



CITY OF CAMPBELL
Community Development Department

January 15, 2021

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **January 26, 2021**, for a Public Hearing to consider the application of Darko Dekovic for a Modification (PLN-2020-85) to a previously approved Planned Development Permit (ZC 81-12) to allow construction of an approximately 426 square-foot single-story addition to an existing single-family residence and a new approximately 1,011 square-foot accessory dwelling unit (ADU) on property located at **1409 Harriet Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_CaZgE3SzQ0q4JsWeEOxQaA. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, January 22nd, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, January 15th on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

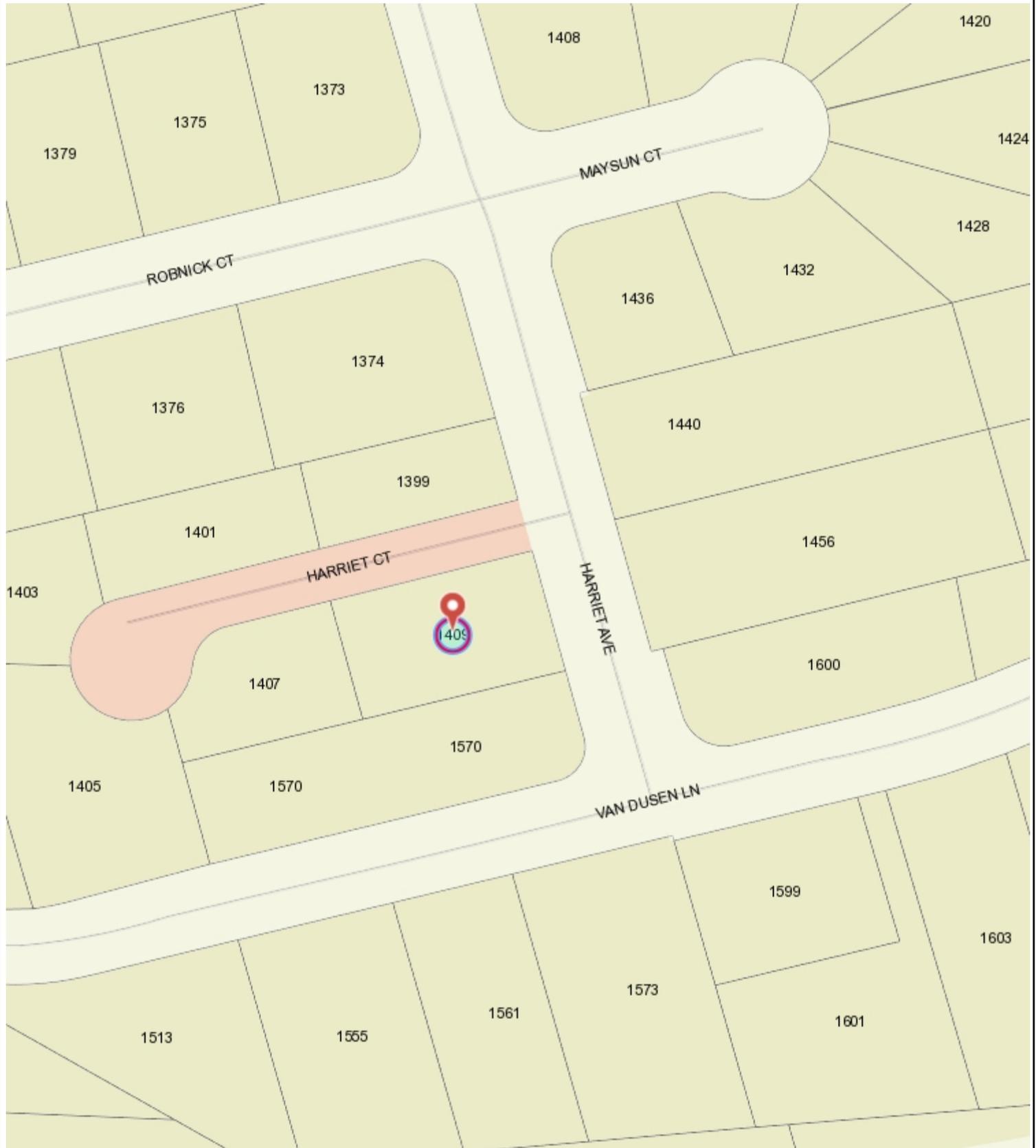
PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE:

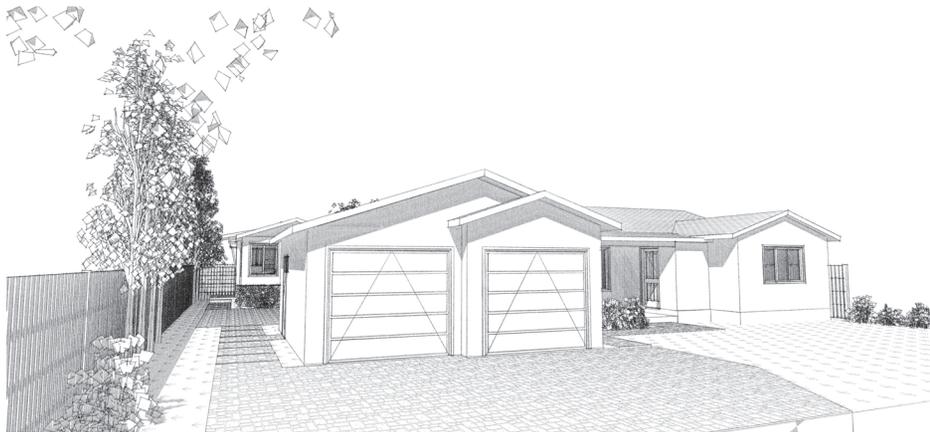
When calling on this Notice, refer to **1409 Harriet Ave**



1409 Harriet Ave.



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



| SITE INFORMATION | | | |
|-------------------------------------|------------------|------------------|----------------|
| LOT AREA | 8,302.4 SF | | |
| | EXISTING- | CHANGE- | TOTAL PROPOSED |
| HABITABLE LIVING AREA | | | |
| MAIN HOUSE | 1,348 SF | — SF | 1,348 SF |
| ADU | —SF | 1,011 SF | 1,011 SF |
| NON HABITABLE | | | |
| GARAGE | 395 SF | 32 SF | 426 SF |
| PORCH | 122 SF | -13 SF | 112 SF |
| REAR PORCH | 24 SF | -24 SF | 0 SF |
| ADU PORCH (entry) | 8 SF | 8 SF | 8 SF |
| | EXISTING | PROPOSED | MAX. ALLOWED |
| LOT COVERAGE | 1,891 SF (35%) | 2,905 SF (35%) | 2,906 SF (35%) |
| FLOOR AREA (FAR) (INCLUDING GARAGE) | 1,745 SF (33.5%) | 2,784 SF (33.5%) | 3,744 SF (45%) |
| | EXISTING- | PROPOSED- | ALLOWED |
| SETBACKS | | | |
| MAIN HOUSE | | | |
| FRONT | 32" | 25" | 20" |
| REAR | 35'-2 1/2" | 35'-2 1/2" | 25" |
| RIGHT SIDE | 3'-3" | 3'-3" | 12" |
| LEFT SIDE | 29" | 9'-9 1/2" | 8" |
| SETBACKS ADU | | | |
| FRONT | N/A | 61" | 20" |
| REAR | N/A | 4'-1" | 4" |
| RIGHT SIDE | N/A | 22'-4" | 12" |
| LEFT SIDE | N/A | 7'-2" | 4" |
| HEIGHTS | 14'-2" | — | 14'-2" |

| PROJECT INFORMATION | |
|---------------------|-------------------------|
| APN No. | 403-19-066 |
| ADDRESS | 1409 HARRIET AVE. |
| STORIES | 1 |
| USE | SINGLE FAMILY RESIDENCE |
| OCCUPANCY | R3,U |
| ZONING | PD |
| TYPE OF CONST. | TYPE V-B |
| FIRE SPRINKLERS | NO |
| WUI AREA | NO |

