



**CITY OF CAMPBELL**  
**Community Development Department**

October 30, 2020

**NOTICE OF PUBLIC HEARING**  
**THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **November 10, 2020**, for a Public Hearing to consider the application of Aman Dulay for a Site and Architectural Review Permit (PLN-2020-29) to allow for the construction of a 3,939 sq. ft. two-story single-family residence with a 465 sq. ft. attached garage on property located at **1508 Theresa Avenue**. Staff is recommending that this item be deemed Categorically Exempt under CEQA.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at [https://us02web.zoom.us/webinar/register/WN\\_zs1r2lzGQE2y2lpQUQpCUQ](https://us02web.zoom.us/webinar/register/WN_zs1r2lzGQE2y2lpQUQpCUQ). After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, November 6th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to [planning@campbellca.gov](mailto:planning@campbellca.gov). Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, October 30<sup>th</sup>, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or [ClerksOffice@campbellca.gov](mailto:ClerksOffice@campbellca.gov) at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

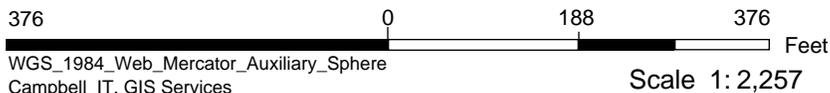
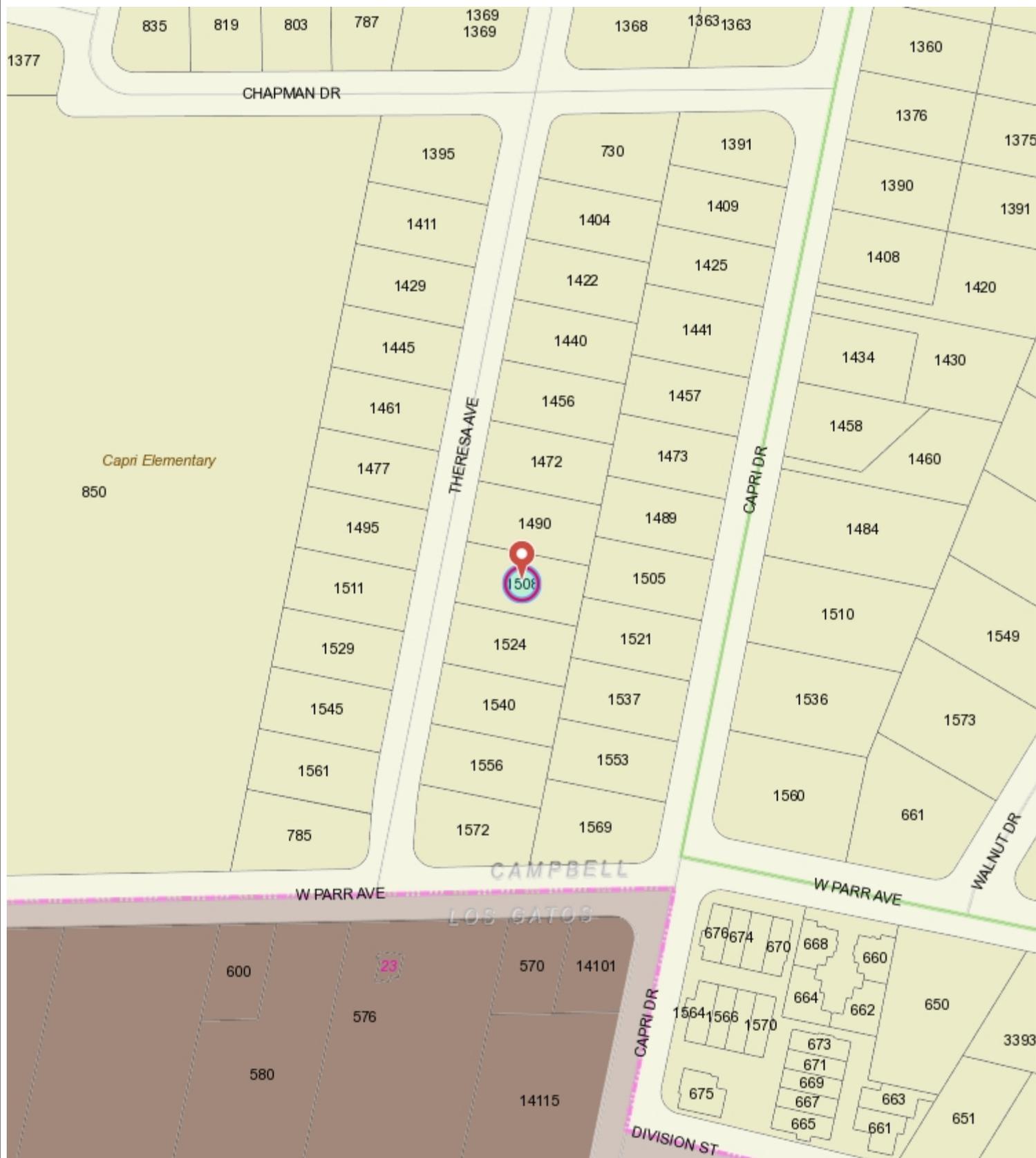
PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE:

When calling on this Notice, refer to **1508 Theresa Avenue**



# Location Map - 1508 Theresa Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

**DEFERRED SUBMITTAL**

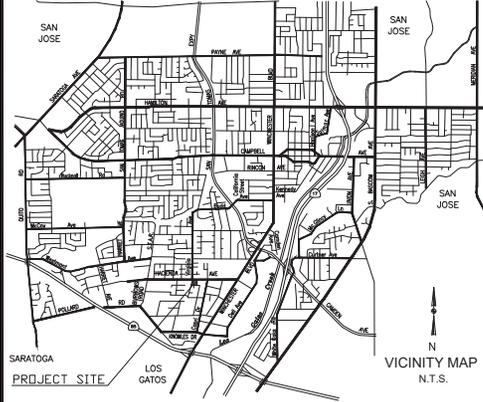
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER CITY OF CAMPBELL FIRE DEPARTMENT REQUIREMENTS, CRC SEC. 313.2, AS ADOPTED AND AMENDED BY CBLMC.

**ENERGY VERIFICATIONS**

HERS VERIFICATION REQUIRED FOR BUILDING ENVELOPE, HVAC COOLING, OR HVAC DISTRIBUTION, HVAC FAN SYSTEMS, AND IAG (INDOOR AIR QUALITY). PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES. AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, 10-103 (b).

**NEW TWO STORY HOUSE**  
1508 THERESA AVE.  
CAMPBELL, CA 95008

**VICINITY MAP**



**CONSULTANTS**

1- ARCHITECTURAL	AKS BUILDING DESIGN Designer: Aman Dulay 17871 LOS ALAMOS DR. SARATOGA, CA 95070	(408) 375-8351
2- SURVEY	SMP ENGINEERS 1534 CAROB LANE LOS ALTOS, CA 94024	(650) 941-8055 (650) 941-8755

Designer: *A. Dulay*  
**aks** AKS BUILDING DESIGN  
AMAN DULAY (Principal Designer)  
Tel: 408.375.8351  
Fax: 650.941.8755  
aksdesign@gmail.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication in any other form, in whole or in part, is prohibited. This is the plan and specifications remains with AKS BUILDING DESIGN without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

**DRAWING INDEX**

- A-1 COVER SHEET/ (E) SITE & DEMO PLAN
- A-1.1 SITE PHOTOGRAPHS
- T-1 TOPOGRAPHIC MAP
- A-2 NEW SITE/ GRADING/ UTILITY PLAN
- A-2.1 PRIVACY PLAN
- L-1 PLANTING PLAN
- L-2 IRRIGATION PLAN
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- A-3 NEW 1ST FLOOR PLAN
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- A-5 BUILDING ELEVATIONS
- A-6 BUILDING SECTIONS
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- A-8 STREETScape/ COLOR CHART

**FIRE DEPARTMENT NOTES**

An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by CBLMC.

All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification Si-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project.

Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CRC Sec. 903.3.5 and Health and Safety Code 13114.7.

Address Identification. New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505-1.

Project:  
NEW Single Family Residence  
1508 THERESA AVE.  
CAMPBELL, CA 95008  
APN: 406-23-018

Owners:  
LE SOTIR  
2942 NEAL AVE.  
SAN JOSE, CA 95128

**ARCH. LEGEND & SYMBOLS**

**NORTH ARROW**  
INDICATES REFERENCE NORTH

**BUILDING SECTIONS**  
SECTION IDENTIFICATION (LETTERS)  
SHEET WHERE SECTION IS SHOWN

**SECTION DETAIL**  
DETAIL IDENTIFICATION  
SHEET WHERE DETAIL IS SHOWN

**KEY NOTE**  
CORRESPONDING NUMBER

**OPENING INDICATIONS**  
DOOR OPENING  
DOOR OPENING (EG. 2'-8" X 6'-8")  
WIDTH HEIGHT

**WINDOW TYPE**  
WINDOW OPENING (EG. 4'-0" X 4'-0")  
WIDTH HEIGHT

**WINDOW TYPE (SL:SLIDING, SH: SINGLE HUNG, CASE: CASEMENT)**

**REVISION**  
CLOUD AROUND REVISION

**WORK POINT, CONTROL POINT OR DATUM POINT**

**REFERENCE ELEVATION**  
DIMENSION ABOVE FLOOR

**CHANGE OF FLOOR FINISH**

**PROJECT DATA**

**PROJECT DESCRIPTION:** NEW TWO STORY HOUSE WITH 2 CAR GARAGE & 5 BEDROOMS  
**LOCATION:** 1508 THERESA AVENUE  
**A.P.N.:** 406-23-018  
**ZONING:** R-1-B  
**EXISTING USE:** RESIDENTIAL  
**TYPE OF CONSTRUCTION:** V-B  
**OCCUPANCY:** R-3/U  
**ADJACENT LAND USE:** N,S & E-RESIDENTIAL, West-COMMERCIAL  
**NET LOT SIZE:** 9,474 SF. (0.218 ACRES)  
**AVERAGE SLOPE:** RELATIVELY FLAT

