGE PATTERNS.
3. EXISTING WATER AND SEWER SERVICE TO REMAIN AS IS.
4. CONTRACTOR TO VERIFY METERS & STREET NUMBER & ROADSIDE IN FRONT OF PROJECT.
5. RECYCLE AND/OR SALVAGE FOR REUSE MIN. OF 50% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.
6. PROTECT EXISTING STREET STORMWATER WITHIN 200' OF PROJECT SITE OR AS DIRECTED BY CITY ENGINEER.
7. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF SITE OR STOCKPILED IN A MANNER TO AVOID RUNOFF INTO ADJOINING PROPERTIES.
8. ANY MATERIAL STOCKPILED DURING CONSTRUCTION SHALL BE COVERED WITH PLASTIC.

LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- FENCE
- GAS LINE
- WATER LINE
- POWER LINE
- SS — SANITARY SEWER LINE



INTERIORS  
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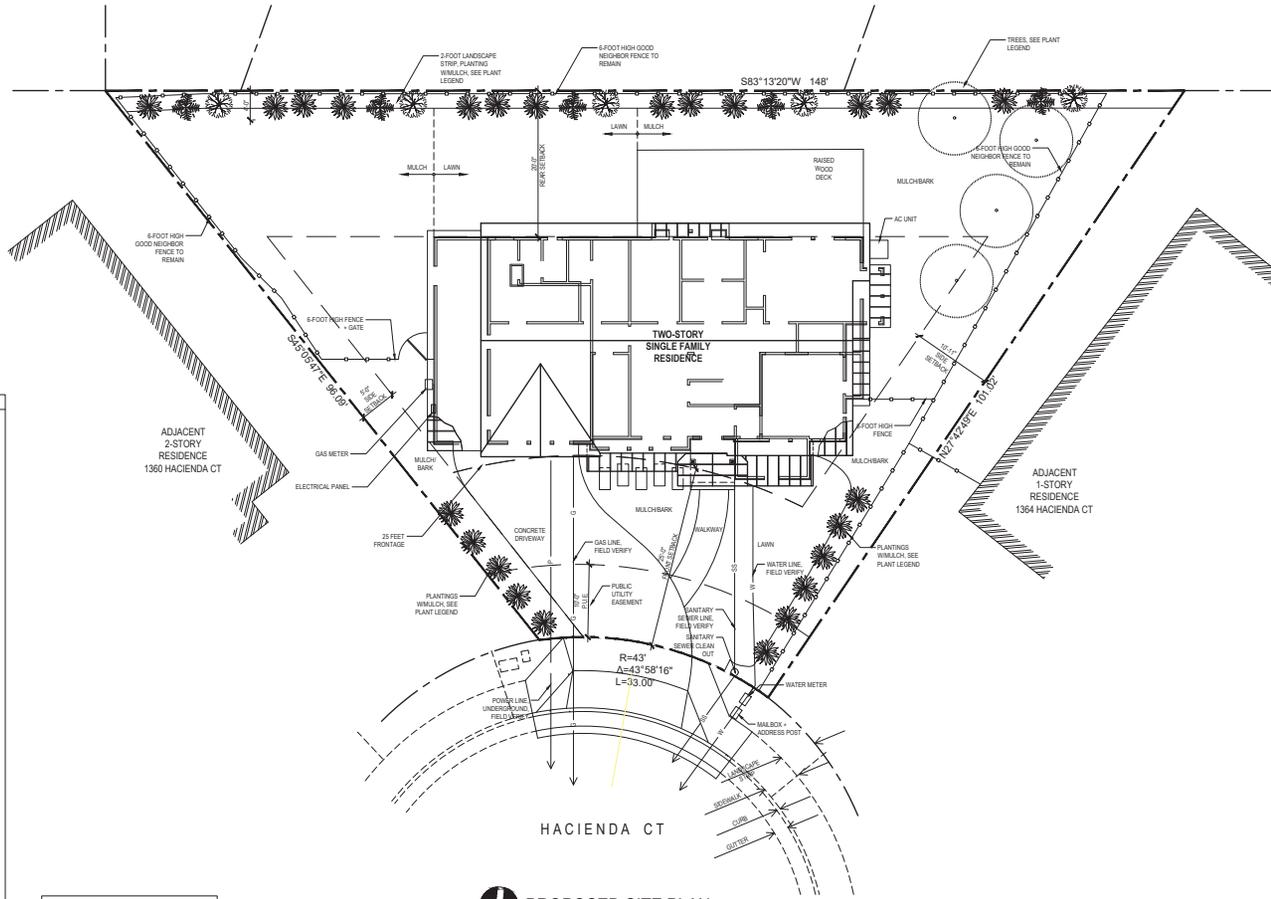
30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II

11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

PROPOSED SITE PLAN

A1.5



PLANT LEGEND	
	5 GALLON ESCALONIA PRUNUS
	5 GALLON BENERBE ROSE GLOW
	24" BOX TREE ARBUTUS MARINA
	24" BOX FRAXINUS RAYWOOD ASH TREE

**LANDSCAPE NOTES + REQUIREMENTS**

COMPLIANCE OPTIONS TO MODEL WATER EFFICIENT LANDSCAPE ORNANCE

TOTAL FRONT YARD: 1,482 SF, MIN. 50% UNPAVED = 741 SF  
LANDSCAPED AREA: 800 SF (57' LAWN + 317 MULCH), 60%  
PAVED AREA: 800 SF (42' DRIVEWAY + 33 MULCHWAY + 38 PORCH + 28 STEPS STONES), 40%

TOTAL LANDSCAPE AREA: 4,274 SF, MAX. 25% LAWN = 1,069 SF  
FRONT YARD: 800 SF (57' LAWN + 317 MULCH)  
REAR YARD: 3,384 SF (42' LAWN + 2,338 MULCH + 354 LANDSCAPE STRIP)

TOTAL LAWN AREA: 1,065 SF (57% FRONT + 48% REAR), 20%  
TOTAL REAR YARD: 3,795 SF (95% LAWN + 233 MULCH)  
34 LANDSCAPE STRIP (172' 0" 0" 0")

MIN. ONE TREE PER 2,000 SF OF NET LOT AREA. 4 TREES REQUIRED. MIN. NO EXISTING TREES ON SITE. NO EXISTING IRRIGATION SYSTEM ON SITE.

PROJECT TYPE: DEMO OF EXISTING SINGLE FAMILY RESIDENCE FOR NEW WATER SUPPLY: SAN JOSE WATER CO.

STATEMENT: I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MODEL.

DATE: 12.11.2020

- INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR CUBIC YARDS PER 1,000 SQUARE FEET TO A DEPTH OF SIX INCHES INTO LANDSCAPE AREAS (UNLESS CONTRADICTION BY A SOIL TEST).
  - PLANT MATERIAL SHALL COMPLY WITH ALL OF THE FOLLOWING:
    - FOR RESIDENTIAL AREAS, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE MUCOLS PLANT FACTOR 1.0) FOR 70% OF THE PLANT AREA INCLUDING EMBELLS AND AREAS USING RECYCLED WATER. FOR NON-RESIDENTIAL AREAS, INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE MUCOLS PLANT FACTOR 1.5) FOR 10% OF THE PLANT AREA INCLUDING EMBELLS AND AREAS USING RECYCLED WATER.
    - A MINIMUM THREE (3) INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, DRIVEWAYS OR HOVING AREAS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRADICTION.
  - TURF SHALL COMPLY WITH ALL OF THE FOLLOWING:
    - TURF SHALL NOT EXCEED 20% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS, AND THERE SHALL BE NO TURF IN NON-RESIDENTIAL AREAS.
    - TURF SHALL NOT BE LAID ON SLOPED AREAS WHICH EXCEED A SLOPE OF 1 FOOT VERTICAL ELEVATION CHANGE FOR EVERY 4 FEET OF HORIZONTAL LENGTH.
    - TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE, UNLESS THE PARKWAY IS ADJACENT TO A PARKING STRIP AND USED TO ENTER AND EXIT VEHICLES. ANY TURF IN PARKWAYS MUST BE IRRIGATED BY SUBSURFACE IRRIGATION OR BY OTHER TECHNOLOGY THAT CREATES NO OVERSPRAY OR RUNOFF.
  - IRRIGATION SYSTEMS SHALL COMPLY WITH THE FOLLOWING:
    - AUTOMATIC IRRIGATION CONTROLLERS ARE REQUIRED AND MUST USE EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA AND UTILIZE A RAIN SENSOR.
    - IRRIGATION CONTROLLERS SHALL BE OF A TYPE WHICH DOES NOT LOGE PROGRAMMING DATA IN THE EVENT THE PRIMARY POWER SOURCE IS INTERRUPTED.
    - PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE THE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURERS RECOMMENDED PRESSURE RANGE.
    - MANUAL SHUT-OFF VALVES (SUCH AS A GATE VALVE, BALL VALVE, OR BUTTERFLY VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
    - ALL IRRIGATION EMISSION DEVICES SHALL MEET THE REQUIREMENTS SET IN THE ANSI STANDARD ASABR/IC 802.014 "LANDSCAPE IRRIGATION EMISSION AND EMISSION TESTS". ALL SPRINKLER HEADS INSTALLED IN THE LANDSCAPE MUST DOCUMENT A DISTRIBUTION UNIFORMITY COEFFICIENT OF 0.95 OR HIGHER USING THE PROTOCOL DEFINED IN ASABR/IC 802.014.
    - AREAS LESS THAN TEN (10) FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCE NO RUNOFF OR OVERSPRAY.
  - FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE, A PRIVATE SUBMITTAL TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A LETTER OF WORK COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE AND A SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

SITE DATA	
EXISTING IMPERVIOUS AREA:	
RESIDENCE	788 SF
ATTACHED GARAGE	948 SF
DRIVEWAY	36 SF
PORCHES	147 SF
MULCH	788 SF
TOTAL	2,716 SF
PROPOSED IMPERVIOUS AREA:	
RESIDENCE	1,189 SF
ATTACHED GARAGE	150 SF
DRIVEWAY	475 SF
PORCH	30 SF
MULCH	81 SF
TOTAL	2,335 SF
NET CHANGE	-413 SF
LOT AREA:	7,038 SF
SITE COVERAGE:	
EXISTING	39%
PROPOSED	33%
NUMBER OF PARKING:	2 (ON SITE)

**PROPOSED SITE PLAN**

- GENERAL NOTES:**
- THE SITE IS FLAT AND REQUIRES NO GRADING UNLESS NOTED.
  - MAINTAIN EXISTING DRAINAGE PATTERNS.
  - EXISTING WATER AND SEWER SERVICE TO REMAIN AS-IS.
  - CONTRACTOR TO VERIFY UTILITIES & STREET NUMBER & ROADSIDE IN FRONT OF PROJECT.
  - THE LANDING SHALL NOT BE MORE THAN 7"3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING AND NOT MORE THAN 1" 1/2" AT DOORS SWINGING OVER THE LANDING.
  - LANDING LENGTH SHOULD NOT EXCEED 3"0" OVER 1"6" WITH A WIDTH EQUAL THAT OF THE ADJACENT OPENING.
  - ALL DOWNSPUTS SHALL HAVE A BRUSH ROD AND BE DIRECTED TO LANDSCAPED AREAS.
  - FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL GABLES.
  - FRESH GRADE AROUND STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% FOR A MINIMUM DISTANCE OF 10 FEET (CFC 180.4).
  - IMPERVIOUS SURFACES WITHIN 15' OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. (CFC 180.4).