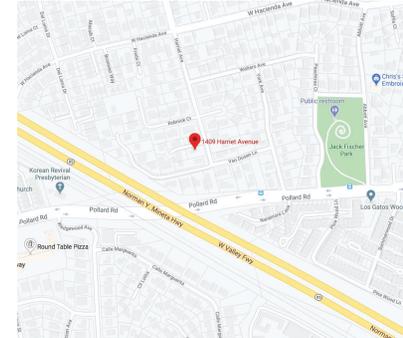
SCOPE OF WORK
 NEW ADU APPROX. 1,011 SF. NEW ATTACHED GARAGE APPROX. 426 SF. REMOVE EXISTING DETACH GARAGE.

APPLICABLE CODES
 Project shall comply with the: 2019 California Building Code, 2019 CA Residential, 2019 CA Plumbing, 2019 CA Mechanical, 2019 CA Electrical, 2019 CA Fire, 2019 CA Energy Code, 2019 CA Green Building Code.

OWNER
 SABRIJA KUCEVIC
 1409 HARRIET AVE.
 CAMPBELL, CA 95008
 408-529-1818
 email: SKREMODEL@GMAIL.COM

DESIGNER
 DARKO DEKOVIC
 905 RUSSELL AVE.
 LOS ALTOS, CA 94024
 650-464-2520
 email: darkod@mac.com

LANDSCAPE
 SCOTT HUTCHSON
 SEASONS LANDSCAPING
 LAGUNA BEACH, CA
 949-419-6530
 email: INFO@SEASONSLANDSCAPING.COM



SITE MAP



SHEET INDEX

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| A2 | SITE PLAN |
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| A7 | PROPOSED SECTIONS |
| LP-1 | Planting Plan |
| LI-1 | Irrigation Plan |
| LI-2 | Irrigation Plan Calcs & Notes |
| LI-3 | Irrigation Plan Details |

1409 HARRIET AVE.

CAMPBELL, CA

A1

COVER SHEET





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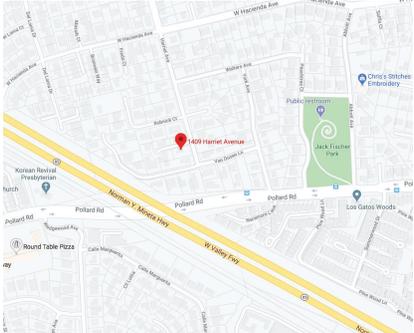
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1409 HARRIET AVE.

CAMPBELL, CA

A1

COVER SHEET





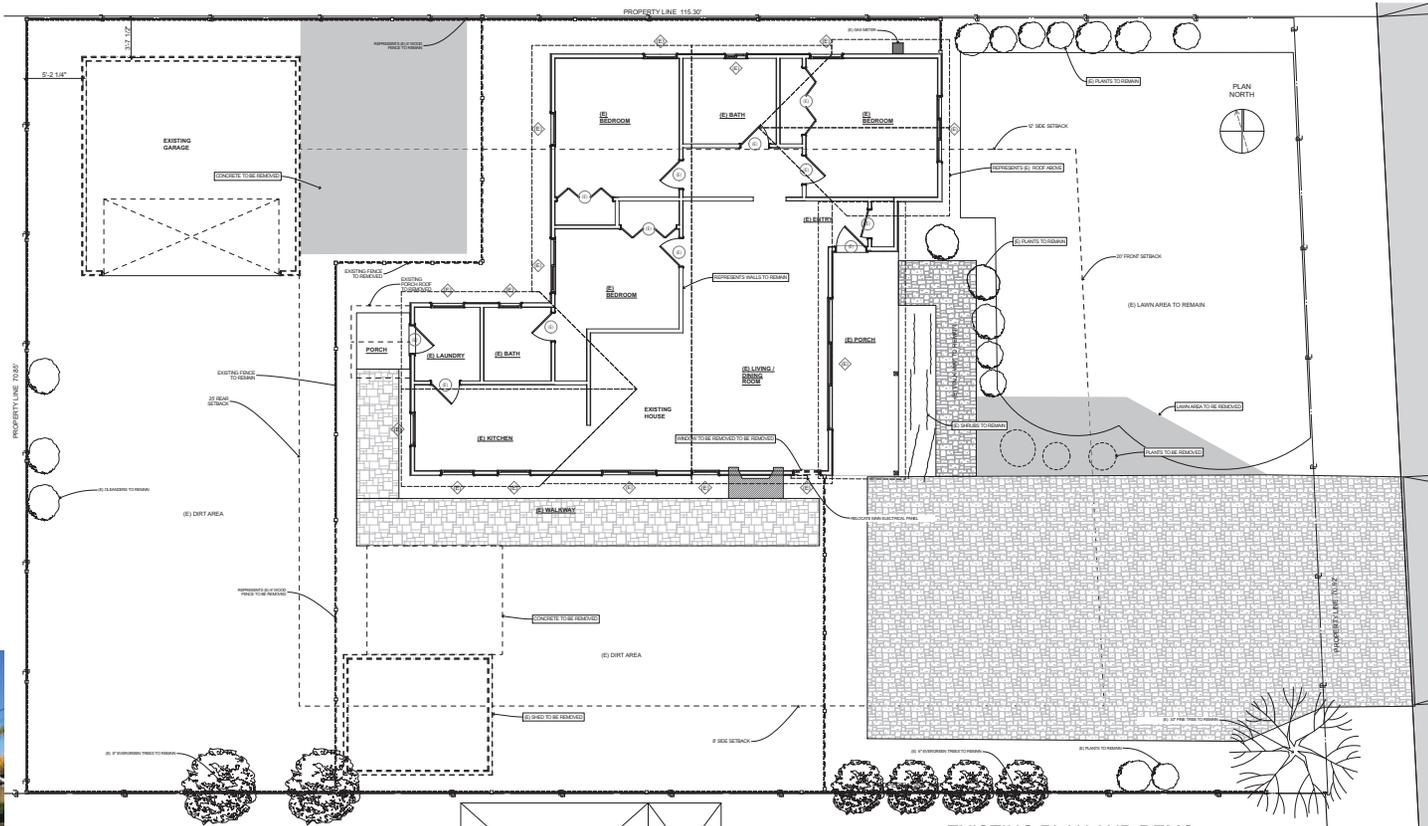
NORTH ELEVATION, VIEW FROM HARRIET COURT