AREA	
FIRST FLOOR	2,008 SQ. FT.
SECOND FLOOR	1,431
GARAGE AREA:	465
TOTAL :	3,904

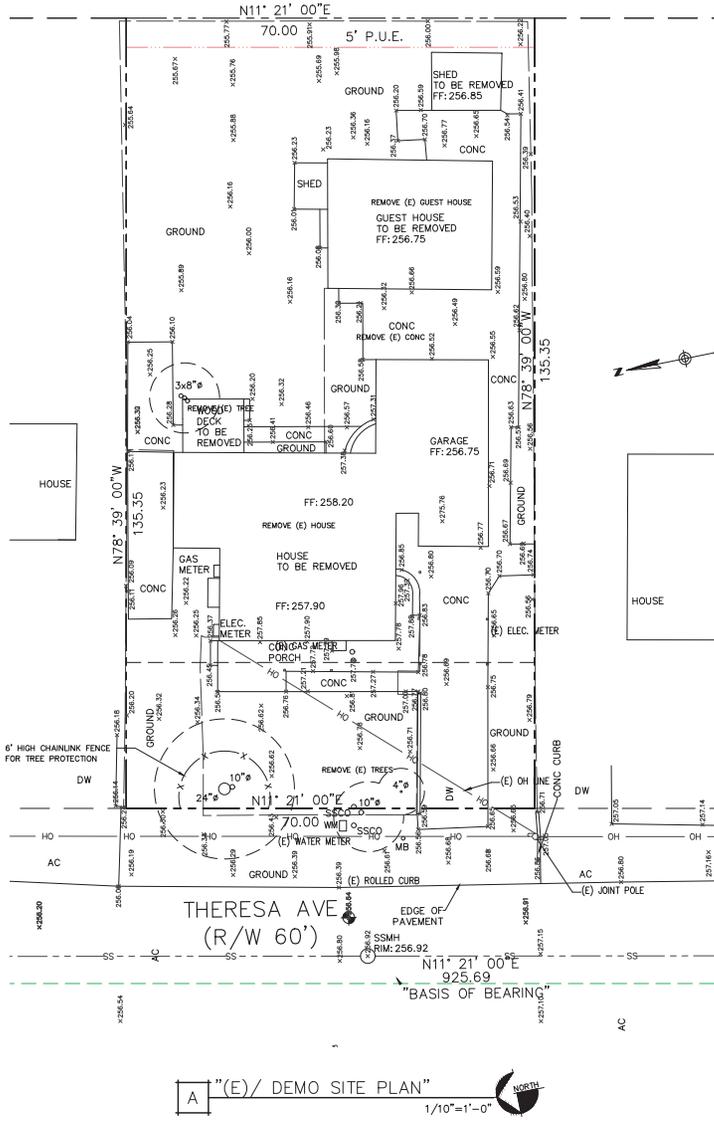
FRONT PORCH: 283 SF			
SETBACKS	1ST FLOOR	2ND FLOOR	MINIMUM REQUIRED
FRONT	23'-8"	29'-8"	20'-0" H/25'-0" G
RIGHT	8'-0.5"	12'-9"	THE GREATER OF 8' OR 60% OF WALL HEIGHT
LEFT	10'-0"	22'-8"	THE GREATER OF 10' OR 60% OF WALL HEIGHT
REAR	54'-3.5"	56'-9.5"	20'-0"

LOT COVERAGE:	PROPOSED	ALLOWED
(1ST FLOOR+GARAGE+PORCHES)	2756/9474= 29.1%	(3,315.9 SF)35%

FAR:	PROPOSED	ALLOWED
1ST FLOOR + 2ND FLOOR	3904/9474= 0.41	(4,263.33 SF) .45

IMPERVIOUS COVERAGE:	AREA	% OF LOT
(1st Flr+Garage+Porches)	3,244 sf	34.2%

PERVIOUS COVERAGE:	AREA	% OF LOT
(Landscape & Pervious pavers)	6,230 sf	65.8%



No.	Submittals	Date
1	PLANNING	1/28/2020
2	PLANNING	9/2/2020

No.	Revision/Issue	Date
1	PLANNING	5/13/2020

Project: THERESA  
Scale: As Shown  
Date: 9/2/2020  
Sheet Title: "Cover Sheet & (E) Site Plan"  
Sheet No:

**A-1**



A "FRONT ARIEL PICTURE"



B "REAR ARIEL PICTURE"



C "FRONT RIGHT SIDE"



D "REAR SIDE"



E "REAR YARD"



F "FRONT LEFT SIDE"

Designer: *A. Dulay*  
**aks** AKS BUILDING DESIGN  
 AMAN DULAY  
 (Principal Designer)  
 Tel: 408.375.8351  
 Fax: 650.941.8755  
 aksdesign@gmail.com

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 NEW Single Family Residence  
 1508 THERESA AVE.  
 CAMPBELL, CA 95008  
 APN: 406-23-018

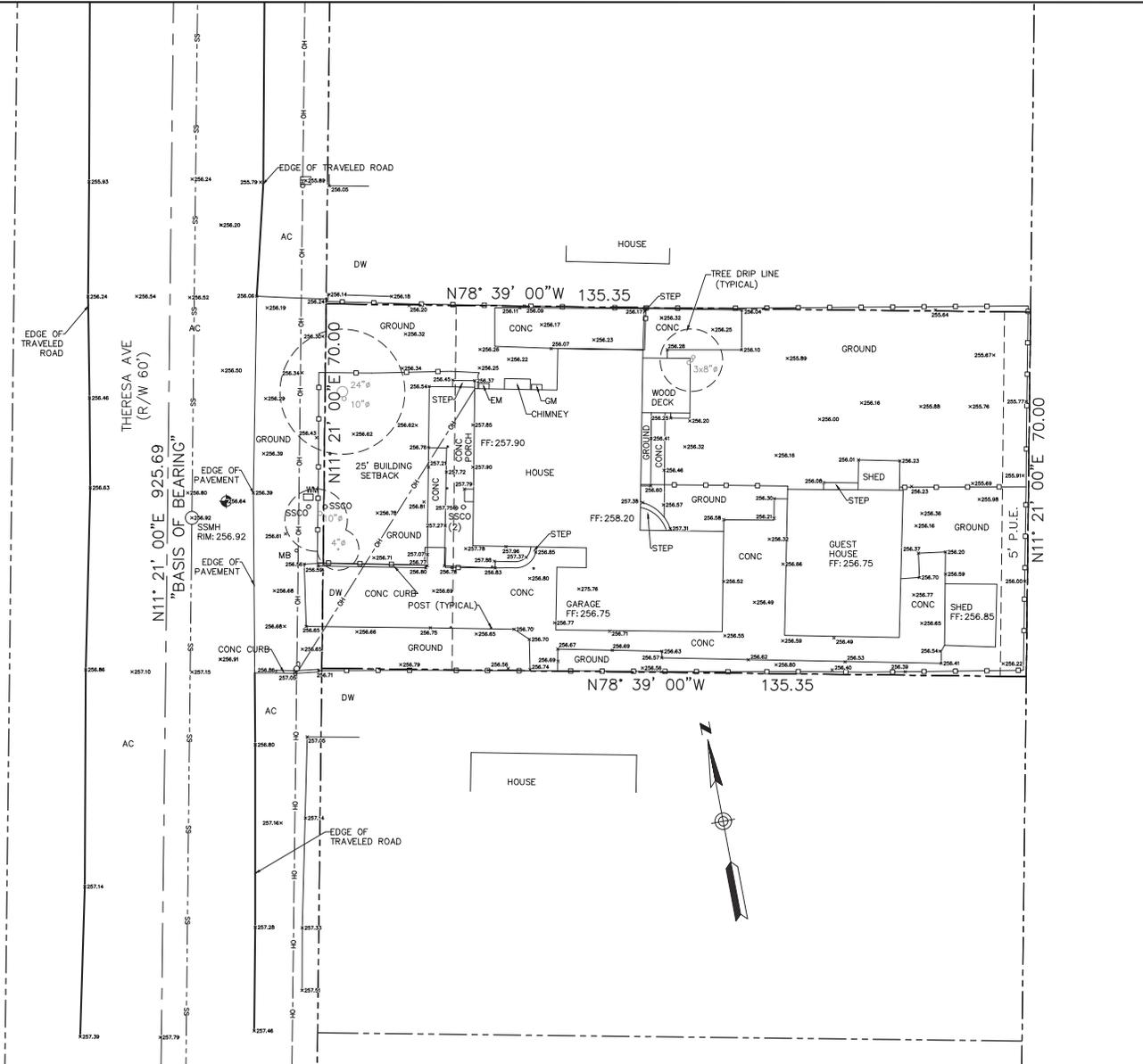
Owners:  
 LE SOTIR  
 2942 NEAL AVE.  
 SAN JOSE, CA 95128

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1	PLANNING	5/13/2020

Project: THERESA  
 Scale: As Shown  
 Date: 9/2/2020  
 Sheet Title: "SITE PHOTOGRAPHS"

Sheet No:



**LEGEND**

---	PROPERTY LINE	AC	ASPHALT
- - - -	EXISTING LOTS	AD	AREA DRAIN
---	CENTERLINE	ANC	ANCHOR
---	EASEMENT LINE	BSDL	BUILDING SETBACK LINE
---	SANITARY SEWER LINE	C&G	CURB AND GUTTER
---	STORM DRAIN LINE	CB	CATCH BASIN
---	OVERHEAD POWER LINE	CO	CLEAN OUT
---	WOOD FENCE	DW	DRIVEWAY
○	POWER POLE	EB	ELECTRIC BOX
⊕	FIRE HYDRANT	EM	ELECTRIC METER
○	JOINT POLE	EP	EDGE OF PAVEMENT
⊙	SURVEY MONUMENT FOUND	FM	FIRE HYDRANT
⊕	TBM (ELEVATION)	GM	GUY ANCHOR
⊕	WATER VALVE	IV	IRRIGATION VALVE
		LP	LIGHT POLE
		MB	MAIL BOX
		MH	UTILITY MANHOLE
		P.U.E.	PUBLIC UTILITY EASEMENT
		P	BRICK CONC PILLAR
		PP	POWER POLE
		(R)	RADIAL BEARING
		S	STREET LIGHT
		SSMH	STORM DRAINAGE MANHOLE
		SSMH	SANITARY SEWER MANHOLE
		SSCO	SANITARY SEWER CLEAN OUT
		TCD	THROUGH CURB DRAIN
		TS	TRAFFIC SIGN
		VC	VALLEY GUTTER
		WM	WATER METER
		WV	WATER VALVE

**DISCLAIMER:**  
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

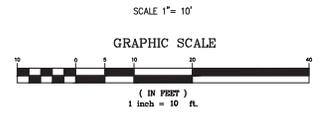
**NOTE:**  
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

**BASIS OF BEARINGS:**  
FOUND SURVEY MONUMENTS, RECORD INFORMATION WAS USED, PER RECORD MAP, BOOK 10 PAGE 55 WHICH IS FILED IN THE COUNTY OF SANTA CLARA RECORDER'S OFFICE.

