



CITY OF CAMPBELL
Community Development Department

July 21, 2020

NOTICE OF SITE AND ARCHITECTURAL REVIEW PERMIT APPLICATION

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Site and Architectural Review Permit for the following project proposal:

File No.: PLN-2020-38
Applicant: Daniel Warren
Project Address: 1018 Lucot Way
Property Owner: Vibha Muralidhar
Zoning District: R-1-10 (Single Family Residential)
General Plan: Low Density Residential (San Tomas Area Neighborhood Plan)
Neighborhood Association(s): San Tomas Area Community Coalition
Project Description: 381 square-foot first-floor addition and remodel to an existing single-family home.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on July 21, 2020 and ends on July 31, 2020. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **July 31, 2020**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. City Hall is currently closed to the public however plans and architectural drawings may be viewed on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions' or by contacting the project planner. Questions or comments regarding this application may be addressed to Naz Healy, Assistant Planner, in the Community Development Department, at (408) 866-2144 or by email nazh@campbellca.gov.



Location Map - 1018 Lucot Way



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

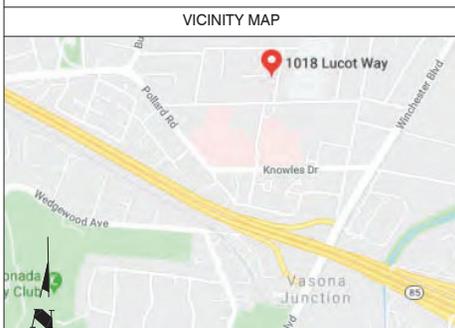
LUCOT RESIDENCE REMODEL/ADDITION

1018 LUCOT ADDITION
CAMPBELL, CALIFORNIA

WARREN DESIGN
5916 CAMPBELL AVE. CAMPBELL, CA 95008 P: 650.489.2910

[Signature]
I hereby certify that I am a duly Licensed Professional Engineer in the State of California and that I am the author of the design shown on these drawings. I understand that any violation of the provisions of the California Professional Engineers Act may result in the suspension or revocation of my license. I am not providing any services outside the scope of my license. I understand that any violation of the provisions of the California Professional Engineers Act may result in the suspension or revocation of my license.