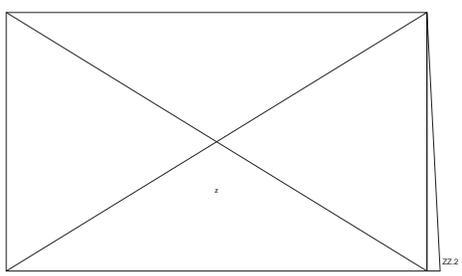
SOUTH WEST CORNER OF EXISTING HOUSE



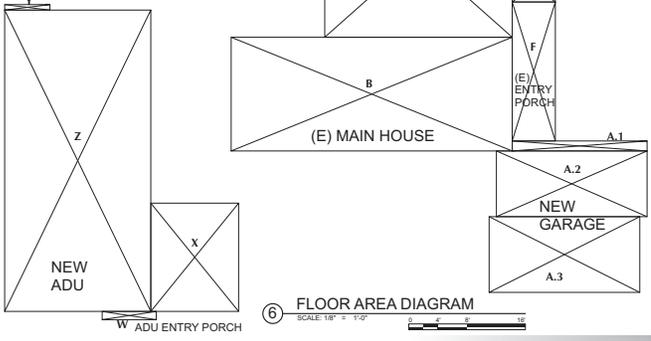
FRONT VIEW EXISTING HOUSE



1 EXISTING PLAN AND DEMO
SCALE: 3/16" = 1'-0"



7 LOT AREA DIAGRAM
SCALE: 1/16" = 1'-0"



6 FLOOR AREA DIAGRAM
SCALE: 1/8" = 1'-0"

| 25 AREA CALCULATION | | | |
|---------------------|-------------|-------------|--------------------------|
| SECTION | LENGTH | WIDTH | AREA |
| A.1 | 18'-6" | 1'-4 1/2" | 25.35 |
| A.2 | 20'-8" | 9' | 186.04 |
| A.3 | 20'-8" | 10'-4 1/2" | 214.36 |
| B | 38'-6 1/2" | 15'-7" | 600.59 |
| C | 25'-8 1/2" | 22'-9 1/2" | 585.95 |
| D | 5'-11" | 4'-6 1/2" | 26.87 |
| E | 10' | 13'-5" | 134.17 |
| F | 5'-11" | 19'-1/2" | 112.69 |
| W | 7'-5" | 1'-1 1/2" | 8.37 |
| X | 12'-1/2" | 14'-10" | 178.62 |
| Y | 6'-2 1/2" | 9' | 4.66 |
| Z | 20'-1/2" | 41'-3 1/2" | 827.55 |
| ZZ | 115'-4 1/2" | 70'-10 1/4" | 8,173.62 |
| ZZ.2 | 3'-7 1/2" | 70'-10 1/4" | 128.77 |
| (A.1-E, X-Z) | | | F.A.R. 2,784.2 SF |

GARAGE TOTAL: 425.75 sf
 MAIN HOUSE TOTAL: 1347.58 sf
 HOUSE PORCH: 112.69 sf
 ADU PORCH: 8.37 sf
 ADU TOTAL: 1010.83 sf
 COVERAGE TOTAL: 2905.22 sf
 LOT AREA TOTAL: 8302.39 SF

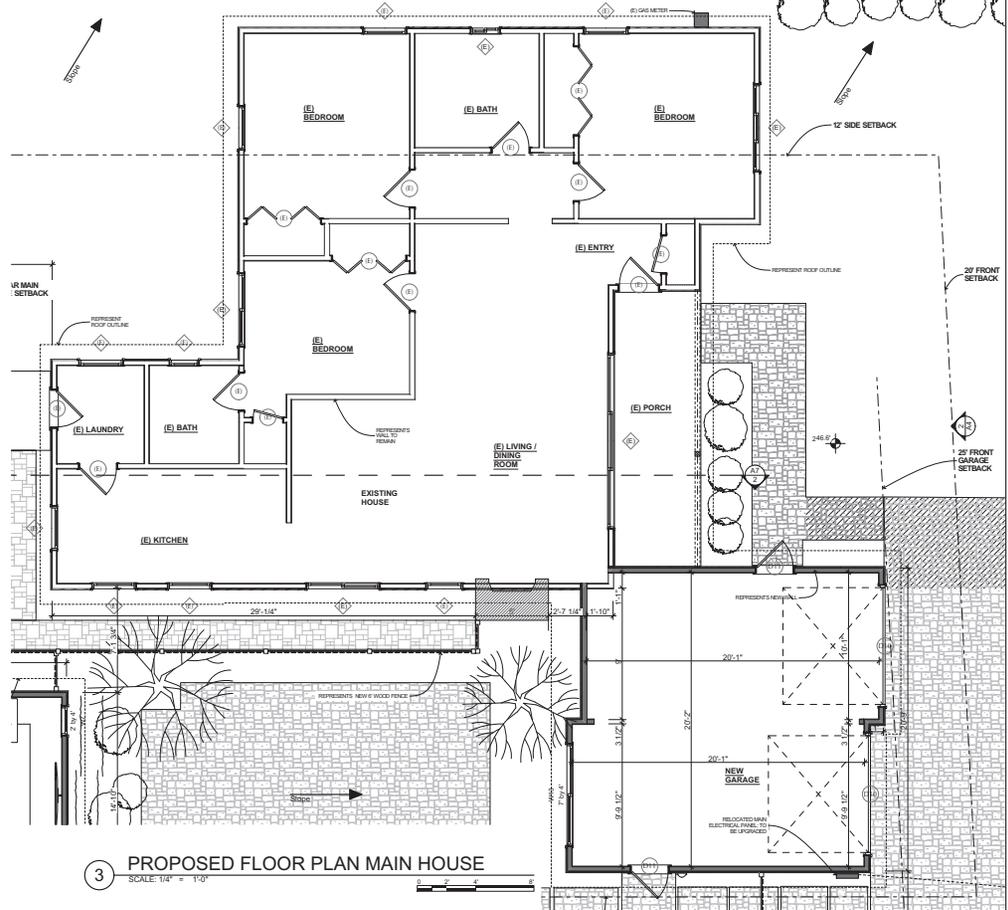
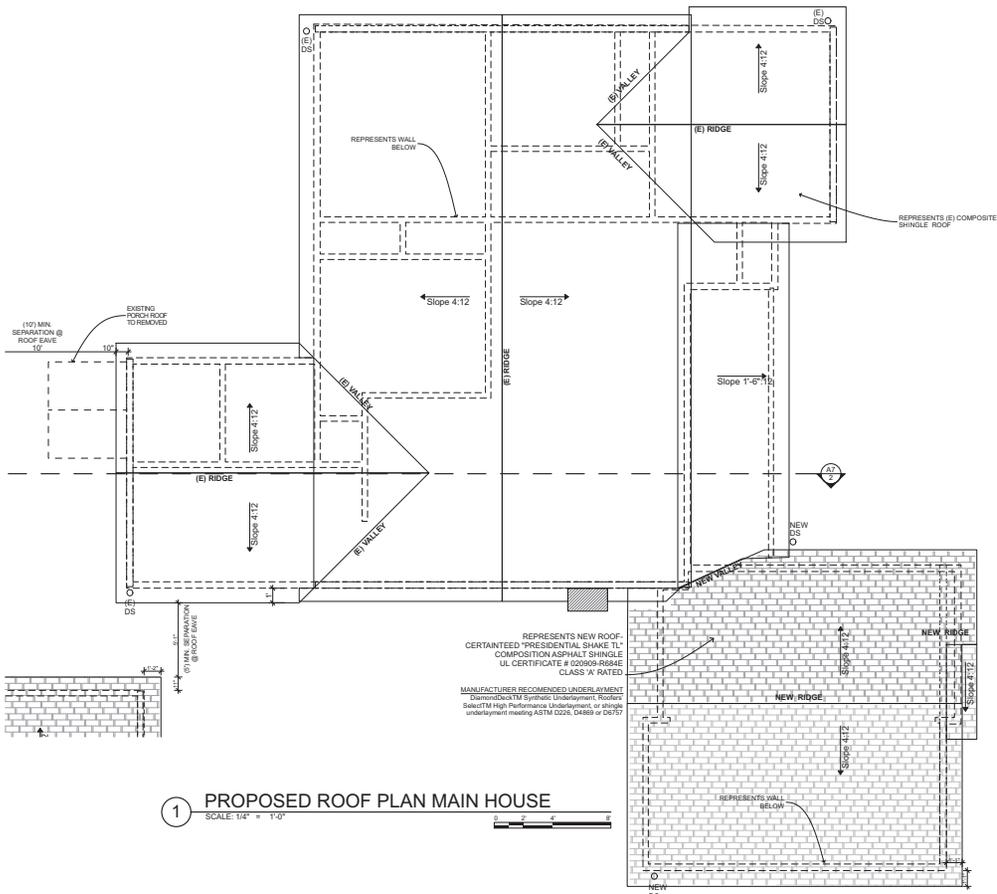
1409 HARRIET AVE.