**PROJECT BENCHMARK:**  
S.C.V.W.D. BENCHMARK # 629 ELEV= 258.81 (NAVD 88 DATUM)

**SITE BENCHMARK:**  
SURVEY CONTROL SET MAG NAIL ELEVATION=256.64 (NAVD 88 DATUM)

- NOTES:**
1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
  2. THE GROSS AREA OF LAND OF RECORD IS 9474.60 SQ. FT. ±.
  3. THE MAP WAS BASED ON A GRANT DEED DOC # 24217956 BY CORNERSTONE TITLE CO. DATED 07/03/2019, RECORDED IN SANTA CLARA COUNTY.
  4. ALL EXISTING BUILDINGS ARE WOOD.
  5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
  6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.



1508 THERESA AVE.  
CAMPBELL, CA 95008  
APN: 406-23-018



**SMP ENGINEERS**  
CIVIL ENGINEERS—LAND SURVEYORS  
1534 Carob Lane Los Altos, CA 94024  
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'  
Prepared by: J.N.  
Checked by: S.R.  
Date: 08/05/2019  
Project No: 219094

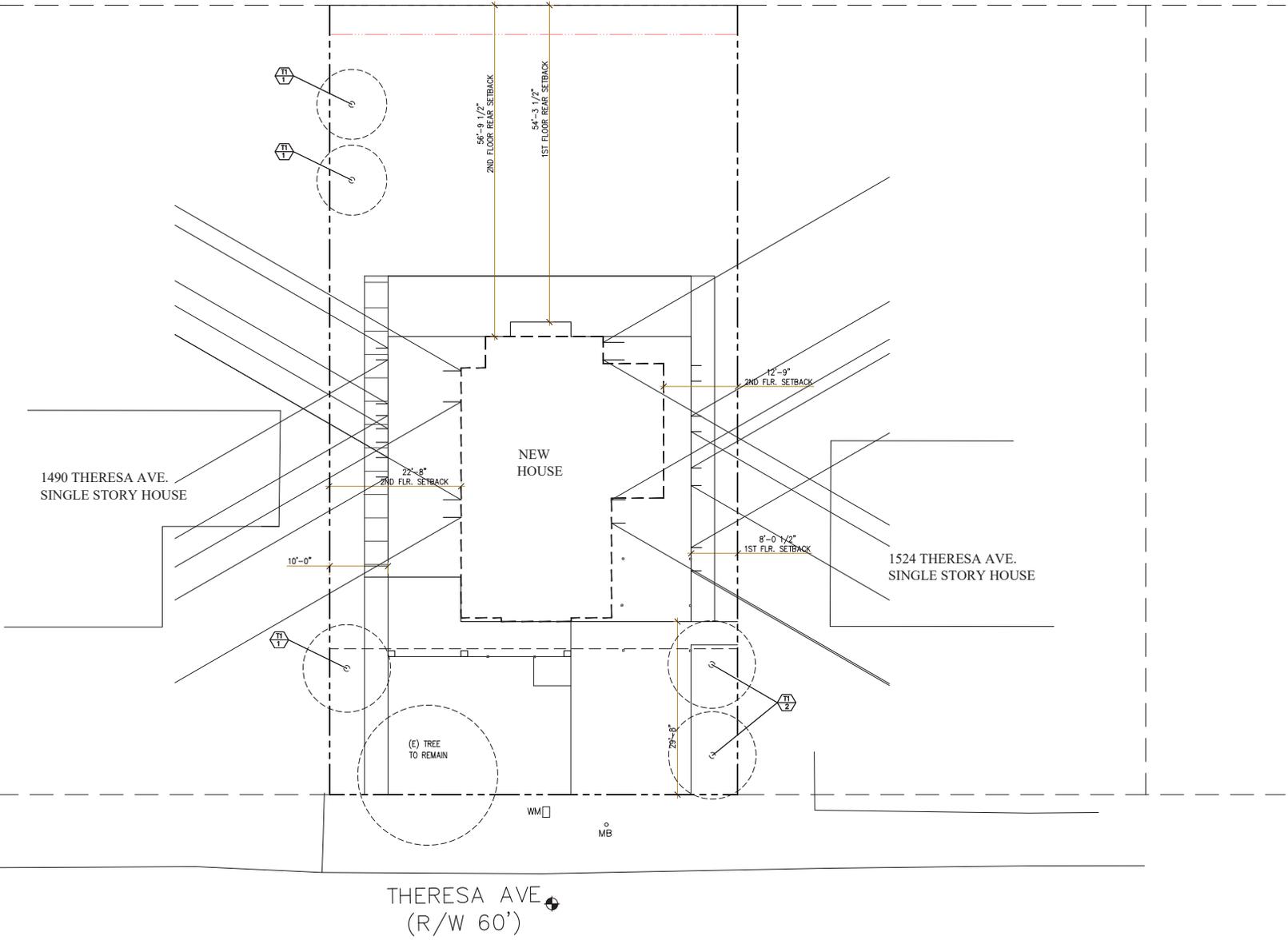
**PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP**

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF CAMPBELL





Designer: *A. Dulay*  
**aks** AKS BUILDING DESIGN  
 AMAN DULAY  
 (Principal Designer)  
 Tel: 408.375.8351  
 Fax: 650.941.8755  
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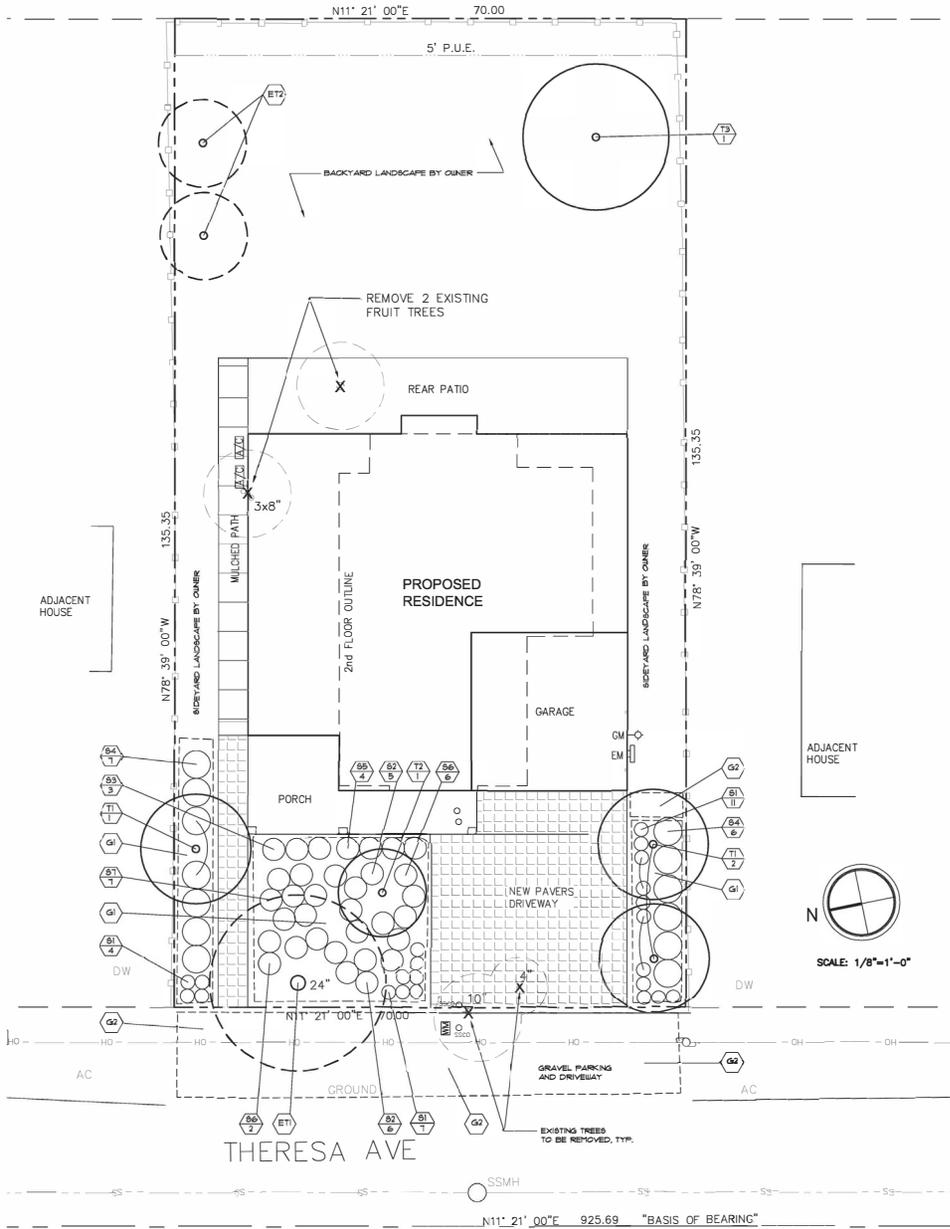
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1	PLANNING	5/13/2020

Project: THERESA  
 Scale: As Shown  
 Date: 9/2/2020

Sheet Title: "Privacy Plan"

Sheet No:

