



CITY OF CAMPBELL
Community Development Department

November 25, 2020

NOTICE OF PUBLIC HEARING
THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **December 8, 2020**, for a Public Hearing to consider the application (PLN2020-7) of Viotti Architects for a Site and Architectural Review Permit to allow construction of an approximately 8,200 square-foot industrial building; a Parking Modification Permit to allow a reduction in the number of required parking stalls; a Variance to allow a zero side setback; and a Tree Removal Permit to allow removal of on-site protected trees on property located at **930 Dell Avenue**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at https://us02web.zoom.us/webinar/register/WN_Zc0V9mxtRgWk9O10N5ox2q. After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, December 4th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to planning@campbellca.gov. Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Wednesday, November 25, 2020, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE:

When calling on this Notice, refer to **930 Dell Avenue**

NEW FACILITY FOR: DRS STAIRS & CONSTRUCTION

REVISIONS	
NO.	DATE
06/07/14	OWNER
12/8/14	OWNER
1/14/20	PLANNING SUB
08/10/20	DR PCC 1
04/17/20	DR PCC 2

SYMBOLS LEGEND / ABBREVIATIONS

	FINISHED FLOOR ELEVATION (LESS THAN 1/2" DIFF)	AD	AREA DRAIN ADDITION	AT	AREA DRAIN ADDITION
	DETAIL REFERENCE	ADJ	ADJUSTABLE	AW	ABOVE FINISH FLOOR
	WALL SECTION REFERENCE	ALM	ALUMINUM	ALT	ALTERNATE
	BUILDING SECTION REFERENCE	ANOD	ANODIZED	ARCH	ARCHITECTURAL BOARD
	ENLARGED ELEVATION REFERENCE	BLDG	BUILDING	BLDG	BUILDINGS
	DETAIL REFERENCE	BM	BEAM	BY	BY OTHERS
	DOOR REFERENCE	CAB	CABINET	C.J.	CEILING JOIST
	ROOM REFERENCE	CLG	CEILING	CLR	CLEAR
	WINDOW REFERENCE	CLD	CLOSET	CO.	CLEAN OUT
	HALL TYPE REFERENCE	CONC	CONCRETE	CONT	CONTRACTOR
	GRID IDENTIFIER	DBL	DOUBLE	DOUGL	DOUGLAS FIR
	LEVEL ONE ELEVATION	DIA	DIAMETER	DI	DIMENSION
	DATUM REFERENCE	DI	DIMENSION	DJ	DESIG. JOIST
	SECTION 1	DN	DOWN	DN	DOWNSPOUT
	SECTION 2	DN	DOWN	DN	DOWNSPOUT
	SECTION 3	DN	DOWN	DN	DOWNSPOUT
	SECTION 4	DN	DOWN	DN	DOWNSPOUT
	SECTION 5	DN	DOWN	DN	DOWNSPOUT
	SECTION 6	DN	DOWN	DN	DOWNSPOUT
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	SECTION 99	DN	DOWN	DN	DOWNSPOUT
	SECTION 100	DN	DOWN	DN	DOWNSPOUT

GENERAL NOTES

CODES
THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24: PART 2 2014 CALIFORNIA BUILDING CODE PART 25 2014 CALIFORNIA RESIDENTIAL CODE PART 5 2014 CALIFORNIA ELECTRICAL CODE PART 4 2014 CALIFORNIA MECHANICAL CODE PART 5 2014 CALIFORNIA PLUMBING CODE PART 6 2014 CALIFORNIA ENERGY CODE PART 4 2014 CALIFORNIA FIRE CODE PART 11 2014 CALIFORNIA GREEN BUILDING STANDARDS CODE AND THE CITY OF CAMPBELL MUNICIPAL CODE

DRAWINGS
1. GENERAL CONDITIONS, THE STANDARD A.J.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2. DIMENSIONS, WRITTEN DIMENSIONS SHALL GOVERN. DO NOT SCALE THE DRAWINGS.
3. DIMENSIONS, ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
4. DIMENSIONS, CLR DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
5. COMPLETION, THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.

GENERAL CONTRACTOR'S RESPONSIBILITIES
6. PLANS ON SITE, THE GENERAL CONTRACTOR (HEREINAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
7. DISCREPANCIES, G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
8. SUBSTITUTIONS, THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
9. INSPECTIONS, THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED, MIN. 48 HOURS NOTICE FOR SITE VISITS.
10. SAFETY, THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
11. DEFERRED SUBMITTALS, DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
12. WORKMANSHIP, ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
13. MANUFACTURER'S REQUIREMENTS, THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
14. BRACING AND SHORING, DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.

DEFERRED SUBMITTALS

- FIRE SPRINKLERS
- FIRE ALARM SYSTEM

SCOPE OF WORK

- CONSTRUCTION OF A NEW COMMERCIAL BUILDING WITH OFFICE AND WORKSHOP SPACE
- PAVED AREA FOR DRIVEWAY AND PARKING
- NEW LANDSCAPING

NOTE
1. THERE WILL BE NO MATERIAL STORAGE OUTDOORS. ALL MATERIALS STORAGE WILL REMAIN INDOORS.
2. THERE WILL BE NO HAZARDOUS MATERIALS OR PROCESSES USED DURING THE FABRICATION STAIRCASES.
3. STAIRCASES WILL BE BROKEN DOWN TO THEIR COMPONENTS AND SHIPPED TO THE JOB SITE VIA STANDARD CONSTRUCTION WORK TRUCKS. NO SEMI-TRAILER OR FLATBED VEHICLES WILL BE USED TO TRANSPORT THE STAIRCASES.

FRONT ENTRY PERSPECTIVE



VICINITY MAP



CONSULTANTS

ARCHITECT:	VOTTI ARCHITECTS 3002 INDUSTRIAL ROAD SUITE 14 SAN CARLOS, CA 94070 T: 650-945-2869 F: 650-945-2460
STRUCTURAL ENG:	MORRIS SHAFFER ENGINEERING 3002 INDUSTRIAL ROAD SUITE 14 SAN CARLOS, CA 94070 T: 650-945-2878 F: 650-945-2800
LANDSCAPE ARCHITECT:	CLEAVER DESIGN ASSOCIATES 120 VACATION DRIVE LAFAYETTE, CA 94544 T: 650-454-9044
GEOTECHNICAL ENG:	MICHELLECCI & ASSOCIATES, INC. 1801 MURCHISON DRIVE SUITE 400 BURLINGAME, CA 94010 T: 650-642-0465
CIVIL ENG:	PRECISION ENGINEERING AND CONSTRUCTION, INC. 401 HALTERHEIM STREET BELMONT, CA 94002 T: 650-238-8640
SURVEYOR:	MUR CONSULTING INC. 181 CHURCH AVENUE DANFORD, CA 95561 T: 209-545-8494
TITLE 24 ENERGY & GREEN BUILDING:	A PLUS GREEN ENERGY SERVICES 41 C HANANE WAY WATSONVILLE, CA 95076 T: 851-128-7171

SHEET INDEX

TO	TITLE SHEET
1	BOUNDARY AND TOPOGRAPHIC SURVEY
2	BOUNDARY AND TOPOGRAPHIC SURVEY
3	BOUNDARY AND TOPOGRAPHIC SURVEY
C-0	CIVIL TITLE SHEET
C-2	GRADING PLAN
C-3	UTILITY PLAN
L-001	LANDSCAPE COVER SHEET
L-101	SITE PLAN
L-102	PLANTING PLAN
L-103	PLANS
L-501	LANDSCAPE DETAILS
A01	SITE PLAN, CONSTRUCTION STAGING PLAN, PARKING CALCULATIONS & NOTES
A02	FIRE APPARATUS ACCESS, CIRCULATION & ACCESSIBILITY PLANS & NOTES
A03	SITE PHOTOMETRIC PLAN & NOTES
A04	TREE REMOVAL PLAN
A05	STREETSCAPE PHOTOS
A1.0	FLOOR AREA DIAGRAMS & CALCULATIONS
A1.1	PROPOSED FLOOR PLANS
A2.1	PROPOSED EXTERIOR ELEVATIONS
A2.2	PROPOSED BUILDING SECTIONS
M&I.0	MATERIALS BOARD

APN #	424-40-001
ZONE	F-1, B, S-2
OCCUPANCY	V-10
CONSTRUCTION TYPE	YES - NEW
AUTOMATIC SPRINKLERS	1 STORY W/ MEZZANINE
STORIES	
SITE AREA	1,241.91 SF
FLOOR AREA	11,916.6 SF
MAX. ALLOWED (40)	
PROPOSED AREAS	
FIRST FLOOR OFFICE AREA	2,118 SF
FIRST FLOOR WAREHOUSE	4,668 SF
STORAGE MEZZANINE AREA	1,098 SF
TOTAL	8,194 SF
SITE COVERAGE	
PROPOSED AREAS	
NEW BUILDING	6,173 SF
TRASH ENCLOSURE	240 SF
IMPERVIOUS PAVED AREA	10,575 SF
TOTAL	17,819 SF

Attachment A - Items to be Provided on Project

Page 1

AMENDMENT PARCEL NUMBER: 424 40 001

LOI# 162146

DATE: 08/10/20

DEVELOPMENT DATA	Area (sq. ft.)		Percent of Site	
	Existing	Proposed	Existing	Proposed
Building coverage	0	11,018.0	0	87%
Landscaping coverage	0	10,875.0	0	86%
Paving coverage	0	10,875.0	0	86%
FLOOR AREA RATIO: Total bldg s.f. divided by total s.f. of site	0	27%	0	21%

ADJACENT LAND USES:

Use: VACANT

North

East

West

PARKING:

Number of Spaces	2 Compact Spaces	3 Disabled Spaces	TOTAL PARKING
1	1	1	3

RESTAURANT AND ASSEMBLY USE:

Seating Count: 0

RESIDENTIAL PROJECTS:

UNIT TYPE	UNIT TYPE	UNIT TYPE	UNIT TYPE
NA	NA	NA	NA



NEW FACILITY FOR:
DRS STAIRS & CONSTRUCTION
9320 BELL AVENUE
CAMPBELL, CA 95008

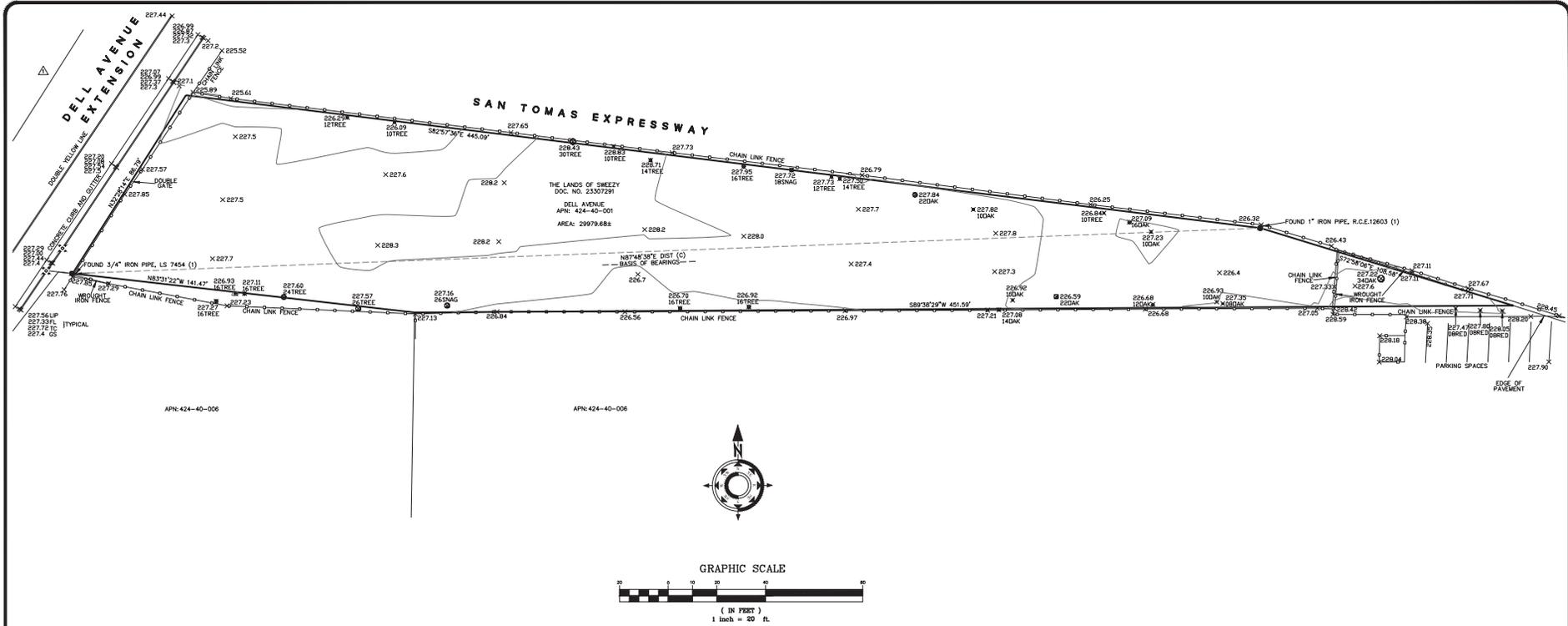


This drawing, as an instrument of service, is the property of VOTTI ARCHITECTS and shall not be reproduced, modified or used in any way without the written consent of VOTTI ARCHITECTS.

TITLE SHEET

DATE: 05/22/14
DRAWN BY: RV
JOB#: 1413

TO



- LEGEND:**
- EP EDGE OF PAVEMENT
 - FL FLOWLINE
 - OS OUBROU SHOT
 - UP UP OF GUTTER
 - TC TOP OF CURB
 - (C) CALCULATED
 - (I) 796 W 12
 - INDICATES BOUNDARY LINE
 - INDICATES LOT LINE
 - INDICATES MINOR CONTOURS
 - INDICATES CHAIN LINK FENCE
 - INDICATES WROUGHT IRON FENCE
 - INDICATES FOUND IRON PIPE, AS NOTED
 - X INDICATES FOUND PUNCH IN TOP OF CURB
 - INDICATES TREE SIZE AND TYPE
 - DAK OAK TREE
 - SNAG STANDING DEAD TREE

- NOTES:**
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 - THE DATE OF THE FIELD SURVEY WAS JUNE 3, 2019.
 - ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.

BENCHMARK:

▲ ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:

THE BEARING, NORTH 87°48'30" EAST, BETWEEN THE FOUND 3/4" IRON PIPE, TAGGED LS 7457 AND THE FOUND 1" IRON PIPE, TAGGED R.C.E. 12603, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON JANUARY 23, 2006, IN BOOK 796 OF MAPS AT PAGE 12, IN THE OFFICE OF THE RECORDER, SANTA CLARA COUNTY WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:

NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

TREE NOTE:

TREE TYPES, CRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

RECORD BOUNDARY NOTE:

THIS BOUNDARY IS BASED ON RECORD DATA AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. NO WARRANTIES OR GUARANTEES ARE EXPRESSED OR IMPLIED IN REGARD TO THE ACCURACY OF THE BOUNDARY AS SHOWN. IF ACCURATE BOUNDARY DATA IS PERTINENT FOR DESIGN OR DEVELOPMENT THEN A FULL BOUNDARY SURVEY MUST BE PERFORMED BY MUIR AND A RECORD OF SURVEY MUST BE FILED.

SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

[Signature]
 LICENSE EXP. 02-31-2021
 S. 7538
 STATE OF CALIFORNIA

DATE: 09/29/2020

MUIR CONSULTING, INC.
 139 COUNCH AVENUE
 SAN JOSE, CA 95128
 (408) 845-8630 FAX (408) 845-8639
 LAND SURVEYING • GPS • REMOTE SENSING
 www.muirconsulting.com



TOPOGRAPHIC SURVEY
APN 424-40-001
DELL AVENUE
 SANTA CLARA COUNTY

JOB NUMBER: 6664-01
 DRAWING NAME: 6664-01 TOPO
 SHEET NO.: 1 of 3

REVISIONS	DATE	BY
ADDITIONAL STREET TOPO (07/24/20)		

CALIFORNIA

- LEGEND:**
- AC ASPHALTIC CONCRETE
 - CL CHAIN LINKED
 - COMM CONCRETE COMMUNICATION
 - CONC CONCRETE
 - EL ELECTRIC
 - FL FLOWLINE
 - GS GROUNDSHOT
 - JP JOINT POLE
 - PED PEDESTAL
 - PP POWER POLE
 - SDMH STORM DRAIN MANHOLE
 - SSMH SANITARY SEWER MANHOLE
 - TC TOP OF CURB
 - UNKN UNKNOWN
 - UTL UTILITY
 - WLT WALL
 - WGV WATER GATE VALVE
 - WFS WHITE PAINT STRIKE

- X228.5 INDICATES GROUNDSHOT
- INDICATES BOUNDARY LINE
- INDICATES LOT LINE
- INDICATES MINOR CONTOUR LINE
- INDICATES ACCESS PROHIBITED
- - - - - INDICATES OVERPASS

- NOTES:**
- ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 - THE DATE OF THE FIELD SURVEY WAS FEBRUARY 07, 2020.
 - ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
 - CONTOURS ARE AT ONE FOOT INTERVALS.

BENCHMARK:

⊕ ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:

THE BEARING, NORTH 87°48'38" EAST, BETWEEN THE FOUND 3/4" IRON PIPE, TAGGED L.S. 7457 AND THE FOUND 1" IRON PIPE, TAGGED R.C.E. 19003, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON JANUARY 23, 2006, IN BOOK 796 OF MAPS AT PAGE 12 IN THE OFFICE OF THE RECORDER, SANTA CLARA COUNTY WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:

EASEMENTS, RIGHTS, RIGHTS-OF-WAY, RESTRICTIONS LISTED IN PRELIMINARY REPORT PREPARED BY OLD REPUBLIC TITLE COMPANY, ORDER NUMBER 061503170-IP, DATED JULY 17, 2019 ARE AS FOLLOWS:

- (8) SAN JOSE WATER COMPANY EASEMENT - THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED OF RECORD (1870).
- (9) RENEIL KEITH THOMAS RIGHT OF WAY FOR WATER - EXACT LOCATION NOT DISCLOSED OF RECORD (1887).
- (10) THE RIGHTS TO THE DITCHES, FULMES, AQUEDUCTS AND OTHER WATERWAYS AS CONVEYED TO SANTA CLARA VALLEY WATER COMPANY, A CORPORATION, BY DEED DATED SEPTEMBER 13, 1904, RECORDED OCTOBER 10, 1904 IN BOOK 283 OF DEEDS, PAGE 239 - DOES NOT AFFECT OUR PROPERTY.
- (11) PACIFIC GAS AND ELECTRIC COMPANY EASEMENT THE EXACT LOCATION OF WHICH IS NOT DISCLOSED OF RECORD - THE PRESENT OWNERSHIP OF SAID EASEMENT AND OTHER MATTERS AFFECTING THE INTERESTS THEREOF, IF ANY, ARE NOT SHOWN HEREIN.
- (12) IRA A. BEAL DEED COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED JANUARY 16, 1946 IN BOOK 1522 OF OFFICIAL RECORDS, PAGE 285 - DOES NOT AFFECT SUBJECT PROPERTY.
- (13) IRA A. BEAL DEED AFFECTING A 12 FOOT STRIP THE EXACT LOCATION OF WHICH IS NOT DISCLOSED OF RECORD - THE PRESENT OWNERSHIP OF SAID EASEMENT AND OTHER MATTERS AFFECTING THE INTERESTS THEREOF, IF ANY, ARE NOT SHOWN HEREIN.
- (14) RELEASE AND RELINQUISHMENT OF ADJUTERS OR ACCESS RIGHTS TO AND FROM SAN TOMAS EXPRESSWAY - SHOWN ON THIS MAP.
- (15) THE EFFECTS IF ANY OF THE RECORD OF SURVEY RECORDED ON JANUARY 29, 1969 IN BOOK 248 OF MAPS, PAGE 24 - SHOWN ON THIS MAP.

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

RECORD BOUNDARY NOTE:

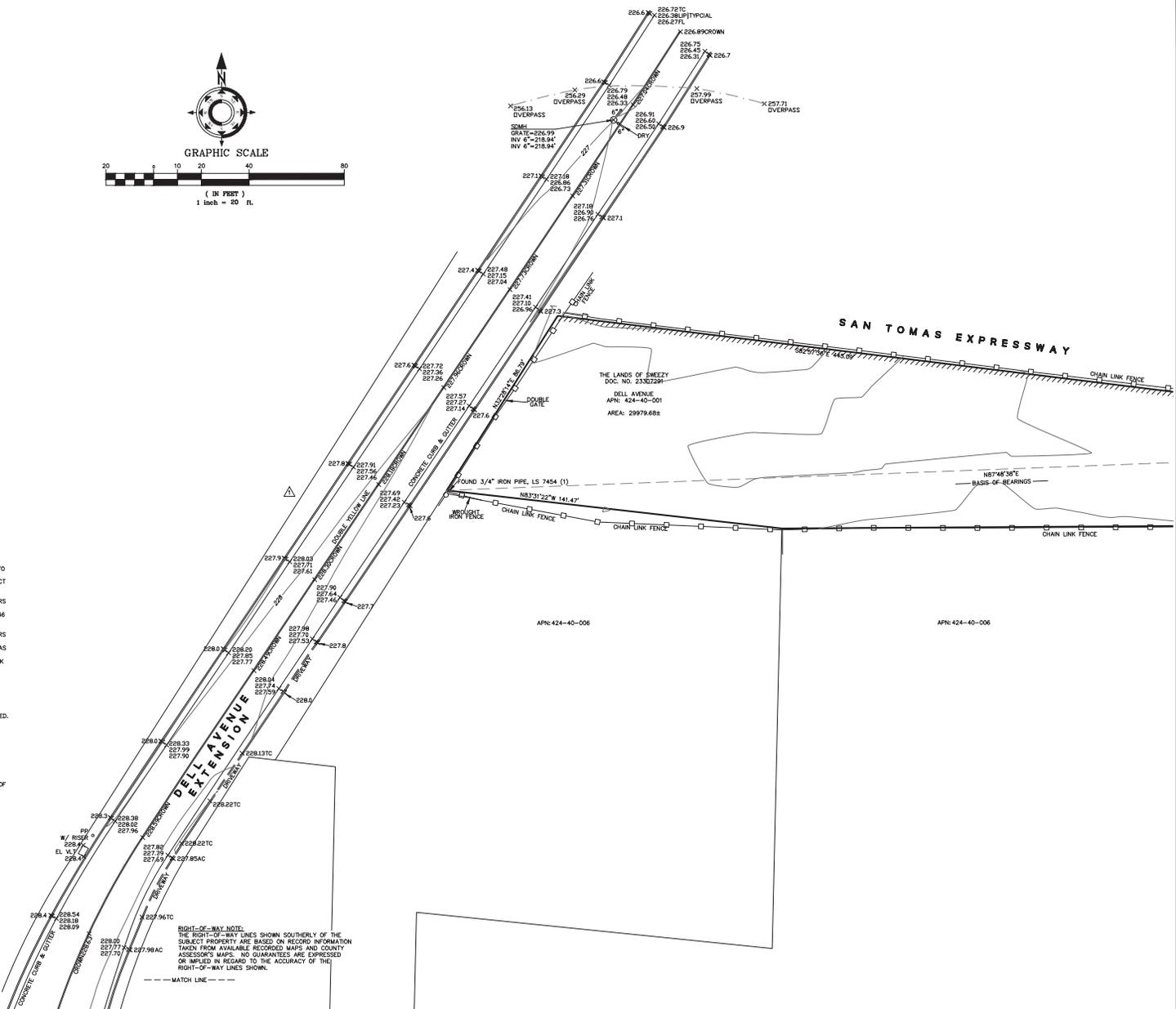
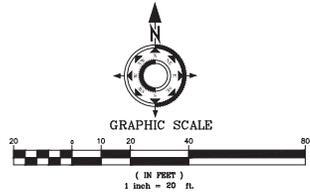
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SURVEYOR'S STATEMENT:

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

MUIR & SUTHERLAND, S. 7539
 LICENSE EXPIRES 12-31-2021

DATE _____



RIGHT-OF-WAY NOTE:
 THE RIGHT-OF-WAY LINES SHOWN SOUTHERLY OF THE SUBJECT PROPERTY ARE BASED ON RECORD INFORMATION TAKEN FROM AVAILABLE RECORDED MAPS AND COUNTY ASSESSOR'S MAPS. NO GUARANTEES ARE EXPRESSED OR IMPLIED IN REGARD TO THE ACCURACY OF THE RIGHT-OF-WAY LINES SHOWN.

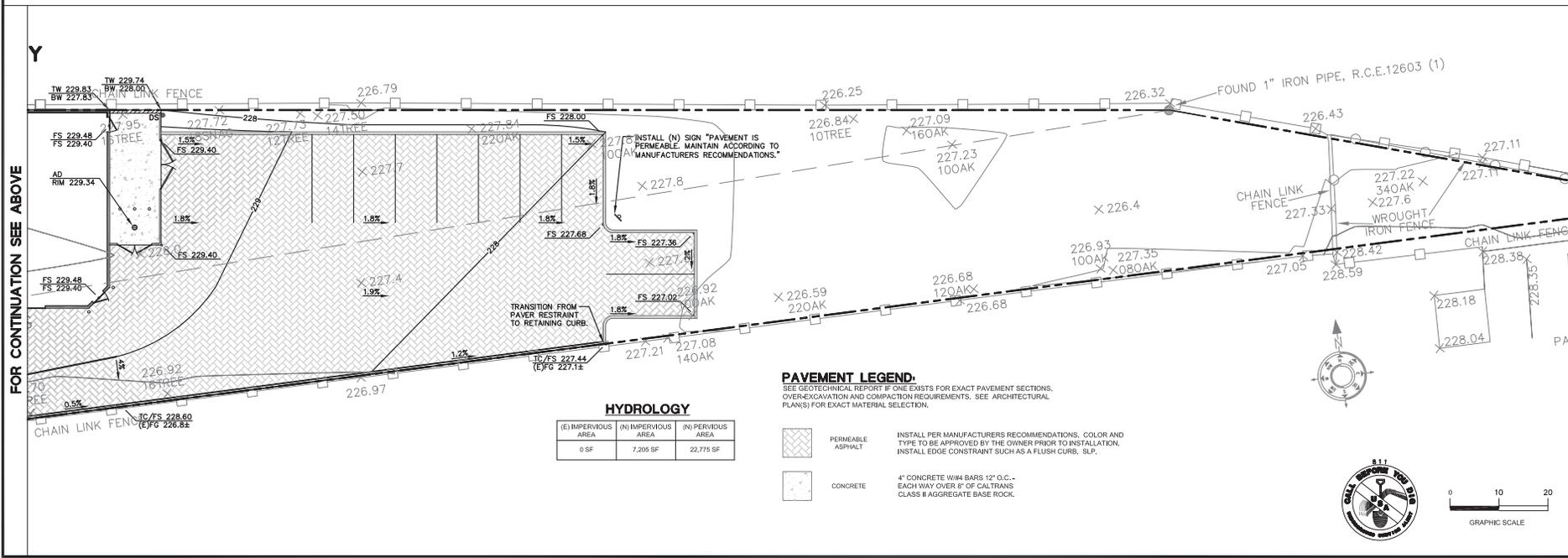
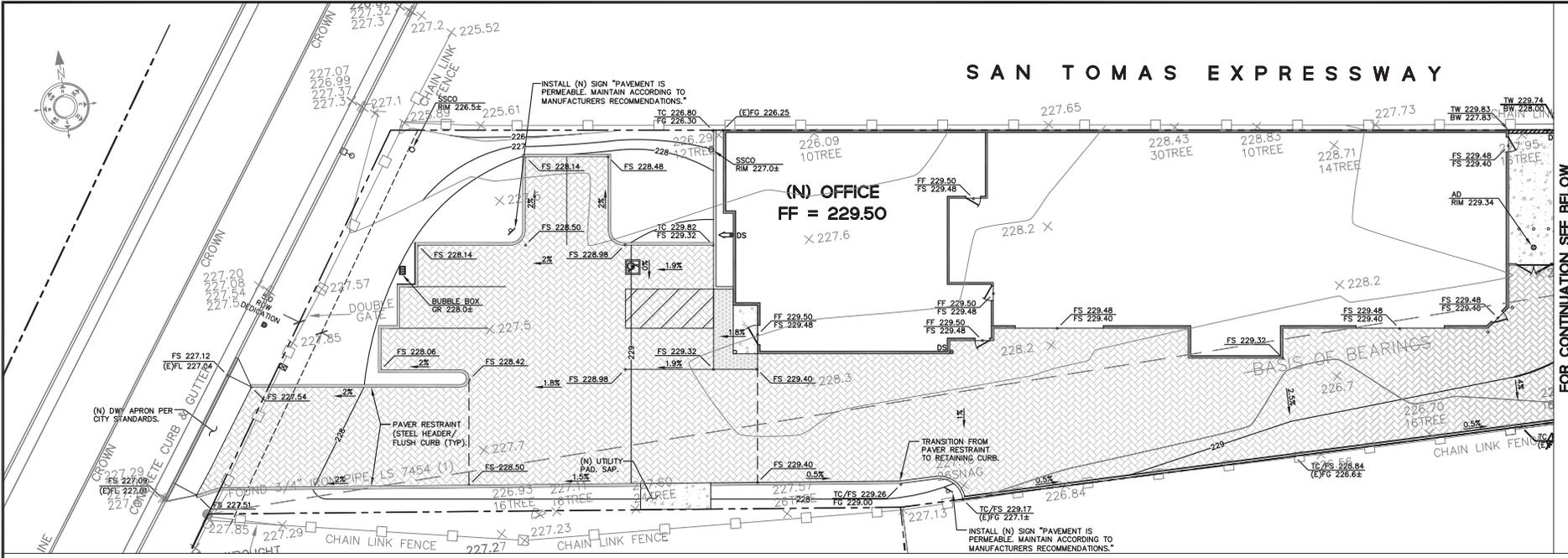
MUIR CONSULTING, INC.
 139 COUNTRICH AVENUE
 SAN JOSE, CA 95128
 (408) 845-8630 FAX (408) 845-8639
 LAND SURVEYING • GPS • REMOTE AERIAL SURVEYS
 www.muirconsulting.com