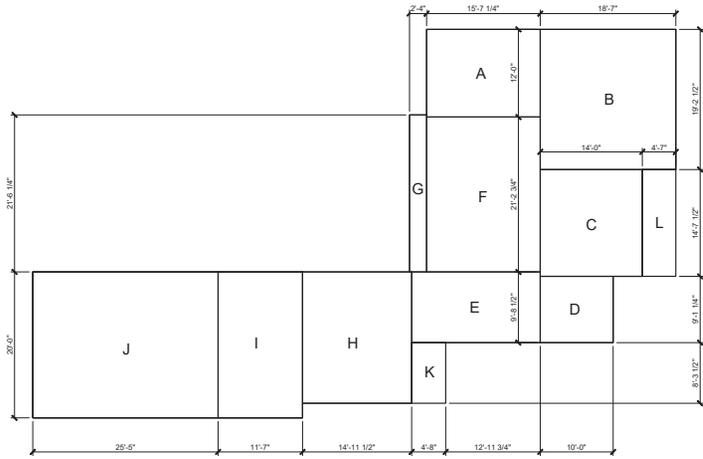
LUCOT RESIDENCE
REMODEL/ADDITION
1018 LUCOT WAY
CAMPBELL CALIFORNIA

CALGREEN MANDATORY MEASURES	FIRE DEPARTMENT NOTES	GENERAL NOTES	SHEET INDEX
<p>4.1 PLANNING & DESIGN-SITE DEVELOPMENT</p> <p>4.106.2. A PLAN IS DEVELOPED & IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.</p> <p>4.106.3. THE SITE SHALL BE PLANNED & DEVELOPED TO KEEP SURFACE WATER AWAY FROM BUILDINGS. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS.</p> <p>4.2 ENERGY EFFICIENCY</p> <p>4.201.1. LOW-RISE RESIDENTIAL BUILDINGS SHALL MEET OR EXCEED THE MINIMUM STANDARD DESIGN REQUIRED BY THE CALIFORNIA ENERGY STANDARDS.</p> <p>4.303.1. WATER EFFICIENCY & CONSERVATION</p> <p>4.303.1.1. INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% USING ONE OF THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> 1. WATER SAVING FIXTURES OR FLOW RESTRICTORS SHALL BE USED. 2. A 20% REDUCTION IN BASELINE WATER USE SHALL BE DEMONSTRATED. <p>4.403.2. WHEN USING THE CALCULATION METHODS SPECIFIED IN SECTION 4.303.1 MULTIPLE SHOWERHEADS SHALL NOT EXCEED MAXIMUM FLOW RATES</p> <p>4.303.3 PLUMBING FIXTURES (WATER CLOSETS & URINALS) & FITTINGS (FAUCETS & SHOWERHEADS) SHALL COMPLY WITH SPECIFIED PERFORMANCE REQUIREMENTS.</p> <p>OUTDOOR WATER USE</p> <p>4.304.1 AUTOMATIC IRRIGATION SYSTEMS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOILED BASED.</p> <p>4.404.1. JOINTS & OPENINGS</p> <p>ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.</p> <p>4.406.1.1. A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PERMITTED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPT.</p> <p>4.406.2 WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED FOR APPROVAL TO THE ENFORCING AGENCY.</p> <p>4.410.1 AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.</p> <p>4.5 ENVIRONMENTAL QUALITY POLLUTANT CONTROL</p> <p>4.501.1 DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.</p> <p>4.504.2.1 ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT WITH VOC & OTHER TOXIC COMPOUND LIMITS</p> <p>4.504.2.2 PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS</p> <p>4.504.2.3 ALL PAINTS & COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MMR LIMITS FOR ROD & OTHER TOXIC COMPOUNDS.</p> <p>4.504.2.4 DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.</p> <p>4.504.3 CARPET & CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.</p> <p>4.504.4. 80% OF FLOOR AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESIDENT FLOOR COVERING INSTITUTE (RFI) FLOORCOVER PROGRAMS.</p> <p>4.504.5. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSIONS STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH:</p> <p>4.505.2. VAPOR BARRIER OR CARBURY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.</p> <p>4.505.3. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL & FLOOR FINISHING IS CHECKED BEFORE ENCLOSURE</p> <p>INDOOR AIR QUALITY & EXHAUST</p> <p>4.506.1 ENERGY STAR COMPLIANT EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM, CONTROLLED BY A HUMIDITY CONTROL, UNLESS IT IS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.</p> <p>ENVIRONMENTAL COMFORT</p> <p>4.507.1. WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED DOWNSHUTTERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR COUVERS SHALL HAVE A MIN. INSULATION VALUE OF R-4.2.