A-2.1



REMOVE EXISTING PLANT SPECIES

**PLANT LEGEND**

Ⓚ INDICATES PLANT KEY  
③ INDICATES PLANT QUANTITY

KEY	BOTANICAL/COMMON NAME	SIZE	QTY.	REMARKS
<b>TREES</b>				
L I L	T1 ARBUTUS 'MARINA' N.C.N.	15' G.C.	3	SINGLE-TRUNK
L I L	T2 ACER PALMATH 'BANGO KAKU' JAPANESE MAPLE	24" CAL	1	SINGLE-TRUNK
L I L	T3 PISTACIA CHINENSIS CHINESE PISTACHE	15' G.C.	1	SINGLE-TRUNK
-	ET1 EXISTING MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	24" CAL	1	TO REMAIN FAIR TO GOOD CONDITION
-	ET2 EXISTING FRUIT TREES TO REMAIN	8' CAL.	2	PLUM, APRICOT
<b>SHRUBS, GRASSES, AND PERENNIALS</b>				
M	01 HEMEROCALLIS VARS. DAYLILY	1 G.C.	22	MIXED EVERGREEN VARS.
M	02 GENISTA LYDIA LYDIAN BROOM	5' G.C.	11	
L	03 PHORPILUM X APRICOT QUEEN NEW ZEALAND FLAX	5' G.C.	3	
L	04 XYLARIA CONGESTUM N.C.N.	5' G.C.	13	
L	05 LOROPETALUM CHINENSE 'RAZZLEBERRY' N.C.N.	5' G.C.	4	
L	06 PITTOSPORUM T. 'VAREGATA' N.C.N.	5' G.C.	8	
M	07 VIBURNUM TINUS 'SPRING BOUQUET' LAURUSTINUS	5' G.C.	7	
<b>GROUNDCOVERS</b>				
L	G1 DYMONDIA MARGARETAE N.C.N.	FLATS	AS REQ.	SPACE TRI. # 12" O.C.
-	G2 ROCK MULCH, CRUSHED DRAIN ROCK	3/4"	AS REQ.	3" DEEP

**NOTES**

- 'MUGLS' INDICATES 'WATER USE CLASSIFICATION OF LANDSCAPE SPECIES' BY THE CALIFORNIA DEPARTMENT OF WATER RESOURCES.  
V=VERY LOW L=LOW M=MEDIUM H=HIGH
- SEE SHEET L-3 FOR ADDITIONAL NOTES AND DETAILS.
- PER CITY REQUIREMENTS, ONE TREE IS REQUIRED FOR EVERY 2,000 SQ. FT. THIS SITE REQUIRES 9 TREES ON THIS SITE. SITE AREA = 9,145 SQ. FT. 41 TREES ARE PROVIDED, THREE EXISTING AND FIVE NEW 24" CAL.



NEW SINGLE FAMILY RESIDENCE  
1508 THERESA AVE.  
CAMPBELL, CA 95008

WILSON & ASSOCIATES  
LANDSCAPE ARCHITECTURE  
815 SAN DIEGO ROAD • BERKELEY, CA 94707  
PH: 510-544-6802 • E: cwilson@1508gmail.com

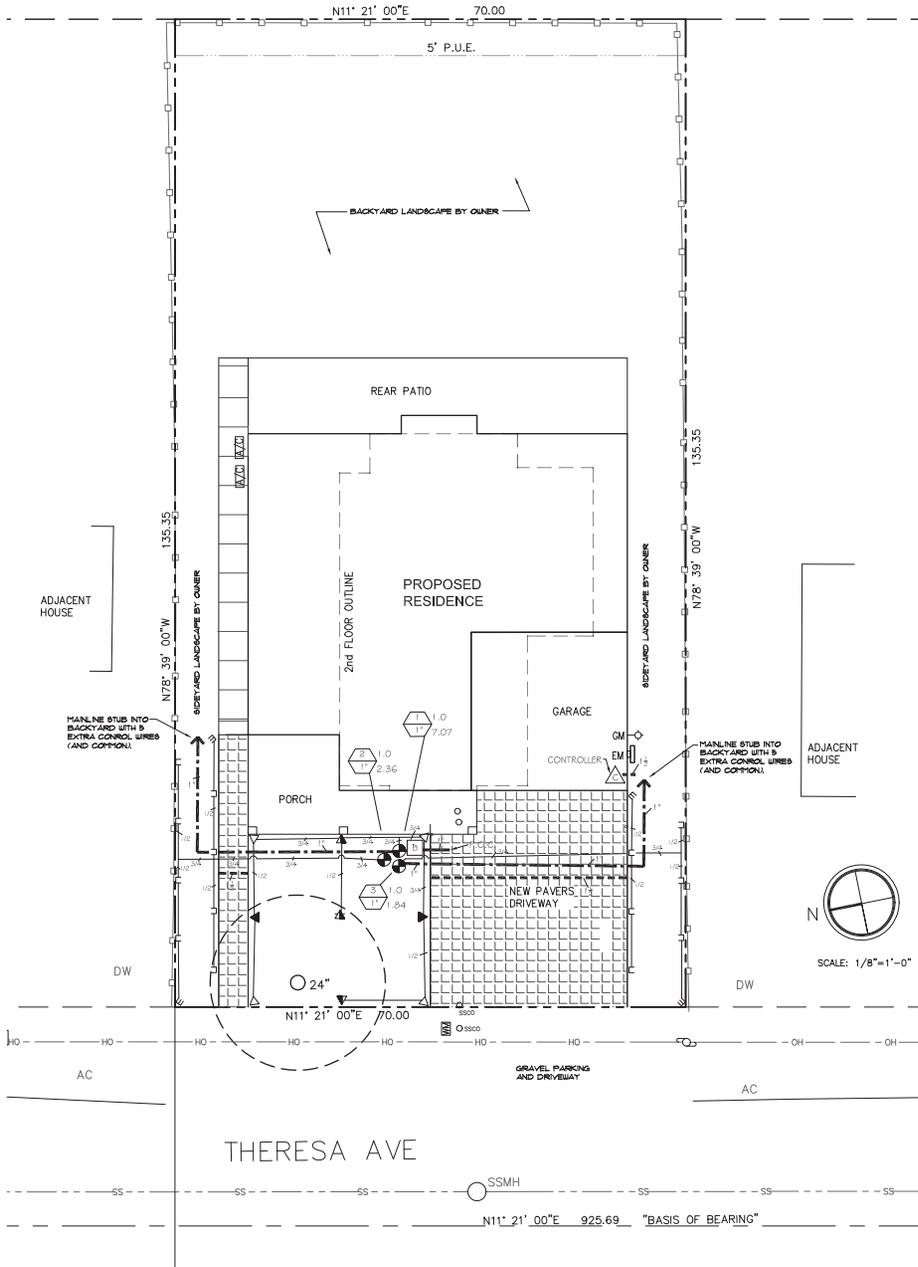
PLANTING PLAN

BY: CW  
JOB: \_\_\_\_\_  
DATE: 12-20-19

L-1

REV: \_\_\_\_\_

NO. DATE REVISIONS



**IRRIGATION LEGEND**

SYMBOL	EQUIPMENT DESCRIPTION	GPM	PSI
▲	SHRUBS 6" POP-UPS WITH PRECISION SERIES SPRAY NOZZLES		
△	TORO 5702 - 6P - OT - 15H, Q 15' SERIES	1.1, 0.53	20
▲	TORO 5702 - 6P - OT - 12F, H 12' SERIES	1.35, 0.7	20
■	TORO 5702 - 6P - OT - 8H, Q 8' SERIES	0.26, 0.14	20

**IRRIGATION LEGEND (CONT'D.)**

SYMBOL	MANUFAC.	SYMBOL DESCRIPTION
---	-	NEW PRESSURE MAINLINE PIPING, SCHEDULE 40 PVC, SIZE AS NOTED, 1.8" COVER.
---	-	CLASS 200 PVC LATERAL PIPING, SCHEDULE 40 UNDER PAVING, SIZE AS NOTED, 1.2" COVER.
---	-	SCHEDULE 40 PVC SLEEVE FOR CONTROL WIRING, SIZE AS NOTED.
■	-	FEBCO 825YA-BV-11 REDUCED PRESSURE BACKFLOW PREVENTER.
■	-	EXISTING 5/8" DOMESTIC WATER METER.
△	TORO	CONTROLLER MODEL TMC-424E-1D INDOOR MOUNT CONTROLLER WITH A MODEL TWR5 WIRELESS RAIN SENSOR, TSM EXPANSION MODULES AS REQD. FOR 1 & 5 STATIONS WALL MOUNT AS DIRECTED BY OWNER.
P.O.C.	-	POINT OF CONNECTION AT DOMESTIC WATER LINE INTO HOUSE, CONFIRM LOCATION, 30 P.S.I. MINIMUM REQUIRED AT P.O.C. - CONFIRM PRIOR TO INSTALLATION.
⊕	IRRIROL	700 SERIES REMOTE CONTROL VALVE, SIZE AS NOTED.



**IRRIGATION NOTES:**

- I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION AND LANDSCAPING ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION AND LANDSCAPE DESIGN PLANS.
- IRRIGATION IS LIMITED TO BETWEEN 8:00 PM AND 10:00 AM.

**IRRIGATION WATER BUDGET CALCULATIONS:**

The following is an outline of the Irrigation water requirements we anticipate for the new residence project at 1508 Theresa Ave. These calculations are provided as requested under the "Water Efficiency Landscape Ordinance" requirements for this project.

This project consists of new landscape and irrigation in conjunction with the demolition of an existing residence and the construction of a new residence in its place.

**Landscape and Irrigation Design Statement:**

The landscaping for this project is planned for a site that already had some existing landscaping and irrigation, all of which is being removed and replaced with new. The site is level. The site has over 2,500 sq. ft. of total landscape area.

The new planting and irrigation system has been designed to current water conserving standards including:

- Primarily drought resistant plantings grouped by hydrozone.
- Soil mulching for water retention and weed control.
- Irrigation zoning.
- Microprocessor style controller with repeat cycles and water budgeting features.
- Low volume precision type irrigation spray heads.

As such, we feel that the actual water use for the landscape irrigation on this site can stay within the Maximum Applied Water Allowance.

**IRRIGATION SCHEDULE:**

The following is a base-line irrigation schedule for a maximum-week (mid-July). It is to be evaluated and adjusted seasonally and empirically as needed to insure plant health and to minimize water waste. The irrigation schedule takes into consideration:

- Evapotranspiration rates
- Hydrozone water requirements
- Depth of root zone
- Soil water holding capacity
- Allowable soil water depletion amount
- Soil infiltration rate
- Irrigation precipitation rate

Valve Stations / Hydrozones 1, 2, and 3 - Mixed landscape trees, shrubs, and groundcover areas in Sun.  
Three starts per day, 8 minutes per start (24 minutes/day), one day per week.