TOPOGRAPHIC SURVEY
OF
930 DELL AVENUE
 SANTA CLARA COUNTY CALIFORNIA

REVISIONS	JOB NUMBER 6664-02	DRAWN BY	DRAWING NAME
	ADDITIONAL STREET INFO	WCC	6664-02TOP00.dwg
		CREATED BY	SHEET NO.
		JMS	2 of 3
		DATE	02/20/2020
			CAMPBELL



SAN TOMAS EXPRESSWAY



FOR CONTINUATION SEE ABOVE

FOR CONTINUATION SEE BELOW

PRECISION ENGINEERING AND CONSTRUCTION INC.
 951 Wilshire Street
 Redwood City, CA 94062
 Tel: 650.229.0640
 Fax: 650.229.0599
 Email: info@precisionec.com

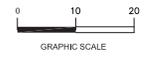
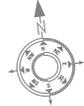
DATE: _____

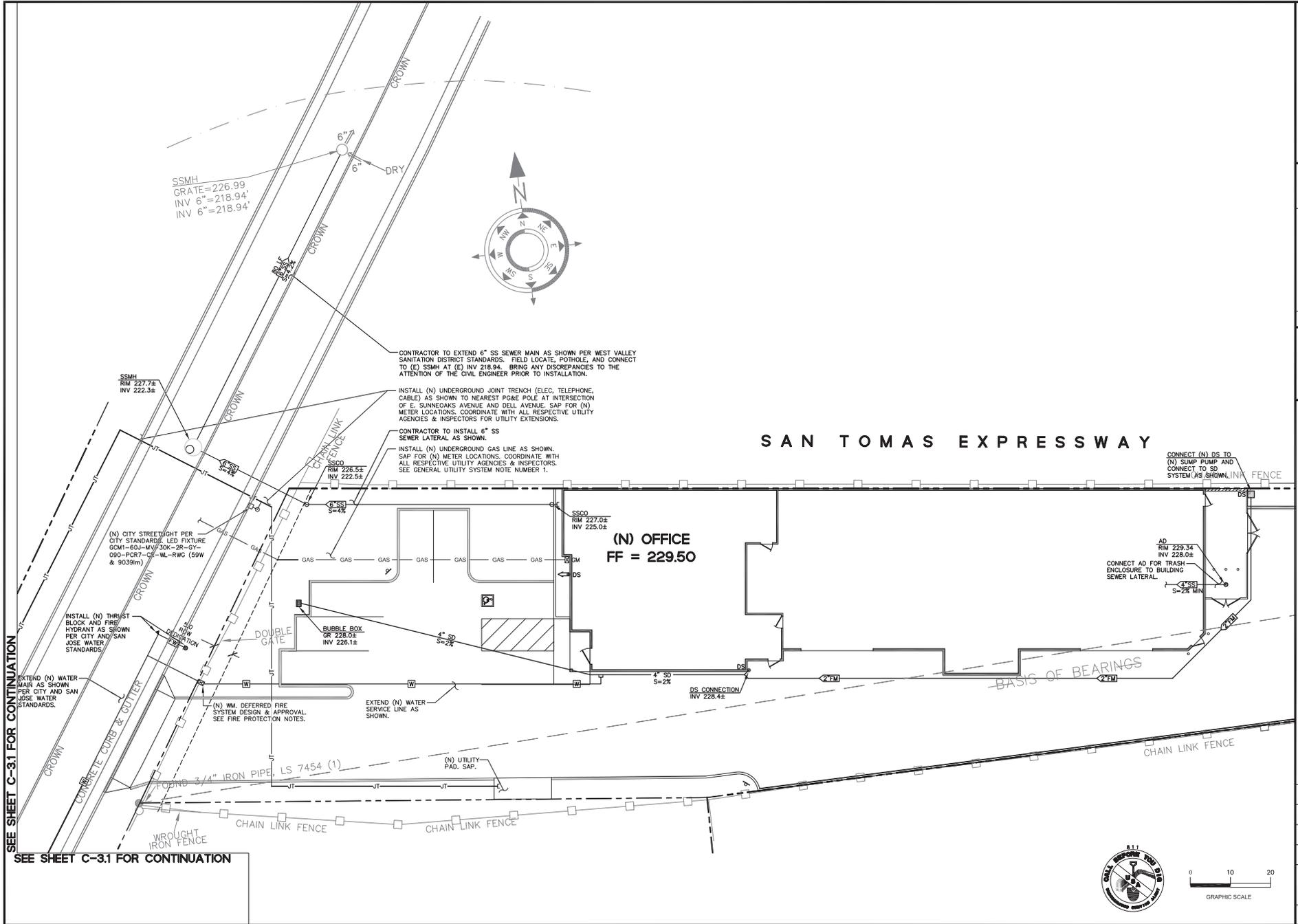
REVISIONS:

73838
 014
 STATE OF CALIFORNIA

GRADING PLAN
NEW FACILITY
DELL AVENUE
CAMPBELL, CA 95008

Date: **10/02/2020**
 Scale: **1" = 10'**
 Designer: **A.P.**
 Checker: **TRL**
 Drawing Number: **C-2**
 PEC Job No.: **PEC 19-101**





SEE SHEET C-31 FOR CONTINUATION

SEE SHEET C-31 FOR CONTINUATION

CONTRACTOR TO EXTEND 6" SS SEWER MAIN AS SHOWN PER WEST VALLEY SANITATION DISTRICT STANDARDS. FIELD LOCATE, POT HOLE, AND CONNECT TO (E) SSMH AT (E) INV 218.94. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE CIVIL ENGINEER PRIOR TO INSTALLATION.

INSTALL (N) UNDERGROUND JOINT TRENCH (ELEC, TELEPHONE, CABLE) AS SHOWN TO NEAREST POLE AT INTERSECTION OF E. SUNNEOAKS AVENUE AND DELL AVENUE. SAP FOR (N) METER LOCATIONS. COORDINATE WITH ALL RESPECTIVE UTILITY AGENCIES & INSPECTORS FOR UTILITY EXTENSIONS.

CONTRACTOR TO INSTALL 6" SS SEWER LATERAL AS SHOWN.

INSTALL (N) UNDERGROUND GAS LINE AS SHOWN. SAP FOR (N) METER LOCATIONS. COORDINATE WITH ALL RESPECTIVE UTILITY AGENCIES & INSPECTORS. SEE GENERAL UTILITY SYSTEM NOTE NUMBER 1.

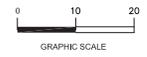
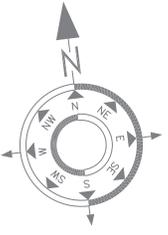
SAN TOMAS EXPRESSWAY

(N) OFFICE
FF = 229.50

CONNECT (N) DS TO (N) SUMP PUMP AND CONNECT TO SD SYSTEM AS SHOWN.

CONNECT AD FOR TRASH ENCLOSURE TO BUILDING SEWER LATERAL.

BASIS OF BEARINGS



PRECISION ENGINEERING AND CONSTRUCTION INC.
9811 Midway Road
Dallas, TX 75248
Tel: 972.251.0640
Fax: 972.251.0759
travis@precisionec.com

REVISIONS:	DATE:



UTILITY PLAN
NEW FACILITY
DELL AVENUE
CAMPBELL, CA 95008

Date: 10/02/2020
Scale: 1" = 10'
Designer: A.P.
Checker: TRL
Drawing Number: C-3
PEC Job No.: PEC 19-101

General Notes

- The contractor shall perform all clearing, demolition, removal and site preparation necessary for the proper execution of all work shown on these drawings and/or described in the specifications. Removal of any existing facilities shall include all subbase and base rock. In the case of plant material, the contractor shall completely remove the main trunk and significant roots to 18" depth below grade. The landscape architect shall review the site with the contractor prior to commencing clearing so as to instruct the contractor of additional plant material and existing conditions to be protected/preserved.
- The contractor shall remove from the site all debris and unsuitable material generated by his operations.
- The contractor shall verify all dimensions, distances and grades in the field and bring any discrepancies to the attention of the landscape architect for a decision prior to commencing work. The contractor is responsible for all applicable permits and for performing all work per applicable codes.
- The contractor shall verify location of all utilities on site before commencing with any work. Any disruption or damage to utilities caused by work under this contract shall be corrected by the contractor at no additional cost to owner.
- These drawings are based on information supplied by Muir Consulting Inc. and Viotti Architects.

Soil Management Report (adapted from § 492 of MWEL0)

- In order to reduce runoff and encourage healthy plant growth, a soil management report shall be completed by the owner or his/her designee. The soil management report shall be completed as follows:
 - Submit soil samples to a laboratory for analysis and recommendations.
 - Soil sampling shall be conducted in accordance with laboratory protocol, including protocols regarding adequate sampling depth for the intended plants.
 - The soil analysis shall include:
 - soil texture;
 - infiltration rate determined by laboratory test or soil texture infiltration rate table;
 - pH;
 - total soluble salts;
 - salinity;
 - percent organic matter; and
 - recommendations.
 - The owner or his/her designee, shall submit the soil analysis report to the local agency as part of the Certificate of Completion.
 - The soil analysis report shall be made available, in a timely manner, to the landscape architect preparing the landscape design plans and irrigation design plans to make any necessary adjustments to the design plans.
 - The owner, or his/her designee, shall submit documentation verifying implementation of soil analysis report recommendations to the local agency with Certificate of Completion.

Planting Notes

- The contractor shall verify location of all utilities on site before commencing with any work. Any disruption or damage to utilities caused by work under this contract shall be corrected by the contractor at no additional cost to owner.
- Prior to the planting of any materials, compacted soils shall be transformed to a friable condition. On engineered slopes, only amended planting holes meet this requirement.
- All work shall be performed by personnel familiar with this type of work and under the supervision of a qualified planting foreman.
- Do not perform any soil preparation work in areas where soil is contaminated with cement, plaster, paint or other construction debris. Bring such areas to the attention of the landscape architect and do not proceed until the contaminated soil is removed and replaced.
- Soil amendments shall be incorporated according to recommendations of the soil report and what is appropriate for the plants selected.
- For landscape installations, incorporate compost into the soil to a minimum of 8" at a minimum rate of 6 cubic yards per 1000 square feet. Soils with greater than 6% organic matter in the top 6 inches of soil are exempt from adding compost and fillers.
- A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
- Establishing retaining projects shall be used on slopes that must cover angersing structures.
- The mulching portion of the landscape shall be in hydro-seeded applications shall meet the mulching requirement.
- Organic mulch materials made from recycled or post-consumer shall take precedence over inorganic mulches or virgin forest products unless the recycled post-consumer organic products are not locally available. Organic mulches are not required where prohibited by local Fuel Modification Plan Guidelines or other applicable local ordinances.
- All planting area finished grades with a slope of 3:1 or greater shall receive a layer of jute mesh placed under the mulch, secured with metal staples.
- All existing trees shown shall be protected unless noted otherwise on drawings. Any damage caused by the contractor's operations shall be repaired or replanted by the contractor at no additional expense to the owner.
- All plant material shall be approved by the landscape architect prior to installation and will be rejected if not in accordance with industry standards. Plants shall be inspected for size, variety, condition, defects, injury and infestation. Plants will not be pruned prior to inspection.
- All plants are to be delivered to site. Prior to planting final location to be determined in the field by landscape architect. Contractor shall give three (3) day notice prior to plant placement.
- At completion of the installation, the landscape contractor shall provide the owner with a binder with manufacturer's specifications for all equipment installed. The landscape contractor shall also provide an as-built plan (DWG and PDF files) of the irrigation improvements including piping, heads, valves, controller, quick couplers, and sleeves to the owner.
- The contractor shall guarantee all new plantings for six months. The guarantee period begins after the final inspection and the planting has been approved.
- The landscape contractor shall maintain the planting and irrigation improvements for a period of six months. Services shall include mowing the lawn, fertilizing and weeding all new planting.
- The landscape contractor shall make no changes to the planting plan without the consent of the landscape architect and approval by the City of Campbell.
- The landscape contractor shall provide the site-specifications for the proposed plant material for approval prior to delivery to the site. The landscape architect and owner's rep shall verify/select all plant material prior to delivery. The landscape architect and owner's rep shall direct all plant locations in the field.

Hydroseed Maintenance Notes

- It is not the intent to maintain the planting covered with the irrigation system in hydroseeded areas with a 'green' appearance throughout the year. The planting in hydroseeded areas shall have a natural seasonal appearance. The planting in this area shall be actively growing from 15 October until 15 April. From 15 April to 15 October, the planting in hydroseeded areas shall receive irrigation no more than twice a week, allowing the planting to have a seasonal appearance.
- It is not the intent of the landscape design to extend the hydroseeded areas growing season beyond its natural cycle with supplemental water. The Estimated Total Water Use Budget on sheet L-103 shall not be exceeded.
- Mowing the hydroseeded areas is allowed on a semi annual basis. Mowing shall not occur during or 1 month after active flowering has occurred in order to allow for seeds to disperse on site and allow for natural succession of the planting.