</p> <p>4.507.2. DUCT SYSTEMS ARE SIZED, DESIGNED & EQUIPMENTS IS SELECTED USING THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> 1. ESTABLISH HEAT LOSS & HEAT GAIN VALUES ACCORDING TO ACCA MANUAL J OR EQUIVALENT. 2. SIZE DUCT SYSTEMS ACCORDING TO ACCA 19D (MANUAL D) OR EQUIVALENT. 3. SELECT HEATING & COOLING EQUIPMENT ACCORDING TO ACCA 99-S (MANUAL S) OR EQUIVALENT. <p>INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS:</p> <p>702.11. HVAC SYSTEM INSTALLERS ARE TRAINED & CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.</p> <p>702.2. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED & ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.</p> <p>703.1. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE:</p> <p>CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.</p>	<p>THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN A POSITION THAT IS READILY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5".</p> <p>SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. SMOKE ALARMS SHALL BE INTERCONNECTED, RECEIVED THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP.</p> <p>AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING OR SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN SLEEPING UNITS THAT HAVE AN ATTACHED GARAGE. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.</p>	<p>1. CONTRACTOR SHALL COMPLY WITH ALL CONTRACTOR SHALL COMPLY WITH ALL CALIFORNIA RESIDENTIAL CODE (CBC) 2019, CALIFORNIA BUILDING CODE (CBC) 2019, CALIFORNIA MECHANICAL CODE (CMC) 2019, CALIFORNIA PLUMBING CODE (CPC) 2019, CALIFORNIA FIRE CODE (CFC) 2019, CALIFORNIA ELECTRICAL CODE (CEC) 2019, CALIFORNIA GREEN BUILDING CODE (CGBC) 2019, ENERGY EFFICIENCY STANDARDS TITLE 24. CONTRACTOR MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE AS REQUIRED IN TITLE 24 CCR PART 1, §10-103(b) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.</p> <p>2. INSULATION SHALL BE INSTALLED BETWEEN WALLS AND BETWEEN FLOOR JOISTS AND OVER GARAGE.</p> <p>3. FLOOR ABOVE GARAGE, AND CEILING SHALL BE PER (24 CALCS): FLOOR: R-19, WALLS: R-13 PAPERFACED FIBERGLASS BATT, CEILING (FLAT): R-30 FIBERCEL BLOWN STAPLE CERTIFICATE ADJACENT TO OVERHEAD DOOR ON INTERIOR OF GARAGE.</p> <p>3. VENTILATION REQUIRED: ATTC MINIMUM OF 1000 OF ATTIC SPACE. PROVIDE A MINIMUM OF 50% AT ROOF WITH DOWNER VENTS WITH THE BALANCE OF THE REQUIRED VENTING AT EAVES.</p> <p>4. SITE DRAINAGE: NO DRAINAGE ACROSS OR ONTO ADJACENT PROPERTIES OR ON SITE WATER RETENTION. PROVIDE A MINIMUM 5% SLOPE ON PERVIOUS SURFACES AND 2% SLOPE ON IMPERVIOUS SURFACES WITHIN 10' OF STRUCTURE.</p> <p>5. FOUNDATION: SOIL UNDER SLAB AND FOOTINGS TO BE 8% COMPACTED. ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL, UNLESS OTHERWISE NOTED. FOUNDATIONS AND HOUSE SLAB SHALL BE 2500 PSI AT 28 DAYS.</p> <p>FLAT WORK SHALL BE 2500 PSI AT 28 DAYS. FINISH FLOOR SLAB SHALL BE A MINIMUM OF 6" ABOVE GRADE. PROVIDE COPIES OF ANY COMPACTION OR SOILS ANALYSIS REPORTS TO THE BUILDING DEPARTMENT PRIOR TO THE FOUNDATION INSPECTION.</p> <p>6. SILL PLATES WILL BE PRESURE TREATED OR FOUNDATION GRADE REDWOOD.</p> <p>7. ALL EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 24" D.F. WOOD STUDS AT 16" O.C. UNLESS OTHERWISE NOTED ON PLANS.</p> <p>8. PROVIDE SOLID BLOCKING AT ALL FURRED CEILING AND SOFFITS AT WALLS.</p> <p>9. AT ALL NON-BEARING WALLS PARALLEL TO ROOF TRUSS THAT ARE UNBRACED FOR MORE THAN 6'-0" PROVIDE A 2x4 DIAGONAL BRACE FROM THE TOP PLATE TO THE TOP CHORD WITH A MINIMUM 5'-2" EACH END.