



**CITY OF CAMPBELL**  
Community Development Department

October 7, 2020

**NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

**Project Address:** 520 Cambrian Drive

**Zoning/Area Plan:** R-1-8

**Neighborhood Association(s):** STACC

**File No.:** PLN-2020-66

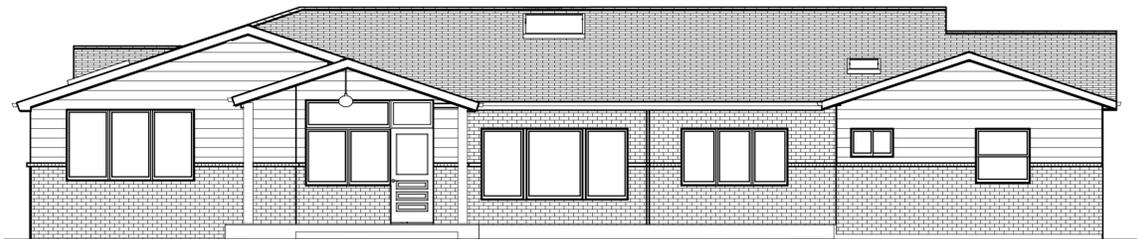
**APN:** 412-39-001

**Applicant:** Natasha Muller

**Property Owner:** Marwan Freij

**Application Type:** Administrative Site and Architectural Review Permit

**Project Description:** To allow a 1,052 square-foot first-floor addition and 396 sq. ft. interior remodel.

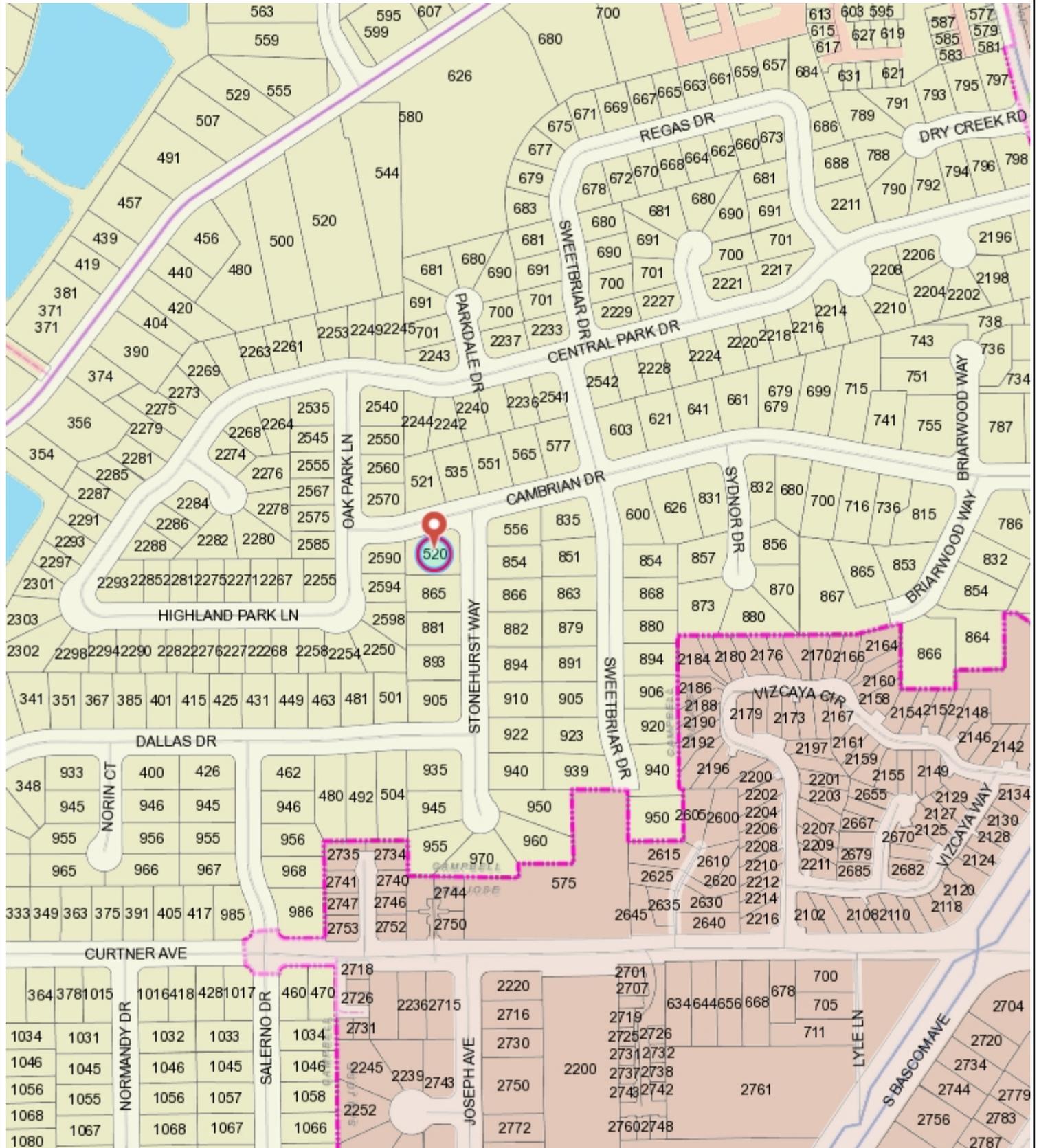


This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on October 9, 2020 and ends on October 19, 2020. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **October 19, 2020**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Stephen Rose, Senior Planner, in the Community Development Department, at (408) 866-2142 or by email [stephenr@campbellca.gov](mailto:stephenr@campbellca.gov).



# Location Map - 520 Cambrian Dr

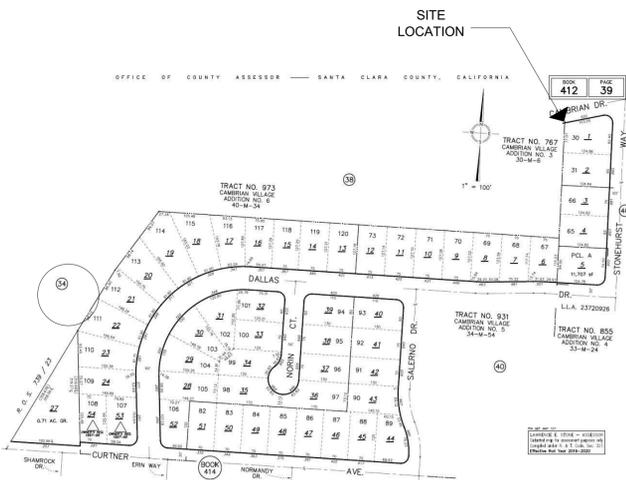


This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

**SITE MAP**

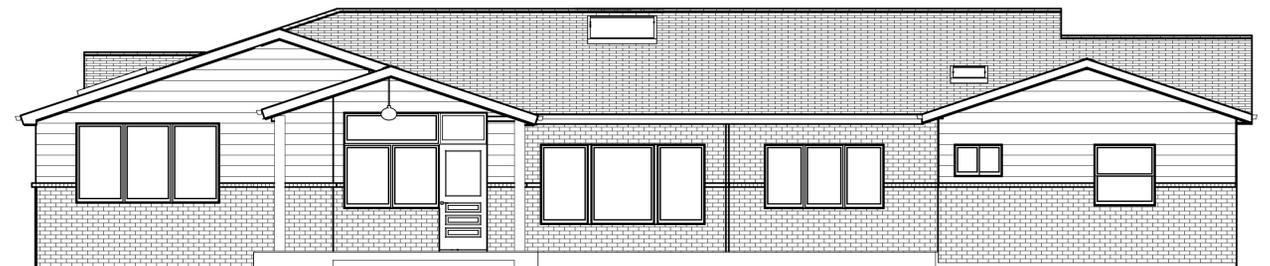


**ASSESSOR MAP**



**CITY DATE & APPROVAL**

(TO BE PROVIDED BY CITY OF CAMPBELL)



FRONT PORCH

PROPOSED FRONT ELEVATION

**RESIDENTIAL REMODEL + ADDITION**

520 CAMBRIAN DR  
CAMPBELL, CA 95008  
APN 412-39-001

OWNER: MARWAN & SHADIN FREIJ (650) 906-3034

DESIGNER: SMART SPACE BY NATASHA MULLER (408) 357 - 0067

**PROJECT DESCRIPTION**

- ADDITION AT FRONT/ SIDE - 1,052 SF
- (N) ENTRY / LIVING / DINING & MASTER SUITE WITH OPEN PORCHES
- INTERIOR REMODEL - 396 SF
- REMODEL OF TWO BATHROOMS,
- RELOCATE MUD ROOM & POWDER ROOM, ADD OFFICE & GUEST SUITE WITHIN (E) AREA.
- REMOVE NON LOAD BEARING WALL AT GARAGE.
- (E) FRONT DRIVEWAY TO REMAIN / ALL (E) TREES TO REMAIN
- RELOCATE A/C, ALL OTHER (E) UTILITIES TO REMAIN
- (E) SOLAR PANELS TO REMAIN
- (N) SPRINKLER SHALL COMPLY WITH R313 FOR RESIDENTIAL FIRE SPRINKLERS.

CAL GREEN REQUIRES EVERY PROJECT TO HAVE A WASTE MANAGEMENT PLAN. CONTRACTOR SHALL PROVIDE WASTE MANAGEMENT PLAN FOR CONSTRUCTION.

