



**CITY OF CAMPBELL**  
**Community Development Department**

July 31, 2020

**NOTICE OF PUBLIC HEARING**  
**THIS MEETING WILL BE CONDUCTED ON-LINE USING ZOOM**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **August 11, 2020**, for a Public Hearing to consider the application of Dennis Shafer for a Site and Architectural Review Permit to allow a 285 square-foot second floor addition to an existing 3,339 square-foot two-story single-family home with a floor area ratio exceeding 45% (48.6% proposed) and a minimum side setback of 5-feet where a  $\pm 10$ -foot side setback would otherwise be required on property located at **1789 Hurst Avenue**. Staff is recommending that this item be deemed Categorical Exempt under CEQA. This Planning Commission meeting will be conducted via telecommunication and is compliant with provisions of the Brown Act and Executive Order N-29-20 issued by the Governor.

While members of the public will not be able to attend the meeting of the Campbell City Planning Commission physically, the meeting will be live-streamed on YouTube at (<https://www.youtube.com/user/CityofCampbell>).

Interested persons may register to electronically participate in this Zoom PC meeting at [https://us02web.zoom.us/webinar/register/WN\\_uavFQC2sT1m\\_-cJvrGV1oA](https://us02web.zoom.us/webinar/register/WN_uavFQC2sT1m_-cJvrGV1oA). After registering, you will receive a confirmation email containing information about joining the webinar. The complete agenda packet will be posted by Friday, August 7th, on the website at <https://www.ci.campbell.ca.us/AgendaCenter/Planning-Commission-6>, and will include all materials for this meeting. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing by email to [planning@campbellca.gov](mailto:planning@campbellca.gov). Questions may be addressed to the Community Development Department at (408) 866-2140. Plans and architectural drawings may be viewed by Friday, July 31st, on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or [ClerksOffice@campbellca.gov](mailto:ClerksOffice@campbellca.gov) at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice, refer to **1789 Hurst Avenue**