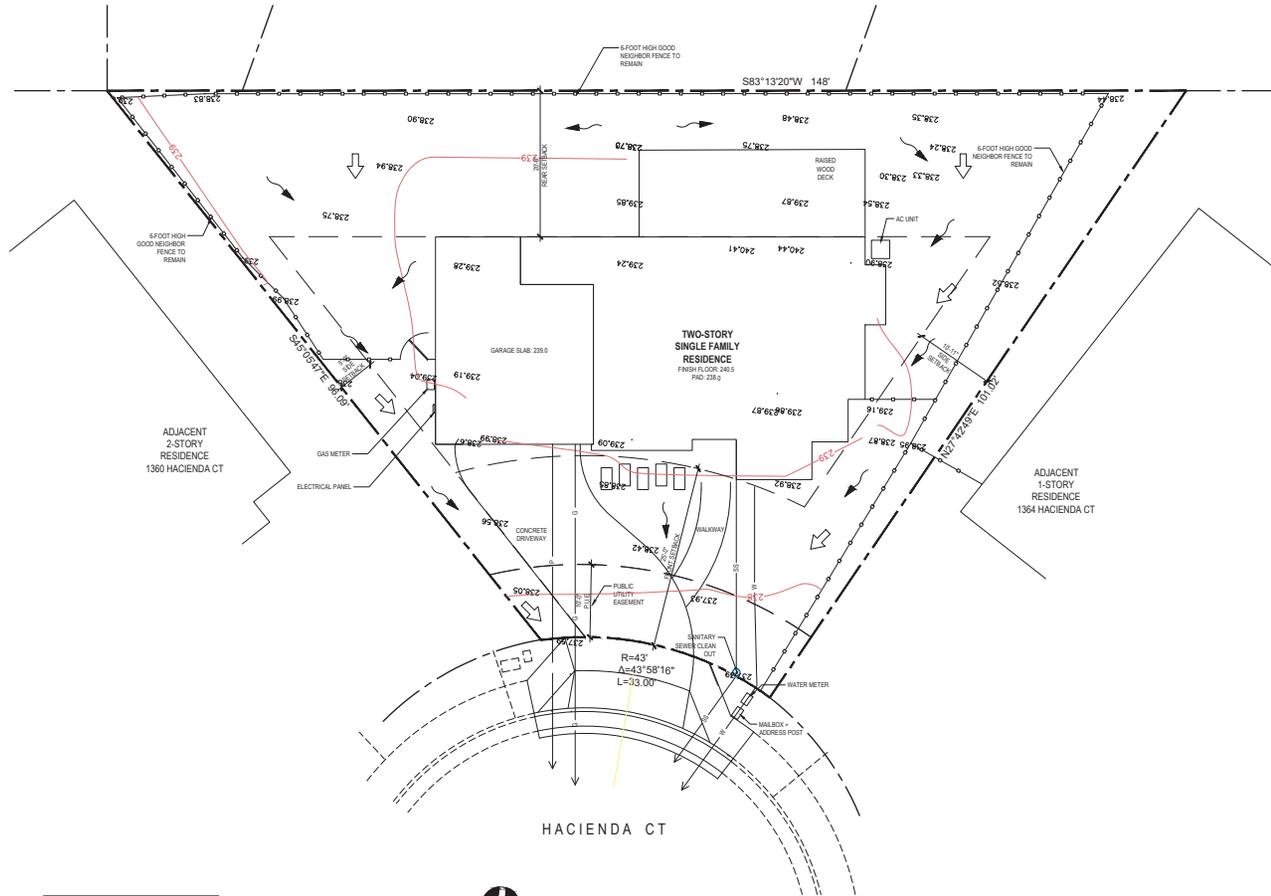
LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	FENCE
	GAS LINE
	WATER LINE
	POWER LINE
	SANITARY SEWER LINE



INTERIORS  
REMODELS +  
ADDITIONS  
NEW CONSTRUCTION

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95032

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SITE DATA:	
EXISTING IMPERVIOUS AREA:	
RESIDENCE	1,284 SF
DRIVEWAY	564 SF
HARDSCAPE	387 SF
TOTAL	2,235 SF
PROPOSED IMPERVIOUS AREA:	
RESIDENCE	1,140 SF
DRIVEWAY	470 SF
HARDSCAPE	117 SF
TOTAL	1,727 SF
NET CHANGE	-17 SF
LOT AREA:	7,036 SF
SITE COVERAGE:	
EXISTING	39%
PROPOSED	33%
NUMBER OF PARKING:	
EXISTING	2 (GARAGE)
PROPOSED	2 (DRIVEWAY)
NO INCREASE/DECREASE IN GRADING	
NO CUT/FILL QUANTITIES	



### PROPOSED SITE PLAN

BASE OF ELEVATION: CITY OF CAMPBELL  
BENCH-MARK: "B" ELEVATION 237.77'  
SEE TOPOGRAPHIC MAP FOR ADDITIONAL INFORMATION

- GENERAL NOTES:**
1. THE SITE IS FLAT AND REQUIRES NO GRADING ANTICIPATED.
  2. MAINTAIN EXISTING DRAINAGE PATTERNS.
  3. EXISTING WATER AND SEWER SERVICE TO REMAIN AS-IS.
  4. ALL DOWNSPUTS SHALL HAVE A SPILLWAY BOX AND BE DIRECTED TO LANDSCAPED AREAS.
  5. FULL ROOF GUTTERS SHALL BE PLACED AROUND ALL EAVES.
  6. FINISH GRADE AROUND STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 1% FOR A MINIMUM DISTANCE OF 10 FEET (CIBC 1854.3).
  7. IMPERVIOUS SURFACES WITHIN 10 FT OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING (CIBC 1854.3).

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	FENCE
	GAS LINE
	WATER LINE
	POWER LINE
	SANITARY SEWER LINE
	DIRECTION OF SURFACE FLOW
	OVERLAND RELEASE

KAWAZOE CHUANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019

6 DECEMBER 2019  
SITE + ARCH SUBMITTAL

30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II

11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

PROPOSED GRADING  
REQUIREMENTS

A1.6



STUDIO THREE DESIGN  
INTERIORS  
REMODEL +  
ADDITIONS  
NEW CONSTRUCTION

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TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



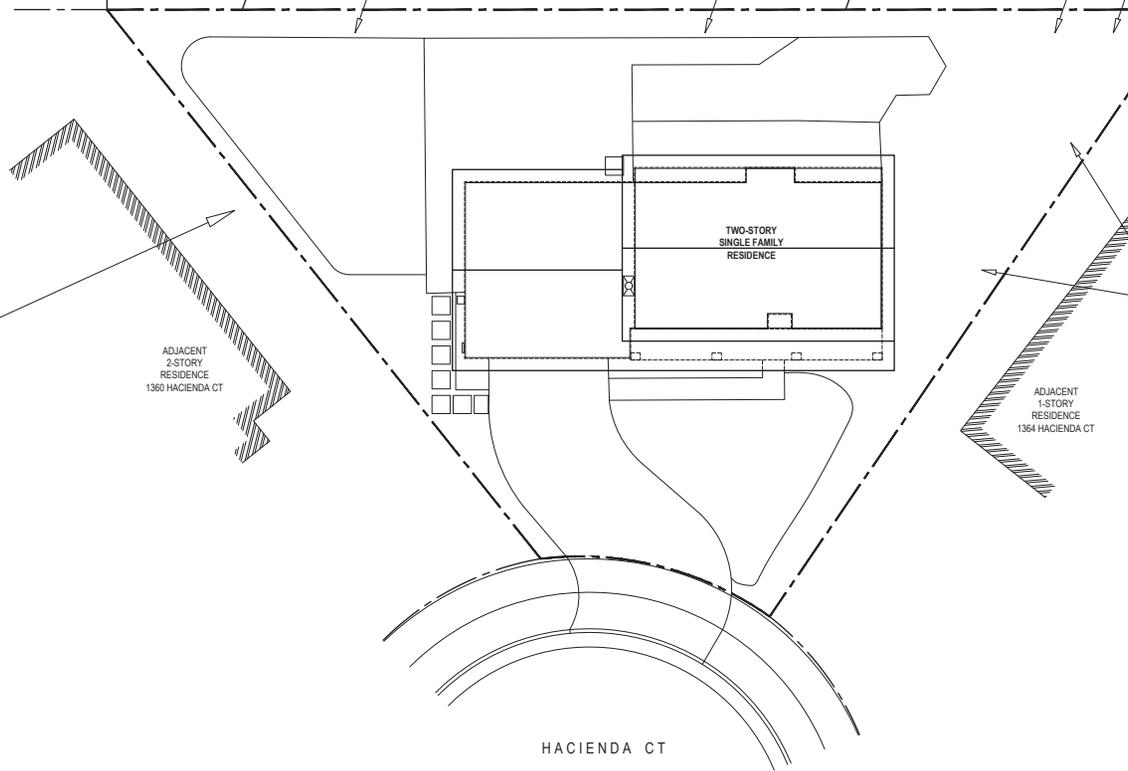
TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