**PROJECT DATA**

**SITE INFO**

APN: 412-39-001

ZONING: R-1-8 CAMPBELL VILLAGE

EXISTING USE: SINGLE FAMILY

BUILDING OCCUPANCY: R-3/U

CONSTRUCTION TYPE: V-B

**BUILDING HEIGHT**

MAX BUILDING HEIGHT: 35' / 2.5 STORIES

PROPOSED HEIGHT: 18' / 1 STORY

**LOT SIZE**

2617 ACRE / 11,400 SF

MAX FLOOR AREA RATIO 45% = 5,130 SF

MAX LOT COVERAGE 40% = 4,560 SF

**EXISTING AREA**

(E) HABITABLE AREA = 2,955

(E) NON HAB. GARAGE = 360 SF

(E) NON HAB. COVERED FRONT PORCH = 29 SF

(E) TOTAL = 3,344 SF

**PROPOSED AREA**

(E) RESIDENCE TO REMAIN = 3,344 SF

(N) HABITABLE = 1,052 SF

(N) GROSS TOTAL = 4,396 SF

4,396 SF PROPOSED < 5,130 SF MAX = ALLOWED

**INTERIOR REMODEL AREA**

OFFICE / MUD / POWDER ROOMS: 183 SF

GUEST SUITE : 280 SF

GARAGE : 5 SF

INTERIOR REMODEL TOTAL = 396 SF

**ALTERATION AREA**

ADDITION: 1,052 SF

REMODEL 396 = 1,448 SF

TOTAL 1,448 SF

AVOID (N) HOUSE TERMINATION, ADDITION / REMODEL NEEDS TO BE LESS THAN 50% OF 3,344 EXISTING = 1,672 SF

1,448 SF PROPOSED < 1,672 SF EXISTING = ALLOWED

**SHEET INDEX**

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- A5 EXISTING EXTERIOR ELEVATIONS
- A6 PROPOSED FLOOR PLAN
- A7 PROPOSED EXTERIOR ELEVATIONS
- A8 ROOF PLANS

Revisions	Date
1	9.1.20

Smart Space - Residential & Interior Design  
Natasha Muller - Founder + Lead Designer  
contact@smartspaceid.com  
www.smartspaceid.com  
408.357.0067



FREIJ SAH RESIDENCE - REMODEL & ADDITION  
520 CAMBRIAN DR  
CAMPBELL, CA 95008

TITLE SHEET

Date JUNE 2020

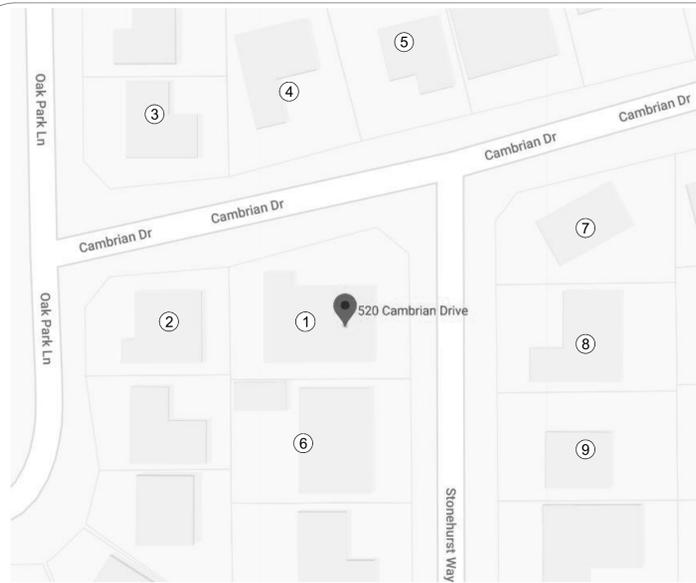
Scale SHOWN

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Job CAMBRIAN DR

Sheet

A0



**SITE LEGEND**  
N.T.S.



1 - PROJECT SITE



2 - ADJACENT NEIGHBOR - RIGHT SIDE

← CAMBRIAN DRIVE →



3 - ACROSS THE STREET NEIGHBOR  
(CORNER - CAMBRIAN DR / OAK PARK LN)



4 - ACROSS THE STREET NEIGHBOR

← CAMBRIAN DRIVE →



5 - ACROSS THE STREET NEIGHBOR



6 - ADJACENT NEIGHBOR - LEFT SIDE



1 - PROJECT SITE

← STONEHURST WAY →



7 - ACROSS THE STREET NEIGHBOR  
(CORNER - CAMBRIAN DR / STONEHURST WAY)



8 - ACROSS THE STREET NEIGHBOR

← STONEHURST WAY →



9 - ACROSS THE STREET NEIGHBOR

**SITE PHOTOGRAPHY SHEET**

Revisions	Date

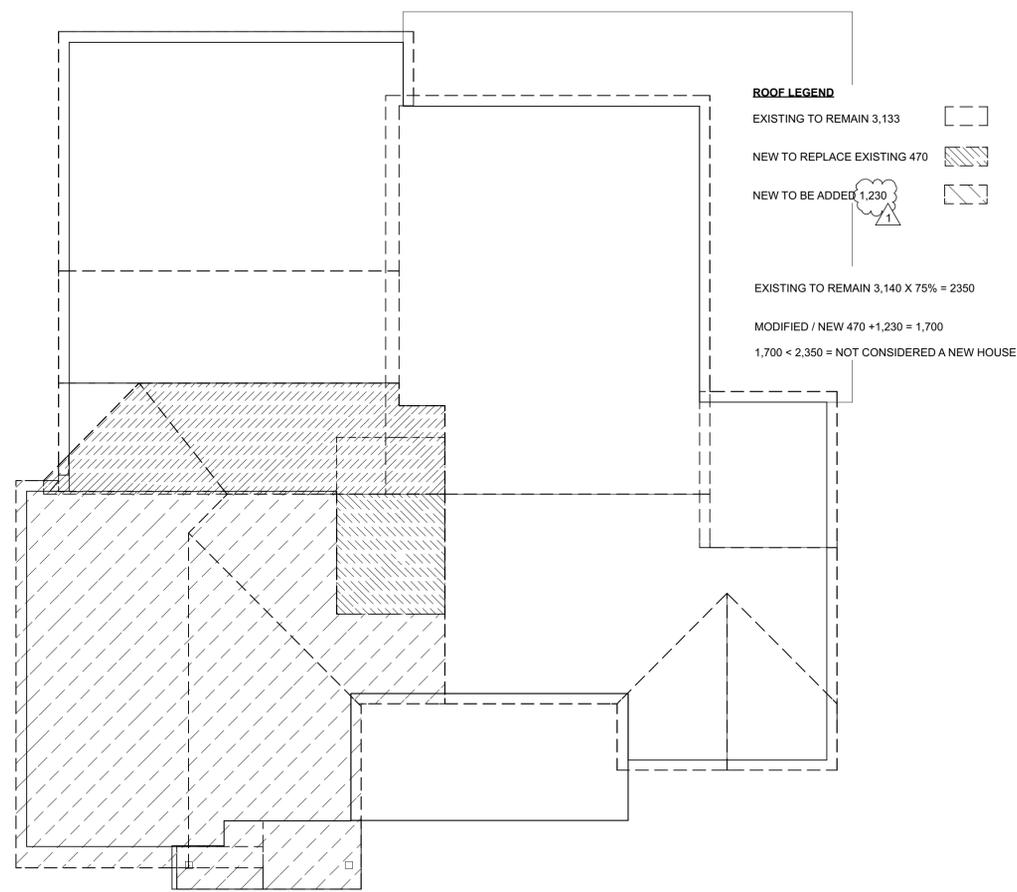
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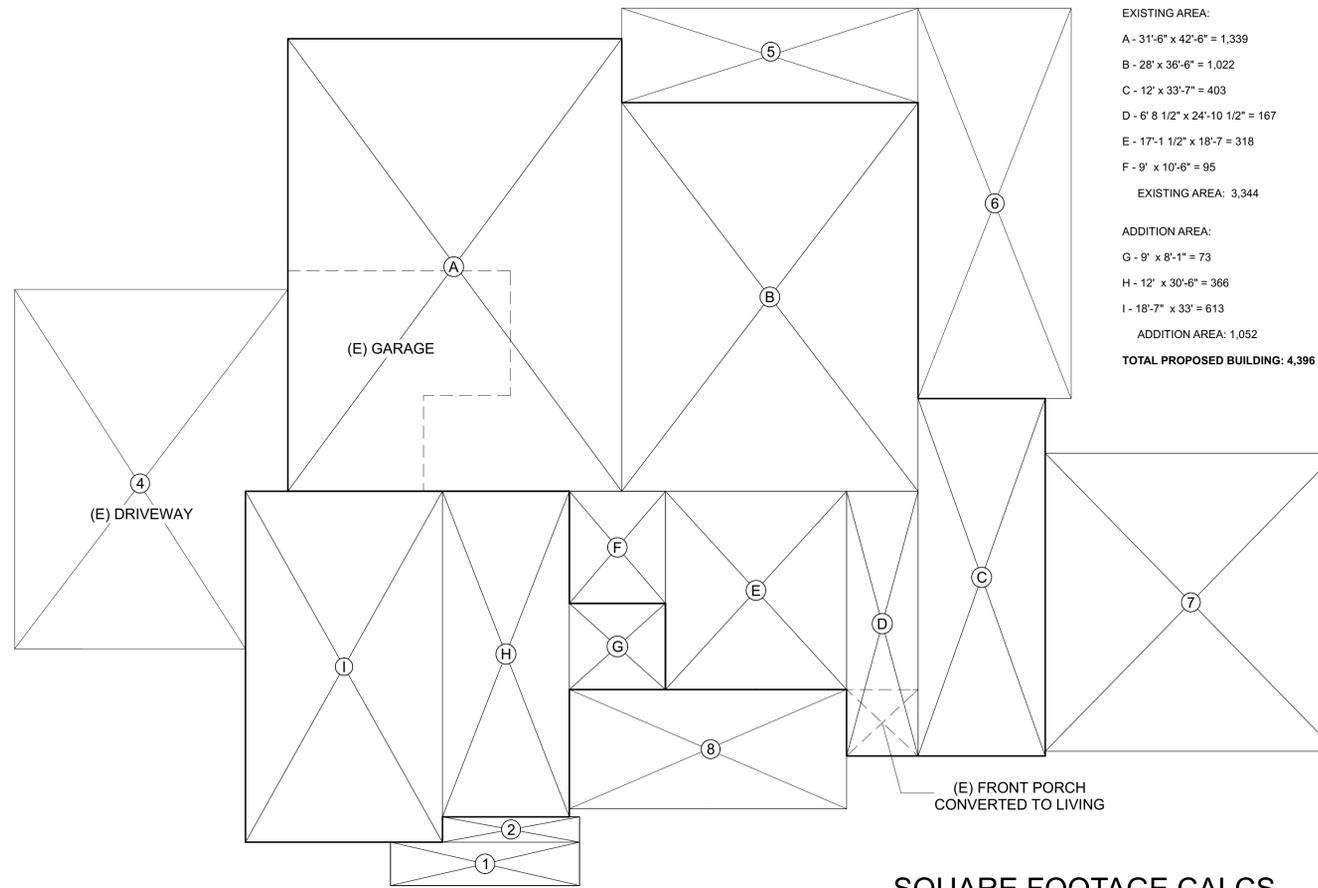
FREIJ SAH RESIDENCE - REMODEL & ADDITION  
520 CAMBRAIN DR  
CAMPBELL, CA 95008

**SITE PHOTOGRAPHY**

Date JUNE 2020  
Scale SHOWN  
Drawn By NM  
Job CAMBRAIN DR  
Sheet



**ROOF CALCS**  
SCALE: 1/8" = 1'-0"



**SQUARE FOOTAGE CALCS**  
SCALE: 1/8" = 1'-0"

**BUILDING CALCULATIONS**

EXISTING AREA:  
 A - 31'-6" x 42'-6" = 1,339  
 B - 28' x 36'-6" = 1,022  
 C - 12' x 33'-7" = 403  
 D - 6' 8 1/2" x 24'-10 1/2" = 167  
 E - 17'-1 1/2" x 18'-7" = 318  
 F - 9' x 10'-6" = 95  
 EXISTING AREA: 3,344