CAMPBELL, CA

A3

EXISTING PLANS- DEMO & BOX DIAGRAM





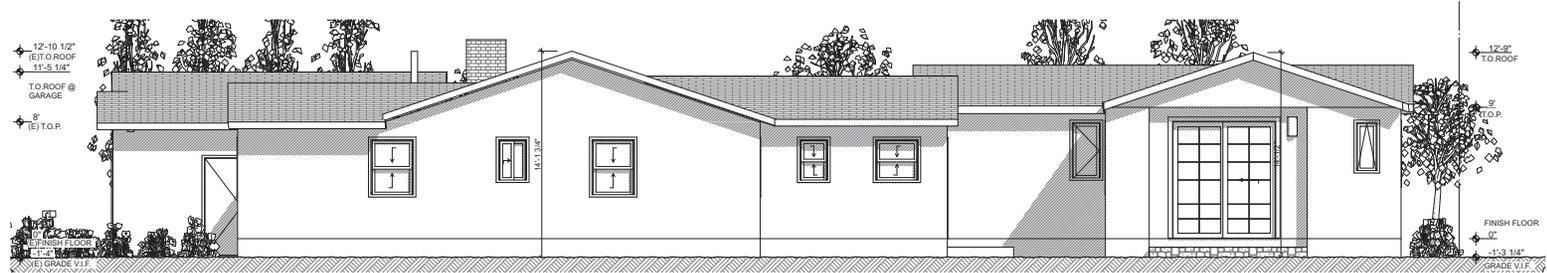
1409 HARRIET AVE.
CAMPBELL, CA

A4
PROPOSED PLAN AND ROOF MAIN HOUSE





11 PROPOSED LEFT (SOUTH) ELEVATION - ADU
SCALE: 1/4" = 1'-0"



9 PROPOSED RIGHT (NORTH) ELEVATION-ADU
SCALE: 1/4" = 1'-0"

COLOR SCHEME

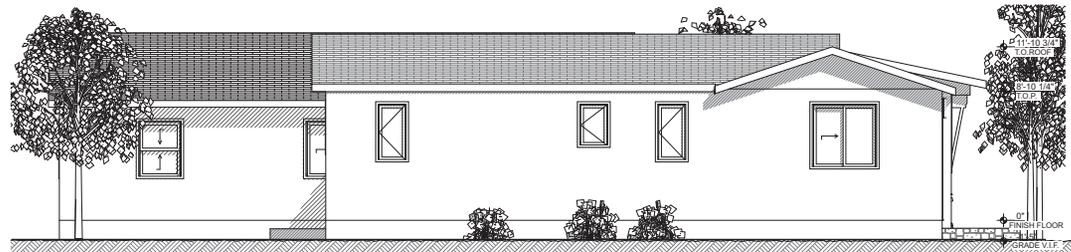
1 CERTAINTED "PRESIDENTIAL SHAKE TL" COMPOSITION ASPHALT SHINGLES - COLOR COUNTRY GRAY

2 KMW46 PICKET FENCE FASCIA / GUTTER / WINDOW FRAMES

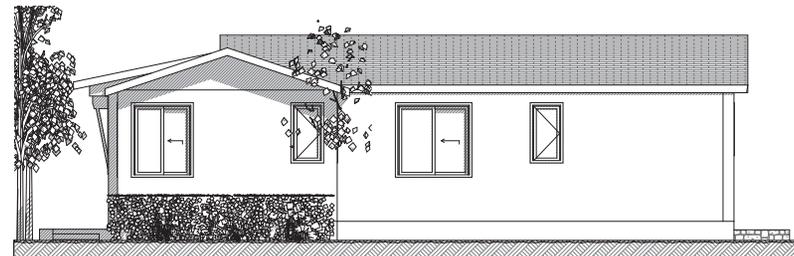
3 KM 3935-3 CASTLE MANOR BODY COLOR STUCCO

4 ADVANTAGE IP WOOD ENTRANCE DOOR

5 EGLO RIGA WALL MOUNT POWDER BLACK



10 PROPOSED REAR (WEST) ELEVATION-ADU
SCALE: 1/4" = 1'-0"



8 PROPOSED FRONT (EAST) ELEVATION - ADU
SCALE: 1/4" = 1'-0"

1409 HARRIET AVE.

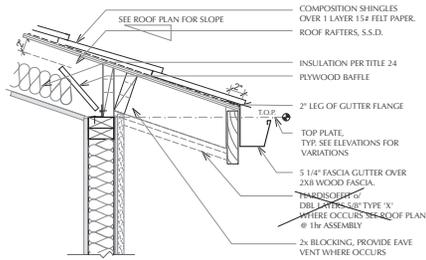
CAMPBELL, CA

A6

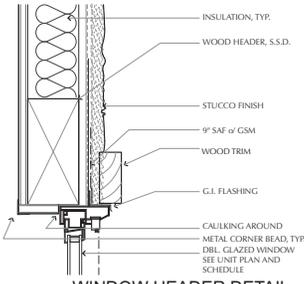
PROPOSED ADU ELEVATIONS & COLOR SCHEME



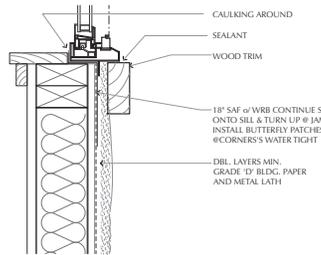
905 RUSSELL AVE. LOS ALITOS, CA. 94024
darkd@mac.com 650.464.2520



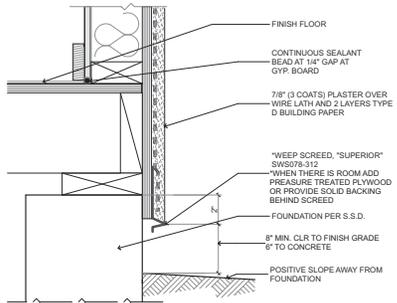
6 TYPICAL ROOF EAVE @ SLOPE CEILING
SCALE: 1/12" = 1'-0"