TREE ON ADJACENT PROPERTY,  
FOR REFERENCE ONLY



TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES



TREES < 4-INCHES IN DIAMETER, NON-PROTECTED SPECIES

NO CONSTRUCTION IN DRIPLINE

KAWAZOE CHUANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

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19 FEBRUARY 2019

6 DECEMBER 2019

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SITE + ARCH SUBMITTAL II

11 DECEMBER 2020

SITE + ARCH SUBMITTAL III

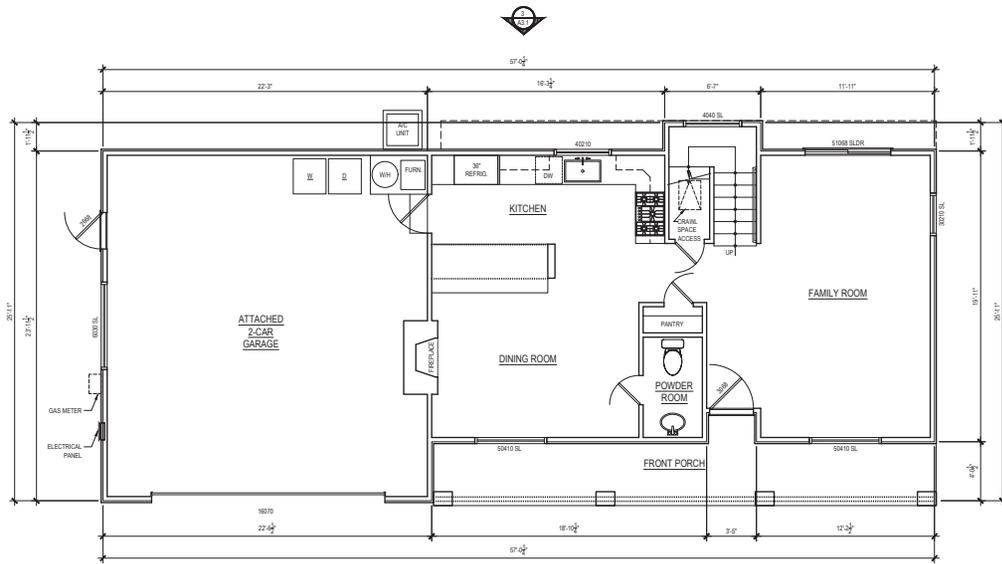
SCALE: NTS

TREE SURVEY

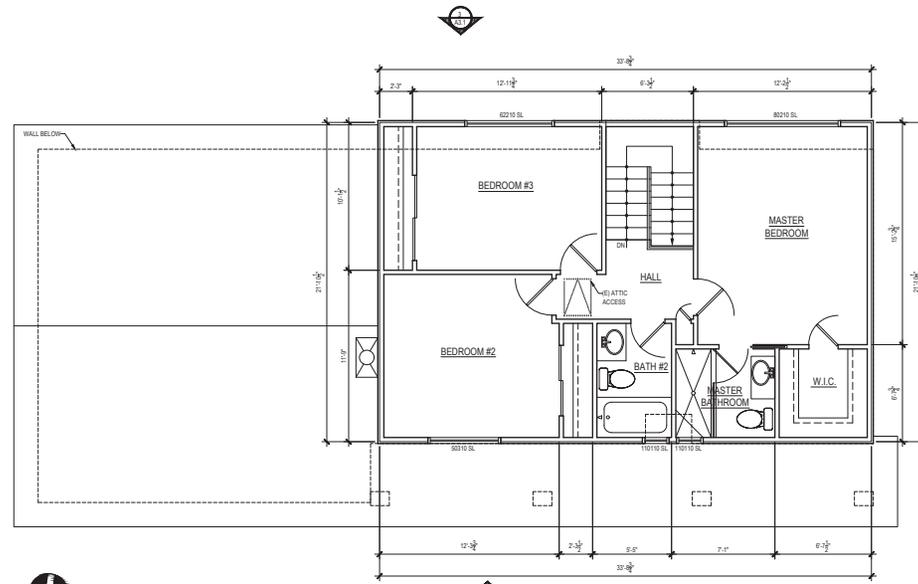
A1.7



INTERIORS  
 REMODELE +  
 ADDITIONS  
 NEW CONSTRUCTION  
 638 UNIVERSITY AVE  
 LOS GATOS  
 CALIFORNIA  
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 **EXISTING FIRST FLOOR PLAN**  
 (FOR REFERENCE ONLY)



 **EXISTING SECOND FLOOR PLAN**  
 (FOR REFERENCE ONLY)

KAWAZOE CHUANG  
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 CA 95008

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19 FEBRUARY 2019

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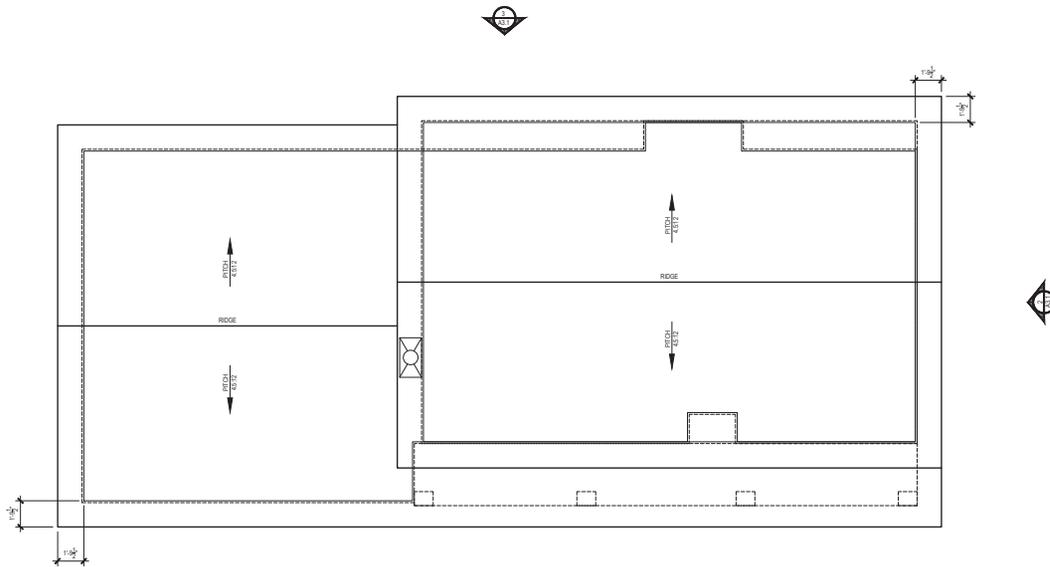
SCALE: 1/8" = 1'-0"

EXISTING FIRST + SECOND  
 FLOOR PLANS  
 (FOR REFERENCE ONLY)

**A2.1**



INTERIORS  
 REMODELS +  
 ADDITIONS  
 NEW CONSTRUCTION  
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 NORTH  
 EXISTING ROOF PLAN  
 (FOR REFERENCE ONLY)

KAWAZOE CHUANG  
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 CAMPBELL,  
 CA 95008

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- 19 FEBRUARY 2019
- 6 DECEMBER 2019  
SITE + ARCH SUBMITTAL
- 30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II
- 11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

SCALE: 1/2" = 1'-0"

EXISTING ROOF PLAN  
 (FOR REFERENCE ONLY)



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 REMODEL +  
 ADDITIONS  
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19 FEBRUARY 2019

6 DECEMBER 2019  
 SITE + ARCH SUBMITTAL

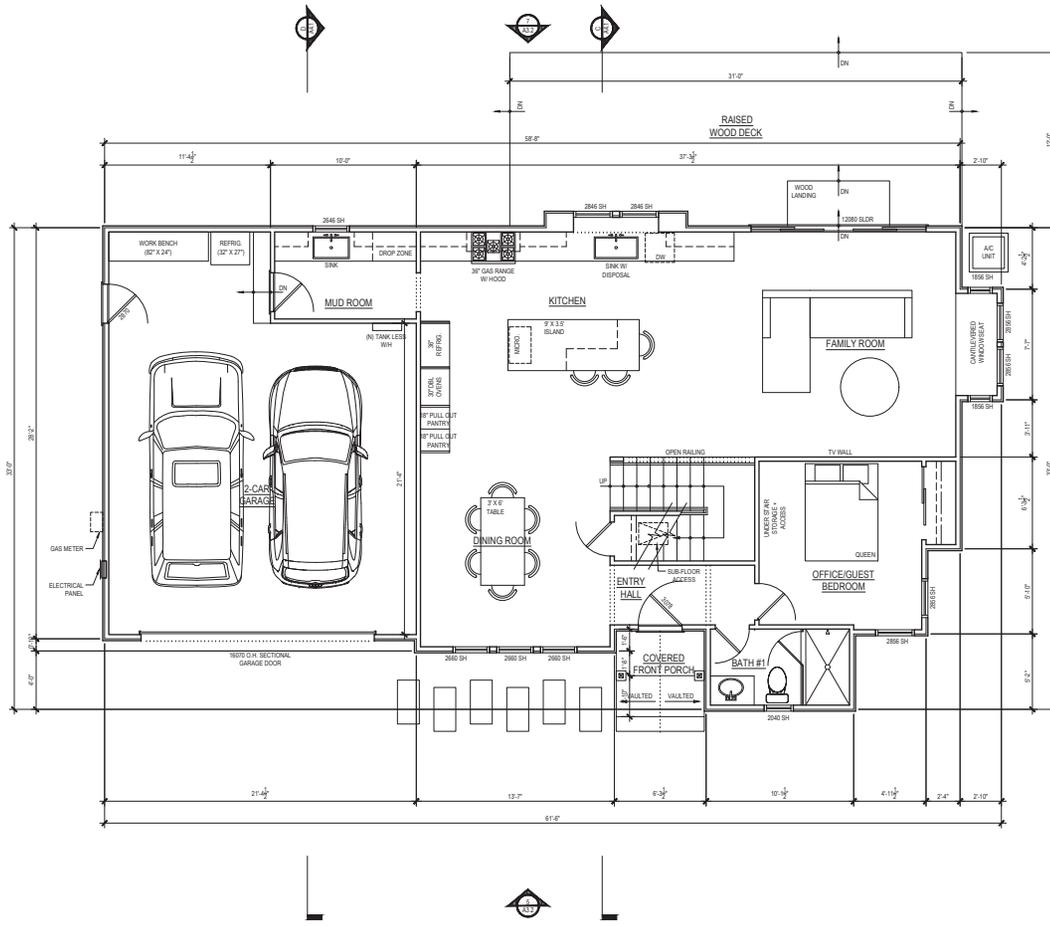
30 SEPTEMBER 2020  
 SITE + ARCH SUBMITTAL II