</p> <p>10. BOTTOM CHORD OF TRUSS TO BE BRACED AT 12' O.C. (MINIMUM).</p> <p>11. ALL EXTERIOR DOOR AND WINDOW HEADERS SHALL BE 6x12 WITH DOUBLE TOP PLATE OVER, UNLESS OTHERWISE NOTED.</p> <p>12. POWER DRIVEN FASTENERS: (CBO #1250, PIN #627) AS MANUFACTURED BY "HILT". BRACING: 18" O.C. AT ALL BEARING WALLS, 30" O.C. AT ALL NON-BEARING WALLS.</p> <p>13. EXTERIOR FINISH TO BE HORIZONTAL SIDING AT 1st FLOOR AND SHINGLE SIDING AT THE 2nd FLOOR. SEE EXTERIOR ELEVATION.</p> <p>14. STUCCO FINISHES AT EDGES SHALL INCLUDE THE FOLLOWING: DRIP SCREED, SUPERIOR FLASHING BEAD, MILCOR 986/EXTERIOR CORNER, MILCOR 914 EXP. JOINT, INTERIOR CORNER, MILCOR 810 EXP. JOINT.</p> <p>15. ALL WINDOWS SHALL BE DUAL, GLAZED WITH VINYL FRAME. SEE ELEVATIONS FOR SIZES.</p> <p>16. ALL EXTERIOR SLIDING GLASS DOORS AND WINDOWS WITH SILLS WITHIN 18" OF THE FLOOR AND WITHIN A 24" O.C. OF EITHER VERTICAL EDGE OF AN EXTERIOR DOOR IN A CLOSED POSITION SHALL BE TEMPERED, H-S-HORIZONTAL SLIDER, S-H-SINGLE HUNG, CBS-OBSIDIAN, FXD-FIXED, TEMP-TEMPERED, H-LR-FND-HALF ROUND.</p> <p>17. SILL PLATES FOR NON-BEARING WALLS MUST BE ANCHORED TO SLAB WITH HARDENED CEMENT NAILS.</p> <p>18. EXTERIOR SILL PLATES SHALL BE CALKED AT JOINTS WITH CONCRETE SLAB. CALK BOARD, EXPOSED EDGES, AND WOOD TRIM.</p> <p>20. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS IN FIELD. ANY CONFLICTS OR DISCREPANCIES ARE TO BE BROUGHT TO THE DESIGNERS ATTENTION PRIOR TO CONSTRUCTION.</p> <p>21. BACKFLOW PREVENTER REQUIRED ON ALL HOSE BIBBS.</p>	<p>T-1 SHEET INDEX, PROJECT DATA, VICINITY MAP, GENERAL NOTES</p> <p>A-1 SITE PLAN / FLOOR AREA CALCULATIONS</p> <p>A-2 EXISTING FLOOR PLAN</p> <p>A-3 EXISTING ELEVATIONS</p> <p>A-4 PROPOSED FLOOR PLAN</p> <p>A-5 PROPOSED EXTERIOR ELEVATIONS</p> <p>A-6 PROPOSED INTERIOR ELEVATIONS</p> <p>A-7 ROOF PLAN</p> <p>A-8 SECTIONS</p> <p>E-1 ELECTRICAL PLAN</p> <p>BM-1 BEST MANAGEMENT PRACTICES FOR CONSTRUCTION INDUSTRY</p> <p>T24-1 TITLE 24</p> <p>T24-2 TITLE 24</p> <p>SN-1 GENERAL NOTES</p> <p>ST1.0 TYPICAL CONCRETE DETAILS</p> <p>ST2.0 TYPICAL CONCRETE DETAILS (CONTN.)</p> <p>ST3.0 TYPICAL WOOD DETAILS</p> <p>ST4.0 TYPICAL WOOD DETAILS (CONTN.)</p> <p>ST5.0 TYPICAL WOOD DETAILS (CONTN.)</p> <p>ST6.0 POST IN WALL & ROOF DETAILS</p> <p>ST7.0 DRAG DETAILS</p> <p>ST8.0 TYPICAL HOLDOWN DETAILS (WOOD TO CONCRETE)</p> <p>ST9.0 CEILING DETAILS</p> <p>ST10 FOUNDATION PLAN</p> <p>ST2.0 ROOF FRAMING PLAN</p> <p>PROJECT DATA</p> <p>PROJECT ADDRESS: 1018 LUCOT WAY</p> <p>ASSESSOR PARCEL NUMBER: 408-24-05</p> <p>CONSTRUCTION TYPE: V/B</p> <p>OCCUPANCY TYPE: R-30</p> <p>LOT SIZE: 12,498 S.F.</p> <p>EXISTING FLOOR AREA: 1,512.00 S.F.</p> <p>ADDITION: 381.19 S.F.</p> <p>EXISTING GARAGE: 508.35 S.F.</p> <p>TOTAL F.A.R.: 2401.52 S.F.</p> <p>SCOPE OF WORK: PROVIDE A SINGLE STORY ADDITION AND REMODEL TO INCLUDE EXISTING ENCLOSURE IN ROOM TO BE COMING LIVING AREA, WITH OFFICE, KITCHEN, AND MASTER BEDROOM/BATH. PROVIDE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.</p>
	<p>SPECIAL INSPECTIONS</p> <p>ALL WORK REQUIRING INSPECTIONS MUST BE DONE BY CERTIFIED INSPECTION AGENCY. RETROFIT HOLDOWN ANCHORS MAY BE INSPECTED BY THE ENGINEER OF RECORD. THE EOR SHALL PROVIDE A LETTER TO THE CITY FIELD INSPECTOR AT THE TIME OF HOLDOWN INSPECTION DESCRIBING THE RESULTS OF THE INSPECTIONS).</p>		
	<p>VICINITY MAP</p> 		