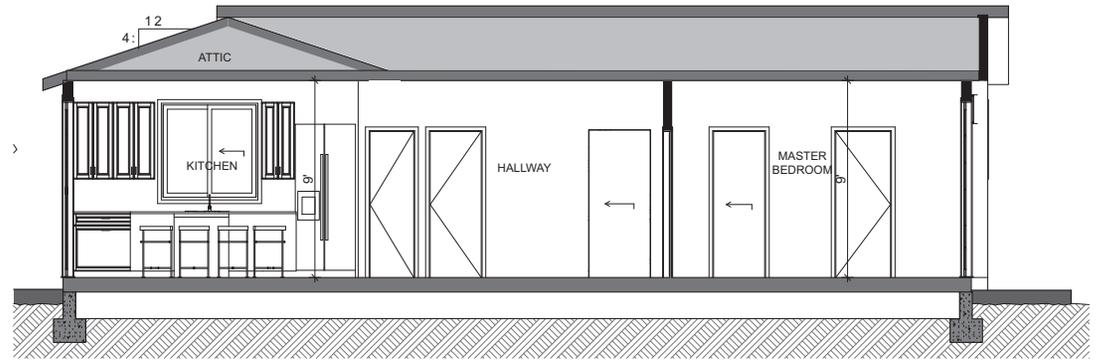
4 WINDOW HEADER DETAIL
SCALE: 3/8" = 1'-0"



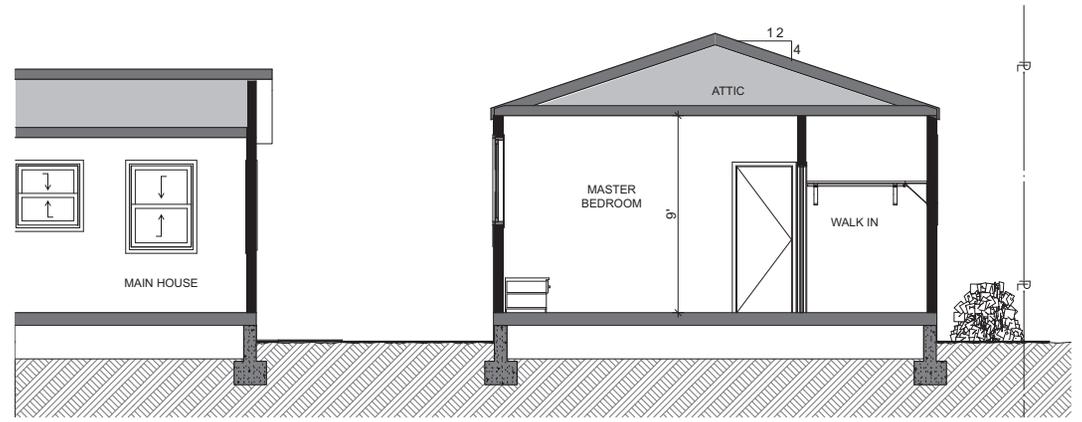
3 WINDOW SILL DETAIL
SCALE: 3/8" = 1'-0"



5 SILL AT EXTERIOR WALL
SCALE: 3/8" = 1'-0"



1 N-S CROSS SECTION ADU
SCALE: 3/8" = 1'-0"



2 E-W CROSS SECTION ADU
SCALE: 3/8" = 1'-0"

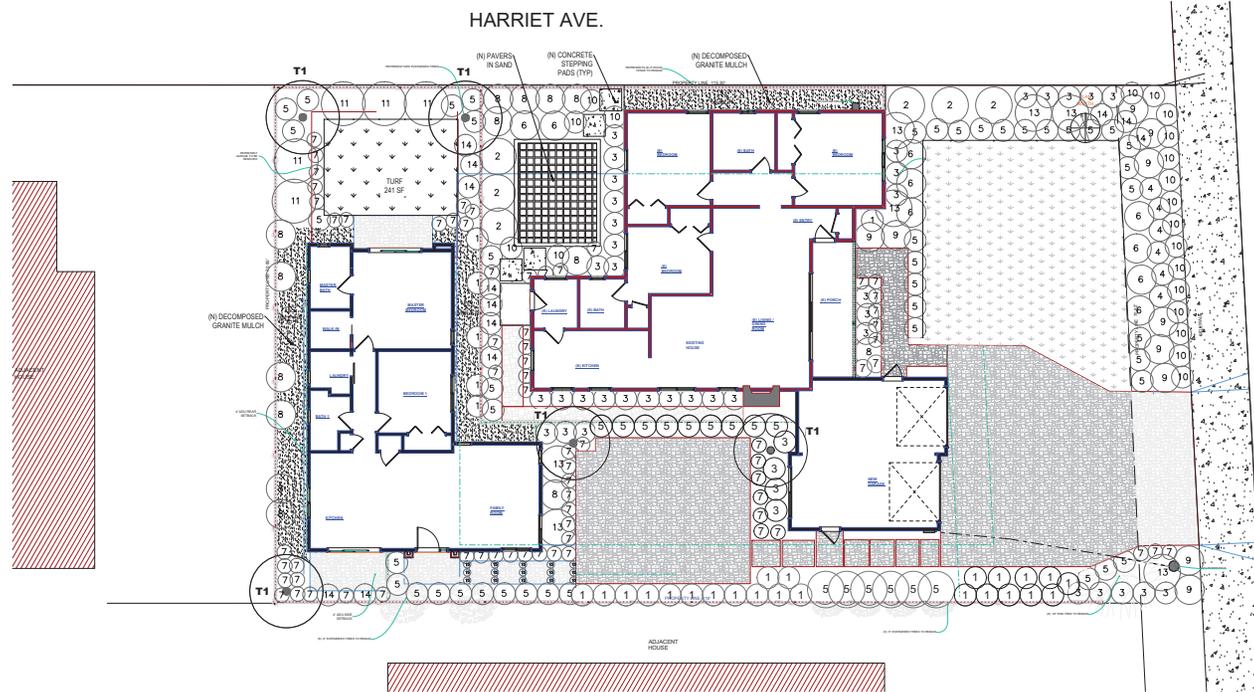
1409 HARRIET AVE.