Water Efficient Landscaping and Irrigation Notes (adapted from § 492 of MWEL0)

- Irrigation system shall be installed in conformance with all applicable state and local codes and ordinances, by licensed contractors and experienced workers. The contractor shall coordinate with related contractors to complete the entire irrigation system, including the electrical hook-up for automatic controller. The contractor shall obtain and pay for all required permits and fees relating to the work.
- The contractor shall verify all existing conditions and water pressure. The contractor shall verify the location of existing underground utilities and trenches prior to the excavation of trenches. Contractor is to repair any damage caused by or during the performance of this work at no additional cost to the owner.
- The contractor shall make a point of connection as directed by the owner.
- The contractor shall install complete and coordinated equipment. No parts substitutions or incomplete components shall be installed.
- The contractor shall install a "design built" underground automatic irrigation system. Areas noted are existing guides only and are to illustrate equipment requirements of microclimate. The system shall have 100% coverage for planting areas on the site. An as-built drawing is to be provided to the landscape architect upon completion and acceptance of the irrigation system. Locate spray heads 24" from buildings and 12" from paving. Use MPFR series nozzles by Hunter on spray heads to match existing standards.
- Truncing is to be of sufficient depth to provide 24" of cover over main lines and 18" of cover over PVC lateral lines.
- Pressure regulation and/or booster pumps shall be provided so that all components of the irrigation system operate at the manufacturer's recommended optimal pressure.
- Controller location shall be per the drawings. Control wires shall be single wire (no wire looms allowed). Provide extra wires to all terminus of the main line to allow expansion of the system, see plan.
- All wire splices are to be made within a valve box. No in-line splices will be accepted. Splices are to be made with a copper crimp-type connector, and an approved epoxy splice pack.
- All pipes shall be schedule 40 pvc or upgraded.
- All excavations are to be backfilled to 90% compaction, minimum. The contractor to repair all settled trenches promptly for a period of one year after completion of the work. Additionally, contractor shall warrant that the irrigation system will be free from defects in materials and workmanship for a period of one year after final acceptance of the work.
- All irrigation emission devices must meet the requirements set in the American National Standards Institute (ANSI) standard, American Society of Agricultural and Biological Engineers International Code Council's (ASABE/ICC) 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard". All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.85 or higher using the protocol defined in ASABE/ICC 802-2014.
- Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
- Automatic irrigation controllers utilizing either evapotranspiration or soil moisture sensor data utilizing non-volatile memory shall be required for irrigation scheduling in all irrigation systems.
- Backflow prevention devices shall be required to protect the water supply from contamination by the irrigation system. A project applicant shall refer to the applicable local agency code (i.e., public health) for additional backflow prevention requirements.
- Check valves or anti-drain valves are required on all sprinkler heads where low point drainage could occur.
- Flow sensors that detect high flow conditions created by system damage or malfunction are required.
- Head to head coverage is recommended. However, sprinkler spacing shall be designed to achieve the highest possible distribution uniformity using the manufacturer's recommendations.
- If the water pressure is below or exceeds the recommended pressure of the specified irrigation devices, the installation of a pressure regulating device is required to ensure that the dynamic pressure of each emission device is within the manufacturer's recommended pressure range for optimal performance.
 - If the static pressure is above or below the required dynamic pressure of the irrigation system, pressure-regulating devices such as inline pressure regulators, booster pumps, or other devices shall be installed to meet the required dynamic pressure of the irrigation system.
 - Static water pressure, dynamic or operating pressure, and flow reading of the water supply shall be measured at the point of connection. These pressure and flow measurements shall be conducted at the design stage. If the measurements are not available at the design stage, the measurements shall be conducted at installation.
- In mulched planting areas, the use of low volume irrigation is required to maximize water infiltration into the root zone.
- Landscape water meters, defined as either a dedicated water service meter or private submeter, shall be installed for all non-residential irrigated landscapes of 1,000 sq. ft. but not more than 5,000 sq. ft. (the level at which Water Code 535 applies) and residential irrigated landscapes of 5,000 sq. ft. or greater. A landscape water meter may be either:
 - a customer service meter dedicated to landscape use provided by the local water purveyor; or
 - a privately owned meter as submeter.
- Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be required, as close as possible to the point of connection of the water supply and before each valve or manifold, to minimize water loss in case of an emergency (such as a main line break) or routine repair.
- Master shut-off valves are required.
- Overhead irrigation shall not be permitted within 24 inches of any nonpermeable surface. Allowable irrigation within the setback from nonpermeable surfaces may include drip, drip line, or other low flow nonspray technology. The setback area may be planted or unplanted. The surfacing of the setback may be mulch, gravel, or other porous material. These restrictions may be modified if:
 - the landscape area is adjacent to permeable surfacing and no runoff occurs; or
 - the adjacent non-permeable surfaces are designed and constructed to drain entirely to landscaping.
- Relevant information from the soil management plan, such as soil type and infiltration rate, shall be utilized when installing the irrigation system.
- Sensors (rain, freeze, wind, etc.), either integral or auxiliary, that suspend or alter irrigation operation during unfavorable weather conditions shall be required on all irrigation systems, as appropriate for local climatic conditions. Irrigation should be avoided during windy or freezing weather or during rain. The required weather sensor shall be mounted where it will be exposed to unobstructed sun and shade.
- Slopes greater than 25% shall not be irrigated with an irrigation system with a application rate exceeding 0.75 inches per hour.
- Sprinkler heads and other emission devices shall have matched precipitation rates, unless otherwise directed by the manufacturer's recommendations.
- Swing joints or other riser-protection components are required on all risers subject to damage that are adjacent to landscapes or in high traffic areas of turfgrass.
- The installation of the irrigation system shall conform to the hydrozones of the landscape design plan.
- The irrigation system must be designed and installed to meet, at a minimum, the irrigation efficiency criteria as described in the Water Efficient Landscape Ordinance.
- The irrigation system shall be installed to prevent runoff, low head drainage, overspray, or other similar conditions where irrigation water flows onto non-targeted areas, such as adjacent property, nonirrigated areas, hardscapes, roadways, or structures.
- Where feasible, trees shall be placed on separate valves from shrubs, groundcovers, and turf to facilitate the appropriate irrigation of trees. The mature size and extent of the root zone shall be considered when installing the irrigation for the tree.
- An Audit of the Project is required to be performed by a qualified professional and submitted along with the "Certificate of Completion" as contained in Appendix C of the Department of Water Resources regulations. The audit will be submitted to the Building Department for a final inspection.
- A final City inspection shall be performed. The installation contractor shall attend this inspection and make all required repairs and adjustments to achieve approval and completion from the city. Talk with your building inspector prior to final inspection about getting the WEL0 signed off at that time.

Irrigation Scheduling (MWEL0 § 492.10)

- Irrigation scheduling shall be regulated by automatic irrigation controllers.
- Overhead irrigation shall be scheduled between 8:00 p.m. and 10:00 a.m. unless weather conditions prevent it. If allowable hours of irrigation differ from the local water purveyor, the stricter of the two shall apply. Operation of the irrigation system outside the normal watering window is allowed for auditing and system maintenance.
- For implementation of the irrigation schedule, particular attention must be paid to irrigation run times, emission device, flow rate, and current reference evapotranspiration, so that applied water meets the Estimated Total Water Use. Total annual applied water shall be less than or equal to Maximum Applied Water Allowance (MAWA) shown on sheet L.P.103. Actual irrigation schedules shall be regulated by automatic irrigation controllers using current reference evapotranspiration data (e.g., CIMIS) or soil moisture sensor data.
- Parameters used to set the automatic controller shall be developed and submitted by users of the following:
 - The plant establishment period;
 - The established landscape; and
 - Temporarily irrigated areas.
- Each irrigation schedule shall consider for each station all of the following that apply:
 - irrigation interval (days between irrigation);
 - irrigation run times (hours or minutes per irrigation event to avoid runoff);
 - number of cycles starts required for each irrigation event to avoid runoff;
 - amount of applied water scheduled to be applied on a monthly basis;
 - application rate setting;
 - root depth setting;
 - shade factor setting; and
 - irrigation uniformity or efficiency setting.

WEL0 Water Efficient Landscape Ordinance Compliance:
I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Murphy
Signature of applicant _____ Date _____

Landscape Documentation Package Checklist (§ 492.3)

- Project Information:
 - As noted
 - Project applicant: **DRS Stairs**
 - Project address: **APN: 424-20-001**
 - Total landscape area (square feet): **3,280**
 - Project type (e.g., new, rehabilitated, public, private, cemetery, homeowner-installed): **new, commercial**
 - Water supply type (e.g., potable, recycled, well) and identify the local retail water purveyor if the applicant is not served by a private well: **potable**
 - Checklist of all documents in Landscape Documentation Package: **as noted**
 - Project contacts to include contact information for the project applicant and property owner: **see arch drawings**
- Applicant signature and date with statement, "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package": **as noted**
- Water Efficient Landscape Worksheet:
 - Hydrozone information table: **as noted**
 - Water budget calculations:

1. Maximum Applied Water Allowance (MAWA)	131,250 gal/yr
2. Estimated Total Water Use (ETWU):	97,663 gal/yr
- Soil management report: **detached**
- Landscape design plan: **see drawings**
- Irrigation design plan: **see drawings**
- Grading design plan: **see civil drawings**



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- Sheet Schedule**
- L-001 Cover Sheet
 - L-101 Planting Plan
 - L-102 Hydrozone and Irrigation Plans
 - L-501 Landscape Details

DRS Stairs Office

1000 North Main Street, Suite 100
Campbell, CA 95008

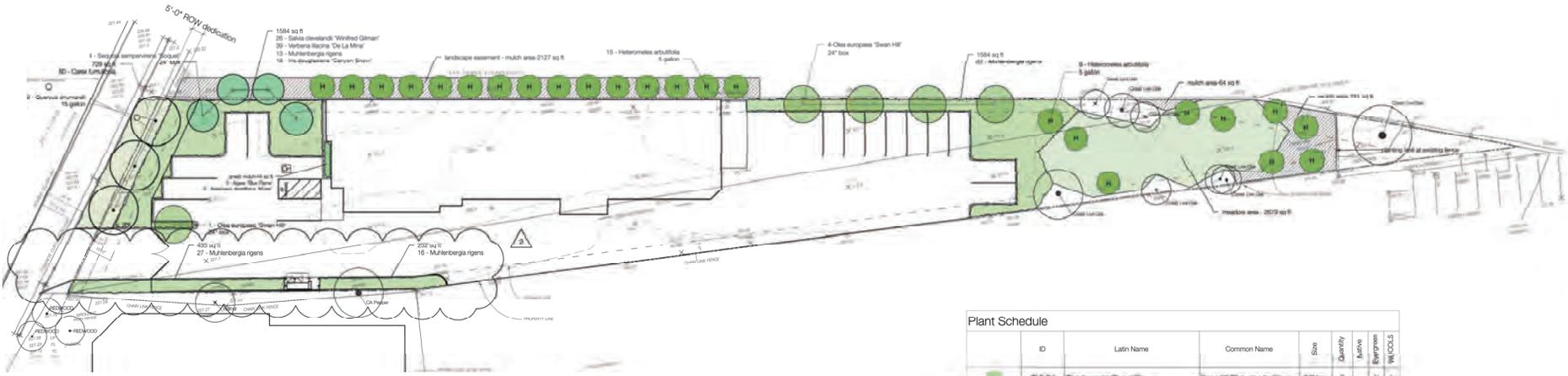
APN: 073-112-420

Issue: _____ Date: _____
 Planning/Submital: 01/26/2018
 DR PCC 1: 03/04/2020
 DR PCC 2: 1/26/2020

Project ID: 017-347
 CAD File Name: DRS office campbell.rvt
 Plot Date: _____
 Drawn By: LD/BC
 Scale: As Noted



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Site Plan
 Scale: 1" = 20' 0"

DRS Stairs Office

Dell Avenue, Campbell, CA

APN 073-112-420

ID	Latin Name	Common Name	Size	Quantity	Native	Evergreen	W/COLS
CLE SH	<i>Olea europaea 'Svein HF'</i>	Svein HF Olive, standard form	24" box	31	Y	Y	L
RED SEM	<i>Sarcocolla emeryana 'Soquel'</i>	Redcedar	24" box	4	Y	Y	H
QUE SHU	<i>Quercus shumardii</i>	Shumard Red Oak	15 gallon	3			M
AGA BF	<i>Agave 'Blue Flame'</i>	Blue Flame Agave	5 gallon	3	Y	Y	L
HEI AFA	<i>Heteromeles arbutifolia</i>	Empire	5 gallon	24	Y	Y	VL
ASP MYE	<i>Asparagus densiflorus 'Myers'</i>	Myers Asparagus	1 gallon	6	Y	Y	M
CAR TUM	<i>Carex tumicola</i>	Barkley Sedge	1 gallon	60	Y	Y	L
IRI CAN	<i>Iris douglasiana 'Canyon Snow'</i>	Pacific Coast Hybrid Iris	1 gallon	18	Y	Y	L
MUH RG	<i>Muhlenbergia rigens</i>	Deer Grass	1 gallon	162	Y	Y	L
CAL WC	<i>Delia cleavelandi 'Winfred Glenzer'</i>	CA Blue Sage	1 gallon	24	Y	Y	L
VER LIL	<i>Verbena lacina 'De La Mina'</i>	Cedros Island Verbena	1 gallon	39	Y	Y	L

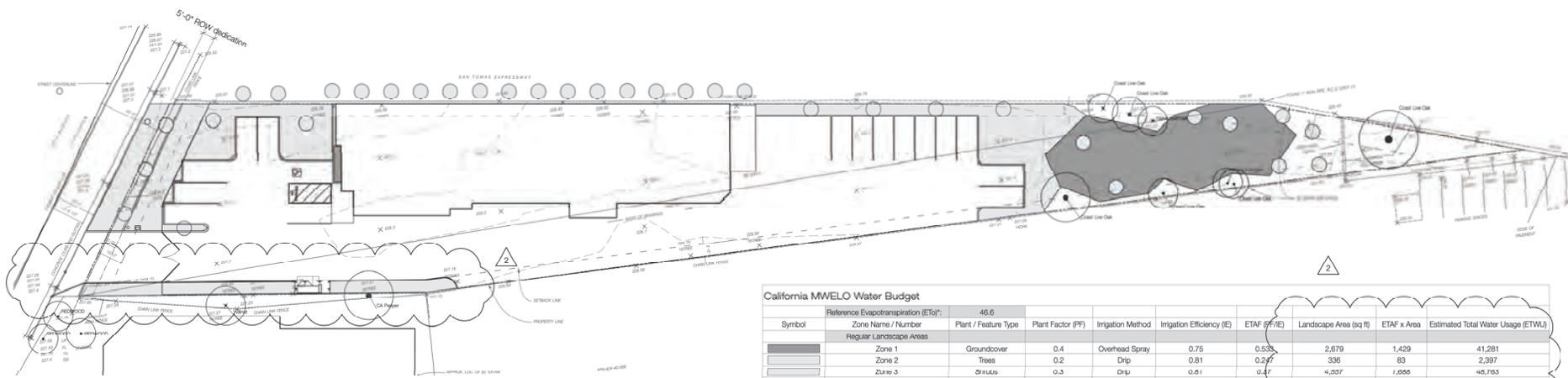
Landscape Area Name	Latin Name	Common Name	Size	Quantity	Native	Evergreen	W/COLS
shrub area	see plant schedule	see plant schedule		3,850 sf			
meadow area	<i>Carex pansa</i>	Sand Dune Sedge	plugs at 12" s.c.	2,676 sf	Y	M	
gravel mulch	see plant schedule	see plant schedule		-44 sf			
City Dedication	see plant schedule	see plant schedule		729 sf			
mulch area		Arbor Mulch available thru Lyngso Garden Materials, San Carlos, CA	3" depth	705 sf			