11 DECEMBER 2020  
 SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

PROPOSED  
 FIRST FLOOR PLAN

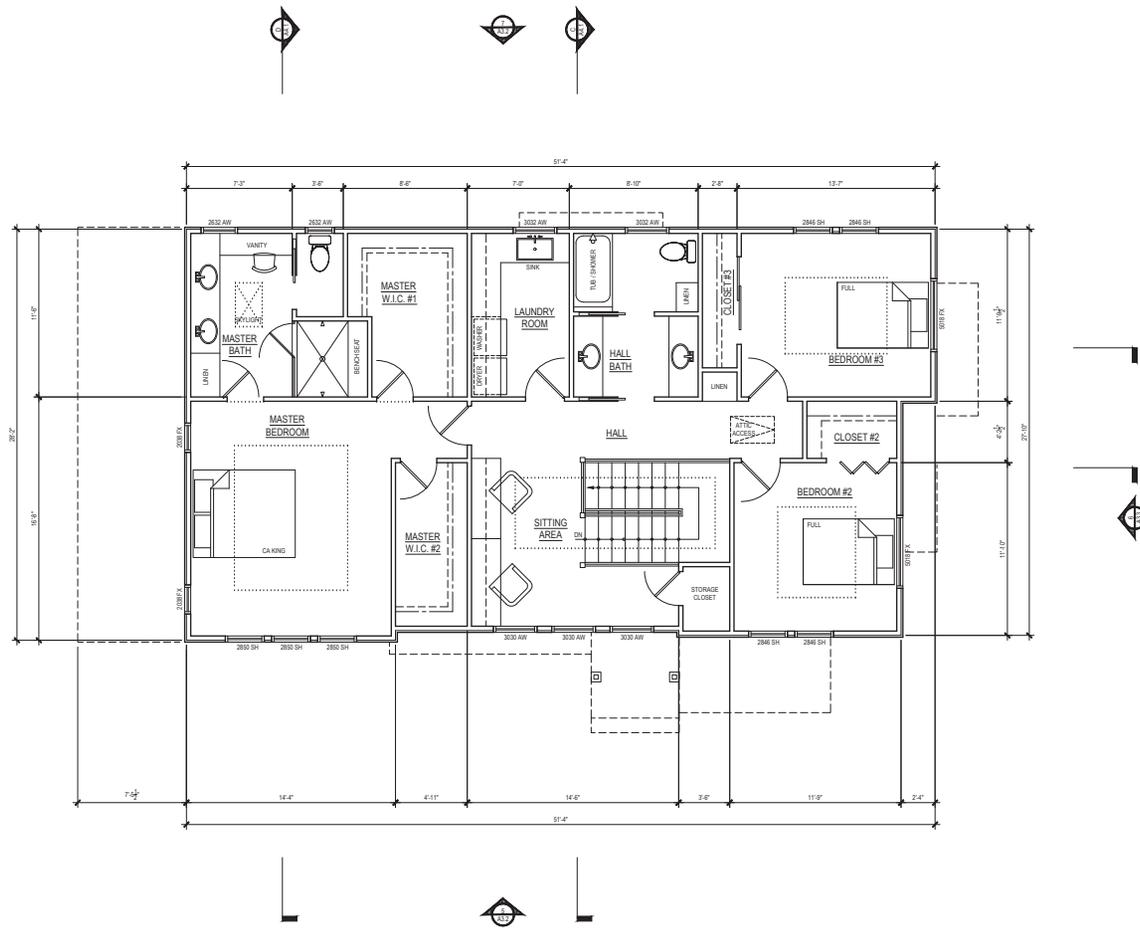
**A2.3**



 **PROPOSED FIRST FLOOR PLAN**  
 NORTH



INTERIORS  
 REMODEL +  
 ADDITIONS  
 NEW CONSTRUCTION  
 638 UNIVERSITY AVE  
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 CALIFORNIA  
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 PROPOSED SECOND FLOOR PLAN

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 CAMPBELL,  
 CA 95008

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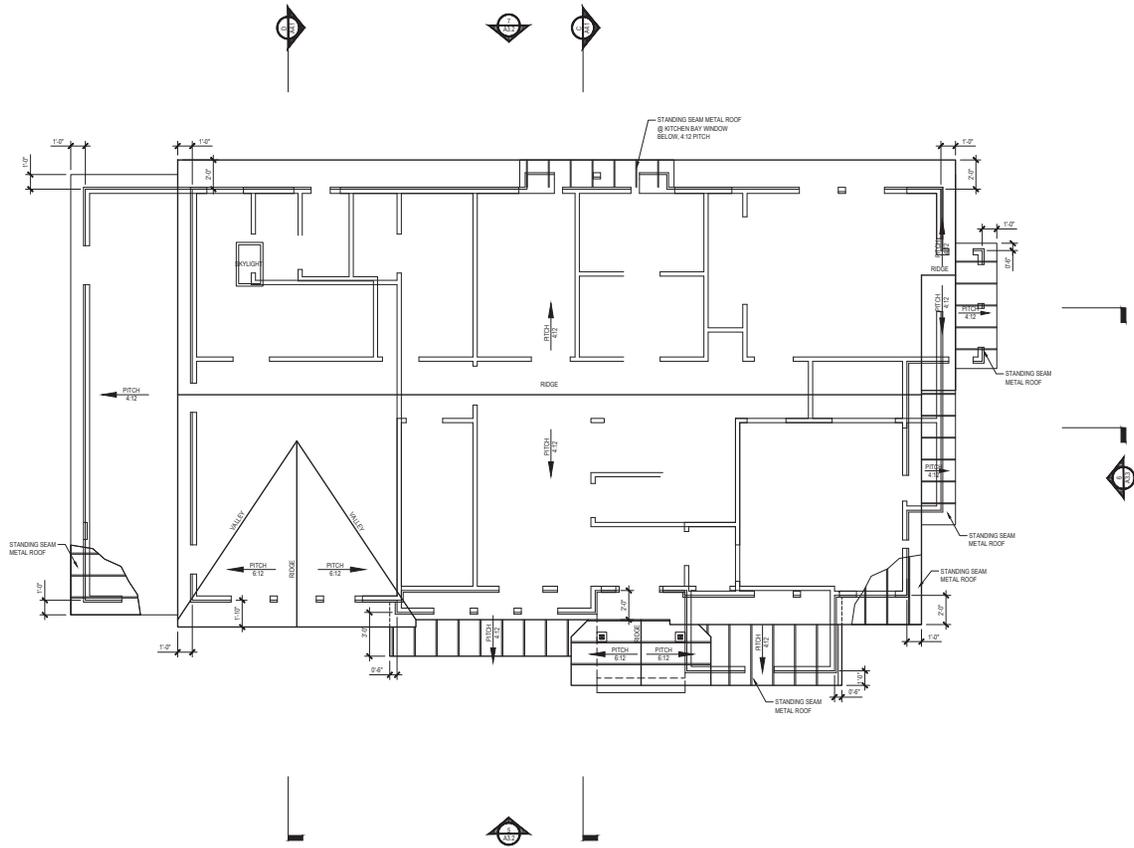
SCALE: 1/8" = 1'-0"

PROPOSED  
 SECOND FLOOR PLAN

**A2.4**



INTERIORS  
 REMODEL +  
 ADDITIONS  
 NEW CONSTRUCTION  
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PROPOSED ROOF PLAN

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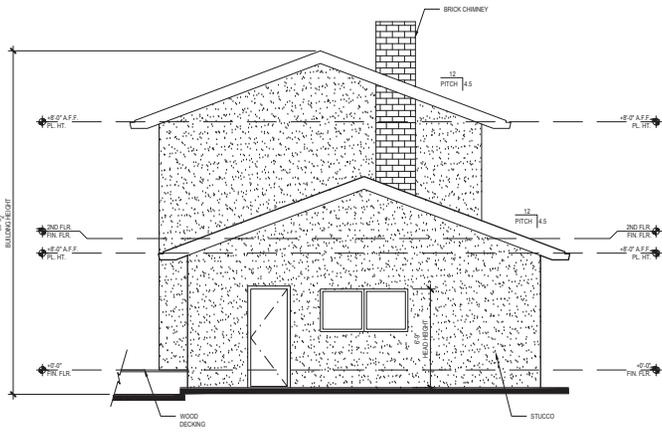
SCALE: 1/8" = 1'-0"

PROPOSED ROOF PLAN

**A2.5**



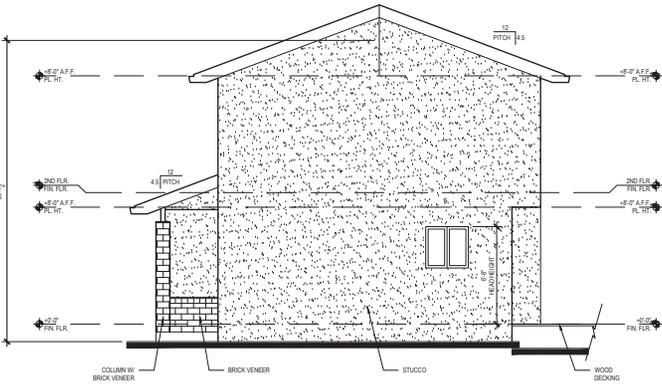
INTERIORS  
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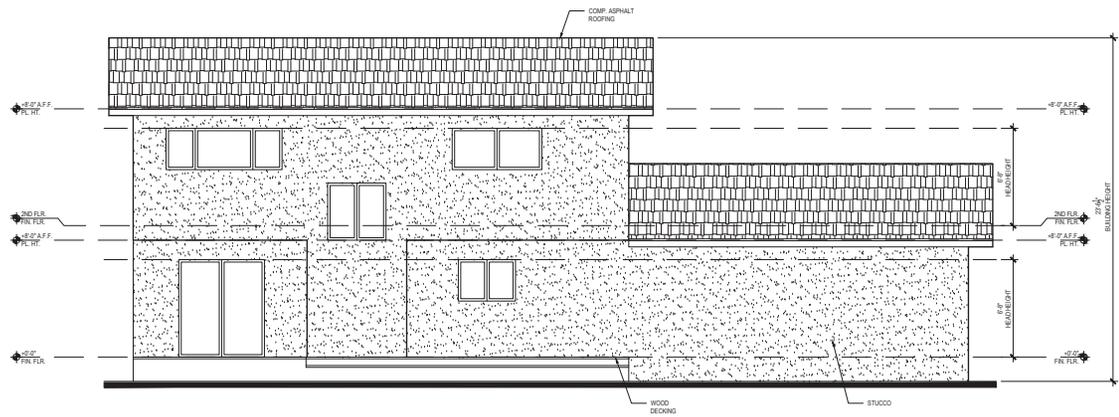
2 - EXISTING EAST ELEVATION FOR REFERENCE ONLY



1 - EXISTING NORTH ELEVATION, FOR REFERENCE ONLY  
 (FRONT - HACIENDA CT)



4 - EXISTING WEST ELEVATION FOR REFERENCE ONLY



3 - EXISTING SOUTH ELEVATION FOR REFERENCE ONLY

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SCALE: 1/8" = 1'-0"

EXISTING EXTERIOR  
 ELEVATIONS  
 (FOR REFERENCE ONLY)