CAMPBELL, CA

A7

PROPOSED SECTIONS





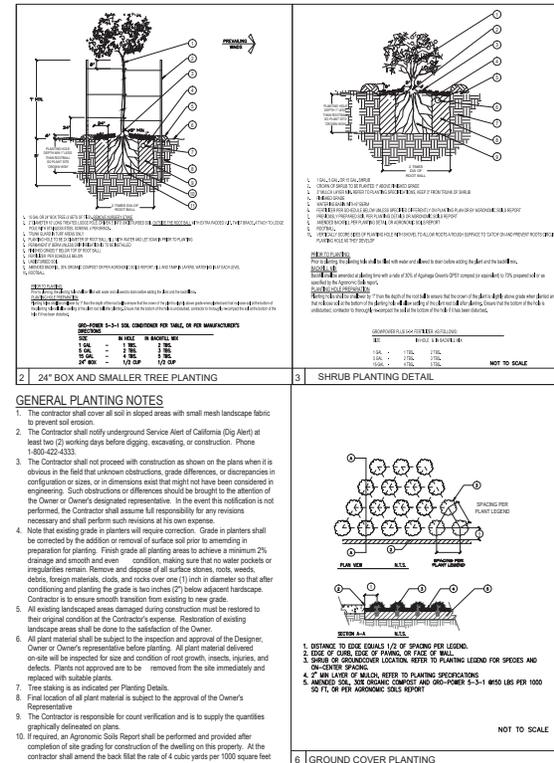
SHRUB LEGEND

| SYM | BOTANICAL | COMMON | SIZE | Count | WUCOLS |
|-----|---------------------------------------|----------------------------------|-----------|-------|--------|
| 1 | Juniperus scopulorum 'Skyrocket' | Skyrocket Juniper | 15 Gallon | 22 | L |
| 2 | Westringia fruticosa | Coast Rosemary | 5 Gallon | 6 | L |
| 3 | Myrtus communis 'Compacta' | Dwarf Myrtle | 5 Gallon | 42 | L |
| 4 | Achillea 'Moonshine' | Fern Leaf Yarrow | 1 Gallon | 6 | L |
| 5 | Lomandra longifolia 'Breeze' | Dwarf Mat Rush | 5 Gallon | 60 | L |
| 6 | Muhlenbergia capillaris 'Regal Mist' | Pink Muhly | 5 Gallon | 9 | L |
| 7 | Festuca californica | California Fescue | 5 Gallon | 65 | L |
| 8 | Prunus caroliniana 'Bright 'N' Tight' | Bright 'N' Tight Carolina Cherry | 15 Gallon | 14 | L |
| 9 | Artemisia 'Powis Castle' | Wormwood | 5 Gallon | 10 | L |
| 10 | Senecio mandraliscae | Blue Chalksticks | 1 Gallon | 20 | L |
| 11 | Dodonaea viscosa 'Purpurea' | Purple Hopseed Bush | 15 Gallon | 5 | L |
| 13 | Salvia leucantha 'Midnight' | Mexican Bush Sage | 5 Gallon | 7 | L |
| 14 | Phormium 'Black Adder' | New Zealand Flax Hybrid | 5 Gallon | 12 | L |
| 15 | Sedum rupestre 'Angelina' | Angelina Stonecrop | 4 Inch | 15 | L |

TREE LEGEND

| SYM | BOTANICAL | COMMON | SIZE | Count | WUCOLS |
|-----|------------------------------|---------------|-----------|-------|--------|
| T1 | Acacia ileaphylla (standard) | Willow Wattle | 15 Gallon | 5 | L |

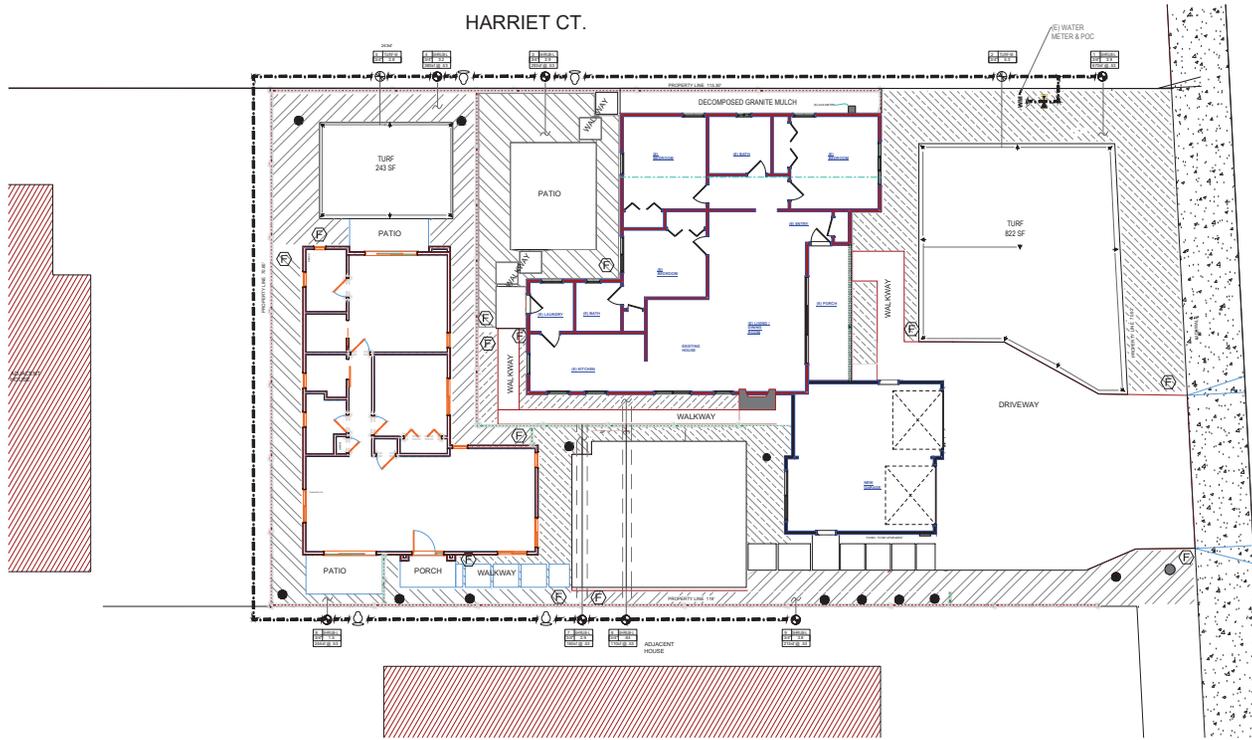
A MINIMUM 2" LAYER OF COMPOSTED ORGANIC MULCH TO BE APPLIED TO ALL EXPOSED SOIL AREAS EXCEPT IN AREAS OF TURF, CREEPING OR ROOTING GROUNDCOVER, OR OTHER SPECIAL SITUATIONS WHERE MULCH IS NOT RECOMMENDED. STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES



GENERAL PLANTING NOTES

- The contractor shall cover all soil in sloped areas with small mesh landscape fabric to prevent soil erosion.
- The Contractor shall notify underground Service Alert of California (Dig Alert) at least two (2) working days before digging, excavating, or construction. Phone 1-800-424-4333.
- The Contractor shall not proceed with construction as shown on the plans when it is obvious in the field that unknown obstructions, grade differences, or discrepancies in configuration or sizes, or in dimensions exist that might not have been considered in engineering. Such obstructions or differences should be brought to the attention of the Owner or Owner's designated representative. In the event this notification is not performed, the Contractor shall assume full responsibility for any revisions necessary and shall perform such revisions at his own expense.
- Note that existing grade in planters will require correction. Grade in planters shall be corrected by the addition or removal of surface soil prior to amending in preparation for planting. Final grade all planting areas to achieve a minimum 2% drainage and smooth and even condition, making sure that no water pockets or irregularities remain. Remove and dispose of all surface stones, roots, weeds, debris, foreign materials, clods, and rocks over one (1) inch in diameter so that after conditioning and planting the grade is two inches (2") below adjacent hardscape. Contractor is to ensure smooth transition from existing to new grade.
- All existing landscaped areas damaged during construction must be restored to their original condition at the Contractor's expense. Restoration of existing landscaped areas shall be done to the satisfaction of the Owner.
- All plant material shall be subject to the inspection and approval of the Designer, Owner or Owner's representative before planting. All plant material delivered on-site will be inspected for size and condition of root growth, insects, viruses, and defects. Plants not approved are to be removed from the site immediately and replaced with suitable plants.
- Tree staking is as indicated per Planting Details.
- Final location of all plant material is subject to the approval of the Owner's Representative.
- The Contractor is responsible for count verification and is to supply the quantities graphically delineated on plans.
- If required, an Agronomic Soils Report shall be performed and provided after completion of site grading for construction of the dwelling on this property. At the contractor shall amend the base fill at the rate of 4 cubic yards per 1000 square feet of area, incorporated to a depth of 6 inches or as indicated on planting details.