Issue: Planning Submittal
 OR PCC 1
 OR PCC 2

Date: 01NOV2015
 03JAN2020
 14SEP2020

Project ID: 24' x 24'
 CAD File Name: DRS_office_campbell_v01.rvt
 Plot Date: 12/18/15
 Scale: not present

Planting Plan



Hydrozone
Scale: 1" = 20'-0"

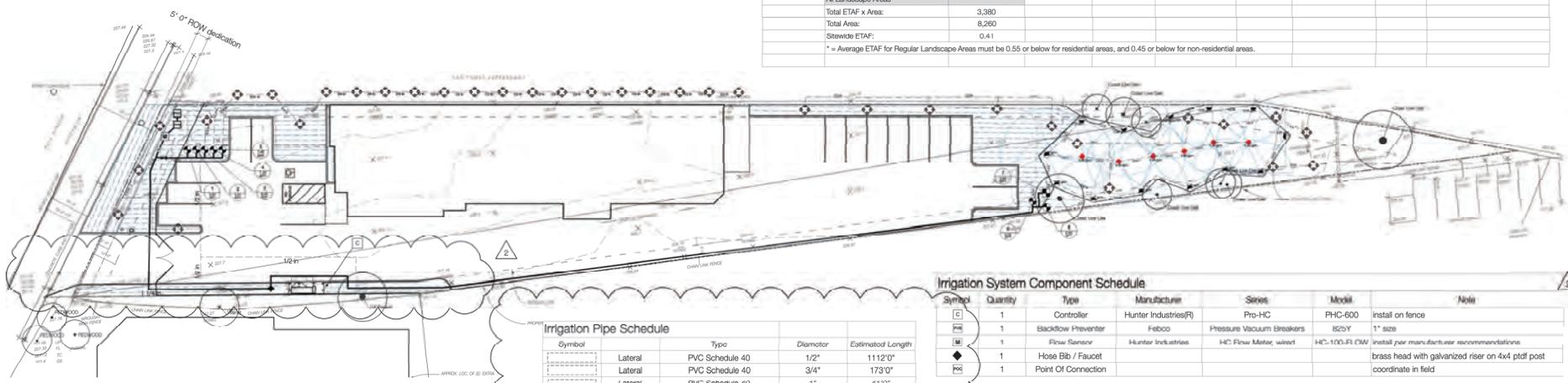
WELD (Water Efficiency Landscape Ordinance) Compliance:
I have complied with the criteria of the ordinance and applied them for the efficient use of water in the irrigation design plan.

M. Williams
signature of landscape architect

California MWELO Water Budget

Symbol	Reference Evapotranspiration (ET ₀) ¹	46.6									
Zone Name / Number	Plant / Feature Type	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (E)	ETAF (P/E)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Usage (ETW)			
Regular Landscape Areas											
Zone 1	Groundcover	0.4	Overhead Spray	0.75	0.533	2,679	1,429	41,281			
Zone 2	Trees	0.2	Drip	0.81	0.247	336	83	2,397			
Zone 3	Shrubs	0.3	Driz	0.51	0.47	4,037	1,855	46,753			
Zone 4	Shrubs	0.2	Drip	0.81	0.247	644	159	4,504			
Zone 5	Shrubs	0.4	Drip	0.81	0.47	44	21	583			
Special Landscape Areas²											
* - includes public recreational areas, water features using recycled water, areas dedicated to edible plants, and areas irrigated with recycled water.											
ETAF Calculations											
Regular Landscape Areas											
Total ETAF x Area:							3,380				
Total Area:							8,260				
Average ETAF ³ :							0.41				
All Landscape Areas											
Total ETAF x Area:							3,380				
Total Area:							8,260				
Stewide ETAF ⁴ :							0.41				
* ³ = Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.											

ETW Totals
Maximum Applied Water Allowance (MAWA): 131,256 gal/yr
Percentage: 74%



Irrigation
Scale: 1" = 20'-0"

Irrigation Pipe Schedule

Symbol	Type	Diameter	Estimated Length
---	Lateral	PVC Schedule 40 1/2"	1112'0"
---	Lateral	PVC Schedule 40 3/4"	173'0"
---	Lateral	PVC Schedule 40 1"	41'0"
---	Lateral	PVC Schedule 40 1 1/4"	38'0"
---	Main	PVC Schedule 40 1 1/4"	571'0"

Irrigation System Component Schedule

Symbol	Quantity	Type	Manufacturer	Series	Model	Note
□	1	Controller	Hunter Industries (H)	Pro-HC	PHC-600	Install on fence
□	1	Backflow Preventer	Febco	Pressure Vacuum Breakers	ISD-Y	1" size
□	1	Flow Sensor	Hunter Industries	HC Flow Meter, select	HC-100-FLOW	Install per manufacturer recommendations
◆	1	Hose Bib / Faucet				brass head with galvanized riser on 4x4 ptdf post coordinate in field
□	1	Point Of Connection				

Irrigation Drip Area Schedule

Zones	Manufacturer	Series	Model	Area	Row Spacing	Estimated Length
Hunter Industries (H)	FLD	FLD-04-1B	FLD-04-1B	1,579 sq ft	3'0"	755'
Hunter Industries (H)	FLD	FLD-04-1B	FLD-04-1B	0,024 sq ft	3'0"	1,227'

- Irrigation Plan Notes**
- Drip line rows are to scale
 - Pipe locations are diagrammatic
 - All components to be installed as per manufacturers recommendations
 - Install all components as per local, state, federal codes
 - Mainline depth to be no less than 24"
 - Lateral depth to be no less than 18"
 - Electric control valves to be covered with covered with 12" valve box
 - Locate valves/OCVs out of high traffic areas
 - Refer to Hunter catalog and NetSitem CV Design Guide for performance specifications
 - For on-surface or under mulch drip installations, 6" metal wire staples shall be installed 3' - 5' on center over tubing, (depending on soil type) and two staples shall be installed over every change-of-direction fitting.
 - Refer to sheet L-001 for additional irrigation notes related to the 2015 Water Efficient Landscape Ordinance
 - Refer to irrigation details on sheet L-501

Irrigation Outlet Schedule

Symbol	Quantity	Outlet Type	Manufacturer	Series	Model
□	6	Spray	Hunter Industries	MP Rotator	MP2000-90
□	6	Spray	Hunter Industries	MP Rotator	MP2000-360

Point Source Emitter

Symbol	Outlet Type	Manufacturer	Flow per Tree	Quantity
◆	Emitter	Hunter Industries	1/2 @ 0.5 GPH at 30 PSI	342

Irrigation Valve Schedule

Valve # / Zone ID	Symbol	Type	Manufacturer	Series	Model	Size	Design Flow
1	□	Zone Kit	Hunter Industries	Drip Control Zone Kits	ICZ-101-LF-40	1"	0.5 gpm
2	□	Zone Kit	Hunter Industries	Drip Control Zone Kits	ICZ-101-LF-40	1"	4.9 gpm
3	□	Zone Kit	Hunter Industries	Drip Control Zone Kits	ICZ-101-LF-40	1"	6.0 gpm
4	□	Zone Kit	Hunter Industries	Drip Control Zone Kits	ICZ-101-LF-40	1"	1.2 gpm
5	□	Zone Kit	Hunter Industries	Drip Control Zone Kits	ICZ-101-LF-40	1"	1.5 gpm
6	□	Zone Kit	Hunter Industries	Drip Control Zone Kits	ICZ-101-LF-40	1"	3.4 gpm
7	□	Control / Zone	Hunter Industries	1in PGV	PGV-101G	1"	19.3 gpm
8	□	Zone Kit	Hunter Industries	Drip Control Zone Kits	ICZ-101-LF-40	1"	4.0 gpm
Control Valves	□	Isolation / Shut Off	TRD			1"	3.6 gpm
Master Valve	□	Other	Hunter Industries (H)	1in PGV	PGV-101G	1"	3.6 gpm

CLEARED DESIGN ASSOCIATES
1275 Hamilton Drive
Livermore, CA 94551
www.clearedesign.com
CA Reg # 41482

STATE OF CALIFORNIA
Professional Seal
Landscape Architect
No. 10000

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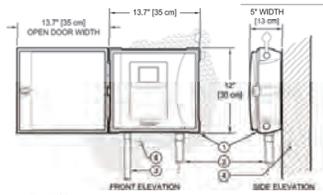
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DR POC 2

Hydrozone and Irrigation Plans
L-102

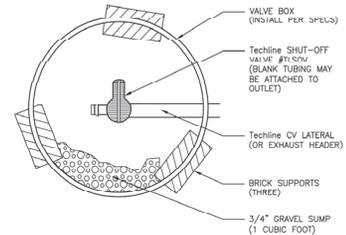


DETAIL LEGEND:

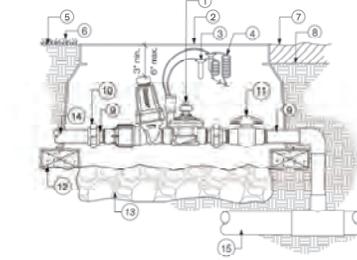
- ① IRRIGATION CONTROLLER (HCC-800-PL) PER PLAN
- ② IRRIGATION CONTROL WIRE IN CONDUIT - SIZE AND TYPE PER LOCAL CODES
- ③ ELECTRICAL SUPPLY CONDUIT - CONNECT TO POWER SOURCE, #BOX INSIDE CONTROLLER
- ④ ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

- NOTES:**
- 1. CONTROLLER ACCEPTS 120 VOLTS A.C. OR 230 VOLTS A.C. (INTERNATIONAL MODEL)
 - 2. MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND/ED 150 VAC POWER SOURCE.
 - 3. REFER TO THE HUNTER HCC INSTALLATION GUIDE FOR FURTHER INSTRUCTIONS.

Hunter HCC Irrigation Controller
Not to Scale



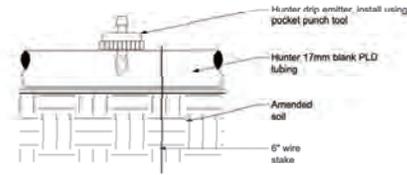
Techline CV Manual Line Flush Valve
Not to Scale



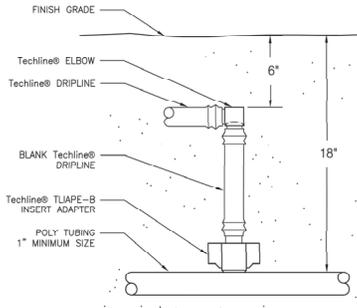
Hunter ICZ-LF Drip Zone Kit with Isolation Valve
Not to Scale

Legend

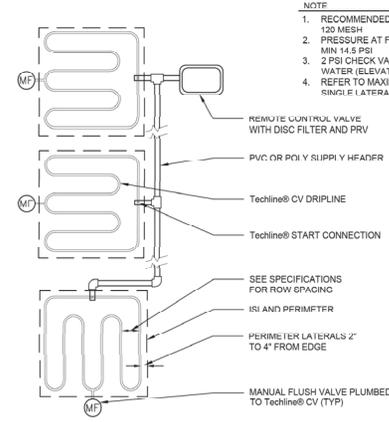
- ① Hunter remote control valve per plan
- ② Standard valve box with 'RCV' heat stamp in 2\"/>
- ③ Waterproof connectors
- ④ 10\"/>
- ⑤ Finished grade in turf
- ⑥ Adjacent turf
- ⑦ Adjacent mulch
- ⑧ Finished grade in planter bed
- ⑨ Schedule 80 L.u.l. nipple - match size to w/fer and union - length as needed
- ⑩ PVC elp union
- ⑪ Ball valve - line sized
- ⑫ Brick supports (4)
- ⑬ 3/4\"/>
- ⑭ Irrigation lateral
- ⑮ Mainline lateral and fittings



Hunter Point Source Drip Emitter on Grade (HE)
Not to Scale



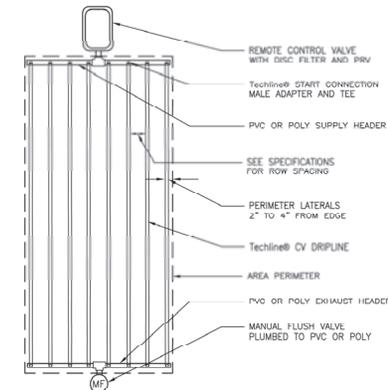
Techline CV Start Connection
Not to Scale



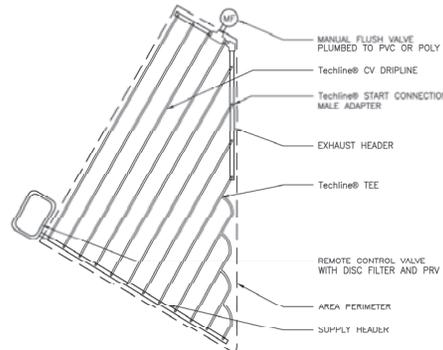
Techline CV LITE layout for Planter Islands
Not to Scale

NOTE

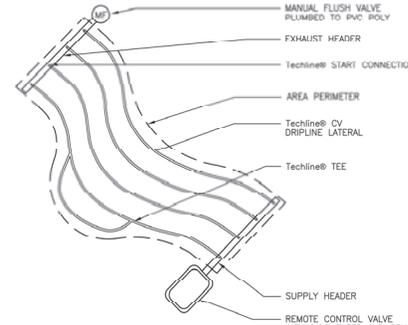
- 1. RECOMMENDED MINIMUM FILTRATION: 120 MESH
- 2. PRESSURE AT FLUSH VALVE SHALL BE MIN 14.5 PSI
- 3. 2 PSI CHECK VALVE (MAX 4.6\"/>
- 4. REFER TO MAXIMUM LENGTH OF A SINGLE LATERAL CHART



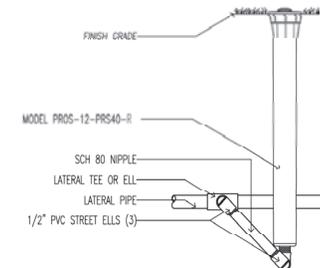
Techline CV End Feed layout
Not to Scale



Techline CV Irregular Areas: Triangular
Not to Scale



Techline CV Irregular Areas: Odd curves
Not to Scale



Hunter PROS-12-PRS40-R MPR Sprinkler at Meadow
Not to Scale



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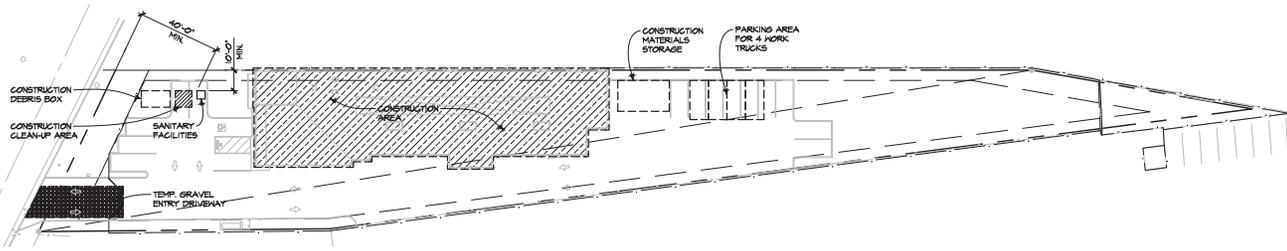
APN: 073-112-420