ADDITION AREA:  
 G - 9' x 8'-1" = 73  
 H - 12' x 30'-6" = 366  
 I - 18'-7" x 33' = 613  
 ADDITION AREA: 1,052

**TOTAL PROPOSED BUILDING: 4,396 SF**

**IMPERVIOUS CALCULATIONS**

PROPOSED BUILDING = 4,396

NEW COVERED PORCHES:  
 1 - 17'-10" x 4" = 71  
 2 - 13' x 2'-6" = 33  
 3 - 13'-4" x 11'-8" = 166  
 COVERED PORCHES: 104

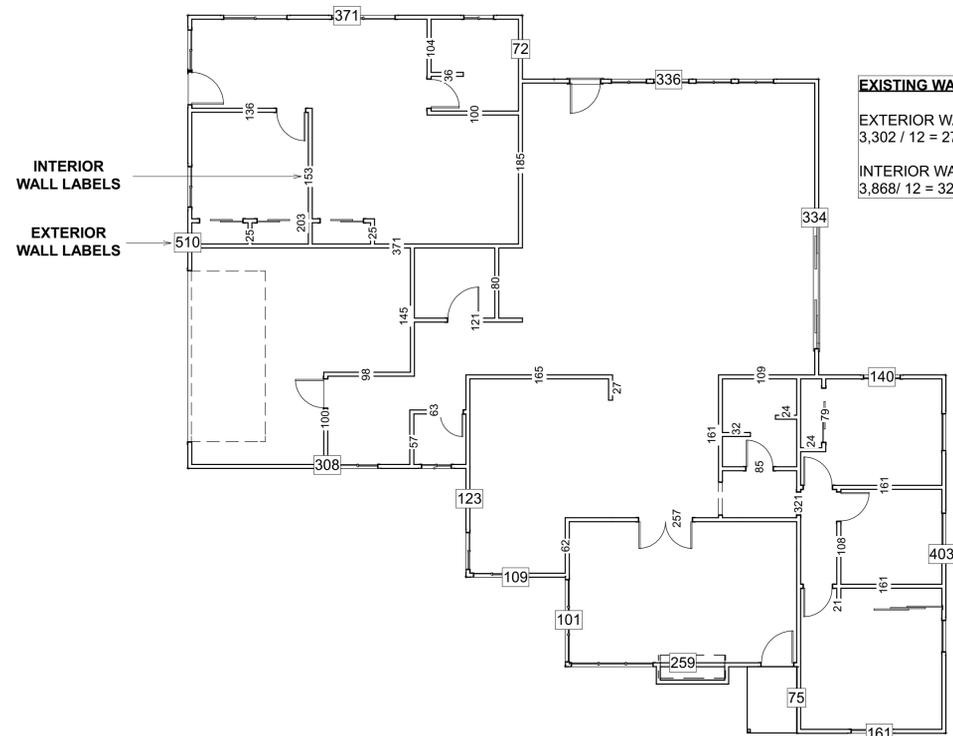
EXISTING CONCRETE SLABS:  
 4 - 25' x 32'-6" = 812  
 5 - 28' x 8'-10" = 247  
 6 - 14'-6" x 36'-8" = 532  
 7 - 27'-6" x 28" = 770  
 CONCRETE SLABS: 2,361

NEW OPEN PATIO:  
 8 - 12'-10" x 11'-8" = 150

**TOTAL IMPERVIOUS AREA: 7,227 SF**

**LOT COVERAGE**

PROPOSED BUILDING: 4,396 SF  
 COVERED PORCHES: 104  
**TOTAL LOT COVERAGE: 4,500 SF**  
 4,500 < 4,560 SF = ALLOWED



**EXISTING WALL CALCS**  
SCALE: 1/8" = 1'-0"

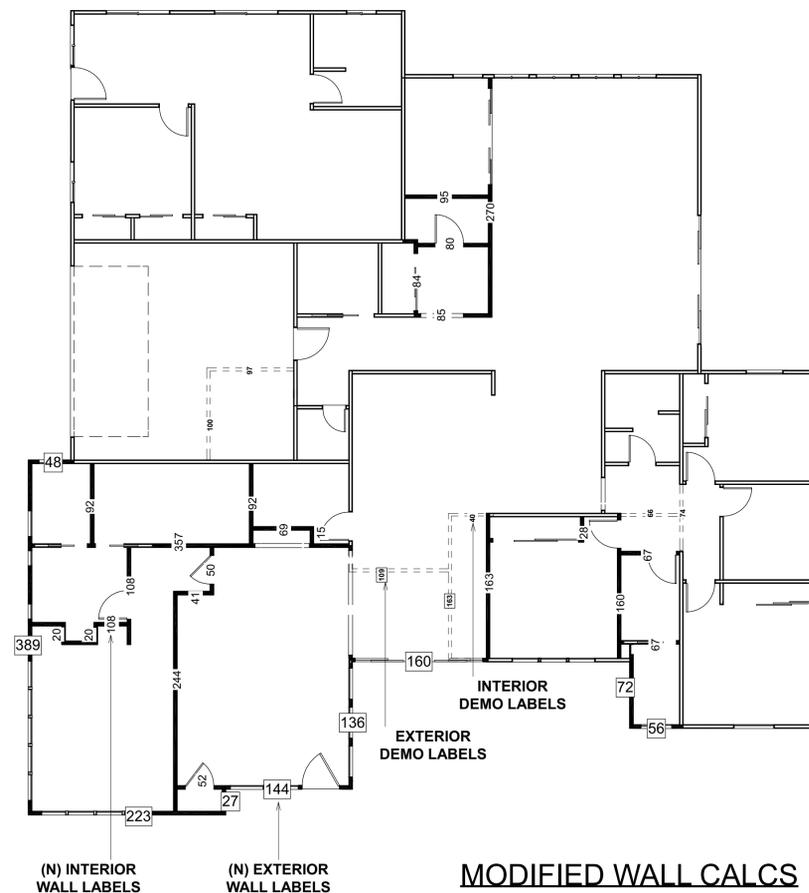
**EXISTING WALLS**  
 EXTERIOR WALLS:  
 3,302 / 12 = 275 LF  
 INTERIOR WALLS:  
 3,868 / 12 = 322 LF

**MAX WALL MODIFICATION**  
 EXTERIOR WALLS:  
 275 LF x 75% = 206 LF MAX  
 INTERIOR WALLS:  
 322 LF x 75% = 242 LF MAX

**NEW MODIFIED WALLS**

EXTERIOR:  
 NEW EXTERIOR WALLS:  
 1,255 / 12 = 105 LF  
 DEMO EXTERIOR WALLS:  
 272 / 12 = 23 LF  
**TOTAL = 128 LF**  
 128 LF MODIFIED < 206 LF EXISTING

INTERIOR:  
 NEW INTERIOR WALLS:  
 2,367 / 12 = 197 LF  
 DEMO INTERIOR WALLS:  
 377 / 12 = 31 LF  
**TOTAL = 228 LF**  
 228 LF MODIFIED < 242 LF EXISTING



**MODIFIED WALL CALCS**  
SCALE: 1/8" = 1'-0"

**CALCULATIONS**

Revisions	Date
1	9.1.20

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 CAMPBELL, CA 95008

**CALCULATIONS**

Date: JUNE 2020  
 Scale: SHOWN  
 Drawn By: NM  
 Job: CAMBRIN DR  
 Sheet:



City of Campbell, 70 N. First Street, Campbell, CA 95008, (408) 866-2140

### STANDARDS FOR TREE PROTECTION DURING CONSTRUCTION

Construction of private property where protected trees are designated for preservation shall be protected during development of a property by compliance with the following:

- Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree. Protective fencing shall be installed as follows:
  - The fence shall be a minimum of six feet in height and shall be set securely in place.
  - The fence shall be chain link without slats to allow visibility to the trunk for inspections and safety.
  - There shall be no storage of any kind prior to or at such time after the protective fencing is installed.
  - The fence may be adjusted as necessary to accommodate work approved within the dripline provided any excavation is done in accordance with instructions directed by a qualified arborist.
- The existing grade level around a tree shall normally be maintained out to the dripline of the tree. Alternate grade levels may be approved by the Community Development Director when it is reasonably demonstrated that the alternate grade will not damage the health of the tree.
- Drain wells shall be installed whenever impervious surfaces will be placed over the root system of a protected tree (the root system generally extends to the outermost edges of the branches).
- Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.
- Trees cannot be pruned to accommodate grading or construction without the express written approval of the City. Upon receipt of written approval, pruning of trees must be undertaken in accordance with "Pruning Standards" of the International Society of Arboriculture and must be carried out by a licensed arborist.
- Soil compaction of the area under the dripline of the tree shall be avoided during all phases of site clearing and construction.
- No soil sterilants or weed killer that will inhibit or restrict the tree's growth may be applied in the root area.
- No signs, wires or any other object shall be attached to the tree.
- Any other measures deemed necessary by a qualified arborist and specified in any report prepared for development projects with City review and approval.
- The applicant shall provide the project planner with photos of the installed protective fencing prior to issuance of a building permit.