Date: 10/15/19
 Drawn By: ACJ
 Revisions:
 1. 4/16/2020 PLAN CHECK
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SCOPE OF WORK: PROVIDE A SINGLE STORY ADDITION AND REMODEL TO INCLUDE EXISTING ENCLOSURE IN ROOM TO BE COMING LIVING AREA, WITH OFFICE, KITCHEN, AND MASTER BEDROOM/BATH. PROVIDE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL AS NECESSARY AND SHOWN ON PLANS.

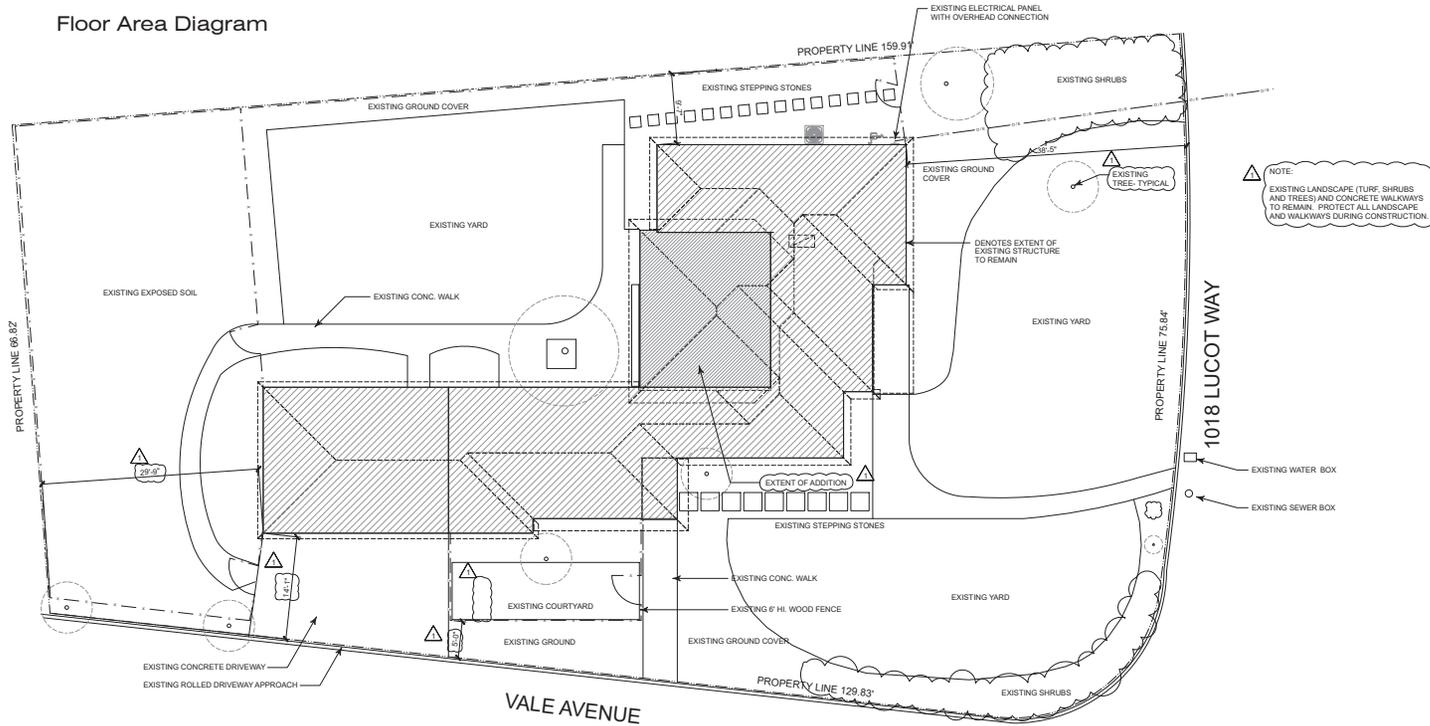
Project No: 1940
 Sheet No: T-1
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Floor Area Diagram