Issue:	Date:
Planning Submittal	01NOV2015
DR PDC 1	03JAN2020
DR PDC 2	14SEP2020

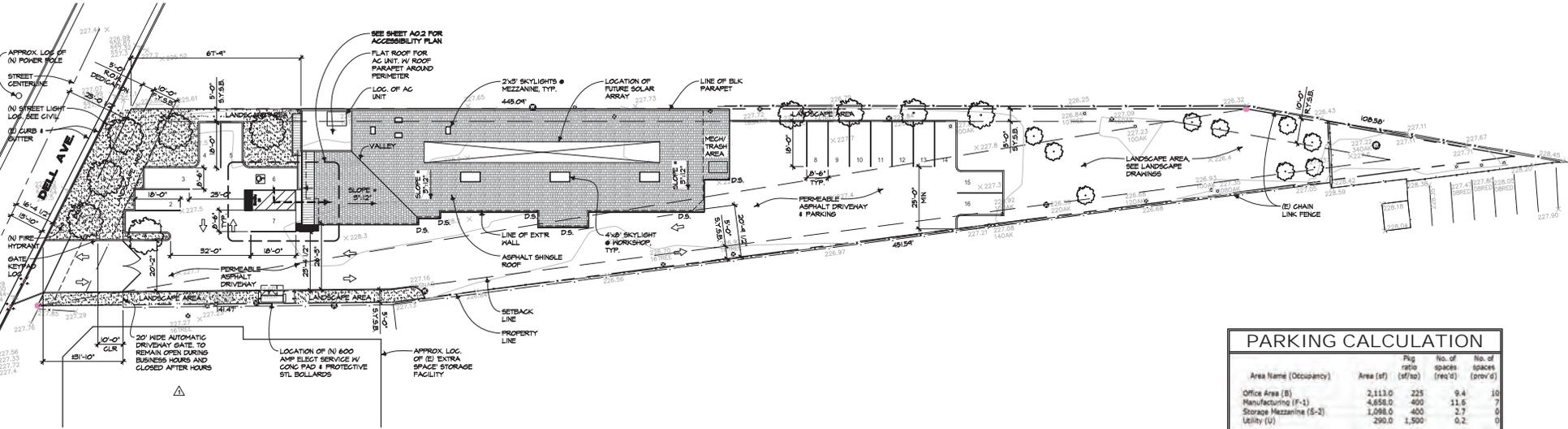
Project ID:	017-0047
CAD File Name:	DRS office campbell.mxd
Plot Date:	LDSC
Drawn By:	AS 10/20/20
Scale:	

Landscape Details

L-501



CONSTRUCTION STAGING PLAN
SCALE: 1"=30'-0"



SITE PLAN & ROOF PLAN
SCALE: 1"=20'-0"

PARKING CALCULATION				
Area Name (Occupancy)	Area (sf)	Req. #/sq (sf/sq)	No. of spaces (req'd)	No. of spaces (prov'd)
Office Area (B)	2,113.0	225	9.4	10
Manufacturing (F-1)	4,658.0	400	11.6	7
Storage Mezzanine (S-2)	1,098.0	400	2.7	6
Utility (U)	290.0	1,500	0.2	0
Total Parking	8,159.0		24.0	17
Accessible spaces			1	1

PARKING NOTES:
1. A VARIANCE IS BEING REQUESTED TO REDUCE THE NUMBER OF REQUIRED PARKING SPACES BASED ON THE ACTUAL USE OF THE BUILDING. SEE ATTACHED VARIANCE APPLICATION.

SITE PLAN NOTES:

- GENERAL NOTES, SEE SHEETS T1, TOPOGRAPHIC SURVEY, GRADING AND DRAINAGE PLAN, LANDSCAPE PLAN, AND FLOOR PLANS FOR ADDITIONAL INFO.
- BOUNDARY VERIFICATION: THE G.C. SHALL VERIFY THE LOCATIONS OF ALL PROPERTY BOUNDARIES, SETBACKS, AND EASEMENT LOCATIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE FURTHER COMMENCEMENT OF WORK.
- BENCH MARK: SEE SURVEY DRAWING FOR BENCH MARK AND ASSUMED BASE ELEVATION.
- ENCROACHMENT: THE G.C. IS RESPONSIBLE FOR OBTAINING APPROVAL / PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- UTILITIES: SEE ELECTRICAL PLAN SHEET E1D FOR EXACT LOCATIONS OF MAIN ELECTRIC METER AND GAS METER. COORDINATE FINAL LOCATION AND ROUTING WITH G.G. AND UTILITY SERVICE PROVIDER.
- UTILITIES: THE G.C. SHALL COORDINATE THE LOCATION OF IRRIGATION VALVE BOXES WITH OWNER.
- TREE PROTECTION: THE G.C. SHALL PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND PROVIDE TREE PROTECTION PER LOCAL JURISDICTION REQUIREMENTS. LARGE ROOTS OR LARGE MASSES OF ROOTS TO BE CUT SHOULD BE INSPECTED BY A CERTIFIED ANBORST PRIOR TO CUTTING. ANY ROOTS TO BE CUT SHALL BE MONITORED AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS.
- SLOPED GRADE: FINISH GRADE AROUND BUILDING TO HAVE A MIN. 2% SLOPE AWAY FROM BUILDING FOR A MIN. OF 3' AROUND BUILDING.
- FOOTING DEPTH: (N) FOUNDATION FOOTINGS SHALL BEAR ON NATIVE UNDISTURBED SOIL. SEE GEOTECH. REPORT AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.
- ADDRESS: STREET ADDRESS NUMERALS TO BE AT LEAST 4" HIGH WITH A MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE FINISHED SURFACE OF THE DRIVEWAY.

CONSTRUCTION OPERATIONS & PARKING NOTES:

- PARKING AREA FOR CONSTRUCTION PERSONNEL: ALL CONSTRUCTION PARKING SHALL BE LOCATED ON SITE OR WITHIN THE PUBLIC RIGHT-OF-WAY, DIRECTLY ADJACENT TO THE SITE. THE DESIGNATED PARKING AREA SHALL PROVIDE FOR THE ANTICIPATED NUMBER OF WORKERS AT THE SITE.
- SANITARY FACILITIES: THE TEMPORARY SANITATION FACILITIES SHALL BE LOCATED AT LEAST 10 FEET FROM ANY SIDE OR REAR PROPERTY LINE AND A MINIMUM OF 40 FEET FROM THE FRONT PROPERTY LINE. IT SHALL BE LOCATED OUT OF NEIGHBORS VIEW AS MUCH AS POSSIBLE.
- CLEANUP AREA: A CLEANUP AREA SHALL BE PROVIDED FOR ANY CONCRETE, PLASTER, PAINTING OR SIMILAR MATERIALS OR EQUIPMENT. THE AREA SHALL BE CONTAINED AND WASTE MATERIAL DISPOSED OF USING "BEST MANAGEMENT PRACTICES" ACCEPTABLE TO THE REGIONAL WATER QUALITY BOARD.
- CONSTRUCTION MATERIALS STORAGE: AN AREA SHALL BE DESIGNATED FOR THE STORAGE OF MATERIALS AND EQUIPMENT.

REVISIONS	
NO.	DATE
06/07/14	OWNER
12/8/14	OWNER
1/14/20	PLANS SUB
08/10/20	DR PCC 1
04/17/20	DR PCC 2



NEW FACILITY FOR:
DRS STAIRS & CONSTRUCTION
930 BELL AVENUE
CAMPBELL, CA 95008

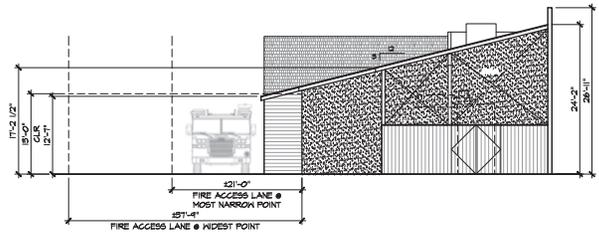


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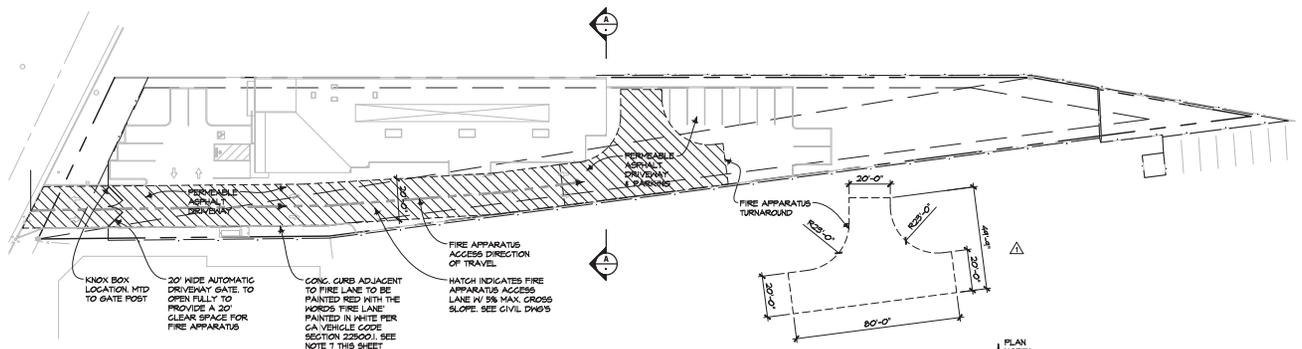
SITE & CONSTRUCTION STAGING PLANS, PARKING CALC. & NOTES

DATE: 05/22/14
DRAWN BY: RV
JOB#: 1413

A0.1



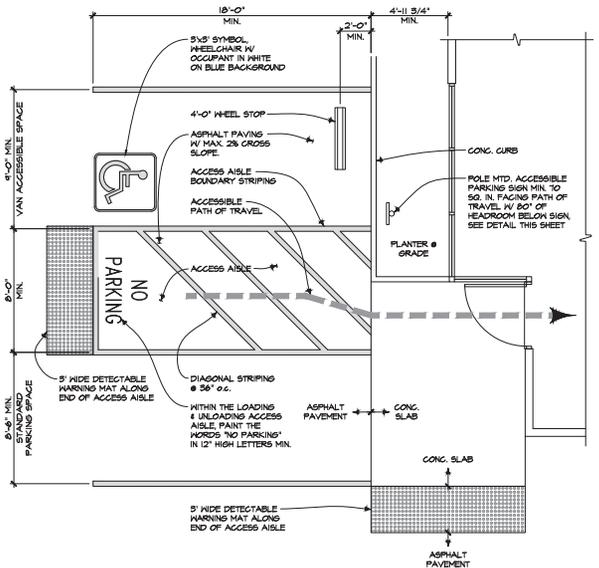
SECTION A-A
SCALE: 1/8"=1'-0"



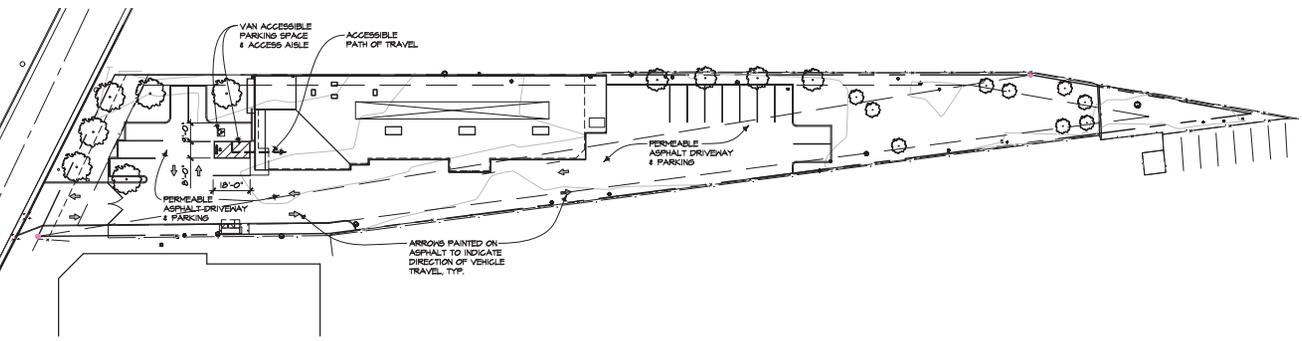
FIRE APPARATUS ACCESS PLAN
SCALE: 1"=50'-0"

SANTA CLARA COUNTY FIRE DEPARTMENT NOTES

- PER SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS (SPEC. NO. A-1), THE FIRE ACCESS ROUTE SHOWN USES A MINIMUM OUTSIDE TURNING RADIUS OF 42'. A TRUCK SWEEP PATH OF 20' HAS ASSIGNED BASED ON MINIMUM FIRE ACCESS ROAD WIDTHS.
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 55 AND OUR STANDARD DETAIL AND SPECIFICATION 511.
- APPROVED AUTOMATIC FIRE SPRINKLER SYSTEMS IN NEW AND EXISTING BUILDINGS AND STRUCTURES SHALL BE PROVIDED IN THE LOCATIONS DESCRIBED IN THIS SECTION OR IN SECTIONS 408.2.1 THROUGH 408.2.10, WHICHEVER IS THE MORE RESTRICTIVE. FOR THE PURPOSES OF THIS SECTION, FIRE WALLS USED TO SEPARATE BUILDING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND SHALL BE WITHOUT OPENINGS OR PENETRATIONS. NOTE: THE OWNER(S), OCCUPANT(S) AND CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (CWH) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETE PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CFC SEC. 409.5 AS ADOPTED AND AMENDED BY CFC 16C.
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY THE FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THE PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2000 CFC SEC. 409.5.5 AND HEALTH AND SAFETY CODE 15141.
- WHEN FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION EXCEPT WHEN APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES IN ACCORDANCE WITH SECTION 505.2 CFC SEC. 504.
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE, OFFICIAL ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (102.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF .25 INCH (6.35 MM). WHERE ACCESS IS BY THE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC HIGHWAY, A MONUMENT, POLE OR OTHER SIGN OR MARK SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED CFC SEC 505.1.
- FIRE LANE DESIGNATION SHALL BE INDICATED (1) BY A SIGN POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM THE DESIGNATED PLACE CLEARLY STATING IN LETTERS NOT LESS THAN ONE INCH IN HEIGHT THAT THE PLACE IS A FIRE LANE, (2) BY OUTLINING OR PAINTING THE PLACE IN RED AND, IN CONTRASTING COLOR, MARKING THE PLACE WITH THE WORDS "FIRE LANE", WHICH ARE CLEARLY VISIBLE FROM A VEHICLE, OR (3) BY A RED CURB OR RED PAINT ON THE EDGE OF THE ROADWAY (WHICH IS CLEARLY MARKED THE WORDS "FIRE LANE", CALIFORNIA VEHICLE CODE SECTION 22500.1)