#### DRAINAGE NOTES:

- FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5% FOR A MINIMUM DISTANCE OF 10'. (CBC 1804.3) EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN 2%. THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF BACKFILL.
- ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2% ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, PROVIDED IT CAN BE DEMONSTRATED THAT THE REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS OF THE SITE. (CBC 1808.7.4)
- ALL RUN OFF FROM ROOFS SHALL BE COLLECTED BY ROOF GUTTERS. ALL ROOF GUTTER DOWNSPOUTS SHALL BE EQUIPPED WITH SCREENS TO PREVENT THE INTRUSION OF LEAVES, TWIGS & DEBRIS .
- ROOF GUTTER DOWN SPOUTS SHALL BE EQUIPPED WITH SPLASH BLOCKS LOCATED IMMEDIATELY BELOW POINT OF DOWNSPOUT DISCHARGE. SPLASH BLOCKS SHALL DIRECT ROOF GUTTER FLOW AWAY FROM BUILDING FOUNDATION AS REQUIRED TO PREVENT PONDING OF WATER ADJACENT TO BUILDING FOUNDATION.
- ALL STORM DRAINAGE PIPING, FITTINGS, AREA DRAINS, DROP INLETS ETC SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECS.
- ALL PIPES FROM THE ROOF GUTTER DOWN SPOUTS AND/OR YARD PIPING SHALL BE IN 4" SDR-35, UNO. SLOPE MIN. 1% MIN TO APPROVED RELEASE LOCATION.
- SIDE YARD DRAINAGE SWALES SHALL BE CONSTRUCTED TO FACILITATE RUNOFF AWAY FROM BUILDING FOUNDATIONS AT THE MAX RATE PRACTICABLE. RUNOFF TO ADJACENT PARCELS IS PROHIBITED.
- UNO, ALL DRAINAGE SWALES AND OTHER LANDSCAPED FINISH SURFACES SHALL BE CONSTRUCTED TO PROMOTE RUNOFF CONTACT WITH LANDSCAPE VEGETATION AND SOIL MEDIA EN ROUTE TO APPROVED DISCHARGE LOCATION. RUN OFF SHALL BE DIRECTED TOWARD FRONT YARD AND BACKYARD AS SHOWN. PROVIDE 1% MINIMUM SLOPE TOWARD DISCHARGE LOCATION IN LANDSCAPED AREAS, EXCEPT TOWARD BUILDING FOUNDATION.
- TOWN CODE SECTION 6.40.020 REQUIRES AN APPROVED BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURE THAT HAVE FLOOD LEVEL RIMS LESS THAN 12-INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE. CPC 710.0.
- COMPLIANCE WITH ONE OR MORE OF THE FOLLOWING MEASURES TO PREVENT FLOODING OF ADJACENT PROPERTY IN ACCORDANCE WITH CGBSC SECTION 4.106.2:
  - PROVIDE RETENTION BASINS OF SUFFICIENT SIZE TO RETAIN STORM WATER ON SITE.
  - WHERE STORM WATER IS CONVEYED TO THE PUBLIC DRAINAGE SYSTEM. SHOW METHOD OF FILTRATION CONSISTING OF A BARRIER SYSTEM, WATER OR OTHER APPROVED METHOD.
  - SHOW COMPLIANCE TO LOCAL STORM WATER ORDINANCE.

#### PUBLIC WORKS NOTES

**STORMWATER POLLUTION PREVENTION**  
PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS, SANTA CLARA VALLEY WATER DISTRICT REQUIREMENTS, AND THE CAMPBELL MUNICIPAL CODE REGARDING STORMWATER POLLUTION PREVENTION. THE PRIMARY OBJECTIVES ARE TO IMPROVE THE QUALITY AND REDUCE THE QUANTITY OF STORMWATER RUNOFF TO THE BAY.

**WATER METERS AND SEWER CLEANOUTS**  
EXISTING AND PROPOSED WATER METERS AND SEWER CLEANOUTS SHALL BE RELOCATED OR INSTALLED ON PRIVATE PROPERTY BEHIND THE PUBLIC RIGHT-OF-WAY LINE.

**PAVEMENT RESTORATION**  
THE APPLICANT SHALL RESTORE THE PAVEMENT IN COMPLIANCE WITH CITY STANDARD REQUIREMENTS. IN THE EVENT THAT THE ROADWAY HAS RECENTLY RECEIVED A PAVEMENT TREATMENT OR RECONSTRUCTION, THE PROJECT WILL BE SUBJECT TO THE CITY'S STREET CURE MORATORIUM.

**UTILITY ENCROACHMENT PERMIT**  
SEPARATE ENCROACHMENT PERMITS FOR THE INSTALLATION OF UTILITIES TO SERVE THE DEVELOPMENT WILL BE REQUIRED (INCLUDING WATER, SEWER, GAS, ELECTRIC, ETC.) APPLICANT SHALL APPLY FOR AND PAY ALL NECESSARY FEES FOR UTILITY PERMITS FOR SANITARY SEWER, GAS, WATER, ELECTRIC AND ALL OTHER UTILITY WORK.

**FIRE / SPRINKLER NOTES**  
WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR OR SUPPLYING THE SITE OF SUCH PROJECT AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OR RECORD. FINAL APPROVAL OF THE SYSTEMS UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2019 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.

**ADDRESS IDENTIFICATION**: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS. BUILDING NUMBERS OR APPROXIMATE BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.3 INCH (7.62 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CPC SEC. 905.1

**CONSTRUCTION SITE FIRE SAFETY**: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1.7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS AS APPROPRIATE TO THE PROJECT. CFC CHP. 33. THIS REVIEW SHALL NOT BE CONSIDERED TO BE APPROVAL OF A VIOLATION OF THE PROVISIONS OF THE CALIFORNIA FIRE CODE OR OF OTHER LAWS OR REGULATIONS OF THE JURISDICTION. A PERMIT PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CONCEAL THE PROVISIONS OF THE FIRE CODE OR OTHER SUCH LAWS OR REGULATIONS SHALL NOT BE VALID. ANY ADDITION TO OR ALTERATION OF APPROVED CONSTRUCTION DOCUMENTS SHALL BE APPROVED IN ADVANCE. (CFC, CH. 1, 105.3.6)

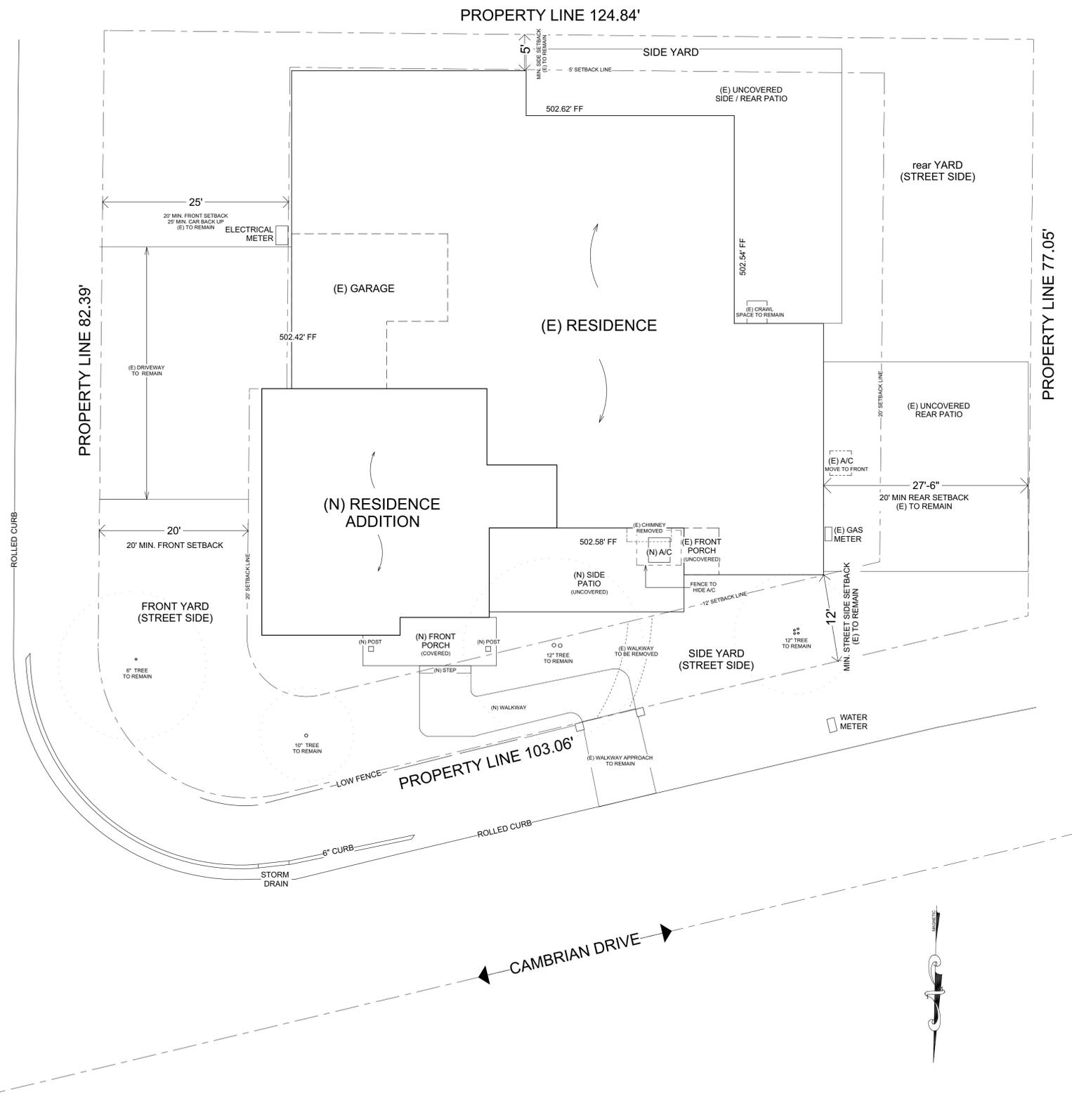
#### BUILDING COMPLIANCE NOTES

**FINISHED GROUND SURFACES** SHALL BE GRADED 5% SLOPE AWAY FROM BUILDING. HARD SURFACES SHALL BE SLOPED 1% AWAY FROM BUILDING.

**CAL GREEN**  
4.106.2 REQUIRES THAT DURING CONSTRUCTION, STORM WATER FROM THE PROPERTY REMAINS ON THE PROPERTY. UTILIZING CATCH BASINS, MATS, STRAW AND FILTERS SHOW THE PLANNED SITE WATER MANAGEMENT. INCLUDE ACTIONS ON THE PLOT PLAN IN TERMS OF WATER RETENTION AND HOW WATER WILL NOT BE DIRECTED TO NEIGHBOR PROPERTIES OR FLOW TO THE PUBLIC STORM SYSTEM. INCLUDE TRUCK TIRE WASH PROVISIONS.

**WATER RETENTION**  
UPON CONSTRUCTION COMPLETION SHOW THE HOME'S WATER RETENTION PLAN. SHOW ROOF GUTTERS AND DOWNSPOUTS THAT CONNECT TO SURFACE DRAIN PIPES THAT TERMINATE INTO DOWNSPOUTS OR POP-UP DRAINERS OR RETENTION BASINS LOCATED IN THE MIDDLE OF THE FRONT AND/OR BACK YARDS. THE PLAN MUST CLEARLY IDENTIFY THE ACTIONS NECESSARY TO RETAIN ALL STORM WATERS ON SITE AND NOT TO FLOW TO THE PUBLIC STORM SYSTEM OR NEIGHBORING PROPERTIES.