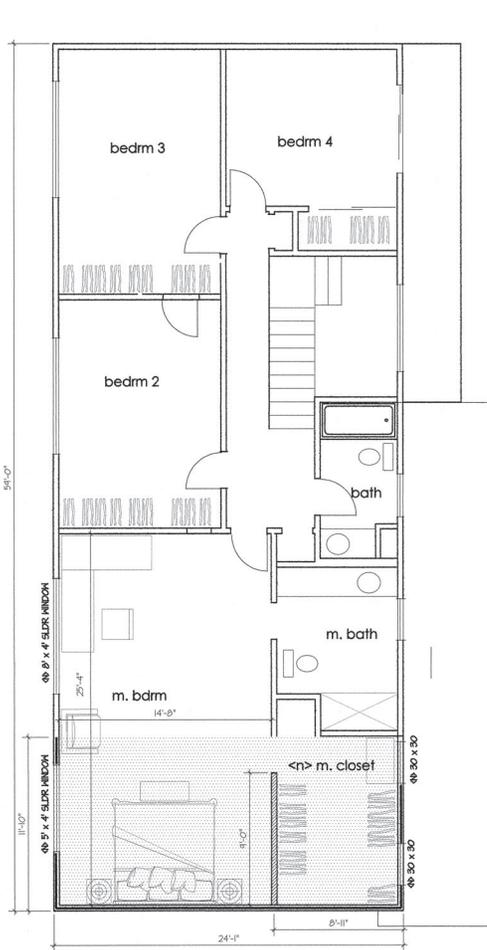


# Location Map - 1789 Hurst Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

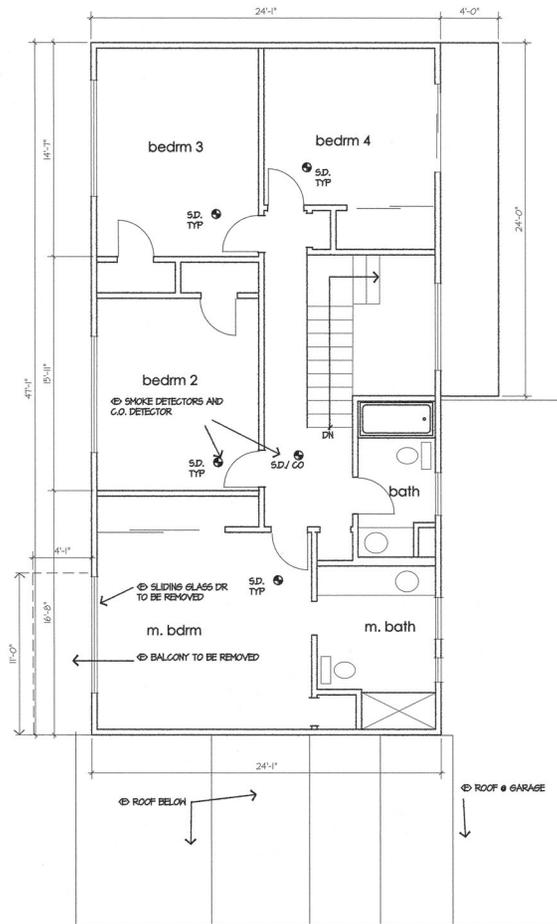




<n> 2nd floor plan

1/4"-1"=0"

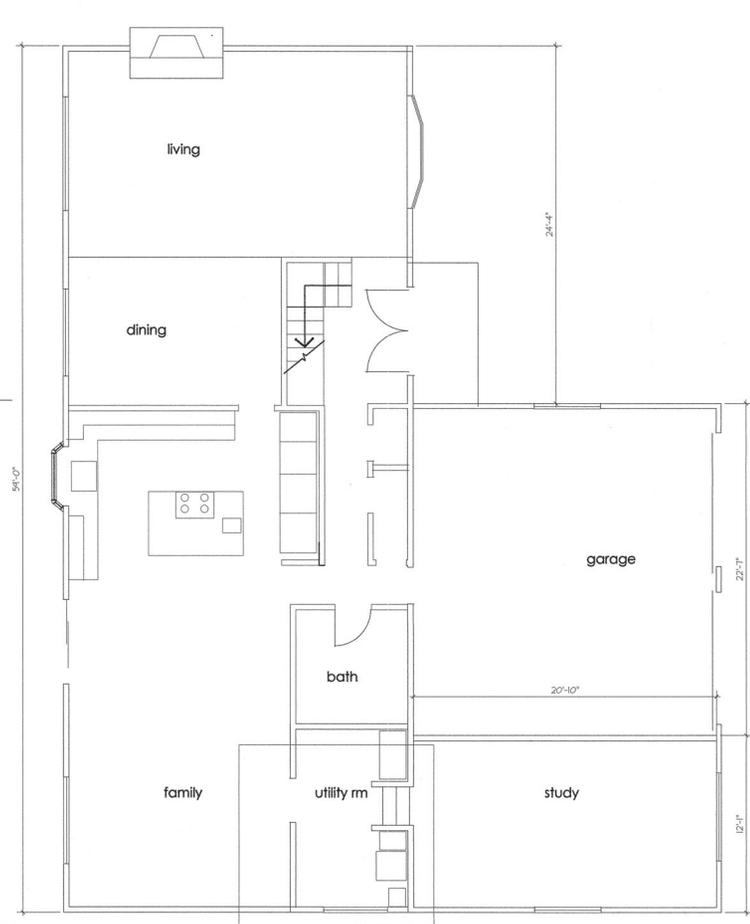
1082 SF LIVING, 46 BAL, REMOVE 44 BAL  
 @ 295 ADDITION  
 1367 SF LIVING, 46 BAL, 1463 SF TOTAL



<e> 2nd floor plan

1/4"-1"=0"

1082 SF LIVING, 46 BAL, 44 BAL, 1222 SF TOTAL



<e> 1st floor plan

1/4"-1"=0"

1614 SF LIVING SPACE 410 SF GARAGE 2025 SF TOTAL

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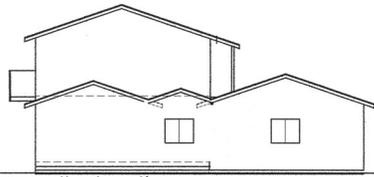
**shafers**  
 architecture  
 shafers is a registered architect  
 P.O. Box 1336  
 San Jose, CA 95128  
 (408) 243-1336