**Maximum Applied Water Allowance:**

We have calculated below what would be the Maximum Applied Water Allowance (MAWA) for the landscaping on this site based on criteria developed by the State for the "Water Conservation in Landscaping Act".

**Assume:**

- Annual Evapotranspiration (ET) = 6.3 inches (based on data from CIMIS, Zone 3).
- Conversion Factor from inches per square foot per year to gallons = 0.22.
- Landscape Area (LA) in square feet = 1,100 (Front yard only)
- Reference Evapotranspiration Adjustment Factor for new landscape, Special Landscape Area (SLA) in square feet = 0

MAWA = (ET) (0.62) (0.7) (LA) (0.3) (SLA)  
MAWA = (6.3) (0.62) (0.7) (1,100) (0.3) (0)  
MAWA = 22,104 gallons per year.

**Estimated Total Water Use (ETWU):**

**Assume - as above plus:**

- PF Plant Factors: 0.45 for new low and medium water use tree, shrub, groundcover areas in full sun, Zones 1, 2, and 3.
- HA Hydrozone areas, 1,100 sq. ft. for new low and medium water use tree, shrub, groundcover areas, Hydrozone areas 1, 2, and 3.

- HA Irrigation Efficiency of 0.7 for high-efficiency precision spray heads.

ETWU = (ET) (0.62) (PF) (HA) (E)

Tree, Shrub, Groundcover Area, ETWU = (6.3) (0.62) (0.45) (1,100) (0.7)  
ETWU = 20,299 gallons per year.

The above yields an Estimated Total Water Use (ETWU) of 20,299 gallons per year. This is less than the Maximum Applied Water Allowance of 22,104 gallons per year.

NEW SINGLE FAMILY RESIDENCE  
1508 THERESA AVE.  
CAMPBELL, CA 95008

WILSON & ASSOCIATES  
LANDSCAPE ARCHITECTURE  
815 SAN DIEGO ROAD • BERKELEY, CA 94707  
PH: 510-544-8802 • E: cwilson@lfa.com

**IRRIGATION PLAN**

BY: CW  
JOB:  
DATE: 12-20-19

L-2  
REV: OF  
REVISIONS





SECOND FLOOR LIVING AREA		
S1	25'-10" X 20'-6"	430 SF
S2	30'-7" X 23'-0"	705 SF
S3	20'-3" X 4'-8"	94 SF
S4	4'-2.5" X 22'-4"	180 SF
S5	12'-0" X 2'-0"	24 SF
<b>TOTAL 2ND FLR. LIVING AREA</b>		<b>1,433 SF</b>

GARAGE AREA		
G1	21'-10" X 21'-4"	465 SF
<b>TOTAL GARAGE AREA</b>		<b>465 SF</b>
FIRST FLOOR LIVING AREA		
F1	17'-8" X 21'-4"	377 SF
F2	39'-6" X 27'-8"	1094 SF
F3	13'-0" X 2'-6"	33 SF
F4	12'-6" X 40'-0"	500 SF (JUNIOR ADU)
<b>TOTAL 1ST FLR. LIVING AREA</b>		<b>2,469 SF</b>

<b>TOTAL AREA:</b>	<b>3,902 SF</b>
--------------------	-----------------

FRONT PORCH (P1): 299 SF

Designer: *A. Dulay*  
**aks** BUILDING DESIGN  
 AMAN DULAY  
 (Principal Designer)  
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 Fax: 650.941.8755  
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 CAMPBELL, CA 95008  
 APN: 406-23-018

Owners:  
 LE SOTIR  
 2942 NEAL AVE.  
 SAN JOSE, CA 95128

No.	Submittals	Date
1	PLANNING	1/28/2020
2	PLANNING	9/2/2020

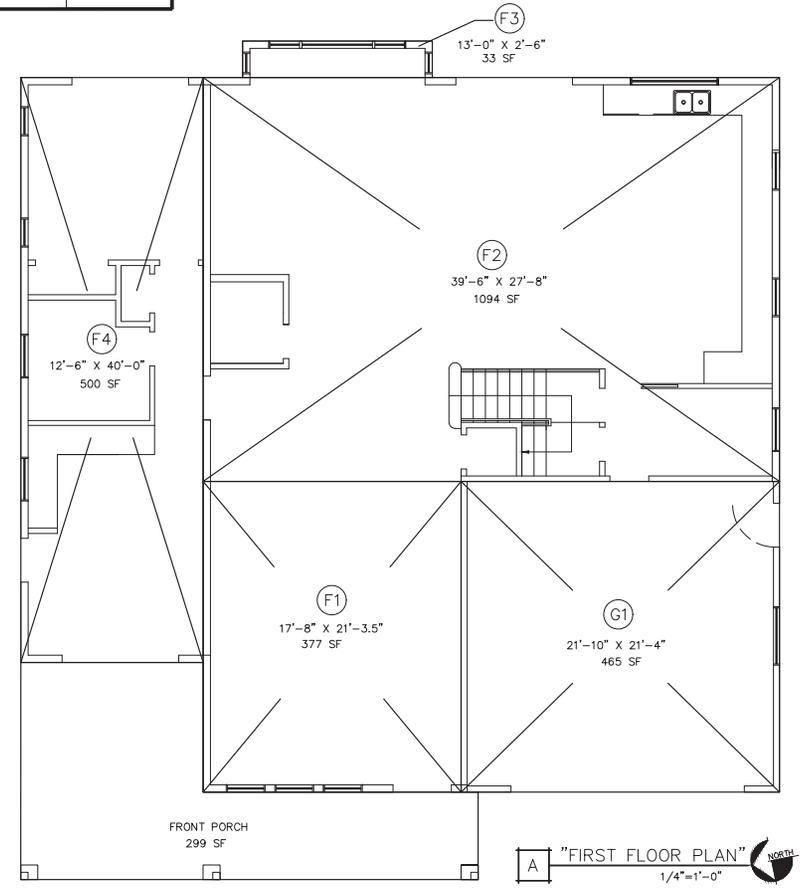
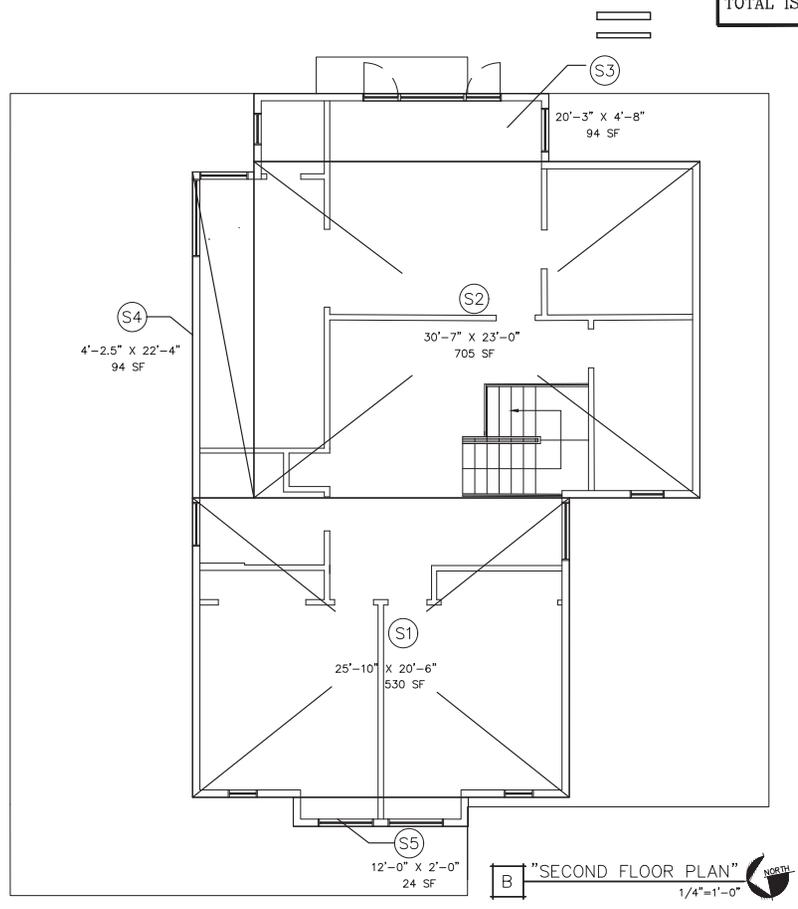
No.	Revision/Issue	Date
1	PLANNING	5/13/2020

Project: THERESA  
 Scale: As Shown  
 Date: 9/2/2020  
 Sheet Title:

"AREA CALCULATIONS"

Sheet No:

**A-3.0**



# FLOOR PLAN

- 36" GAS RANGE/OVEN PER OWNER. EXHAUST FAN OVER
- 48" REFRIGERATOR- PLUMB FOR ICE MAKER
- 24" DISHWASHER PER OWNER
- 32" SINK W/ FOOD DISPOSER
- 24" UNDER COUNTER WINE COOLER
- 24" X 48" ATTIC ACCESS
- 18" X 24" CRAWL SPACE ACCESS
- 4" CROWN MOLDING REVIEW WITH OWNER
- 4" BASE PER OWNER, THROUGHOUT THE ADDITION/ REMODEL.
- WATER CLOSET-1.28 GAL PER FLUSH (30" MIN. CLEAR WIDTH) VENT THROUGH THE ROOF (TYP.)
- TEMP. GLASS @ SHOWER/ TUB WALL
- 8" HIGH TILE AT SHOWER/ TUB WALL
- BLOCKING FOR TOWEL BAR/ TP HOLDER (LOC. PER OWNER)
- VANITY PER OWNER W/ SINK @ 1.2 gpm @ 60 psi
- EGRESS WINDOWS NOTES:
  - MINIMUM NET CLEAR OPERABLE DIMENSION OF 24 INCHES IN HEIGHT (R3101.2)
  - MINIMUM NET CLEAR OPERABLE DIMENSION OF 20 INCHES IN WIDTH (R3101.3)
  - MINIMUM NET CLEAR OPERABLE DIMENSION OF 5.7 SQFT IN AREA. GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQFT (R3101.1)
  - THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES MEASURE FROM THE FLOOR. (R3101)
- ELECTRICAL BOXES OF ANY MATERIALS LOCATED THROUGH RATED WALL LOCATED BETWEEN GARAGE & DWELLING SHALL BE LISTED AND TESTED FOR USE IN FIRE-RESISTANCE RATED ASSEMBLIES AND INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTED PER CBS 712.3.2
- WASHER/DRYER - VENT TO OUTSIDE (METAL DRYER VENT BOX DBX 10000)
- SHEET METAL PAN W/ DRAIN
- 1 3/4" SOLID CORE ENTRY DOOR UNIT PER OWNER OR BUILDER
- SELF-CLOSING, SELF-LATCHING, TIGHT-FITTING, SOLID WOOD 1 3/8 INCH THICK DOOR OR 20 MINUTE RATED DOOR W/ SELF CLOSING.
- 1/2" TYPE 'X' GYP. BD. FROM GARAGE FLOOR, TO GARAGE CEILING.
- 1/2" TYPE 'X' GYP. BD. @ BOTH SIDE OF WALLS ADJACENT TO LIVING AREA FROM FOUNDATION/ SLAB TO ROOF SHEATHING.