**WASTE MANAGEMENT**  
CAL GREEN REQUIRES EVERY PROJECT TO HAVE A WASTE MANAGEMENT PLAN AND THAT NORMAL TRASH CREATION IS REDUCED 50% THROUGH BETTER EFFICIENCIES, YIELD, AND RECYCLING POLICIES. CONSTRUCTION TRASH MAY BE SOURCE SEPARATED ON SITE OR HAULED OFF BY AN APPROVED COLLECTION RECYCLER. PROVISIONS NEED TO BE IN PLACE SO THAT RAIN WATER DOES NOT ENTER A TRASH PILE AND THEN RUN OFF INTO THE PUBLIC STORM SYSTEM OR THE NEIGHBOR'S PROPERTY. THIS IS A REQUIREMENT PLACED ON ALL PROJECTS AND SUBCONTRACTORS, MANAGED BY THE OWNER OR GENERAL CONTRACTOR. STATE ON DEMO OR SITE PLAN THE PROJECT'S WASTE MANAGEMENT PLAN (SAMPLE) WASTE MANAGEMENT PLAN CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, PAINTING AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM. TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLEABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TARP. TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS. PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION. OR WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.



**SITE PLAN**  
SCALE: 1/8" = 1'-0"

Revisions	Date
1	9.1.20

Smart Space - Residential & Interior Design  
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**smart space**

**FREIJ SAH RESIDENCE - REMODEL & ADDITION**  
520 CAMBRAIN DR  
CAMPBELL, CA 95008

**SITE PLAN**

Date: JUNE 2020  
Scale: SHOWN  
Drawn By: NM  
Job: CAMBRAIN DR  
Sheet:

POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	4876.0690	4430.9862	500.0000	CP N+T
9	4743.4556	4382.3651	501.8350	CP SPIKE
10	4808.0855	4295.7041	500.8450	CP N+T
11	4724.7936	4295.4996	502.0270	CP SPIKE

### SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

*Koen T. Wilson* 8-22-2019

KOEN T. WILSON LS 9440

### SITE BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 500.00' AT CONTROL POINT #1.

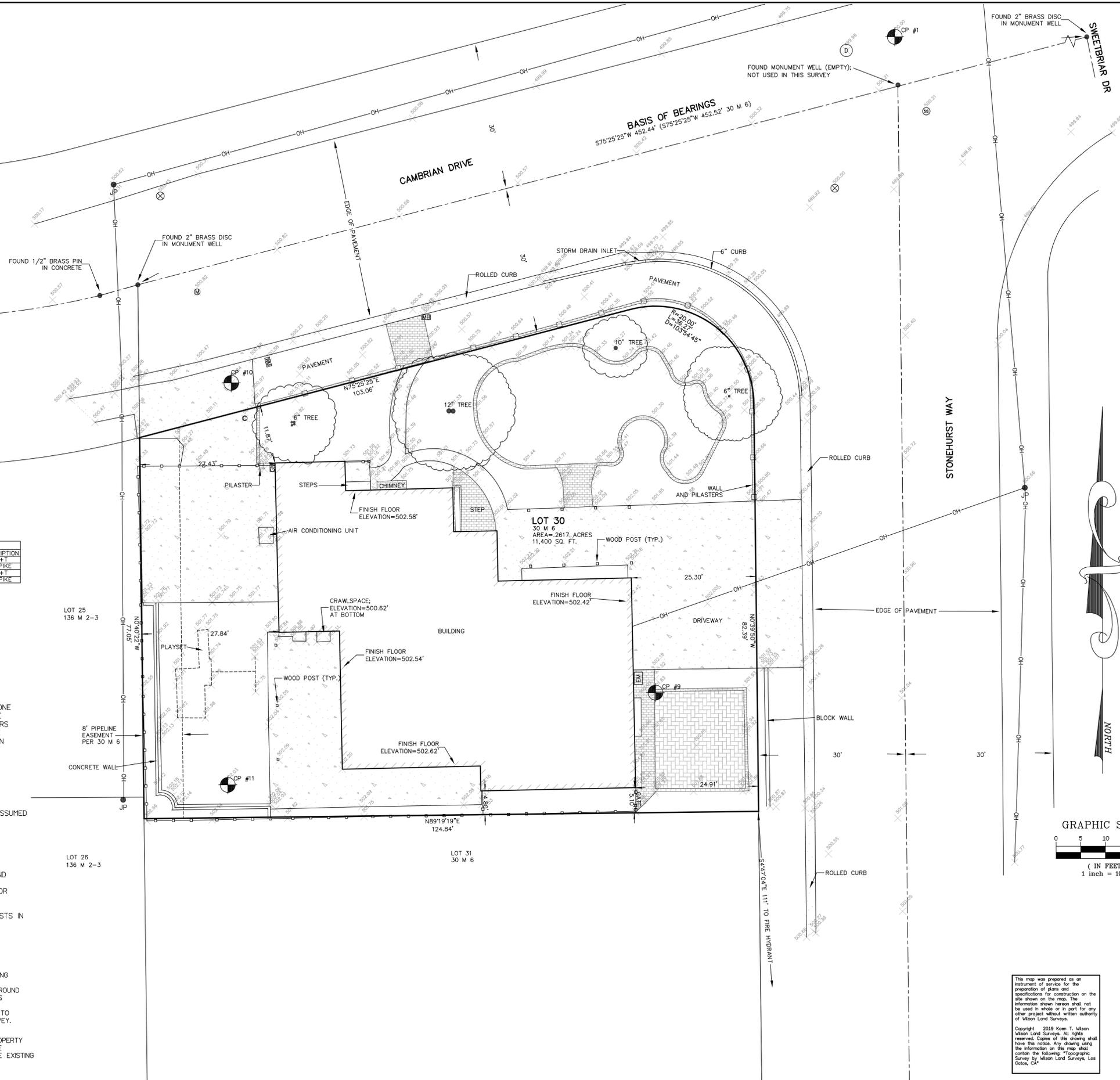
### GENERAL NOTES

- TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
- BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

### UNDERGROUND UTILITY NOTE

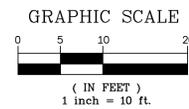
UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

A TITLE REPORT WAS NOT AVAILABLE FOR THIS PROPERTY WHEN THE MAP WAS PREPARED. CAUTION SHOULD BE EXERCISED WHEN DESIGNING THE SITE. THERE MAY BE EXISTING EASEMENTS THAT IMPACT THE PROPERTY.



### LEGEND

- FOUND AS NOTED
- SET 5/8" REBAR WITH PLASTIC CAP LS 9440
- SET NAIL AND 1" BRASS TAG LS 9440 IN CONCRETE
- ⊗ FIRE HYDRANT
- ⊗ WATER VALVE
- ⊗ WATER METER
- ⊗ JOINT POLE
- ⊗ GUYWIRE
- W — BLUE PAINT - EVIDENCE OF UNDERGROUND WATER LINE
- ⊗ ELECTRIC METER
- ⊗ GAS METER
- ⊗ MONITORING WELL
- G — YELLOW PAINT, EVIDENCE OF UNDERGROUND GAS LINE
- ⊗ PHONE BOX
- ⊗ PHONE MANHOLE
- P — EVIDENCE OF UNDERGROUND PHONE LINE
- ⊗ TV BOX
- OH — OVERHEAD LINE
- TV — EVIDENCE OF UNDERGROUND TV LINE
- ⊗ STORM DRAIN MANHOLE
- ⊗ DROP INLET
- ⊗ SEWER MANHOLE
- ⊗ SEWER CLEANOUT
- SS — GREEN PAINT - EVIDENCE OF UNDERGROUND SEWER LINE
- ⊗ SIGN
- ⊗ CONTROL POINT
- ⊗ LAMP POST
- ⊗ ELECTRIC BOX
- WOOD FENCE
- CONCRETE
- LIVE OAK
- WHITE OAK
- REDWOOD
- TYPICAL
- PROPERTY LINE
- CHAIN LINK FENCE
- P.U.E. PUBLIC UTILITY EASEMENT
- S.P.E. SLOPE PROTECTION EASEMENT
- BRICKS
- PAVERS
- BUILDING
- STREET CENTER LINE
- ⊗ MANHOLE



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261 CARLTON CT  
LOS GATOS, CA 95032 408-427-2279

### BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:  
**SHADIN SAAH**

LEGAL DESCRIPTION: LOT 30, 30 M 6, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA.

APN: 412-39-001

DATE: AUGUST 2019

FILENAME: K-076 CAMBRIAN SAAH TOPO

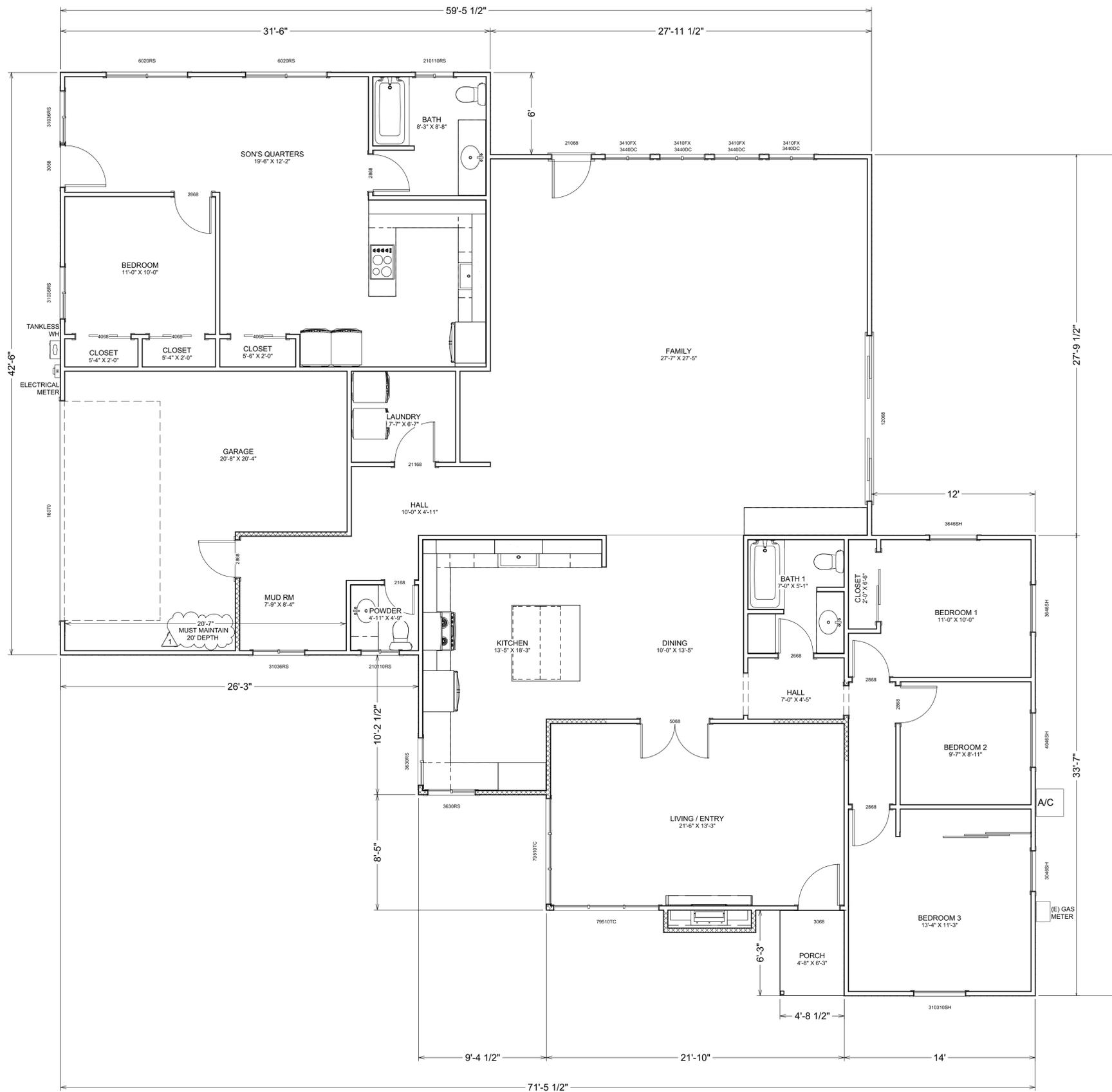
SITE ADDRESS: 520 CAMBRIAN DRIVE CAMPBELL, CA 95008