1030 e-el Camino real #1445  
 Sunnyvale, California 94087

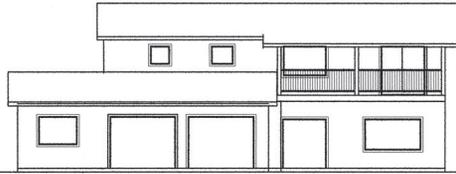
**MASTER BEDROOM EXTENSION**  
**BETH ANNY RESIDENCE**  
 1784 HURST AVE.  
 CAMPBELL, CA

NO.	REVISIONS	DATE
1	FINAL SUBMITTAL	10/28/22

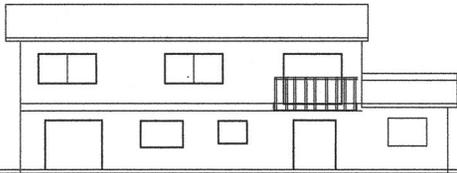
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**A2**  
 2/1/20



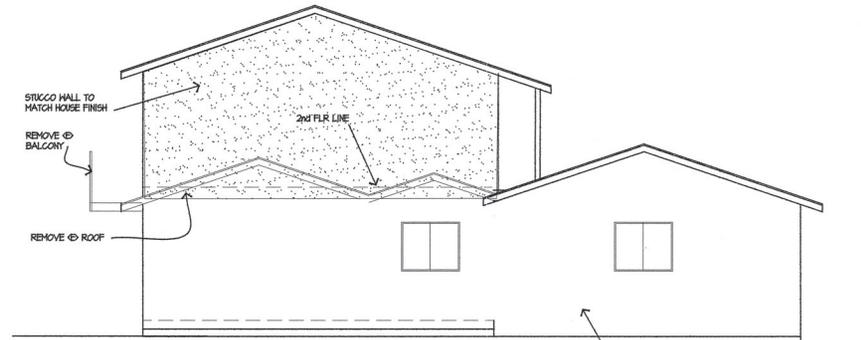
<e> south elevation  
SCALE: 1/8"=1'-0"



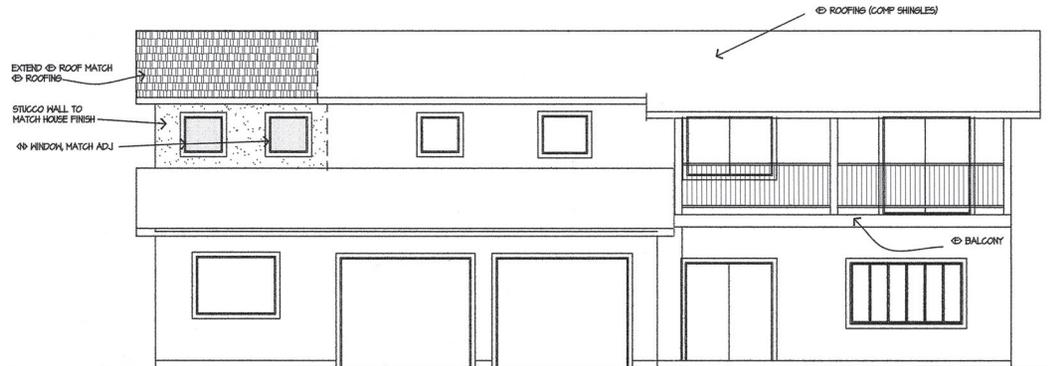
<e> east elevation  
SCALE: 1/8"=1'-0"



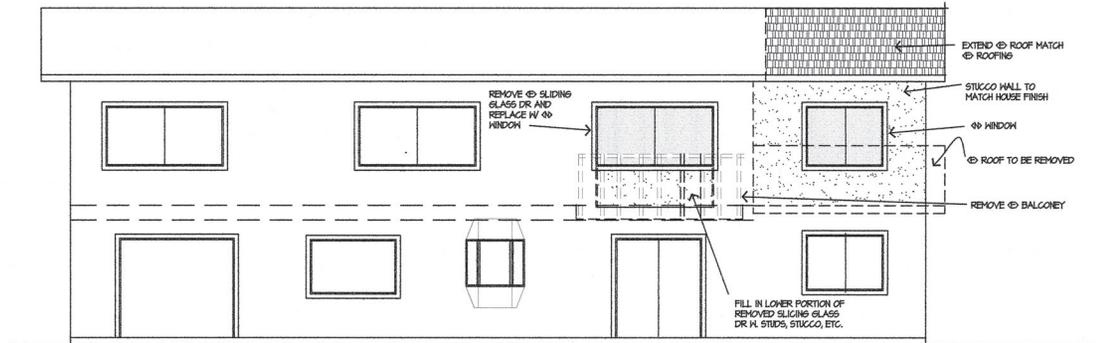
<e> west elevation  
SCALE: 1/8"=1'-0"