**WATER EFFICIENCY AND CONSERVATION:**

BATHROOM FAUCETS: MAX. 1.5 GPM AT 60 PSI (MIN. SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI)

SHOWHEADS: 2GPM @ 80 PSI

KITCHEN FAUCETS: 1.8 GPM @ 60 PSI (OPTION FOR TWO STAGE FLOW)

TOILET: 1.28 GFP

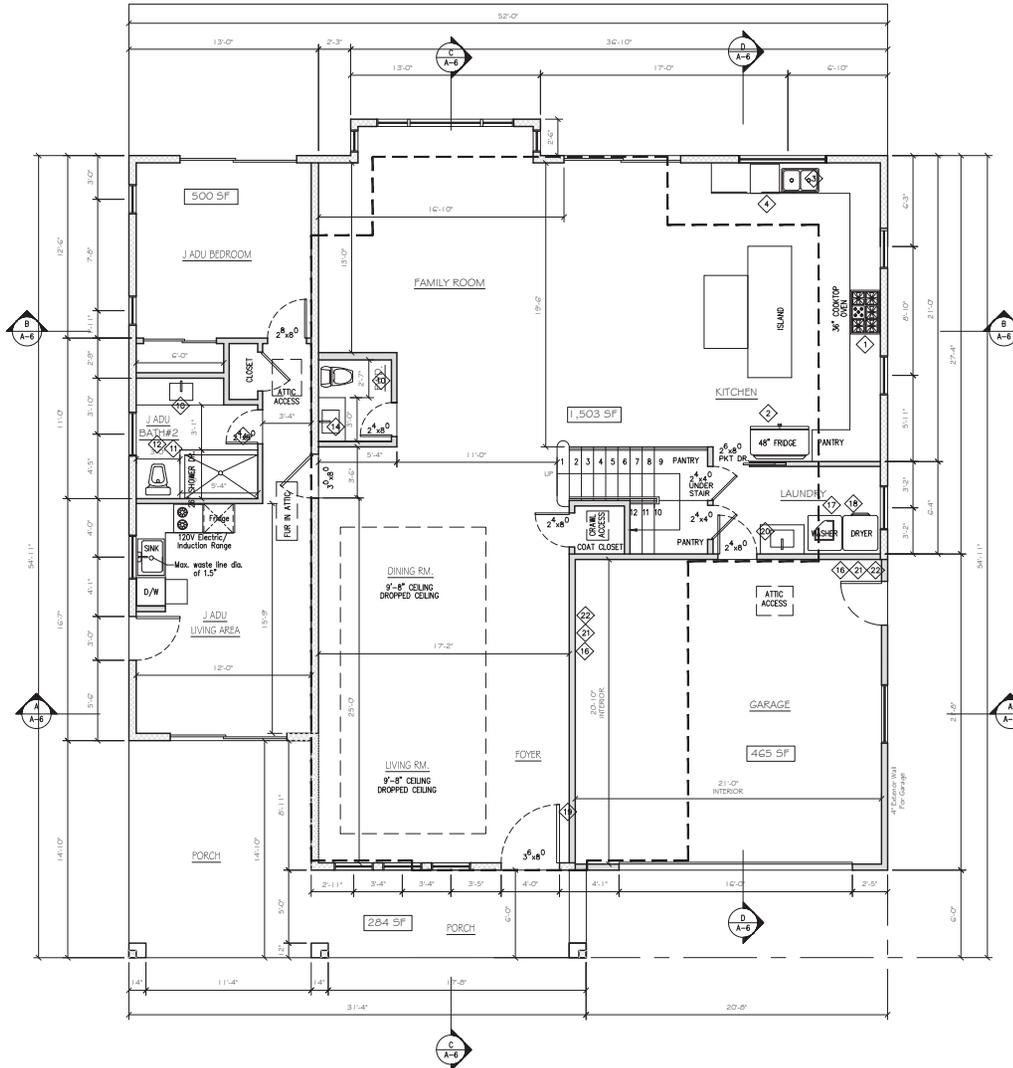
## FOUNDATION VENTILATION:

UNDERFLOOR AREAS SHALL BE VENTED BY OPENINGS IN THE EXTERIOR FOUNDATION WALLS. SUCH OPENINGS SHALL HAVE A NET AREA OF NOT LESS THAN ONE SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER FLOOR AREA. THEY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH OPENING OF 1/4" DIMENSIONS.

$$\text{ADDITION UNDERFLOOR AREA} = \frac{2056}{13.7} = 150 \text{ SQ. FT.} = \text{(REQUIRED NET AREA)}$$

$$\frac{\text{REQUIRED NET AREA} = 13.7}{\text{NET OPEN AREA PER VENT} = 0.58} = 24 \text{ VENTS NEEDED}$$

VENT SIZE PROVIDED SHALL BE 6"x14" (VENTS 6'-0" ON CENTER AROUND THE PERIMETER OF THE RESIDENCE).



A "FIRST FLOOR PLAN" 1/4"=1'-0" NORTH

Designer: *A. Dulay*  
**aks** BUILDING DESIGN  
 AMAN DULAY (Principal Designer)  
 Tel: 408.375.8351  
 Fax: 650.941.8755  
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Project: THERESA  
 Scale: As Shown  
 Date: 9/2/2020  
 Sheet Title: "1ST FLOOR PLAN"  
 Sheet No:

## FLOOR PLAN

- 36" GAS RANGE/OVEN PER OWNER, EXHAUST FAN OVER
- 36" REFRIGERATOR - PLUMB FOR ICE MAKER
- 24" DISHWASHER PER OWNER
- 32" SINK W/ FOOD DISPOSER
- 24" UNDER COUNTER WINE COOLER
- 24" X 48" ATTIC ACCESS
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- 4" BASE PER OWNER, THROUGHOUT THE ADDITION/ REMODEL.
- WATER CLOSET-1.28 GAL PER FLUSH (30" MIN. CLEAR WIDTH) VENT THROUGH THE ROOF (TYP.)
- TEMP. GLASS @ SHOWER
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- VANITY PER OWNER W/ SINK @ 1.2 gpm @ 60 psi
- EGRESS WINDOWS NOTES:
  - MINIMUM NET CLEAR OPERABLE DIMENSION OF 24 INCHES IN HEIGHT (R3101.2)
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  - MINIMUM NET CLEAR OPERABLE DIMENSION OF 5.7 SQFT IN AREA. GRADE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQFT (R3101.1)
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- WASHER/DRYER - VENT TO OUTSIDE (METAL DRYER VENT BOX DBX 1000M)
- SHEET METAL PAN W/ DRAIN
- 1 3/4" SOLID CORE ENTRY DOOR UNIT PER OWNER OR BUILDER
- SELF-CLOSING, SELF-LATCHING, TIGHT-FITTING, SOLID WOOD 1 3/8 INCH THICK DOOR OR 20 MINUTE RATED DOOR W/ SELF CLOSURE.
- 1/2" TYPE 'X' GYP. BD. FROM GARAGE FLOOR, TO GARAGE CEILING.
- 1/2" TYPE 'X' GYP. BD. @ BOTH SIDE OF WALLS ADJACENT TO LIVING AREA FROM FOUNDATION/ SLAB TO ROOF SHEATHING.

### WATER EFFICIENCY AND CONSERVATION:

- BATHROOM FAUCETS: MAX. 1.5 GPM AT 60 PSI (MIN. SHALL NOT BE LESS THAN 0.8 GPM AT 20 PSI)
- SHOWHEADS: 2.0 GPM @ 80 PSI
- KITCHEN FAUCETS: 1.8 GPM @ 60 PSI (OPTION FOR TWO STAGE FLOW)
- TOILET: 1.28 GPF