DRAWN BY:	SCALE:	PROJECT:	JOB NUMBER:	SHEET:
KTW	1" = 10'	K-076	K-076	1 OF 1

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on this map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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Revisions	Date
△	9.1.20

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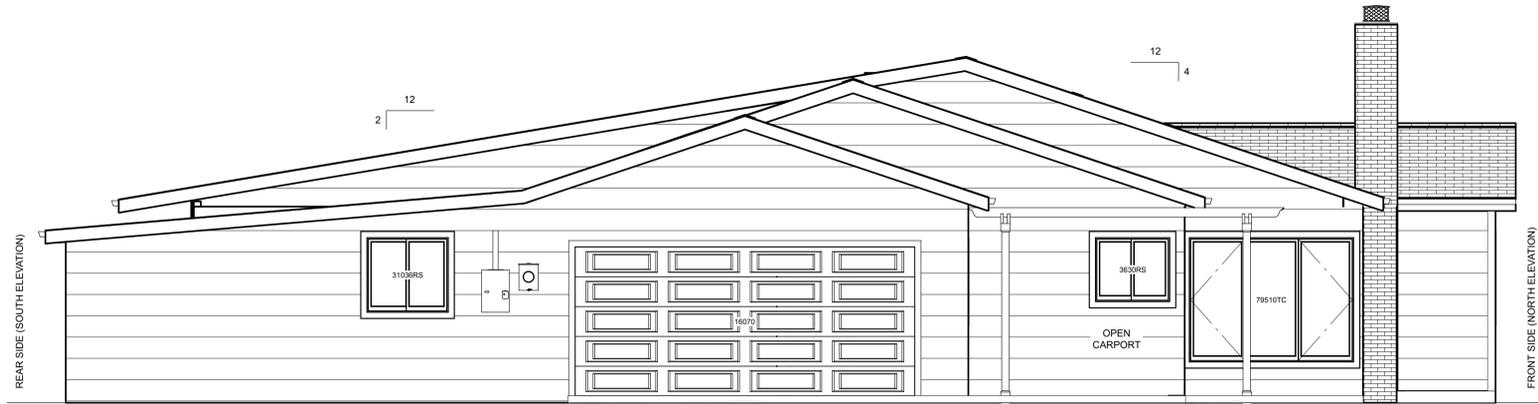
FREIJ SAH RESIDENCE - REMODEL & ADDITION  
 520 CAMBRIN DR  
 CAMPBELL, CA 95008

**EXISTING / DEMO PLAN**

Date: JUNE 2020  
 Scale: SHOWN  
 Drawn By: NM  
 Job: CAMBRIN DR  
 Sheet:



FRONT ELEVATION (NORTH) SCALE: 1/4" = 1'-0"



LEFT SIDE (EAST) SCALE: 1/4" = 1'-0"



RIGHT SIDE (WEST) SCALE: 1/4" = 1'-0"



RIGHT ELEVATION (SOUTH) SCALE: 1/4" = 1'-0"

EXISTING ELEVATIONS

Revisions	Date

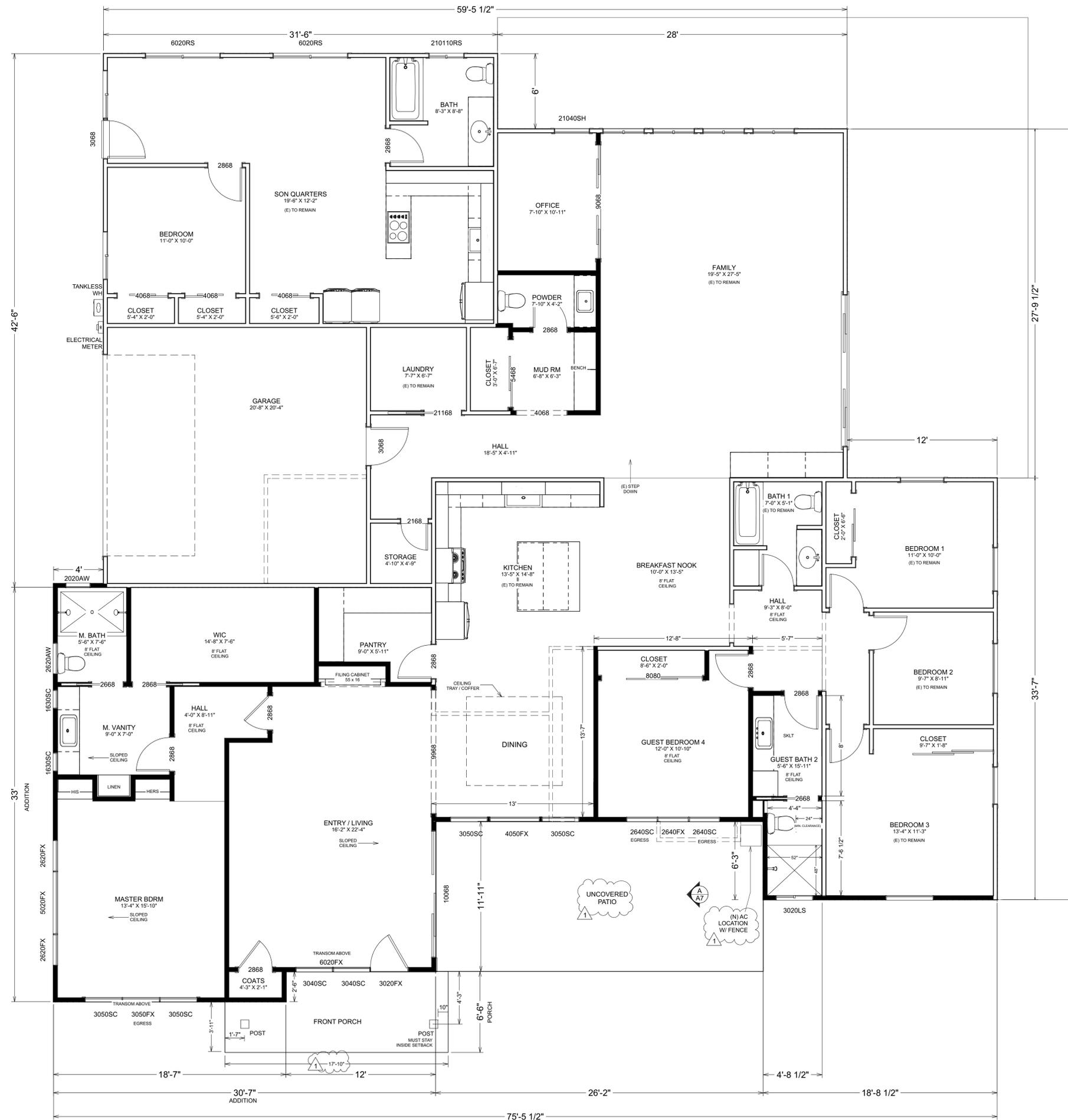
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EXISTING EXTERIOR ELEVATIONS

Date JUNE 2020  
 Scale SHOWN  
 Drawn By NM  
 Job CAMBRAIN DR  
 Sheet



**WALL LEGEND**

NEW	
EXISTING	

**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

Revisions	Date
1	9.1.20

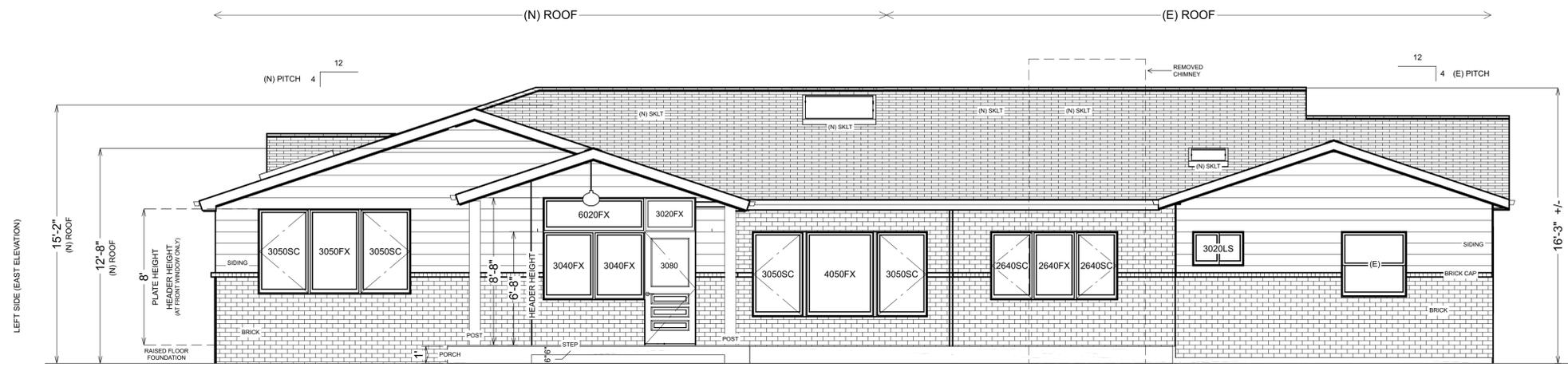
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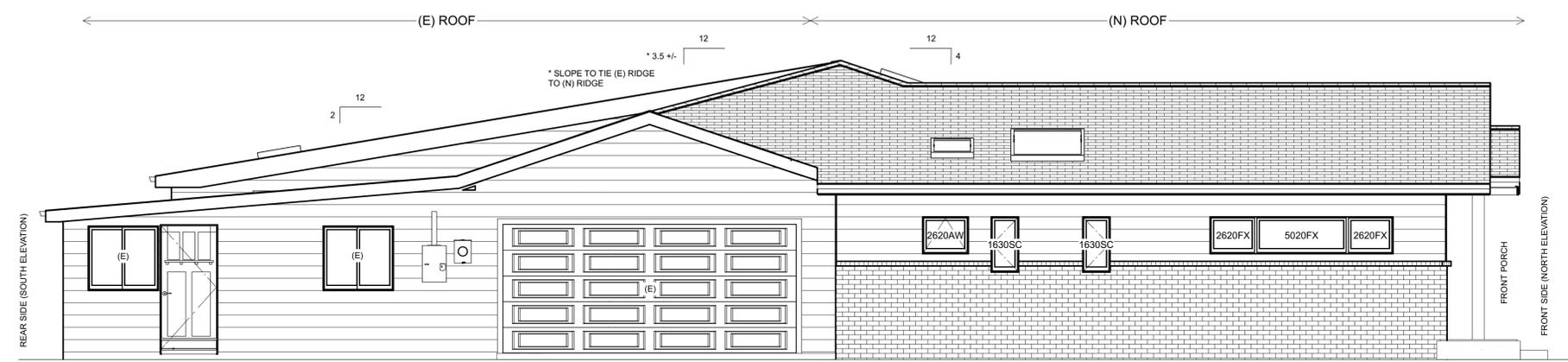
**FREIJ SAAH RESIDENCE - REMODEL & ADDITION**  
520 CAMBRAIN DR  
CAMPBELL, CA 95008