**A3.1**



STUDIO THREE DESIGN

INTERIORS  
REMEDIATEL +  
ADDITIONS  
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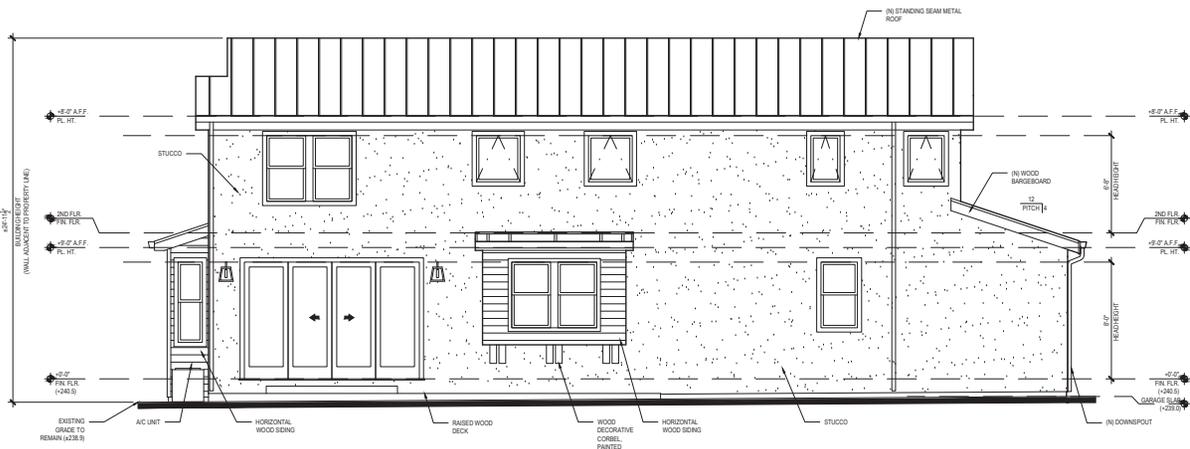
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F 253.399.1125

MATERIALS NOTES:	
STUCCO:	SMOOTH FINISH, PAINTED BENJAMIN MOORE HC-168, OR APPROVED EQ.
SIDING:	I) HARDIE ARTISAN SHIP-LAP SIDING, HORIZONTAL, PAINTED BENJAMIN MOORE AC-2, OR APPROVED EQ. J) VERTICAL WOOD SIDING, RUSTIC WOOD, OR APPROVED EQ. K) DORADO/CYPRESS RIDGE/CATANA, OR APPROVED EQ.
STONE VENEER:	EL DORADO/CYPRESS RIDGE/CATANA, OR APPROVED EQ.
WINDOWS:	SIERRA PACIFIC WINDOW, BLACK ALUMINUM CLAD
WINDOW TRIM:	EXTENDED WOOD INTERIOR, OR APPROVED EQ.
POSTS & BEAMS:	WRAPPED, CHERRY SOUTH WESTERN, OR APPROVED EQ.
ROOFING:	TAYLOR STANDING SEAM METAL ROOF, BLACK SR-25, OR APPROVED EQ.
FASCIA & GUTTERS:	PAINTED G.S.M. BENJAMIN MOORE 2128-20, OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE 2128-20, OR APPROVED EQ.
DOWNPOUTS:	PAINTED G.S.M. BENJAMIN MOORE HC-168, OR APPROVED EQ.
FRONT DOOR:	KELLEHER CORP. DOOR, 304G-G, ETCHED GLASS, OR APPROVED EQ.
GARAGE DOOR:	NORTHWEST DOOR, MODERN CLASSIC GARAGE DOOR, DARK BRONZE, ANODIZED FRAME, INSULATED STAIN ETCHED GLASS, OR APPROVED EQ.



**5 - PROPOSED NORTH ELEVATION  
(FRONT - HACIENDA CT)**

(ALTERNATE ROOF MATERIAL - TESLA SOLAR GLASS ROOF, BUDGET DEPENDENT)  
PER TOPOGRAPHIC MAP, BASES OF ELEVATION  
CITY OF CAMPBELL, BENCHMARK, '86 ELEVATION 237.77.  
SEE SHEETS 1-1 & A1.6 FOR ADDITIONAL INFORMATION.



**7 - PROPOSED SOUTH ELEVATION**

(ALTERNATE ROOF MATERIAL - TESLA SOLAR GLASS ROOF, BUDGET DEPENDENT)  
PER TOPOGRAPHIC MAP, BASES OF ELEVATION  
CITY OF CAMPBELL, BENCHMARK, '86 ELEVATION 237.77.  
SEE SHEETS 1-1 & A1.6 FOR ADDITIONAL INFORMATION.

KAWAZDE CHUANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

A.P.N. 403-10-082

19 FEBRUARY 2019  
6 DECEMBER 2019  
SITE + ARCH SUBMITTAL  
30 SEPTEMBER 2020  
SITE + ARCH SUBMITTAL II  
11 DECEMBER 2020  
SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

PROPOSED EXTERIOR  
ELEVATIONS

**A3.2**



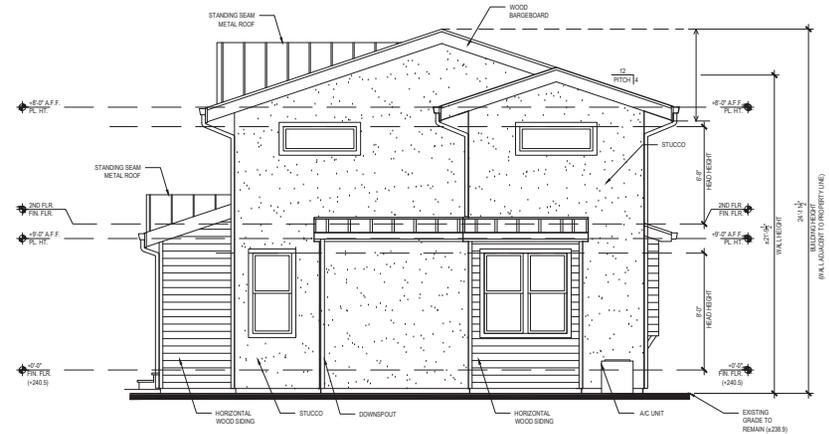
STUDIO THREE DESIGN

INTERIORS  
REMODEL +  
ADDITIONS  
NEW CONSTRUCTION

638 UNIVERSITY AVE  
LOS GATOS  
CALIFORNIA  
95032

T 408.292.3252  
F 253.399.1125

MATERIALS NOTES:	
STUCCO:	SMOOTH FINISH, PAINTED BENJAMIN MOORE HC-166, OR APPROVED EQ.
SIDING:	1) HARDIE ARTISAN SHIP-LAP SIDING, HORIZONTAL, PAINTED BENJAMIN MOORE A-C, OR APPROVED EQ. 2) VERTICAL WOOD SIDING, PLSTIC WOOD, OR APPROVED EQ. 3) DORADO/CYPRESS RIDGE/CATANIA, OR APPROVED EQ.
STONE VENEER:	EL DORADO/CYPRESS RIDGE/CATANIA, OR APPROVED EQ.
WINDOWS:	SIERRA PACIFIC WINDOW, BLACK ALUMINUM CLAD
WINDOW TRIM:	EXTEND WOOD INTERIOR, OR APPROVED EQ.
POSTS & BEAMS:	WRAPPED, CHERRY SOUTH WESTERN, OR APPROVED EQ.
ROOFING:	TAYLOR STANDING SEAM METAL ROOF, BLACK SRI-20, OR APPROVED EQ.
FASCIA & GUTTERS:	PAINTED G.S.M., BENJAMIN MOORE 2128-20, OR APPROVED EQ.
BARGEBOARD:	PAINTED WOOD, BENJAMIN MOORE 2128-20, OR APPROVED EQ.
DOWNSPOUTS:	PAINTED G.S.M., BENJAMIN MOORE HC-166, OR APPROVED EQ.
FRONT DOOR:	KELLEHER CORP. DOOR, 304G-G, ETCHED GLASS, OR APPROVED EQ.
GARAGE DOOR:	NORTHWEST DOOR, MODERN CLASSIC GARAGE DOOR, DARK BRONZE, ANODIZED FRAME, INSULATED STAIN ETCHED GLASS, OR APPROVED EQ.



### 6 - PROPOSED EAST ELEVATION

ALTERNATE ROOF MATERIAL - TESLA SOLAR GLASS ROOF (BUDGET DEPENDENT)  
PER TOPOGRAPHIC MAP, BASIS OF ELEVATION  
CITY OF CAMPBELL BENCHMARK '90 ELEVATION 237.77  
SEE SHEETS T-1 & T-6 FOR ADDITIONAL INFORMATION.



### 8 - PROPOSED WEST ELEVATION

ALTERNATE ROOF MATERIAL - TESLA SOLAR GLASS ROOF (BUDGET DEPENDENT)  
PER TOPOGRAPHIC MAP, BASIS OF ELEVATION  
CITY OF CAMPBELL BENCHMARK '90 ELEVATION 237.77  
SEE SHEETS T-1 & T-6 FOR ADDITIONAL INFORMATION.

KAWAZOE CHUANG  
1362 HACIENDA CT  
CAMPBELL,  
CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019

6 DECEMBER 2019

SITE + ARCH SUBMITTAL

30 SEPTEMBER 2020

SITE + ARCH SUBMITTAL II

11 DECEMBER 2020

SITE + ARCH SUBMITTAL III

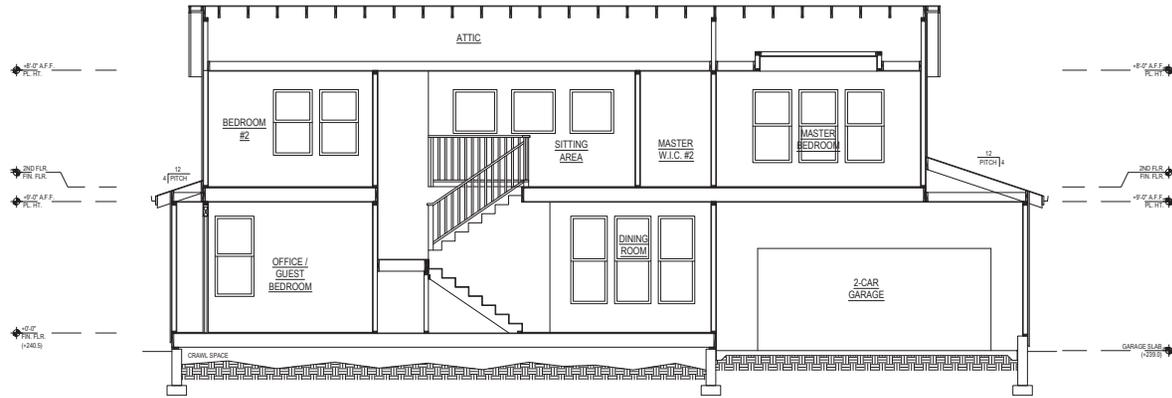
SCALE: 1/8" = 1'-0"