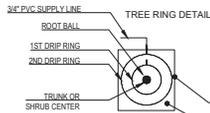
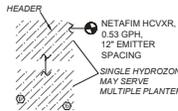
HARRIET CT.



IRRIGATION LEGEND

| SYMBOL | MANUFACT. | MODEL NO. / DESCRIPTION | GPM | PSI | RADIUS | PRECIP. RATE |
|--------|-----------|--|-----------|-----|--------|--------------|
| | RAINBIRD | R-VAN14 45°-270° VARIABLE ARC ROTARY NOZZLE 1800 P45 PRESSURE REGULATING POP-UP | 0.28-0.84 | 30 | 8'-14" | 0.64 |
| | RAINBIRD | R-VAN14 360° VARIABLE ARC ROTARY NOZZLE 1800 P45 PRESSURE REGULATING POP-UP | 1.10 | 30 | 8'-14" | 0.63 |

- PVC MANIFOLD (NOT SHOWN ON PLANS) SHALLOW TRENCH DRIP LINE (PLANTERS)
- INSTALL INLINE EMITTER TUBING ROWS A MAXIMUM OF 18" APART IN LARGE PLANTER AREAS, AND/OR IN WIDELY SPACED PLANTINGS EACH PLANT SHALL HAVE INLINE EMITTER TUBING INSTALLED IN PARALLEL ROWS ONE EACH SIDE OF THE PLANT AT THE EDGE OF THE ROOT BALL. LINES SHALL BE PLACED SO THAT EMITTERS ON EACH SIDE OF THE PLANTS ARE STAGGERED (SEE DETAIL SHEET)
 - INLINE EMITTER TUBING SHALL BE INSTALLED IN A SHALLOW TRENCH (SEE DETAIL) WITH WIRE STAKES AT 5' OC
 - IN ALL CASES, INLINE EMITTER TUBING SHALL BE PLACED AT MIN 6" FROM THE EDGE ALONGSIDE MASONRY.
 - VERIFY LAYOUT AND SPACING IN THE FIELD PRIOR TO STARTING WORK.
 - LAYOUT TO BE CENTER-FED WHERE PRACTICABLE TO STABILIZE WATER DISTRIBUTION.
 - ALL HEADERS TO BE BLANK TUBING; WITH 3/4" SCHEDULE 40 PVC SUPPLY LINE TO MANIFOLD.
 - PROVIDE FLUSH VALVE AT EACH END.
 - NO CHECK VALVE REQUIRED AT UNDER 8.5' OF GRADE CHANGE; NO AIR VACUUM RELIEF VALVE REQUIRED WITH HCVRX TUBING



TREE RINGS (NEW TREES ON DEDICATED VALVE)
NETAFIM HCVRX, .53 GPH, 12" EMITTER SPACING. INSTALL 1ST RING AT EDGE OF ROOT BALL OR 24" FROM TRUNK IF EXISTING TREE/SHRUB. INSTALL 2ND RING MIN. 24" FROM FIRST RING AND MIN. 3" FROM EDGE OF PLANTER AREA. EMITTERS TO BE STAGGERED BETWEEN THE RINGS. CONNECT TO 3/4" PVC LATERAL WITH NETAFIM FITTINGS.

* SYMBOL INDICATES THE LAYOUT AND EQUIPMENT WHEN TREES ARE ON A DEDICATED VALVE
IMPORTANT NOTE: FOR TREES IN PLANTER AREAS THAT ARE COMBINED WITH SHRUB IRRIGATION (NOT ON A DEDICATED VALVE), USE THIS RING ARRANGEMENT WITH SAME TUBING AS UTILIZED IN THE PLANTER.

NO SYMBOL NETAFIM ALL CONNECTIONS BETWEEN DRIP TUBING SHALL BE MADE USING NETAFIM FITTINGS

| SYMBOL | MANUFACT. | MODEL NO. / DESCRIPTION |
|--------|-----------|---|
| | NETAFIM | INSTALL A TJSOV AT LOW POINTS OF DRIFLINE OR PCV MANIFOLD LINE. FOR IN-GROUND APPLICATIONS, INSTALL FLUSH VALVE INSIDE A SEPERATE VALVE BOX. ONE AT THE END OF TUBING RUNS IN EACH DIRECTION. INSTALL MIN. ONE FLUSH VALVE PER 100' OF TUBING IN EACH DIRECTION ON DRIFLINE FLUSH MANIFOLD. INSTALL 18" FROM PAVING. FOR POTTERY APPLICATIONS INSTALL AT LAST POT ON THE LINE IN ALL DIRECTIONS. VALVE TO FIT INSIDE POT WITH SUFFICIENT LINE LENGTH TO FLUSH OVER THE EDGE OF THE POT WHEN OPENED. |
| | P.O.C. | 5/8" POTABLE WATER METER FOR IRRIGATION |
| | WATTS | B-6080-SS-SH FULL PORT BRONZE VALVE, STAINLESS STEEL BALL, STEM AND HANDLE SIZE VALVES PER LINE SIZE. |
| | RAIN BIRD | LOW FLOW CONTROL ZONE KIT 3/4" XACZ-075-PRF WITH PRESSURE REGULATING RBY FILTER. VALVE RANGE 0.2 - 5 GPM |
| | RAIN BIRD | LOW FLOW CONTROL ZONE KIT 3/4" XACZ-075-PRF WITH PRESSURE REGULATING RBY FILTER. VALVE RANGE 0.2 - 5 GPM |
| | BUCKNER | BUCKNER-SUPERIOR 3/4" HOSE BIB WITH VACUUM BREAKER |
| | RAIN BIRD | ESP-SMETS SMART MODULAR CONTROLLER WITH WEATHER SENSOR. LOCATE CONTROLLER IN GARAGE OR PER OWNER'S REPRESENTATIVE |
| | | PVC PIPE 3/4" SCH. 40 AS LATERAL LINES THROUGHOUT 12" BELOW GRADE |
| | | 1" SCH 40 PVC PIPE AS MAINLINES 24" BELOW GRADE - SEE PLAN FOR SIZES |
| | | PVC PIPE SCH. 40 AS SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED DRAINING IS DIAGRAMMATIC. CONTRACTOR SHALL PLACE SLEEVES BELOW ALL PAVING, HARDSCAPE, ETC., AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. |
| | | GRAPHIC (THIS AND SIMILAR) INDICATES DRIFLINE IN PLANTER AREAS, DETAIL N-L33 |
| | | GRAPHIC INDICATES EXISTING OR NEW TREE TRUNK |
| | WM | EXISTING WATER METER |

| | |
|--|------------------------------|
| | VALVE NUMBER |
| | INDICATES HYDROZONE |
| | INDICATES VALVE SIZE / GPM'S |
| | INDICATES PRECIP RATE |
| | ZONE AREA SF |

| | |
|--------|---------|
| 3A | SHRUB-L |
| 1" | 13.3 |
| 1332sf | @ .6 |



| | |
|--------------------|-----------------------------------|
| DATE: 03/11/2024 | PROJECT: HARRIET AVENUE RESIDENCE |
| SCALE: 1" = 10'-0" | DRAWN BY: [Name] |
| | CHECKED BY: [Name] |
| | APPROVED BY: [Name] |