**PROPOSED FLOOR PLAN**

Date: JUNE 2020  
Scale: SHOWN  
Drawn By: NM  
Job: CAMBRIAN DR  
Sheet:



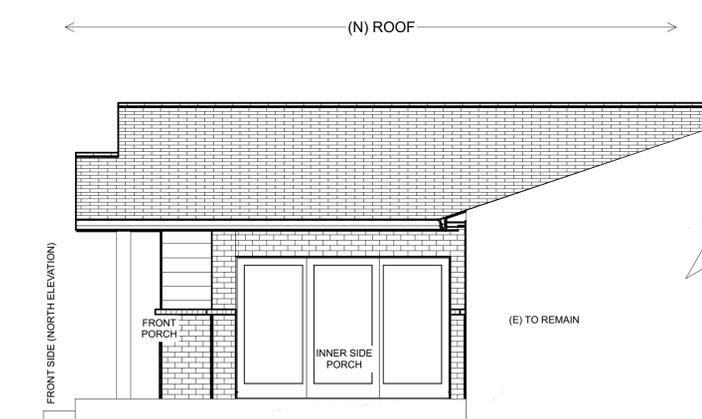
**FRONT ELEVATION (NORTH)** SCALE: 1/4" = 1'-0"



**LEFT SIDE (EAST)** SCALE: 1/4" = 1'-0"



**RIGHT SIDE (WEST)** SCALE: 1/4" = 1'-0"



**INNER RIGHT SIDE** SCALE: 1/4" = 1'-0"

**PROPOSED ELEVATIONS**

Revisions	Date
1	9.1.20

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**FREIJ SAH RESIDENCE - REMODEL & ADDITION**  
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**PROPOSED EXTERIOR ELEVATIONS**

Date: JUNE 2020  
 Scale: SHOWN  
 Drawn By: NM  
 Job: CAMBRIN DR  
 Sheet:

Revisions	Date
△	9.1.20

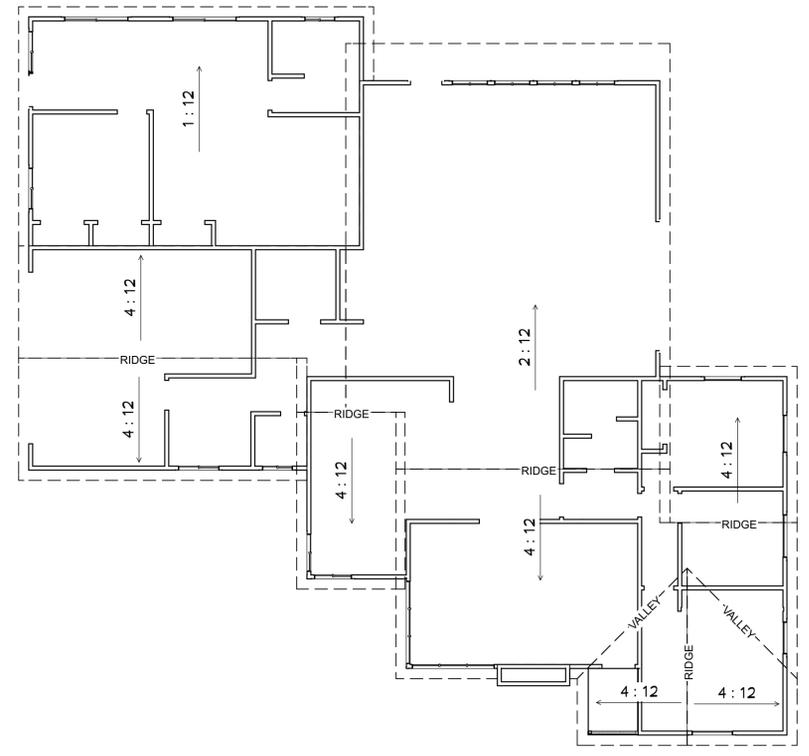
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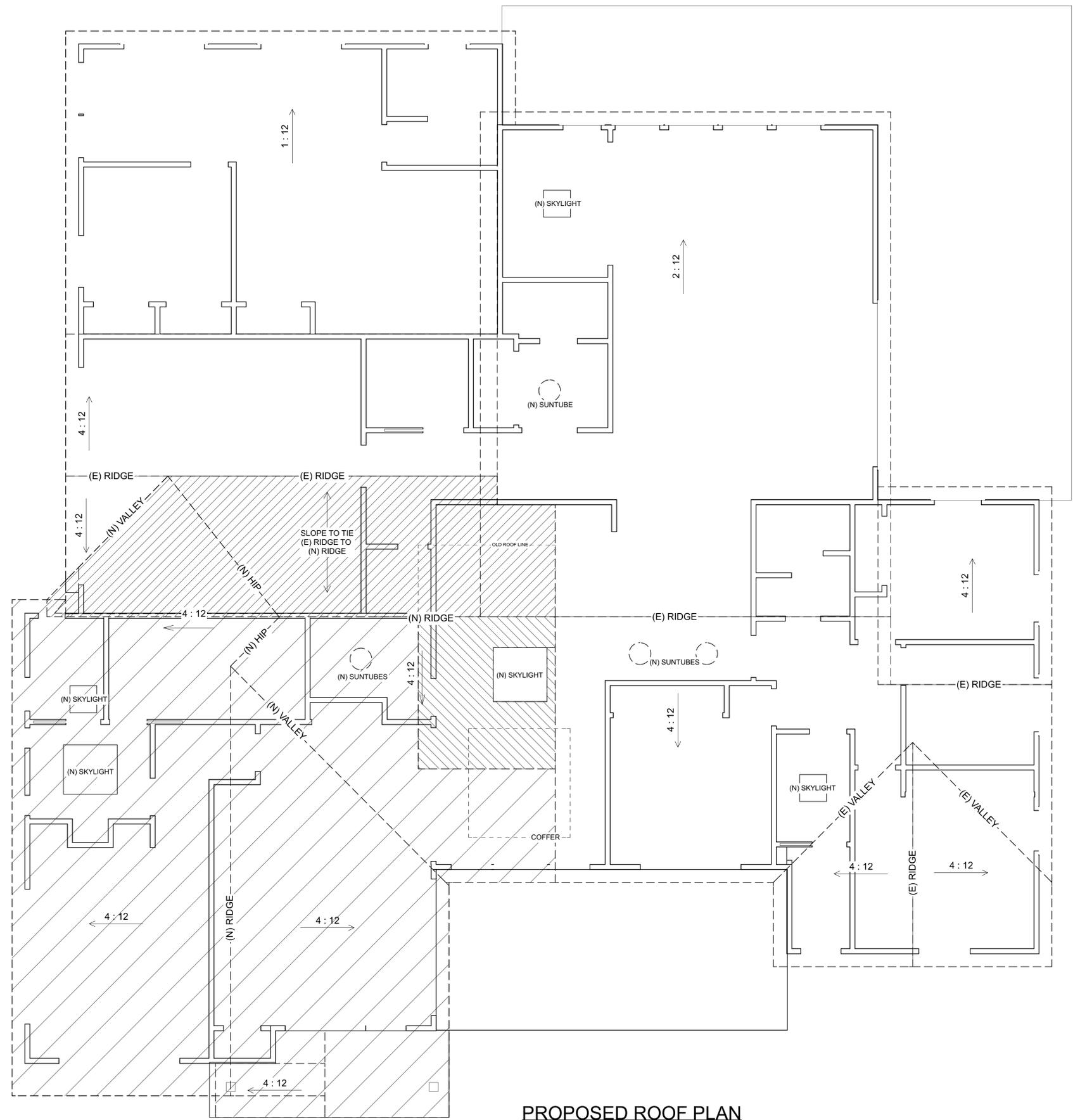
**ROOF PLAN**

Date: JUNE 2020  
 Scale: SHOWN  
 Drawn By: NM  
 Job: CAMBRIN DR  
 Sheet:



**EXISTING ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

- ROOF LEGEND**
- EXISTING TO REMAIN 3,133 SF
  - NEW TO REPLACE EXISTING 470 SF
  - NEW TO BE ADDED 1,230 SF
- TOTAL 4,833 SF**