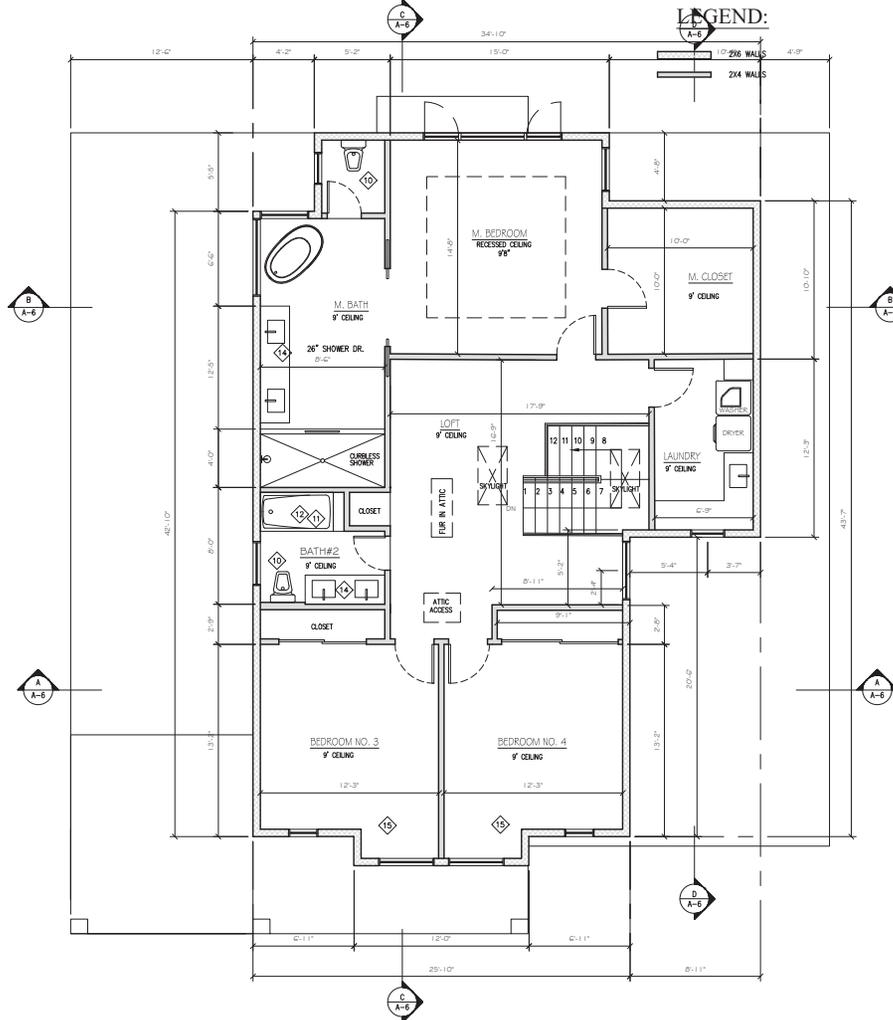
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$$\text{ADDITION UNDERFLOOR AREA} = \frac{2003}{150 \text{ SQ. FT.}} = \frac{13.4}{\text{(REQUIRED NET AREA)}}$$

$$\frac{\text{REQUIRED NET AREA} = 13.4}{\text{NET OPEN AREA PER VENT} = 0.58} = 24 \text{ VENTS NEEDED}$$

VENT SIZE PROVIDED SHALL BE 6"x14" (VENTS 6'-0" ON CENTER AROUND THE PERIMETER OF THE RESIDENCE).



"SECOND FLOOR PLAN"  
1/4"=1'-0"

Designer: *A. Dulay*  
**aks** BUILDING DESIGN  
 AKS BUILDING DESIGN  
 AMAN DULAY  
 (Principal Designer)  
 Tel: 408.375.8351  
 Fax: 650.941.8755  
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 2942 NEAL AVE.  
 SAN JOSE, CA 95128

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2	PLANNING	9/2/2020

No.	Revision/Issue	Date
1	PLANNING	5/13/2020

Project: THERESA  
 Scale: As Shown  
 Date: 9/2/2020

Sheet Title:  
 "2ND FLOOR PLAN"

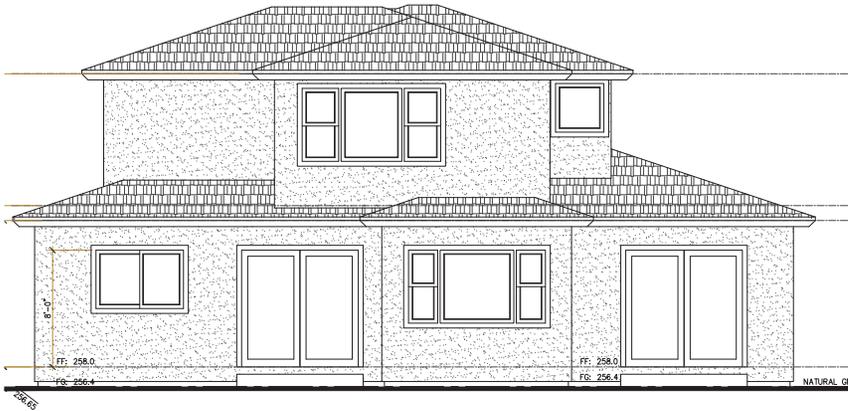
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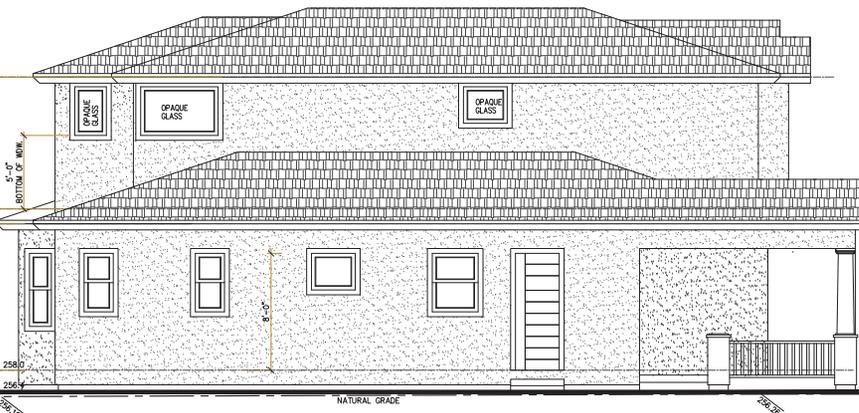


A "REAR ELEVATION" 1/4"=1'-0"



B "RIGHT SIDE ELEVATION" 1/4"=1'-0"

- BUILDING COMPONENTS**
- 1 ROOF: COMPOSITION SHINGLES CLASS "A"  
MANUF: EAGLE ROOFING
  - 2a WALL: 7/8" 3 COAT SMOOTH STUCCO OVER  
2 LAYERS OF GRADE "D" PAPER BACKED  
METAL MESH. U.B.C. 2508  
COLOR: KELLY MOORE-SPANISH SAND-LRV 47
  - 2b WALL: PNEHURST LEDGESTONE
  - 3 WINDOW TRIMS: FAUX STONE AROUND WINDOWS  
COLOR: KELLY MOORE-SWISS COFFEE-23
  - 4 CUTTER: METAL CUTTER & LEADER  
FINISH: TRIM COLOR
  - 5 BALUSTERS: WROUGHT IRON  
FINISH: DARK FINISH
  - 6 LIGHTS: ALL LIGHTING SHALL BE SHIELDED  
TO DIRECT LIGHT TOWARDS THE GROUND



C "LEFT SIDE ELEVATION" 1/4"=1'-0"



D "FRONT ELEVATION" 1/4"=1'-0"

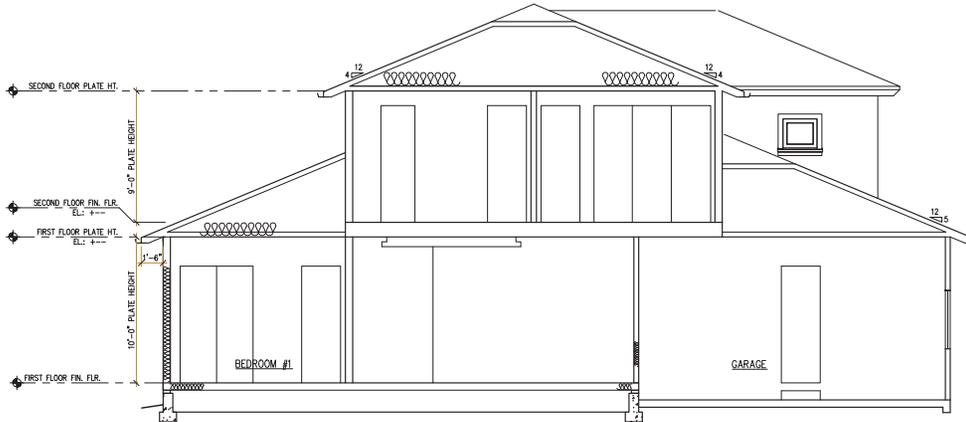
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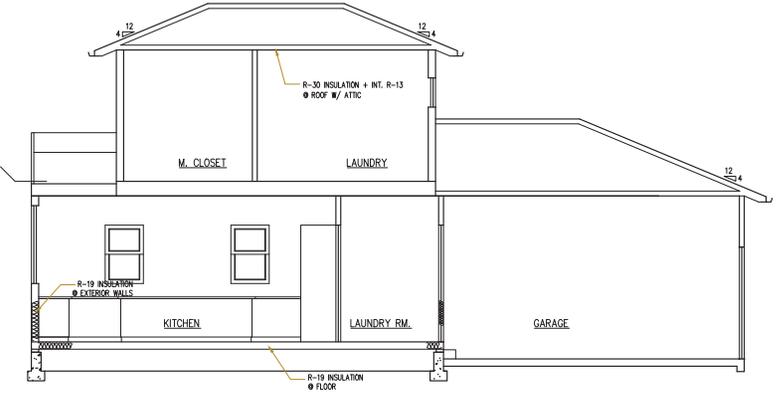
Project: THERESA  
 Scale: As Shown  
 Date: 9/2/2020

Sheet Title:  
 "EXTERIOR ELEVATIONS"

Sheet No:



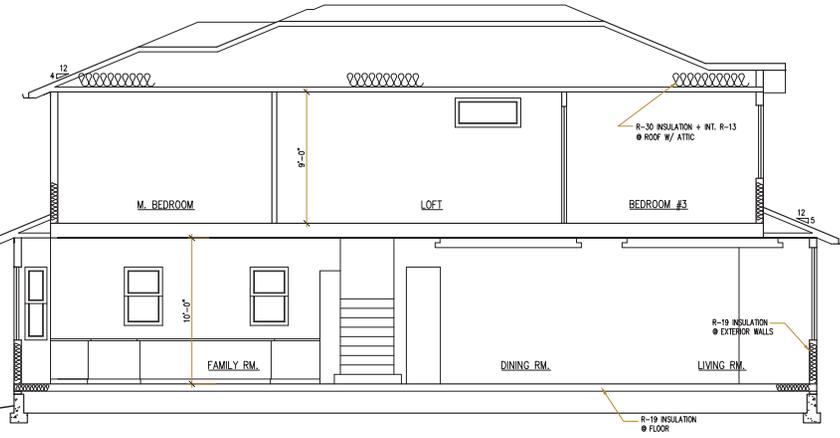
A "SECTION A-A" 1/4"=1'-0"



D "SECTION D-D" 1/4"=1'-0"