PROPOSED EXTERIOR  
ELEVATIONS

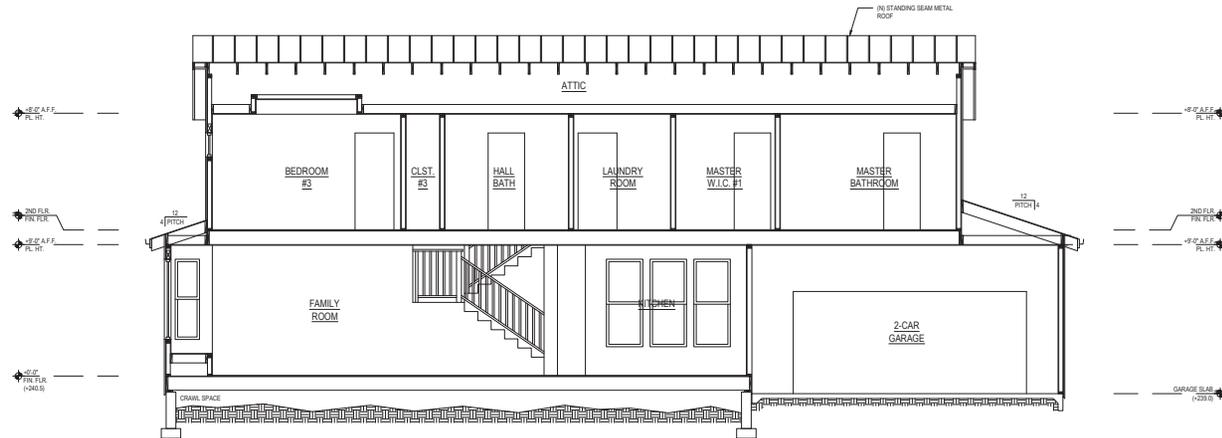
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INTERIORS  
 REMODEL +  
 ADDITIONS  
 NEW CONSTRUCTION  
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 LOS GATOS  
 CALIFORNIA  
 95032  
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 F 253.399.1125



A - BUILDING SECTION



B - BUILDING SECTION

KAWAZOE CHUANG  
 1362 HACIENDA CT  
 CAMPBELL,  
 CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019  
 6 DECEMBER 2019  
 SITE + ARCH SUBMITTAL  
 30 SEPTEMBER 2020  
 SITE + ARCH SUBMITTAL II  
 11 DECEMBER 2020  
 SITE + ARCH SUBMITTAL III

SCALE: 1/8" = 1'-0"

BUILDING SECTIONS

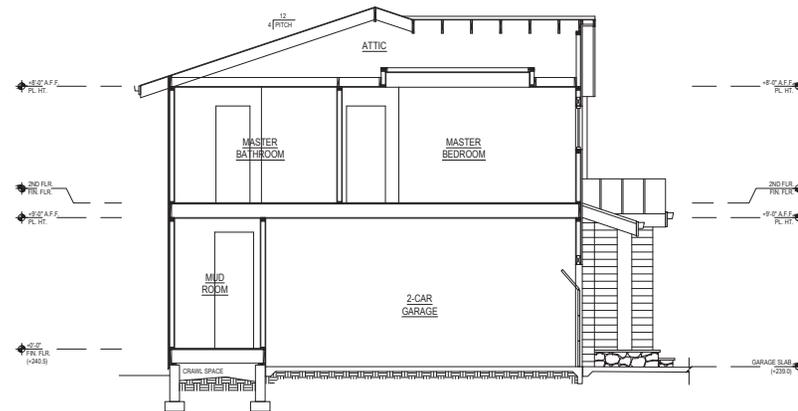
A4.1



INTERIORS  
 REMODEL +  
 ADDITIONS  
 NEW CONSTRUCTION  
 638 UNIVERSITY AVE  
 LOS GATOS  
 CALIFORNIA  
 95032  
 T 408.292.3252  
 F 253.399.1125



C - BUILDING SECTION



D - BUILDING SECTION

KAWAZOE CHUANG  
 1362 HACIENDA CT  
 CAMPBELL,  
 CA 95008

A.P.N. 403-16-082

19 FEBRUARY 2019  
 6 DECEMBER 2019  
 SITE + ARCH SUBMITTAL  
 30 SEPTEMBER 2020  
 SITE + ARCH SUBMITTAL II  
 11 DECEMBER 2020  
 SITE + ARCH SUBMITTAL III

SCALE: 1/2" = 1'-0"

BUILDING SECTIONS

A4.2



VICINITY MAP  
N.T.S.

# PLANS FOR NEW DRIVEWAY AND ENCROACHMENT PERMIT

LANDS OF KAWAZOE/CHUANG  
1362 HACIENDA COURT  
CAMPBELL, CALIFORNIA  
A.P.N. 403-16-082

## SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	DETAILS

## GENERAL NOTES

1. THE DATE OF THE FIELD SURVEY WAS APRIL 2019 AND MARCH 2020
2. CONTOUR INTERVAL IS 1-FOOT WITH SPOT ELEVATIONS.
3. THIS TOPOGRAPHIC MAP REPRESENTS SURFACE FEATURES ONLY.
4. BASIS OF ELEVATION: CITY OF CAMPBELL
5. BENCHMARK: 78" ELEVATION: 037.77
6. PROPERTY LINES SHOWN ARE RECORD DATA.
7. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.

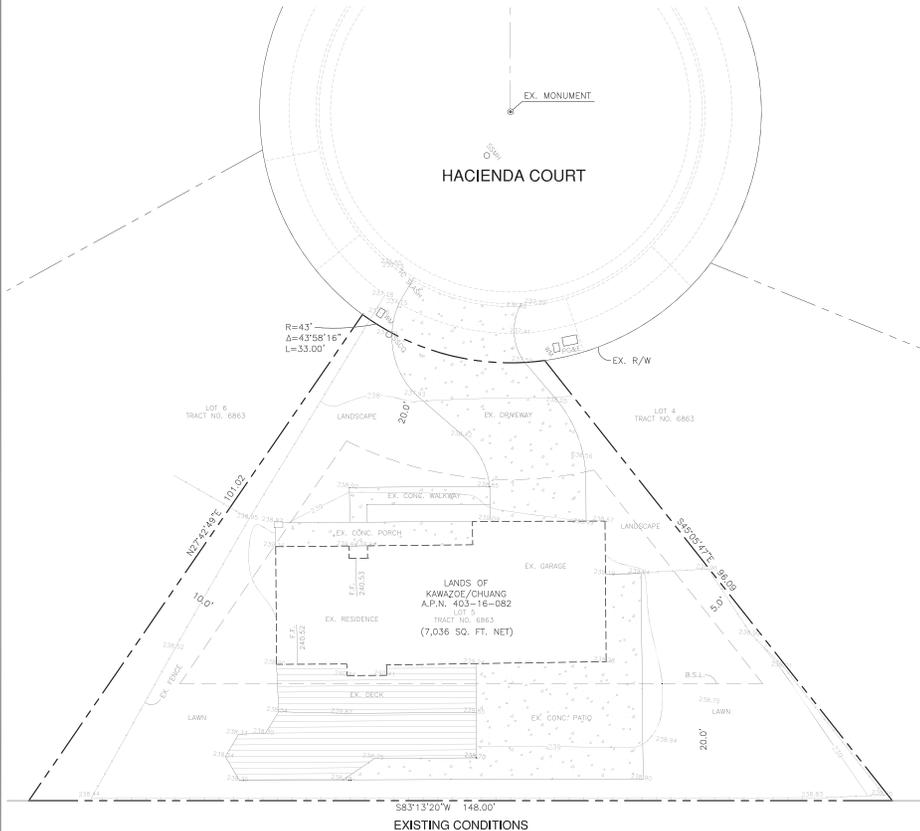
## PROPERTY INFORMATION

EX. ZONING: R-115 (SAN THOMAS AREA NEIGHBORHOOD PLAN)  
SETBACKS: FRONT = 20'  
SIDE = 5 & 10'  
REAR = 20'



PEOPLES ASSOCIATES  
STRUCTURAL ENGINEERS  
10000 Wilshire Blvd., Suite 1000  
Beverly Hills, California 90210  
Tel: 310.279.5588 Fax: 310.279.2120  
www.peoplesassoc.com

DESIGNED BY:	V.S.
DRAWN BY:	R.S.C.
CHECKED BY:	V.S.
SCALE:	AS SHOWN
DATE:	08/22/20
PROJECT:	ENCROACHMENT



EXISTING CONDITIONS

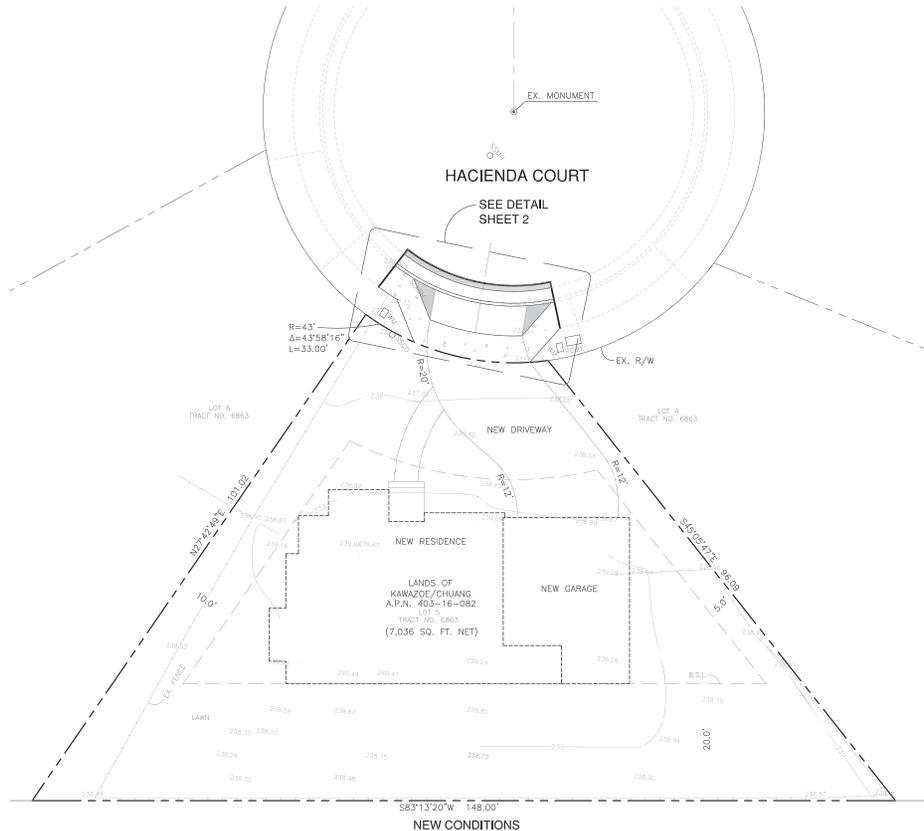


SITE PLAN  
SCALE: 1"=10'