FLOOR AREA LIMIT CALCULATION	
AREA	SQ. FT.
A	187.25
B	357.67
C	234.89
D	161.56
E	94.59
F	253.5
G	25.37
H	109.11
I	109.11
J	231.87
K	38.93
L	273.87
TOTAL	2401.52

LOT COVERAGE CALCULATION	
AREA	SQ. FT.
FLOOR AREA	2401.52
K (COVERED PORCH)	38.93
L (COVERED PORCH)	273.87
TOTAL COVERAGE	2714.32



Proposed Site Plan

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REMODEL/ADDITION
1018 LUCOT WAY
CAMPBELL CALIFORNIA

Date: 10/15/19

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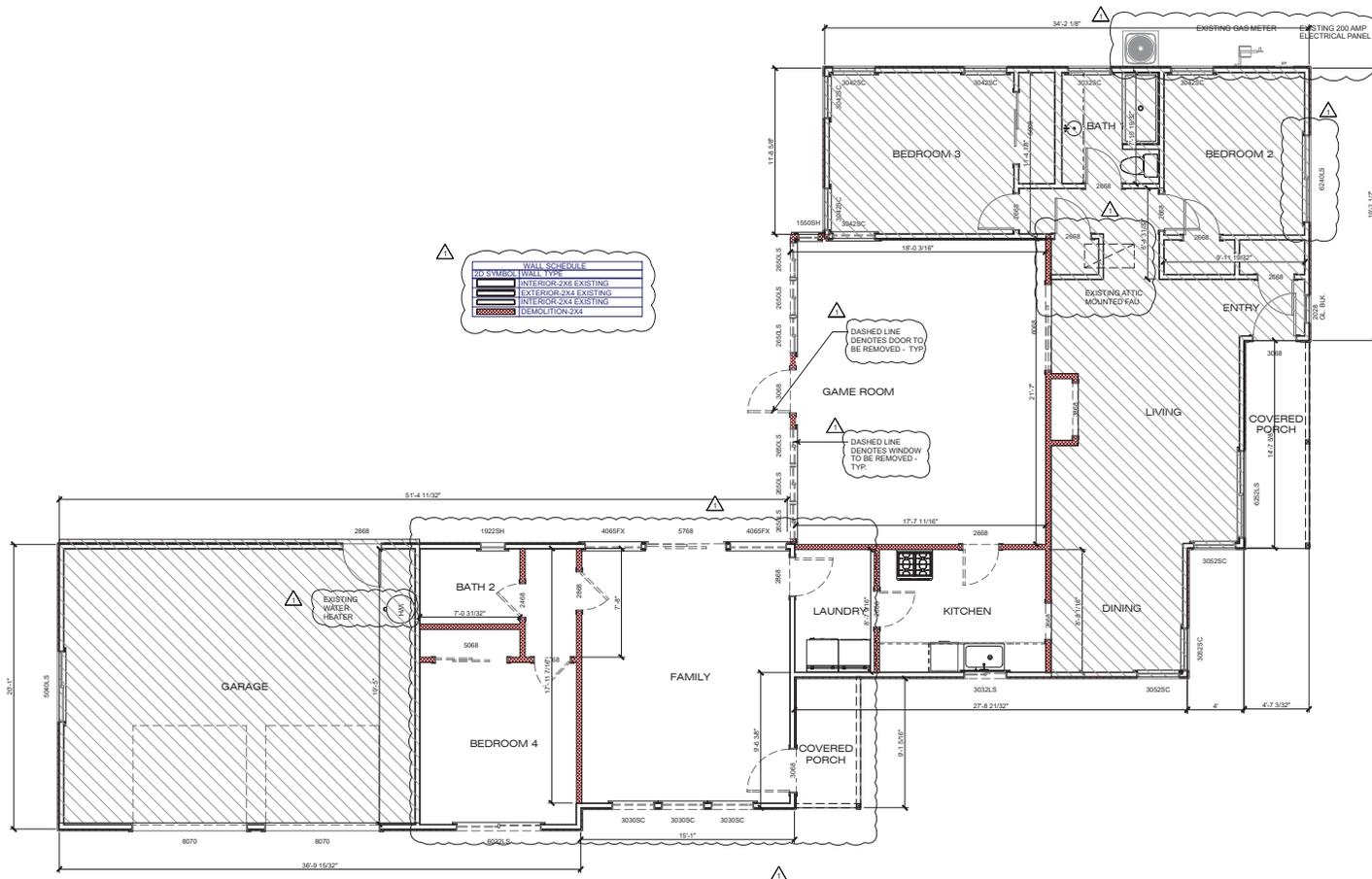
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Existing Floor Plan