B "SECTION B-B" 1/4"=1'-0"



C "SECTION C-C" 1/4"=1'-0"

Designer: *A. Dulay*  
**aks** BUILDING DESIGN  
 AMAN DULAY (Principal Designer)  
 Tel: 408.375.8351  
 Fax: 650.941.8795  
 akdesign@gmail.com

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 Scale: As Shown  
 Date: 9/2/2020  
 Sheet Title: "BUILDING SECTIONS"

Sheet No:

ATTIC VENTILATION CALCULATION				
ATTIC AREA	ATTIC SQ. FT.	VENT AREA REQUIRED (SQ. INCHES 1/300)	NET FREE AREA PROVIDED	TOTAL PROVIDED
FIRST FLOOR ATTIC 1	783 SQ. FT.	144 x 783/150=751.68 SQ. IN.	9 EAVE VENTS (14"x4") = 504 SQ. IN. 5 ROOF LOUVER VENT = 325 SQ. IN.	829 SQ. IN.
FIRST FLOOR ATTIC 2	597 SQ. FT.	144 x 597/150=573.12 SQ. IN.	6 EAVE VENTS (14"x4") = 336 SQ. IN. 4 ROOF LOUVER VENT = 260 SQ. IN.	596 SQ. IN.
SECOND FLOOR ATTIC	1217 SQ. FT.	144 x 1217/150=1168.3 SQ. IN.	12 EAVE VENTS (14"x4") = 672 SQ. IN. 8 ROOF LOUVER VENT = 520 SQ. IN.	1192 SQ. IN.

\* EAVE VENTS TO BE SPACED EVENLY

\* WHEN 1/150 OF THE AREA BEING USED FOR REQUIRED ATTIC VENTILATION, IT IS REQUIRED THAT 50% OF THE VENTS BEING USED AT THE EAVES & THE OTHER 50% OF VENTS SHALL BE 3'-0" ABOVE THE EAVE PER CBC 1505.3.

### FUTURE SOLAR SYSTEM

ROOFING EYEBROW VENTS AND PLUMBING VENTS ARE TO BE PLACED CLEAR FROM FUTURE SOLAR PANELS PER ENERGY 110.10 (MIL. 250 SF ON A SOUTHWEST ORIENTATION)

R317.3 Fasteners and connectors in contact with preservative treated wood. Fasteners and connectors in contact with preservative-treated wood and fire-retardant-treated wood shall be in accordance with ASTM S 153. R317.3.1 Fasteners for preservative-treated wood shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper. Coating types and weights for connectors in contact with preservative-treated wood shall be in accordance with the connector manufacturer's recommendations. In the absence of manufacturer's recommendations, a minimum of ASTM A653 type G185 zinc-coated galvanized steel, or equivalent, shall be used. Exceptions:  
1. One-half-inch (12.7 mm) diameter or greater steel bolts.  
2. Fasteners other than nails and timber rivets shall be permitted to be of mechanically deposited zinc coated steel with coating weights in accordance with ASTM B 695, Class 55 minimum.

### 3. Modified Conventional Vented Attics

A conventional vented attic (with fiberglass batt insulation on the ceiling plane) can be modified by adding fiberglass batt (or netted fiberglass or netted cellulose or spray applied fiberglass) insulation to the underside of the roof deck (i.e. on the slope) while leaving the attic air space ventilated to outdoors. Figure 1 shows the placement of deck insulation and the venting details necessary to ensure continued ventilation of the modified attic assembly. Figure 2 shows a range of deck insulation options. The modified conventional vented attic configuration is not well understood and is examined in detail in this study.

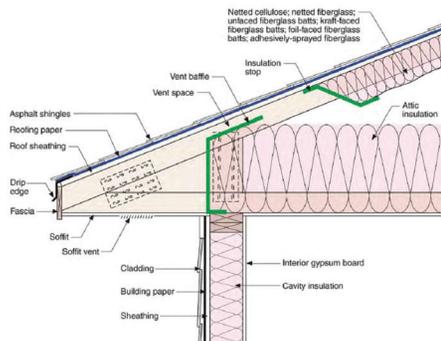
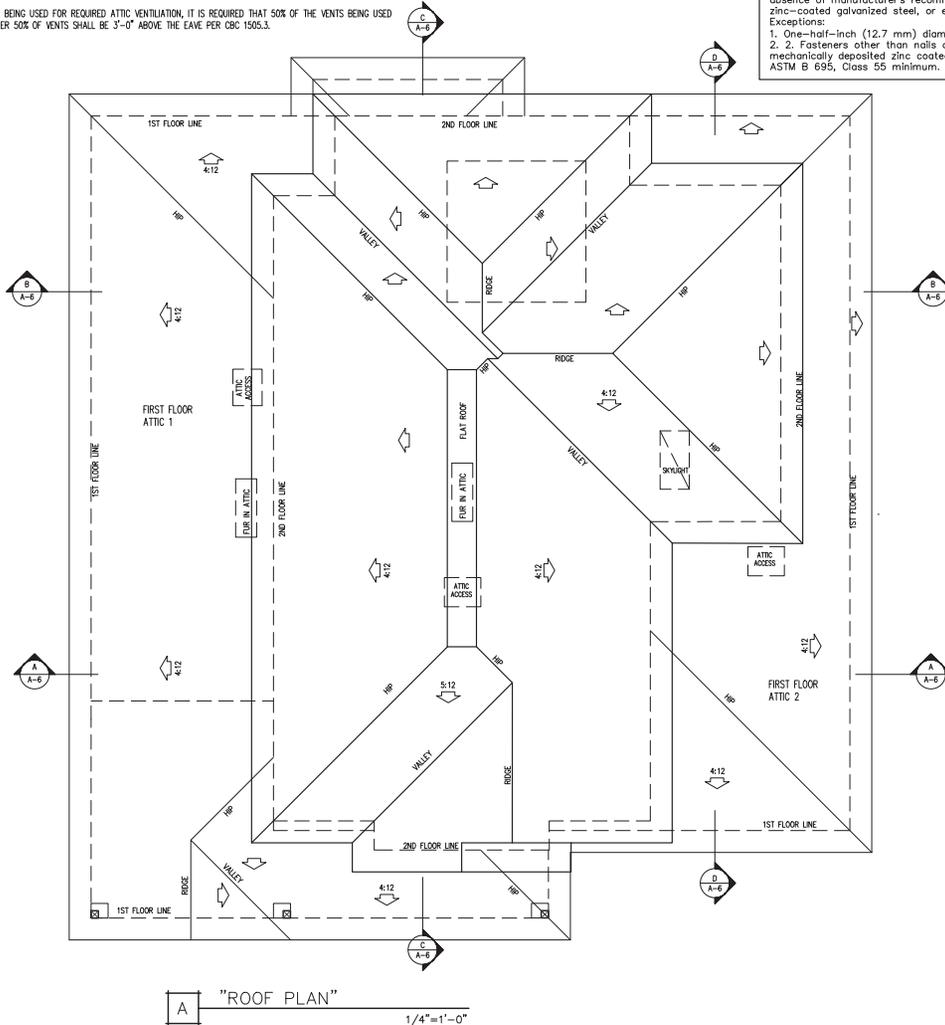


Figure 1: Venting Details for Modified Conventional Vented Attic

"ROOF ATTIC DETAIL"  
1/4"=1'-0"



BUILDING COMPONENTS	
1	ROOF: COMPOSITION SHINGLES CLASS "A" MANUF: EAGLE ROOFING
2a	WALL: 7/8" 3 COAT SMOOTH STUCCO OVER 2 LAYERS OF GRADE "D" PAPER BACKED METAL MESH - U.S.C. 2508 COLOR: KELLY MOORE-SPANISH SAND-LRV 47
2b	WALL: PINEHURST LEDGESTONE
3	WINDOW TRIMS: FAUX STONE AROUND WINDOWS COLOR: KELLY MOORE-SWISS COFFEE-23
4	GUTTER: METAL GUTTER & LEADER FINISH: TRIM COLOR
5	RAILINGS: WROUGHT IRON FINISH: DARK FINISH
6	LIGHTS: ALL LIGHTING SHALL BE SHIELDED TO DIRECT LIGHT TOWARDS THE GROUND

Designer: *A. Dulay*  
**aks** BUILDING DESIGN  
 AKS BUILDING DESIGN  
 AMAN DULAY (Principal Designer)  
 Tel: 408.375.8355  
 Fax: 650.941.8755  
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Project: THERESA  
 Scale: As Shown  
 Date: 9/2/2020

Sheet Title: "ROOF PLAN"

Sheet No:



A "STREETSCAPE" 1/8"=1'-0"

(A) COMPOSITION SHINGLES ROOF  
 COBBLESTONE GRAY

(B) PAINTED STUCCO  
 PLATINUM GRAY

(C) EQUIFONE FIBER CEMENT  
 Pinehurst - Ledgestone

(D) FRONT DOOR  
 CHERRY GRAIN FIBERGLASS

Designer: *A. Dulay*  
**aks** AKS BUILDING DESIGN  
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 (Principal Designer)  
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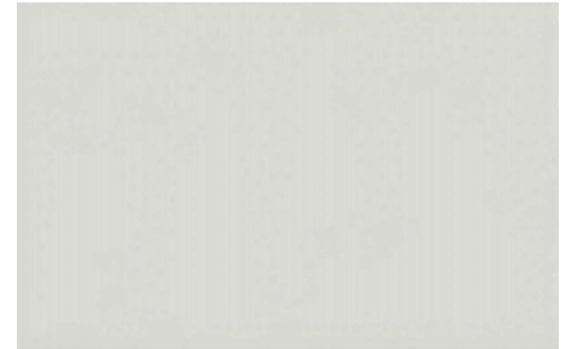
Project: THERESA  
 Scale: As Shown  
 Date: 9/2/2020  
 Sheet Title: "STREETSCAPE/ COLOR CHART"

Sheet No:

Color and Material Board



**(A)** COMPOSITION SHINGLES ROOF  
COBBLESTONE GRAY



**(B)** PAINTED STUCCO  
PLATINUM GRAY



**(D)** FRONT DOOR  
CHERRY GRAIN FIBERGLASS



**(C)** PINEHURST-LEDGESTONE  
STONE