SCALE: 1"=10'

### LEGEND

	PROPERTY LINE
	ADJACENT PROPERTY LINE
	CENTERLINE
	RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE
	EXISTING STRUCTURES
	EXISTING CURB, GUTTER & SIDEWALK
	NEW CURB, GUTTER & SIDEWALK



NEW CONDITIONS

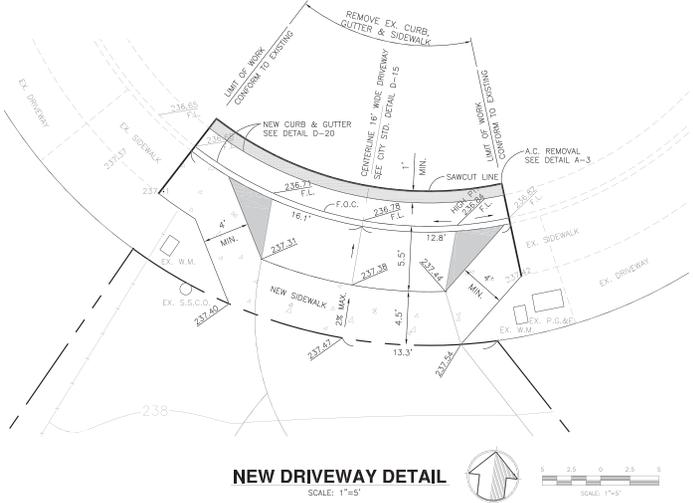


SITE PLAN  
SCALE: 1"=10'

SCALE: 1"=10'

TITLE SHEET  
LANDS OF KAWAZOE/CHUANG  
1362 HACIENDA COURT  
CAMPBELL, CALIFORNIA

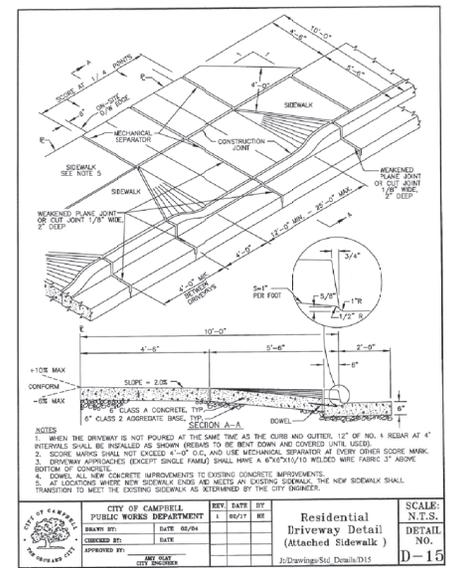
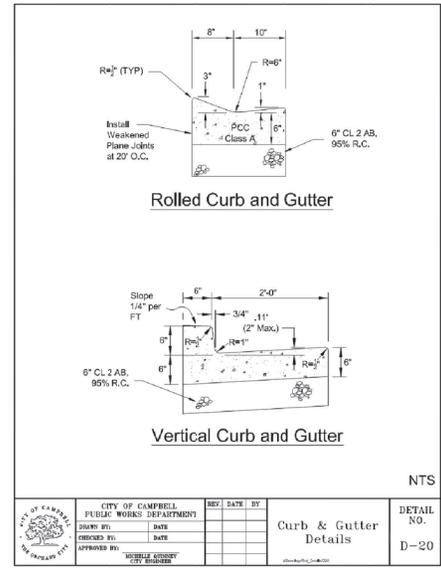
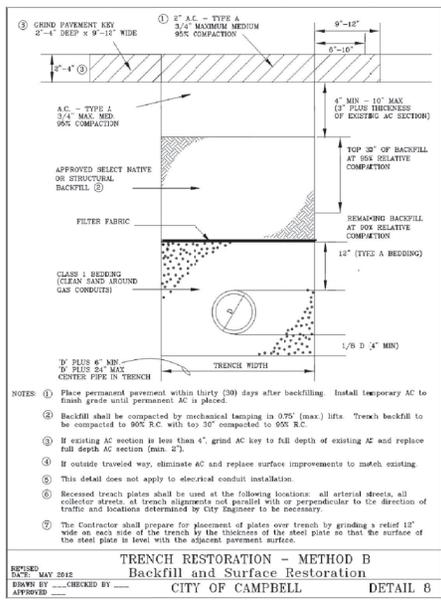
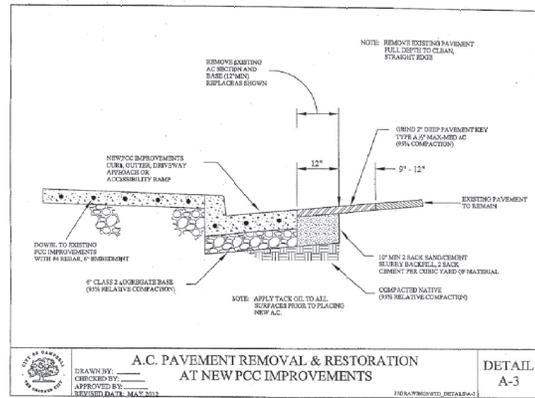
SHEET NUMBER  
**1**  
OF 2 SHEETS  
DRAWING NO.  
20012-1



**WARNING**  
CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT 811 TWO (2) WORKING DAYS PRIOR TO START OF WORK.

**NOTE**  
NOTIFY UTILITY COMPANIES TO DISCONNECT ELECTRIC, GAS, WATER, TELEPHONE AND CABLE SERVICES PRIOR TO DEMOLITION.

**SPECIAL NOTE**  
1. ALL WORKS WITHIN PUBLIC RIGHT-OF-WAY SHALL COMPLY WITH THE CITY OF CAMPBELL'S STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (DATED JULY 1994)



DESIGNED BY	V.S.	DATE	
DRAWN BY	R.S.C.	DATE	
CHECKED BY	V.S.	DATE	
APPROVED BY	V.S.	DATE	
SCALE	AS SHOWN	REVISION	DESCRIPTION

PEOPLES ASSOCIATES  
STRUCTURAL ENGINEERS  
15665 HACHENDA COURT  
CAMPBELL, CALIFORNIA 95008  
TEL: 925-558-9121 FAX: 925-21-2120

**DETAILS**  
LANDS OF KAWAZOE/CHUANG  
15665 HACHENDA COURT  
CAMPBELL, CALIFORNIA

CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT		REV	DATE	BY
DRAWN BY	DATE			
CHECKED BY	DATE			
APPROVED BY	DATE			

**Curb & Gutter Details**  
DETAIL NO. D-20

CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT		REV	DATE	BY
DRAWN BY	DATE			
CHECKED BY	DATE			
APPROVED BY	DATE			

**Residential Driveway Detail**  
(Attached Sidewalk)  
DETAIL NO. D-15



Artisan shiplap siding,  
 Horizontal,  
 Benjamin Moore AC-2



Fascia & Gutter,  
 Painted,  
 Benjamin Moore 2128-20



Taylor standing  
 seam metal roof,  
 Black SRI-29



Kelleher Corp. door,  
 9042-G



Wood posts and beams,  
 Cherry South Western



Stone Veneer,  
 El Dorado/Cypress Ridge/  
 Catina



Stucco,  
 Smooth finish,  
 Benjamin Moore HC-168



Modern Classic garage door,  
 Dark bronze anodized frame,  
 insulated stain etched glass



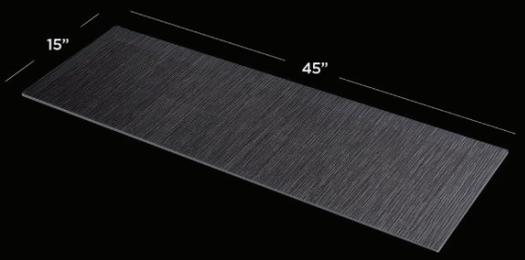
Sierra Pacific window,  
 Black aluminum clad  
 exterior, wood interior,  
 Painted wood trim



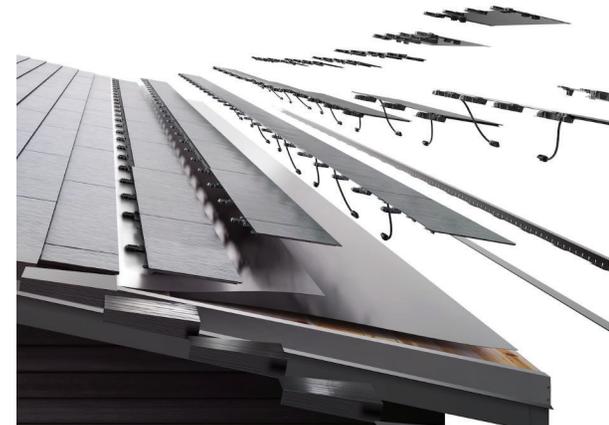
Alternate Roof - Telsa Solarglass Roof  
 (Budget Dependent)



**Solarglass Roof Specs**



<p><b>Tile Warranty</b> 25 years</p> <p><b>Power Warranty</b> 25 years</p> <p><b>Weatherization Warranty</b> 25 years</p> <p><b>Roof Pitch</b> 2:12 to 20:12</p>	<p><b>Hail Rating</b> Class 3 ANSI FM 4473 (up to 1.75" diameter hail)</p> <p><b>Wind Rating</b> Class F ASTM D3161 (up to 130 mph winds)</p> <p><b>Fire Rating</b> Class A UL 790 (best fire rating)</p>
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LOS GATOS, CALIFORNIA . 95032  
T 408.292.3252 F 253.399.1125

## KAWAZOE CHUANG RESIDENCE



PLANNING REVISION  
VIEW 1

02-25-2020



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LOS GATOS, CALIFORNIA . 95032  
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## KAWAZOE CHUANG RESIDENCE