ACCESSIBLE PARKING PLAN
SCALE: 1/4"=1'-0"



CIRCULATION & ACCESSIBILITY PLAN
SCALE: 1"=20'-0"

REVISIONS	
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04/17/20	DR PCC 2



NEW FACILITY FOR:
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FIRE ACCESS, CIRCULATION & ACCESSIBILITY PLANS & NOTES

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A0.2

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04/17/20	DR PCC 2



NEW FACILITY FOR:
DRS STAIRS & CONSTRUCTION
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 CAMPBELL, CA 95008

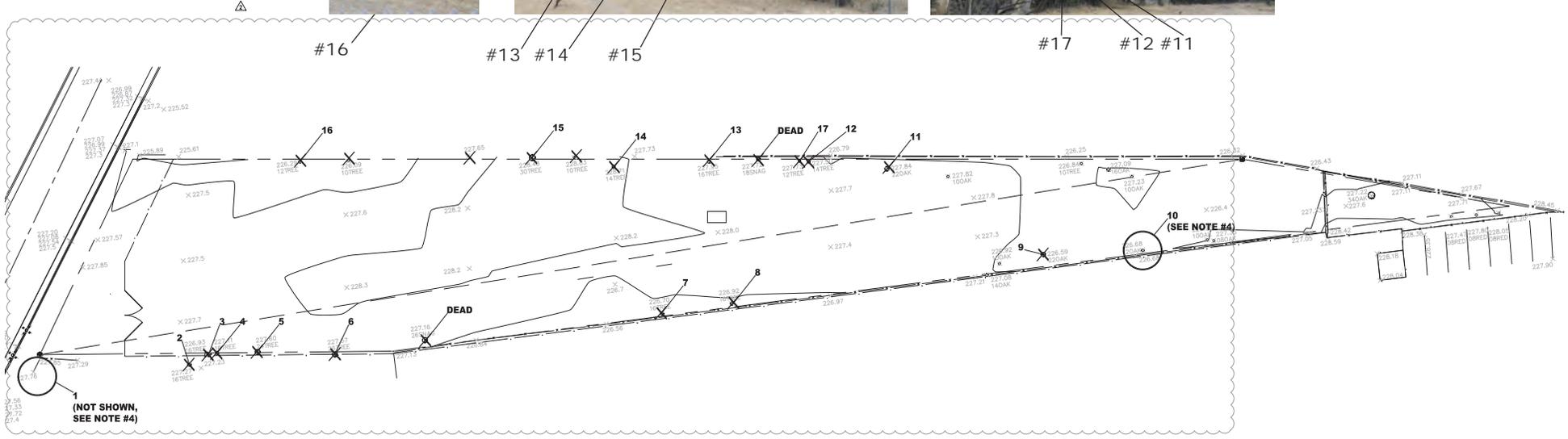


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TREE REMOVAL PLAN

DATE: 05/22/14
 DRAWN BY: RV
 JOB#: 1413

A0.4



DEAD (SNAG) #6 #5 #4 #3 #2

TREE REMOVAL PLAN
 SCALE: 1"=20'-0"



#	Species of tree	Size of Tree	Reason for Removal
1	Redwood	17"	located on neighboring property, to remain
2	Velvet Ash	12"	in way of emergency vehicle access to rear of property
3	California Pepper	14"	in way of emergency vehicle access to rear of property
4	Acacia	31"	in way of emergency vehicle access to rear of property
5	California Pepper	20"	high fire danger with shallow roof structure that will disturb piling
6	California Pepper	20"	in way of emergency vehicle access to rear of property
7	Coastal Live Oak	14"	in way of emergency vehicle access to rear of property
8	Coastal Live Oak	15"	in way of emergency vehicle access to rear of property
9	Coastal Live Oak	12"	to remain, install tree protection
10	Coastal Live Oak	12"	to remain, install tree protection
11	Coastal Live Oak	13"	growing inside necessary parking area on limited lot
12	Coastal Live Oak	13"	bad structure, growing too close to #17 and in required parking area
13	Acacia	13"	unbalanced and leaning into building area
14	Coastal Live Oak	12"	unbalanced and leaning into building area
15	Coastal Live Oak	30"	unbalanced and leaning into building area
16	Alcacia	12"	unbalanced and leaning into building area
17	Coastal Live Oak	12"	bad structure, growing too close to #12 and in required parking area

NOTES:
 1. FOR REPLACEMENT TREE SPECIES AND SIZE SEE LANDSCAPE DRAWINGS.
 2. ALL TREES TO BE REMOVED THAT ARE LISTED ABOVE ARE 12" OR LARGER.
 3. DUE TO LIMITED ACCESS TO SITE NOT ALL TREES WERE ABLE TO BE PHOTOGRAPHED.
 4. TREES #1 & #10 ARE TO REMAIN, BUT SHALL BE PROTECTED FROM DAMAGE DURING THE COURSE OF CONSTRUCTION PER RECOMMENDATIONS FROM THE CITY ARBORIST.



#8 #7

REVISIONS	
NO.	DATE
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	12/28/14 OWNER
	1/14/20 PLANG SUB
△	08/10/20 DR PCC 1
△	04/17/20 DR PCC 2



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STREETSCAPE PHOTOS

DATE: 05/22/14
 DRAWN BY: RV
 JOB#: H15

A0.5



APN: 424-40-001

(NO ADDRESS ASSIGNED YET)

187 EAST SUNNYOAKS AVE

(SITE ACCESSED FROM SUNNYOAKS AVENUE)

940 DELL AVE

DELL AVE

RAILWAY

(NO EXISTING BUILDINGS ACROSS FROM PROJECT SITE!)



STREETSCAPE PHOTOS



REVISIONS	
NO.	DATE
	06/07/14 OWNER
	12/18/14 OWNER
	1/14/20 PLANS SUB
	08/10/20 DR PGG 1
	04/17/20 DR PGG 2



NEW FACILITY FOR:
DRS STAIRS & CONSTRUCTION
 930 BELL AVENUE
 CAMPBELL, CA 95008



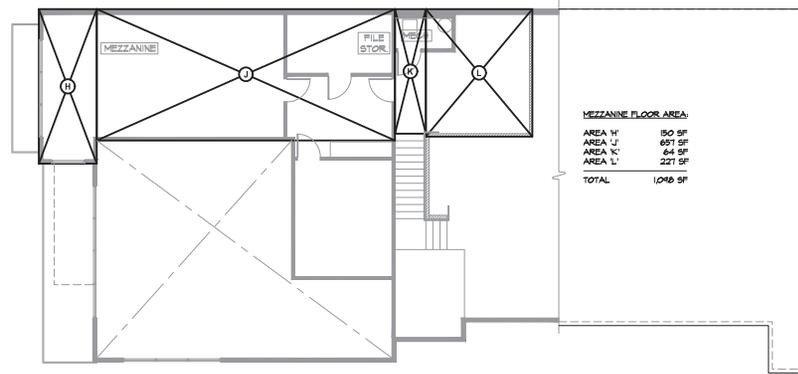
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FLOOR AREA DIAGRAMS & CALCULATIONS

SCALE: 0 8 16 24 FEET

DATE: 05/22/14
 DRAWN BY: RV
 JOB#: 1413

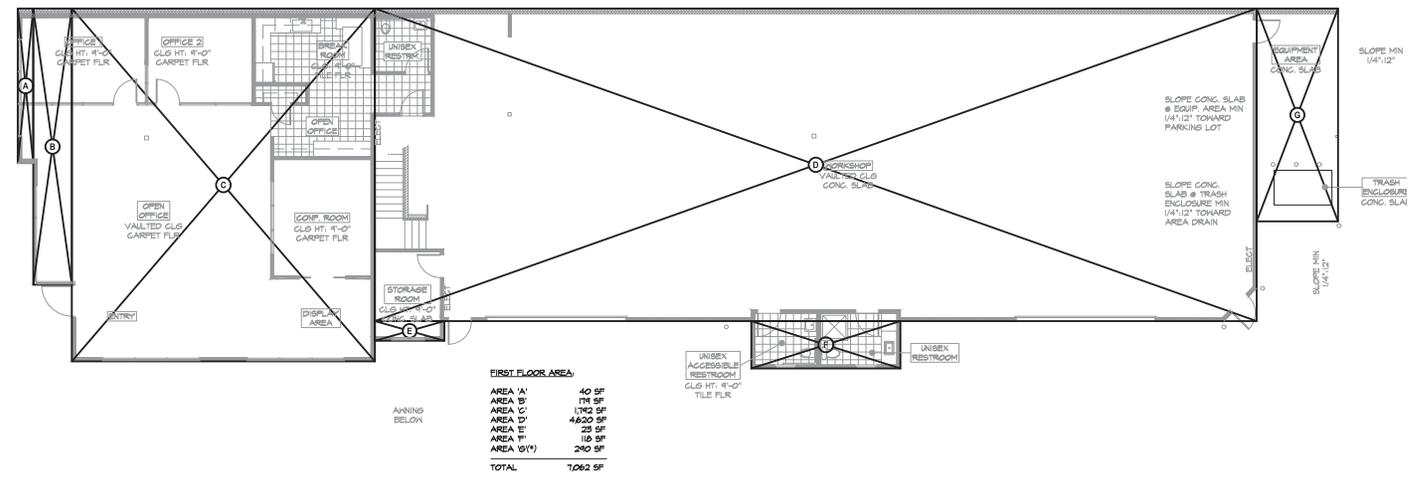
A1.0



MEZZANINE FLOOR AREA:

AREA H*	50 SF
AREA J*	651 SF
AREA K*	64 SF
AREA L*	227 SF
TOTAL	1,092 SF

MEZZANINE FLOOR AREA PLAN
 SCALE: 1/8"=1'-0"



FIRST FLOOR AREA:

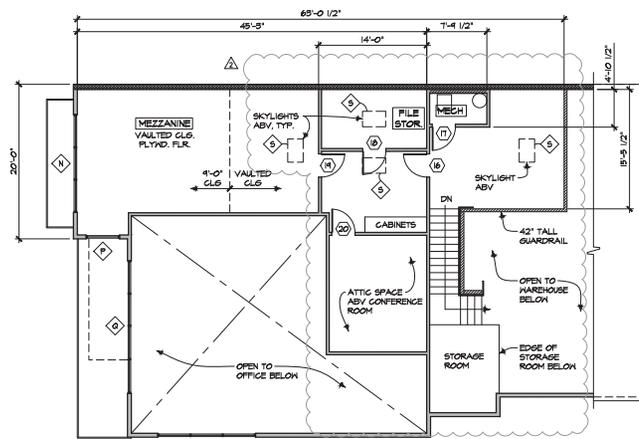
AREA A*	40 SF
AREA B*	174 SF
AREA C*	1790 SF
AREA D*	4620 SF
AREA E*	23 SF
AREA F*	110 SF
AREA G*(*)	240 SF
TOTAL	7,062 SF

* NOT INCLUDED IN FLOOR AREA FOR PARKING OR EXITING CALCULATIONS.

FIRST FLOOR AREA PLAN
 SCALE: 1/8"=1'-0"



- HALL LEGEND:**
- INDICATES (E) HALL
 - - - - INDICATES (E) HALL TO BE REMOVED
 - ==== INDICATES (N) 2x4 WALL
 - XXXX INDICATES (E)/(N) 1 HR. RATED WALL
 - XXXX INDICATES (E)/(N) 2x6 WALL



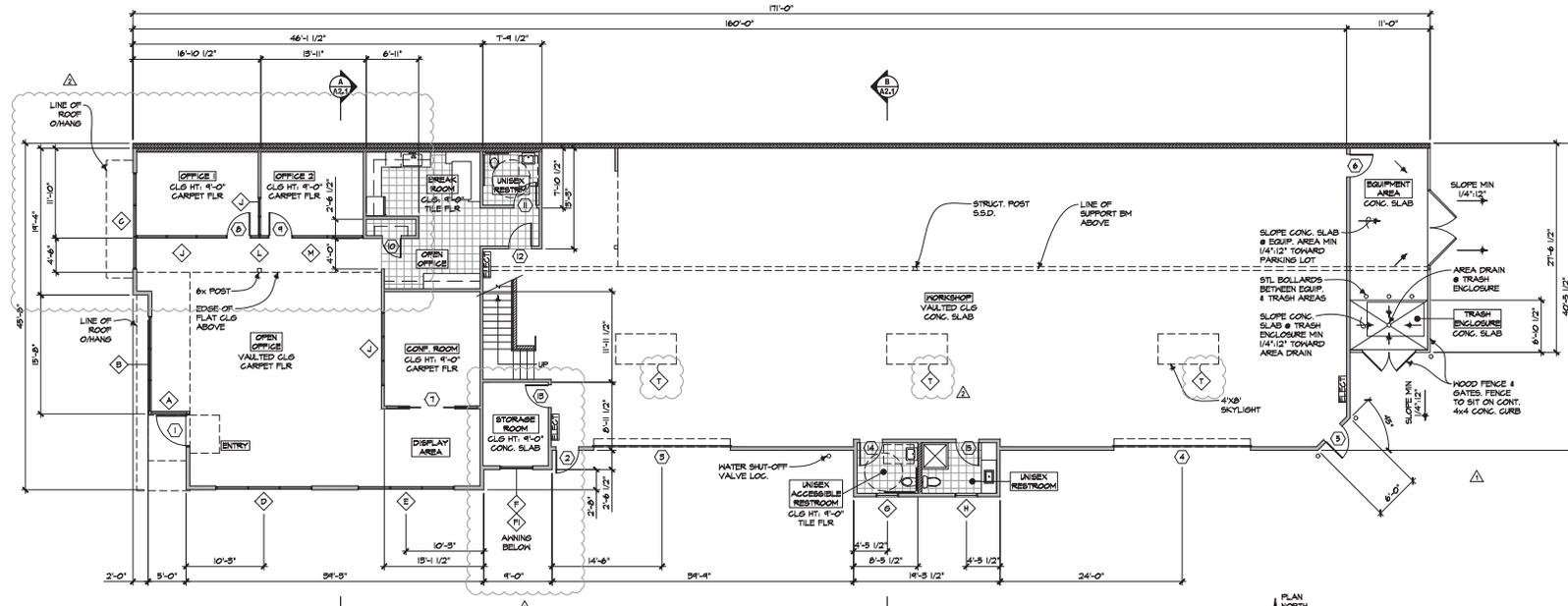
MEZZANINE PLAN
SCALE: 1/8"=1'-0"