**PROPOSED ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

**ROOF PLANS**

<p><b>FRESH CONCRETE AND MORTAR APPLICATION</b> BEST MANAGEMENT PRACTICES FOR</p> <ul style="list-style-type: none"> <li>Masons and bricklayers</li> <li>Sidewalk construction crews</li> <li>Patio construction workers</li> <li>Construction inspectors</li> <li>General contractors</li> <li>Home builders</li> <li>Developers</li> </ul> <p><b>GENERAL BUSINESS PRACTICES</b></p> <ul style="list-style-type: none"> <li>Both at your yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.</li> <li>Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.</li> <li>Wash out concrete mixers only in designated wash-out areas in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.</li> </ul> <p><b>DURING CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>Don't mix up more fresh concrete or cement than you will use in a day.</li> <li>Set up and operate small mixers on tarps or heavy plastic drop cloths.</li> </ul>	<p><b>LANDSCAPING, GARDENING, AND POOL MAINTENANCE</b> BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> <li>Landscapers</li> <li>Gardeners</li> <li>Swimming pool/spa service and repair workers</li> <li>General contractors</li> <li>Home builders</li> <li>Developers</li> </ul> <p><b>GENERAL BUSINESS PRACTICES</b></p> <ul style="list-style-type: none"> <li>Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.</li> <li>Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.</li> <li>Schedule grading and excavation projects for dry weather.</li> <li>Use temporary check dams or ditches to divert runoff away from storm drains.</li> <li>Protect storm drains with hay bales or other erosion controls.</li> <li>Revegetation is an excellent form of erosion control for any site.</li> </ul> <p><b>STORM DRAIN POLLUTION FROM MASONRY AND PAVING</b></p> <p>Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.</p>	<p><b>POOL/FOUNTAIN/SPA MAINTENANCE</b></p> <ul style="list-style-type: none"> <li>Never discharge pool or spa water to a street or storm drain.</li> </ul> <p>OR</p> <ul style="list-style-type: none"> <li>When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle/reuse water by draining it gradually onto a landscaped area.</li> <li>Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a hose to a utility sink or sewer pipe cleanout junction.</li> <li>Do not use copper-based algacides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.</li> </ul>	<p><b>LANDSCAPING/GARDEN MAINTENANCE</b></p> <ul style="list-style-type: none"> <li>Use up pesticides. Rinse containers, and use rinse water as product. Dispose of rinsed containers in the trash.</li> <li>Dispose of unused pesticide as hazardous waste.</li> <li>Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.</li> <li>In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.</li> <li>Do not place yard waste in gutters.</li> <li>Do not blow or rake leaves, etc. into the street.</li> </ul> <p><b>STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE</b></p> <p>Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drains during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algacides should never be discharged to storm drains. These chemicals are toxic to aquatic life.</p>	<p><b>HEAVY EQUIPMENT OPERATION</b> BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> <li>Vehicle and equipment operators</li> <li>Site supervisors</li> <li>General contractors</li> <li>Home builders</li> <li>Developers</li> </ul> <p><b>SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE</b></p> <ul style="list-style-type: none"> <li>Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.</li> <li>Maintain all vehicles and heavy equipment. Inspect frequently for leaks.</li> <li>Perform major maintenance, repair jobs, vehicle and equipment washing off site.</li> <li>If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.</li> <li>Do not use diesel oil to lubricate equipment or parts.</li> <li>Clean up spills immediately when they happen.</li> </ul>	<p><b>PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES</b> BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP</p> <ul style="list-style-type: none"> <li>Never hose down dirty pavement or impermeable surfaces where fluids have spilled. Use dry cleanup method (absorbent materials, cat litter, and/or rags) whenever possible. If you must use water, use just enough to keep the dust down.</li> <li>Sweep up spilled dry materials immediately. Never attempt to wash them away with water or bury them. Use as little water as possible for dust control.</li> <li>Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.</li> <li>Report significant spills to the appropriate spill response agencies immediately.</li> </ul> <p><b>STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE</b></p> <p>Poorly maintained vehicles and heavy equipment leaking fuel, oil, antifreeze or other fluids on the construction site are common sources of storm water pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.</p>	<p><b>PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES</b> BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP</p> <ul style="list-style-type: none"> <li>Painters</li> <li>Paperhangers</li> <li>Plasterers</li> <li>Graphic artists</li> <li>Dry wall crews</li> <li>Floor covering installers</li> <li>General contractors</li> <li>Home builders</li> <li>Developers</li> </ul> <p>Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues and cleaning fluids are hazardous wastes. When they are thoroughly dry, empty paint cans, spent brushes, rags, and drop cloths may be disposed of as trash.</p> <p><b>PAINT REMOVAL</b></p> <ul style="list-style-type: none"> <li>Chemical paint stripping residue is a hazardous waste.</li> <li>Chips and dust from marine paints or paints containing lead or tributyl tin are hazardous wastes. Dry sweep and dispose of appropriately.</li> <li>Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.</li> <li>When stripping or cleaning building exteriors with high-pressure water, block storm drains. Wash water onto a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (mop or vacuum) building cleaning water and dispose to the sanitary sewer.</li> </ul> <p>Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.</p> <p>For water based paints, paint out brushes to the extent possible, and rinse to the sanitary sewer.</p> <p>For oil based paints, paint out brushes to the extent possible, filter and reuse thinners and solvents. Dispose of excess liquids and residue as hazardous waste.</p> <p><b>WHAT CAN YOU DO?</b></p> <ul style="list-style-type: none"> <li>Recycle/reuse leftover paints whenever possible.</li> <li>Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.</li> <li>Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.</li> </ul> <p><b>STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES</b></p> <p>All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.</p>
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# Blueprint for a Clean Bay

## BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

### SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

<p><b>EARTH MOVING ACTIVITIES</b> BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> <li>Bulldozers, backhoe, and grading machine operators</li> <li>Dump truck drivers</li> <li>Site supervisors</li> <li>General contractors</li> <li>Home builders</li> <li>Developers</li> </ul> <p><b>DURING CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>Remove existing vegetation only when absolutely necessary.</li> <li>Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.</li> <li>Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.</li> <li>Use check dams or ditches to divert runoff around excavations.</li> <li>Cover stockpiles and excavated soil with secured tarps or plastic sheeting.</li> </ul> <p><b>GENERAL BUSINESS PRACTICES</b></p> <ul style="list-style-type: none"> <li>Schedule excavation and grading work for dry weather.</li> <li>Perform major equipment repairs away from the job site.</li> <li>When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.</li> <li>Do not use diesel oil to lubricate equipment or parts.</li> </ul>	<p><b>DETECTING CONTAMINATED SOIL OR GROUNDWATER</b></p> <p>As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test ponded groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.</p> <p><b>WATCH FOR ANY OF THESE CONDITIONS:</b></p> <ul style="list-style-type: none"> <li>Unusual soil conditions, discoloration, or odor</li> <li>Abandoned underground tanks</li> <li>Abandoned wells</li> <li>Buried barrels, debris, or trash</li> </ul> <p><b>STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES</b></p> <p>Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or roughened ground surfaces.</p>	<p><b>ROADWORK AND PAVING</b> BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> <li>Road Crews</li> <li>Driveway/sidewalk/parking lot construction crews</li> <li>Seal coat contractors</li> <li>Operators of: grading equipment paving machines dump trucks concrete mixers</li> <li>Construction inspectors</li> <li>General contractors</li> <li>Developers</li> </ul> <p><b>WHAT CAN YOU DO?</b></p> <p><b>GENERAL BUSINESS PRACTICES</b></p> <ul style="list-style-type: none"> <li>Develop and implement erosion/sediment control plans for embankments.</li> <li>Schedule excavation and grading work for dry weather.</li> <li>Check for and repair leaking equipment.</li> <li>Perform major equipment repairs in designated areas at your yard, away from the construction site.</li> <li>When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.</li> <li>Do not use diesel oil to lubricate equipment or parts.</li> <li>Recycle used oil, concrete, broken asphalt, etc. whenever possible.</li> </ul> <p><b>DURING CONSTRUCTION</b></p> <ul style="list-style-type: none"> <li>Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.</li> <li>Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.</li> <li>Use check dams, ditches, or berms to divert runoff around excavations.</li> </ul>	<p><b>GENERAL CONSTRUCTION AND SITE SUPERVISION</b> BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> <li>Construction industry</li> </ul> <p><b>WHAT CAN YOU DO?</b></p> <ul style="list-style-type: none"> <li>Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.</li> <li>Keep materials off of the rain-prevent runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.</li> <li>Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.</li> <li>Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surfaces.</li> <li>Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.</li> <li>Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.</li> <li>Make sure portable toilets are in good working order. Check frequently for leaks.</li> </ul> <p><b>ASPHALT/CONCRETE REMOVAL</b></p> <ul style="list-style-type: none"> <li>Avoid creating excess dust when breaking asphalt or concrete.</li> <li>After breaking old pavement, be sure to remove all chunks and pieces.</li> <li>Make sure broken pavement does not come in contact with rainfall or runoff.</li> <li>Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.</li> <li>Never hose down streets to clean up tracked dirt.</li> </ul> <p><b>STORM DRAIN POLLUTION FROM ROADWORK</b></p> <p>Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, or excavated material. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains and creeks.</p>	<p><b>MATERIALS/WASTE/HANDLING</b> BEST MANAGEMENT PRACTICES FOR THE:</p> <ul style="list-style-type: none"> <li>Practice Source Reduction - minimize waste when you order materials. Order only the amount you need to finish the job.</li> <li>Use recyclable materials whenever possible.</li> <li>Dispose of all wastes properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. (See the references list of recyclers at the back of Blueprint for a Clean Bay). Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.</li> </ul> <p><b>STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES</b></p> <p>Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.</p>	<p><b>BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION</b></p> <p>In the Santa Clara Valley, storm drains flow directly to local creeks and San Francisco Bay, with no treatment. Storm water pollution is a serious problem for wildlife dependent on our waterways and for the people who live near polluted streams or baylands. Some common sources of this pollution include spilled oil, fuel, and fluids from vehicles and heavy equipment; construction debris; landscaping runoff containing pesticides or weed killers; and materials such as used motor oil, antifreeze, and paint products that people pour or spill into a street or storm drain.</p> <p>Thirteen valley cities have joined together with Santa Clara County and the Santa Clara Valley Water District to educate local residents and businesses and fight storm drain pollution.</p> <p>Note: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.</p>	<p><b>ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL</b></p> <p><b>A. Criminal Penalties.</b> Any person who violates any provision of this article shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p><b>B. Civil Penalties.</b> Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day each such violation continues shall be an additional offense.</p> <p><b>C. Civil Liability.</b> Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this chapter.</p> <p><b>D. Remedies Cumulative.</b> The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.</p>	<p><b>Spill Response Agencies</b></p> <ol style="list-style-type: none"> <li>Dial 911</li> <li>Santa Clara Valley Water District Environmental Compliance Division (408) 927-0710.</li> <li>Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours).</li> </ol> <p><b>Local Pollution Control Agencies</b></p> <p>Santa Clara County Office of Toxics and Solid Waste Management (408) 441-1195</p> <p>Santa Clara Valley Water District (408) 927-0710</p> <p>San Jose/Santa Clara Water Pollution Control Plant (408) 945-5300</p> <p>Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga</p> <p>Sunnyvale Water Pollution Control Plant (408) 730-7270</p> <p>Palo Alto Regional Water Quality Control Plant (415) 329-2598</p> <p>Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford</p>
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