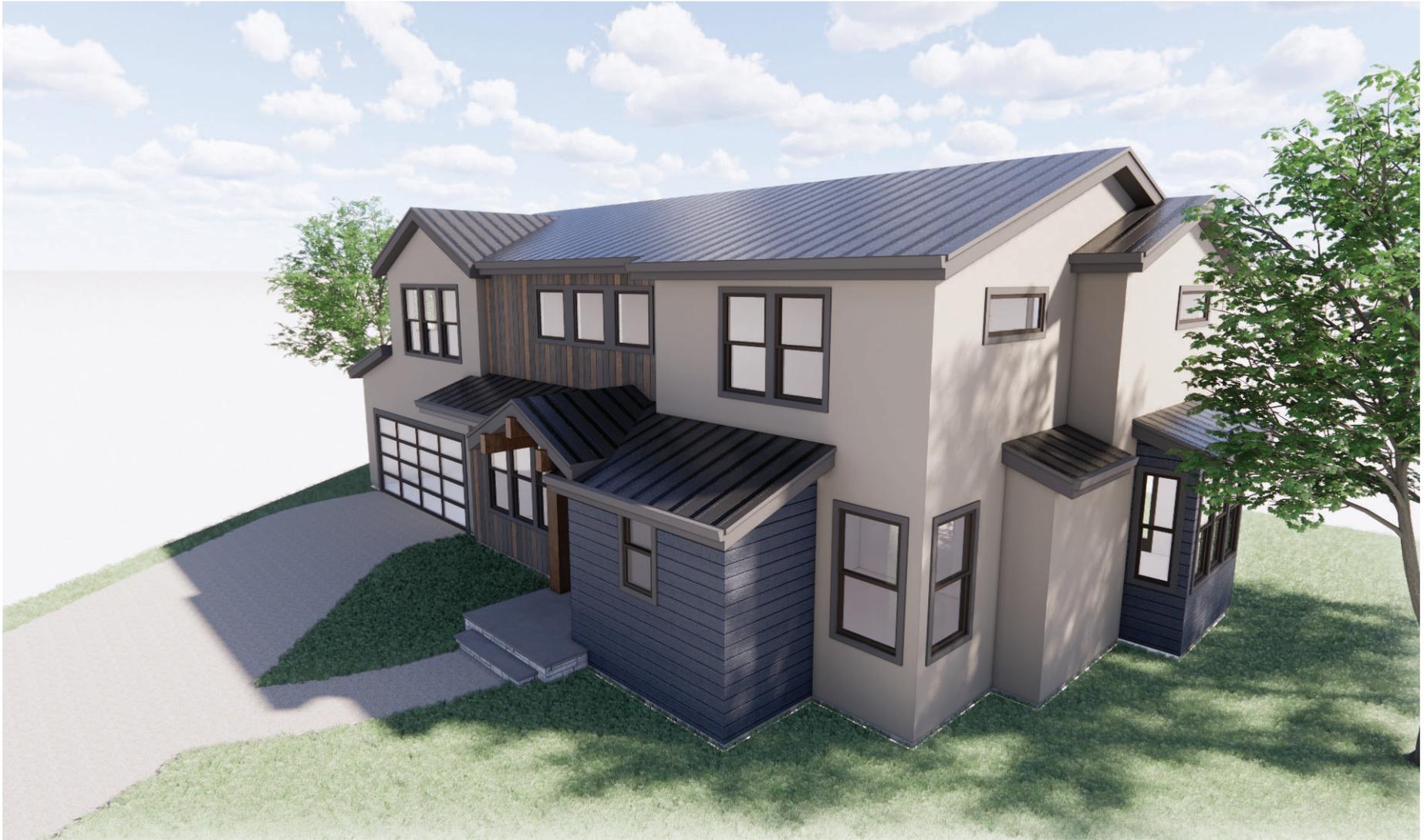
PLANNING REVISION  
VIEW 2

02-25-2020



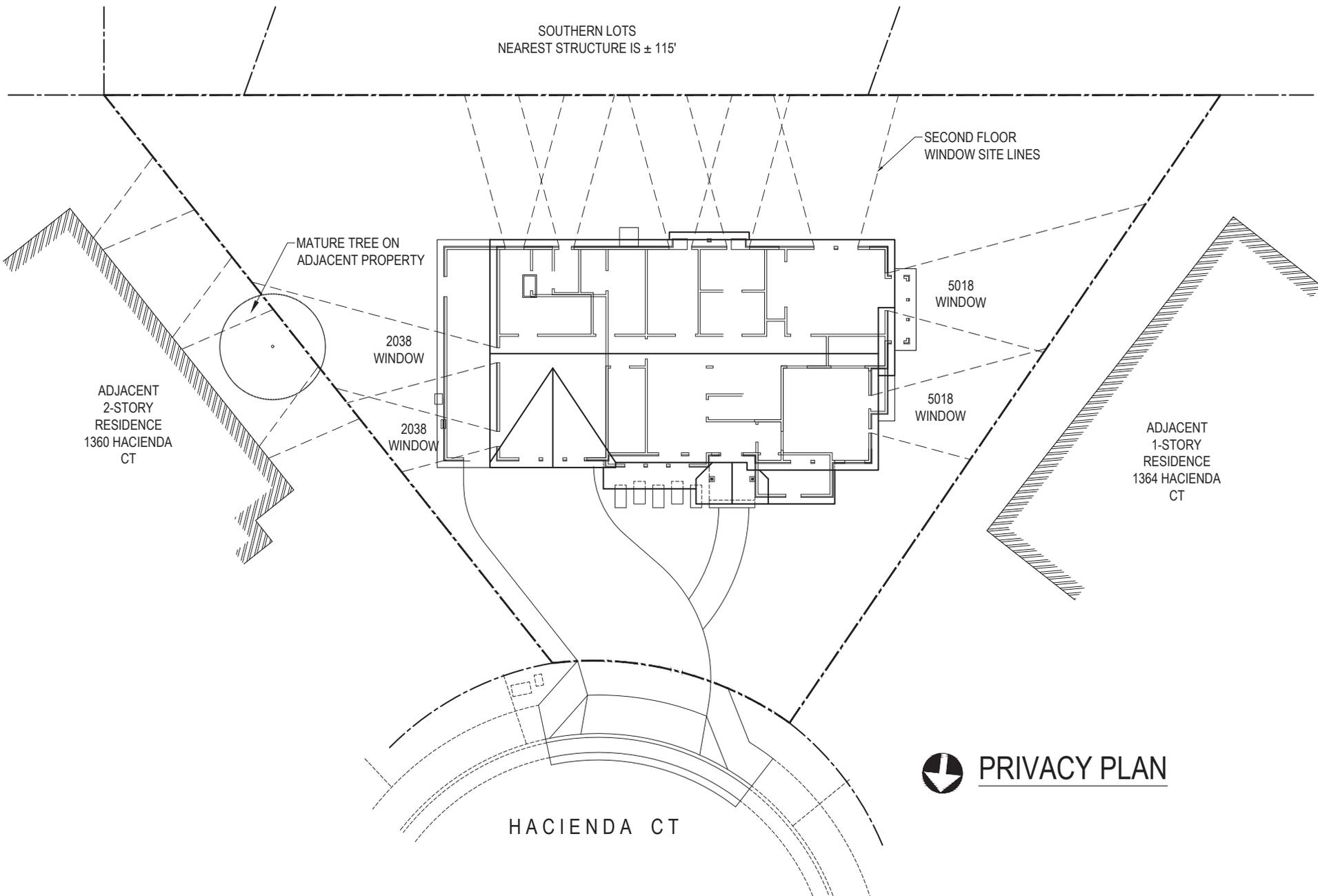
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## KAWAZOE CHUANG RESIDENCE



PLANNING REVISION  
VIEW 3

02-25-2020



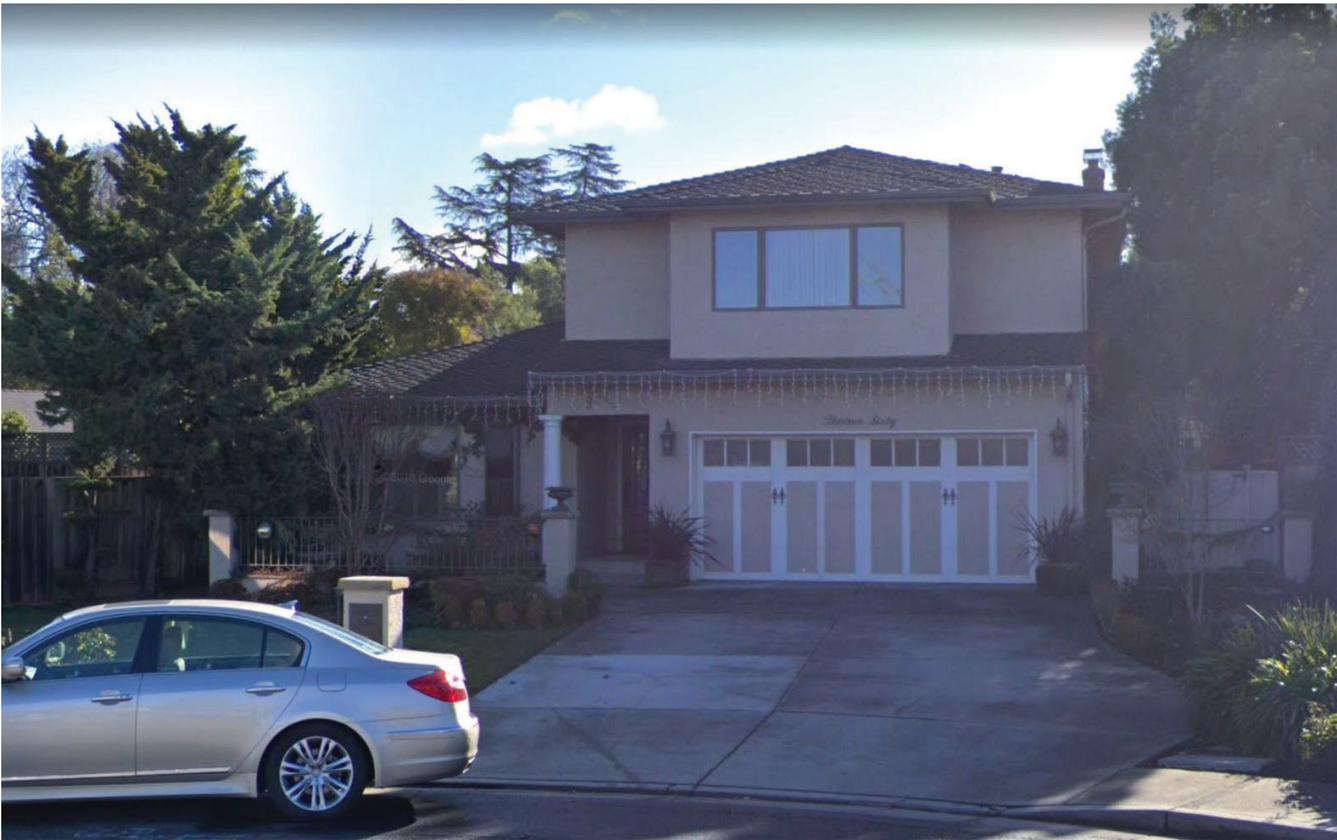
 **PRIVACY PLAN**



1362 Hacienda Ct



1358 Hacienda Ct



1360 Hacienda Ct



1364 Hacienda Ct



1366 Hacienda Ct