DOOR SCHEDULE

Count	Door No.	Size	Swing	Hardware	Material	Notes
1	1	4'-0" x 8'-0" x 1'-3/4"	LF HINGE	ENTRY LOCK, DEADBOLT	ALUMINUM	TEMPERED GLASS PANEL, WEATHERSTRIP
1	2	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	ENTRY LOCK, DEADBOLT	ALUMINUM	WEATHERSTRIP, CLOSER
1	3	19'-0" x 11'-0"	SECTIONAL ROLL UP	TRACK & LOCK BY MFR	ALUMINUM	WEATHERSTRIP
1	4	19'-0" x 11'-0"	SECTIONAL ROLL UP	TRACK & LOCK BY MFR	ALUMINUM	WEATHERSTRIP, CLOSER
1	5	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	ENTRY LOCK	ALUMINUM, SOLID CORE	WEATHERSTRIP, CLOSER
1	6	3'-0" x 7'-0" x 1'-3/4"	RT HINGE	ENTRY LOCK	ALUMINUM, SOLID CORE	WEATHERSTRIP, CLOSER
1	7	16'-0" x 7'-0" x 1'-3/4"	DLB HINGE	PASSAGE	SOLID CORE WD, GLASS PANEL	
1	8	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	PRIVACY LOCK	SOLID CORE WD, GLASS PANEL	
1	9	3'-0" x 7'-0" x 1'-3/4"	RT HINGE	PRIVACY LOCK	SOLID CORE WD, GLASS PANEL	
1	10	2'-0" x 7'-0" x 1'-3/4"	RT HINGE	PASSAGE	SOLID CORE WD	
1	11	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	PRIVACY LOCK	SOLID CORE WD	
1	12	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	ENTRY LOCK	SOLID CORE WD	WEATHERSTRIP, CLOSER
1	13	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	PASSAGE	SOLID CORE WD	CLOSER
1	14	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	PRIVACY LOCK	SOLID CORE WD	
1	15	3'-0" x 7'-0" x 1'-3/4"	RT HINGE	PRIVACY LOCK	SOLID CORE WD	
1	16	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	PRIVACY LOCK	SOLID CORE WD	
1	17	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	PASSAGE	SOLID CORE WD	VENTED PANEL
1	18	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	PASSAGE	SOLID CORE WD	
1	19	3'-0" x 7'-0" x 1'-3/4"	RT HINGE	PRIVACY LOCK	SOLID CORE WD	
1	20	3'-0" x 7'-0" x 1'-3/4"	LF HINGE	PASSAGE	SOLID CORE WD	

WINDOW SCHEDULE

Count	Win No.	Size	Operation	Material	Notes
1	A	4'-8" x 6'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	B	12'-0" x 8'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	C	12'-0" x 8'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	D	12'-0" x 8'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	E	12'-0" x 8'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	F	4'-4" x 5'-7"	FIXED	ALUMINUM	TEMPERED GLASS, MULL TO WDW F1
1	F1	4'-4" x 5'-7"	AWNING	ALUMINUM	TEMPERED GLASS, MULL TO WDW F
1	G	3'-0" x 4'-6"	CASEMENT	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	H	3'-0" x 4'-6"	CASEMENT	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	J	9'-0" x 9'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	K	3'-0" x 9'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	L	2'-0" x 9'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	M	9'-0" x 9'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	N	12'-0" x 6'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	P	4'-4" x 6'-8"	CASEMENT	ALUMINUM	TEMPERED GLASS, 2" MULLS
1	Q	17'-2" x 6'-8"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
3	R	12'-0" x 6'-8"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
4	S	2'-0" x 3'-0"	FIXED	ALUMINUM	TEMPERED GLASS, 2" MULLS
3	T	4'-0" x 8'-0"	FIXED	ALUMINUM	



FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

WALL LEGEND:
 - - - - - INDICATES (E) WALL
 - - - - - INDICATES (E) WALL TO BE REMOVED
 - - - - - INDICATES (N) 2x4 WALL
 - - - - - INDICATES (E)/(N) 1 HR. RATED WALL
 - - - - - INDICATES (E)/(N) 2x6 WALL

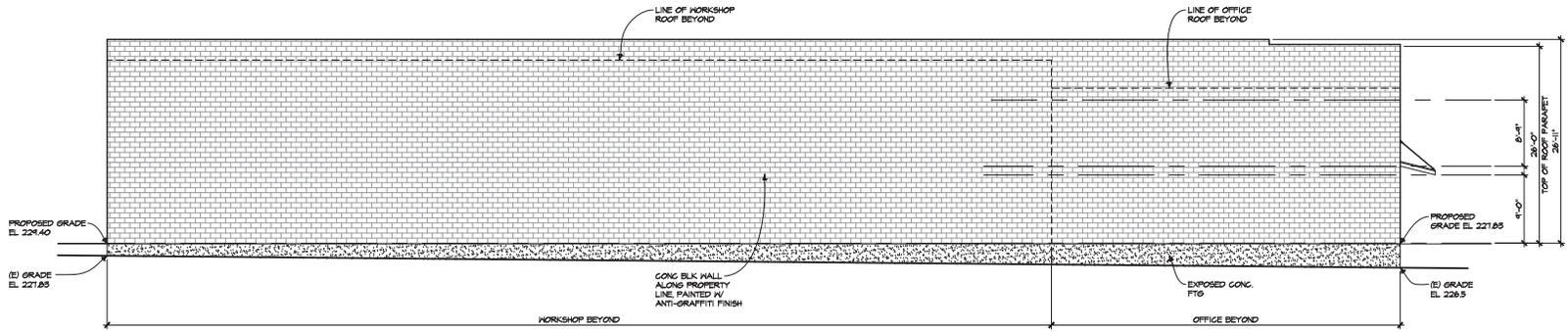
REVISIONS
 NO. DATE
 06/07/14 OWNER
 12/18/14 OWNER
 06/10/20 DR PGC 1
 04/17/20 DR PGC 2

DRS STAIRS & CONSTRUCTION
 930 BELL AVENUE
 CAMPBELL, CA 95008

PROPOSED FLOOR PLANS

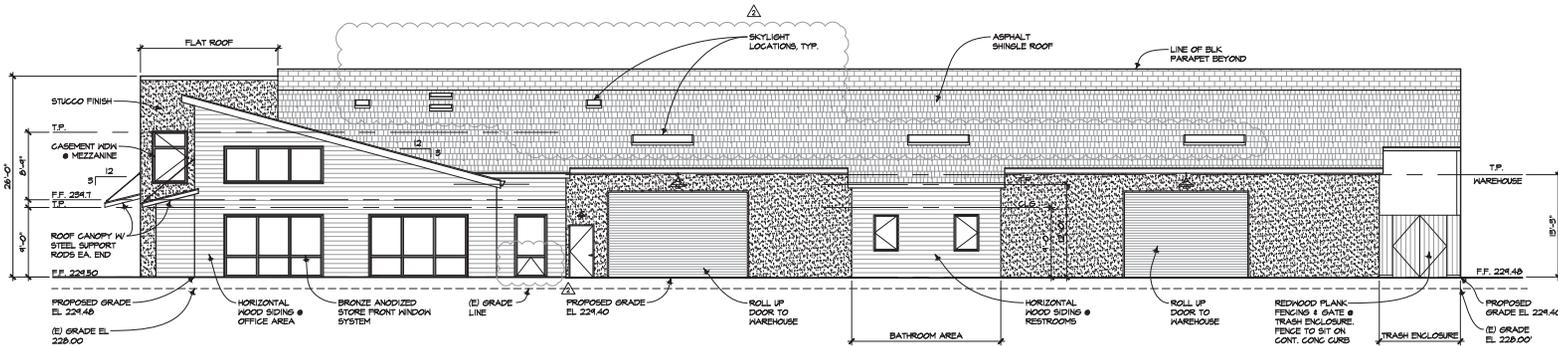
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 JOB#: 1413

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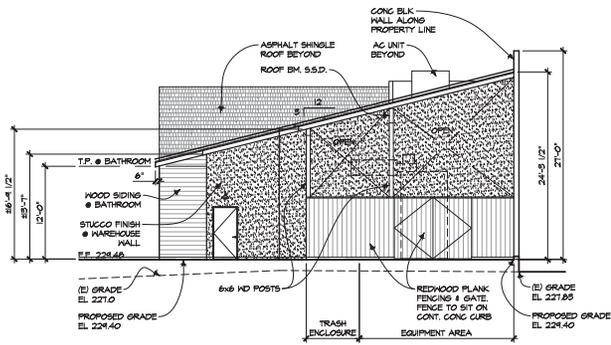
PROPOSED NORTH ELEVATION

SCALE: 1/8"=1'-0"



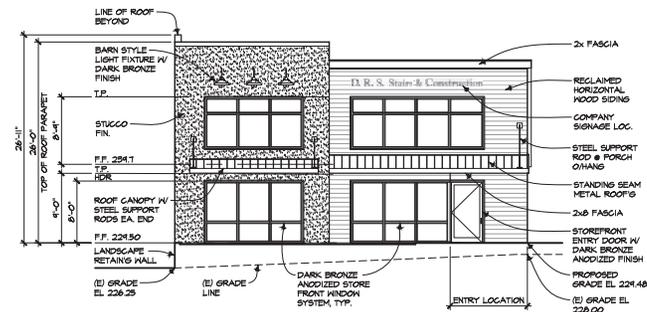
PROPOSED SOUTH ELEVATION

SCALE: 1/8"=1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/8"=1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/8"=1'-0"

REVISIONS	
NO.	DATE
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12/8/14	OWNER
1/14/20	PLANS SUB
08/10/20	DR PCC 1
04/17/20	DR PCC 2



NEW FACILITY FOR:
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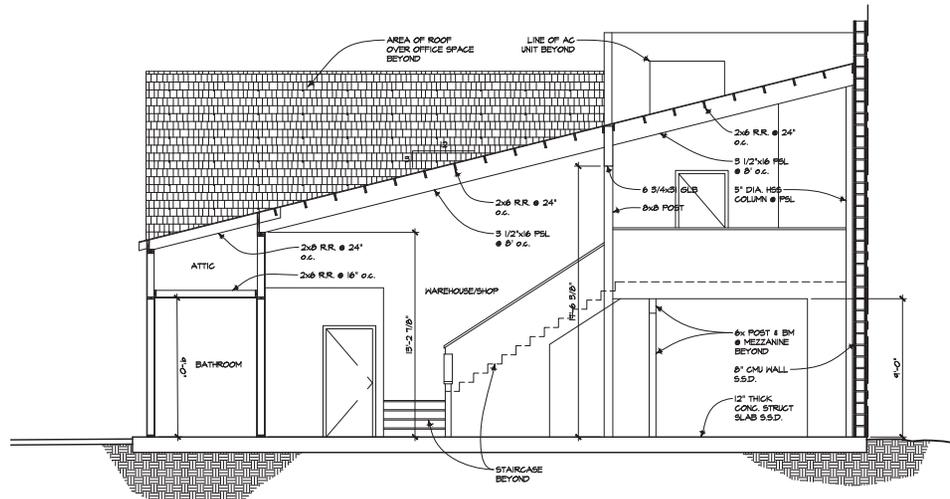
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PROPOSED EXTERIOR ELEVATIONS

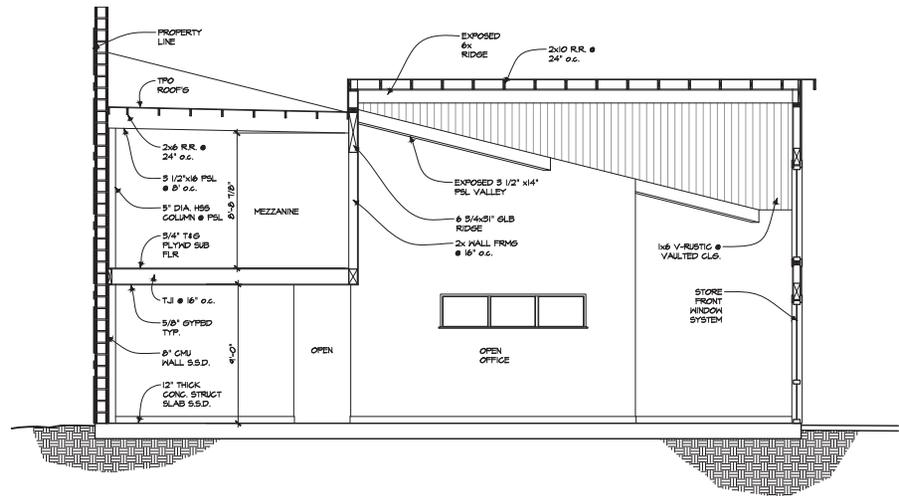
SCALE: 1"=12 FEET

DATE: 05/22/14
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 JOB#: 1413

A2.0



BUILDING SECTION BB
SCALE: 1/4"=1'-0"



BUILDING SECTION AA
SCALE: 1/4"=1'-0"

REVISIONS	
NO.	DATE
06/07/14	OWNER
12/28/14	OWNER
1/14/20	PLANS SUB
08/10/20	DR PGC 1
04/11/20	DR PGC 2



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CAMPBELL, CA 95008



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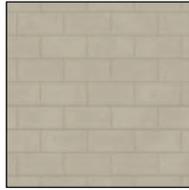


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JOB#: 1413

A2.1

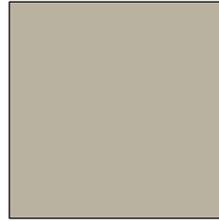
CMU WALL

- ANTI-GRAFFITI FINISH
- BENJAMIN MOORE - PASHMINA AF-100



SIDING & EAVE

- INTEGRAL COLOR STUCCO
- LIGHT SANDED FINISH
- BENJAMIN MOORE - PASHMINA AF-100



ROOFING

- STANDING SEAM METAL ROOF
- BLACK FINISH



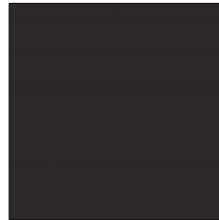
PENDANT LIGHT FIXTURES

- HI-LITE MANUFACTURING
- CLASSIC WAREHOUSE SHADE
- GOOSENECK FIXTURE



FASCIA BOARDS & ROOF SUPPORTS

- 2x WOOD FASCIA
- STEEL ROD ROOF SUPPORTS
- BENJAMIN MOORE - DARK BRONZE



WINDOWS

- FLEETWOOD OR EQ.
- DARK BRONZE ANODIZED FINISH



SIDING

- 1" HORIZONTAL RUSTIC WOOD SIDING
- MEDIUM STAIN



VIEW TOWARD OFFICE



VIEW TOWARD WAREHOUSE



VIEW TOWARD ENTRY

REVISIONS	
NO.	DATE
	06/07/14 OWNER
	12/28/14 OWNER
	1/14/20 PLANG SUB
	08/10/20 DR PGG 1
	04/17/20 DR PGG 2



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MATERIALS BOARD

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MB1.0