| 1409 HARRIET AVE, CAMPBELL, CA | | | | | | | | | | |
|--|--------|------|-------|-------|---|-----|---|----------------|----------------|--|
| MAXIMUM APPLIED WATER ALLOWANCE: | | | | | | | | | | |
| TOTAL MAWA=(Eto)[(0.62)[(0.55 x LA) + (0.3 x SLA)] | | | | | | | | | | |
| | | | | | | | | | 45,862 Gal./Yr | |
| | | | | | | | | | 61 ccf/yr | |
| Eto | factor | crop | LA | | | | | | | |
| 42.9 | 0.62 | 0.55 | 3,135 | | | | | | | |
| TOTAL ESTIMATED APPLIED WATER USED: | | | | | | | | | | |
| TOTAL EAWU=(Eto x 0.62) x [(HA x PF)/IE] + SLA)] | | | | | | | | | | |
| | | | | | | | | | 44,310 Gal./Yr | |
| | | | | | | | | | 59 ccf/yr | |
| Percentage of MAWA used : 96.6% | | | | | | | | | | |
| Calculations : | | | | | | | | | | |
| Hydrozone # 1 (SHRUB & TREE LOW-DRIP) | | | | | | | | | | |
| 42.9 | x | 0.62 | x | 2,070 | x | 0.2 | = | 13,267 Gal./Yr | | |
| 0.83 | | | | | | | | | | |
| Hydrozone # 2 (TURF MOD-DRIP) | | | | | | | | | | |
| 42.9 | x | 0.62 | x | 1,065 | x | 0.8 | = | 31,043 Gal./Yr | | |
| 0.73 | | | | | | | | | | |

| IRRIGATION SCHEDULE - ESTABLISHMENT PERIOD (6 months) | | | | | | | | | | | | | | | | |
|---|----------------|-----------------|------------------------|------|------|------|------|------|------|------|------|------|------|--------|------|---------------|
| 1409 HARRIET AVE | | | | | | | | | | | | | | | | |
| Typical Conditions | | | | | | | | | | | | | | | | |
| ETo/Mo | | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | Total: | | |
| ETo/Day | | 1.50 | 1.80 | 2.80 | 3.90 | 5.00 | 5.60 | 6.20 | 5.50 | 4.70 | 3.20 | 1.70 | 1.10 | 43.00 | | |
| PDC / Controller: | | A | | | | | | | | | | | | | | |
| ETo/Day | | 0.05 | 0.06 | 0.09 | 0.13 | 0.16 | 0.19 | 0.20 | 0.18 | 0.16 | 0.10 | 0.50 | 0.04 | | | |
| Days/Week | | 2 | 3 | 3 | 3 | 4 | 4 | 4 | 4 | 4 | 3 | 3 | 2 | | | |
| Type | AKc | Pr Rate | IE | | | | | | | | | | | | | |
| Shrub/Tree | | | | | | | | | | | | | | | | |
| Drip | 0.2 | 0.53 | 0.83 | 4.6 | 4.1 | 5.7 | 8.3 | 7.7 | 8.9 | 9.5 | 8.5 | 7.5 | 6.6 | 31.8 | 3.4 | Min/Day |
| 7 | Qty. of Valves | Total Run Times | | 32 | 29 | 40 | 58 | 54 | 62 | 67 | 59 | 52 | 46 | 223 | 24 | Total Min/Day |
| Turf | | | | | | | | | | | | | | | | |
| MP Rotator | 0.7 | 0.64 | 0.73 | 15.2 | 13.5 | 18.3 | 27.3 | 25.4 | 29.4 | 31.5 | 27.9 | 24.6 | 21.7 | 104.9 | 11.2 | Min/Day |
| 2 | Qty. of Valves | Total Run Times | | 30 | 27 | 38 | 55 | 51 | 59 | 63 | 56 | 49 | 43 | 210 | 22 | Total Min/Day |
| Total Values: | | 9 | TOTAL RUN TIMES (HRS): | | 1.0 | 0.9 | 1.3 | 1.9 | 1.7 | 2.0 | 2.2 | 1.9 | 1.7 | 1.5 | 7.2 | 0.8 |
| | | | | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | |

| IRRIGATION SCHEDULE - ESTABLISHED LANDSCAPE | | | | | | | | | | | | | | | | |
|---|----------------|-----------------|------------------------|------|------|------|------|------|------|------|------|------|------|--------|------|---------------|
| 1409 HARRIET AVE | | | | | | | | | | | | | | | | |
| Typical Conditions | | | | | | | | | | | | | | | | |
| ETo/Mo | | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | Total: | | |
| ETo/Day | | 1.50 | 1.80 | 2.80 | 3.90 | 5.00 | 5.60 | 6.20 | 5.50 | 4.70 | 3.20 | 1.70 | 1.10 | 43.00 | | |
| PDC / Controller: | | A | | | | | | | | | | | | | | |
| ETo/Day | | 0.05 | 0.06 | 0.09 | 0.13 | 0.16 | 0.19 | 0.20 | 0.18 | 0.16 | 0.10 | 0.06 | 0.04 | | | |
| TYPICAL Days/Week | | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | 2 | | | |
| Type | AKc | Pr Rate | IE | | | | | | | | | | | | | |
| Shrub/Tree | | | | | | | | | | | | | | | | |
| Drip | 0.2 | 0.53 | 0.83 | 4.6 | 6.1 | 8.6 | 12.4 | 15.4 | 17.8 | 19.1 | 16.9 | 15.0 | 9.9 | 5.4 | 3.4 | Min/Day |
| 7 | Qty. of Valves | Total Run Times | | 32 | 43 | 60 | 87 | 108 | 125 | 134 | 119 | 105 | 69 | 38 | 24 | Total Min/Day |
| Turf | | | | | | | | | | | | | | | | |
| MP Rotator | 0.8 | 0.64 | 0.73 | 17.4 | 23.1 | 32.5 | 46.7 | 58.0 | 67.1 | 71.9 | 63.8 | 56.3 | 37.1 | 20.4 | 12.8 | Min/Day |
| 2 | Qty. of Valves | Total Run Times | | 35 | 46 | 65 | 93 | 116 | 134 | 144 | 128 | 113 | 74 | 41 | 26 | Total Min/Day |
| Total Values: | | 9 | TOTAL RUN TIMES (HRS): | | 1.1 | 1.5 | 2.1 | 3.0 | 3.7 | 4.3 | 4.6 | 4.1 | 3.6 | 2.4 | 1.3 | 0.8 |
| | | | | JAN | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | |

Landscape Maintenance Schedule

1) Landscapes shall be maintained to ensure water efficiency. A regular maintenance schedule shall include but not limited to checking, adjusting, cleaning and repairing equipment; resetting the automatic controller, aerating and detaching turf areas; replenishing mulch, fertilizing, pruning; and weeding in all landscape areas.

2) Repair of irrigation equipment shall be done with the originally specified materials or their approved equivalents.

Operation and Maintenance Manuals:

Prepare and deliver to the OWNER'S Representative, prior to the start of maintenance, all required and necessary descriptive material in complete detail and sufficient quantity, properly prepared in four individually bound copies. Describe the material installed in sufficient detail to permit qualified operating personnel to understand, operate and maintain all equipment. Each manual shall include the following:

i. Index sheet indicating the Contractor's name, address and telephone number, fax number and e-mail address.

ii. Duration of guarantee period with guarantee forms.

iii. List of equipment with names and addresses of manufacturer's local representatives.

iv. Complete operating and maintenance instructions on all major equipment.

IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS OR OUTSIDE PROPERTY LINES IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED, SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS.