south elevation  
SCALE: 1/4"=1'-0"



east elevation  
SCALE: 1/4"=1'-0"



west elevation  
SCALE: 1/4"=1'-0"

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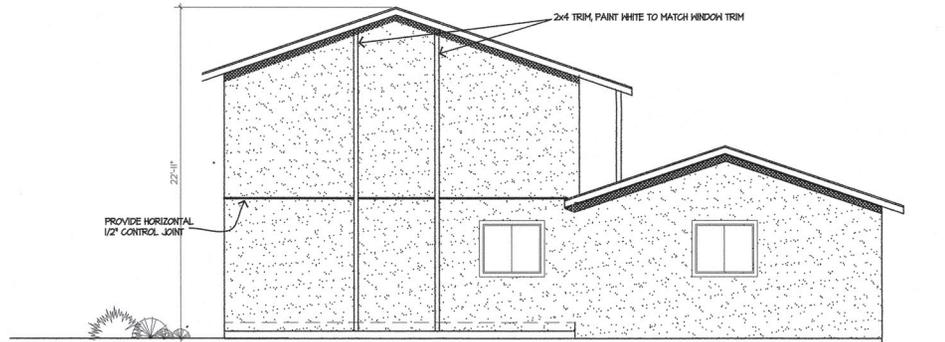
NO.	REVISIONS	DATE

**MASTER BEDROOM EXTENSION**  
**BETHLAHMY RESIDENCE**  
 1754 HURST AVE.  
 CAMPBELL, CA

1030 W. O. GARDNER RD. #245  
 Sunnyvale, California 94087

**shafér architecture**  
 SHAFER ARCHITECTURE  
 PRT (408) 343-1336

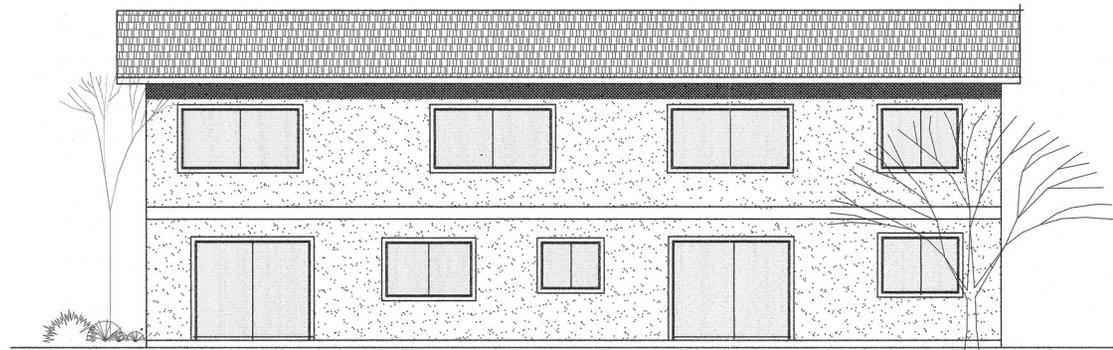
18-01  
**A3**  
 2/14/20



south elevation  
SCALE: 1/4"=1'-0"



east elevation



west elevation  
SCALE: 1/4"=1'-0"

no.	revisions	date
1	REV. (initials)	9/27/22

MASTER BEDROOM EXTENSION  
**BETHLAHMY RESIDENCE**  
7164 HURST AVE  
CAMPBELL, CA

1030 e. el camino real #445  
sunnyvale, california 94087

**shafiq architecture**  
ARCHITECT  
PHOTOGRAPHY  
PH. (408) 345-1336

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