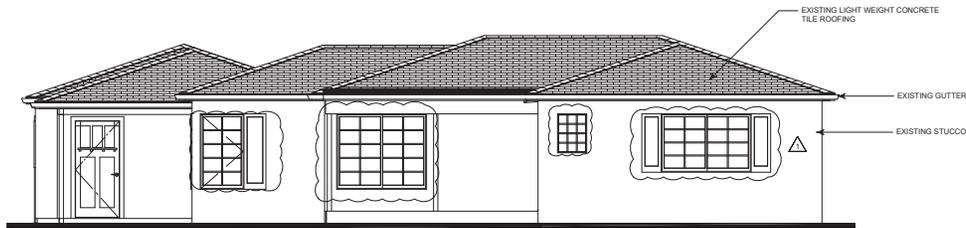
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**LUCOT RESIDENCE
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 1018 LUCOT WAY
 CAMPBELL CALIFORNIA**

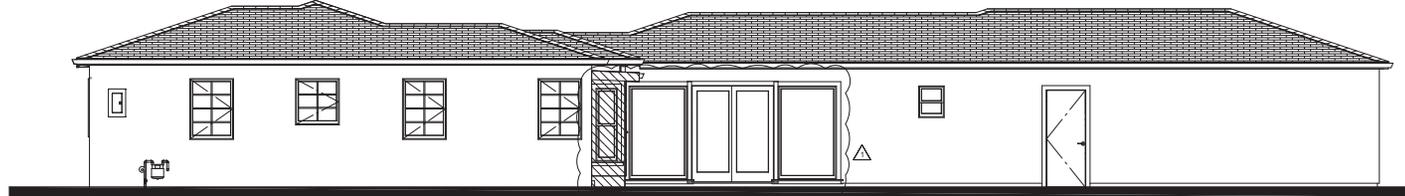
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EXISTING FLOOR PLAN

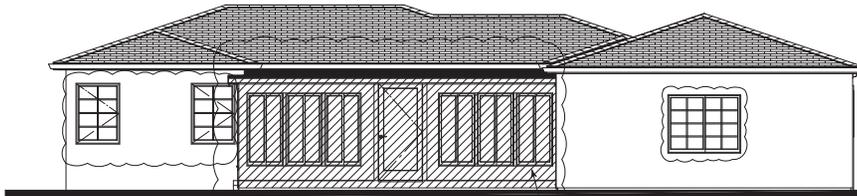
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Exterior Elevation Front



Exterior Elevation Right



Exterior Elevation Back

HATCH PATTERN DENOTES
EXISTING SUNROOM TO BE
DEMOLISHED - TYPICAL



Exterior Elevation Left

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LUCOT RESIDENCE
REMODEL/ADDITION
1018 LUCOT WAY
CAMPBELL CALIFORNIA

Date: 10/15/19
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EXISTING
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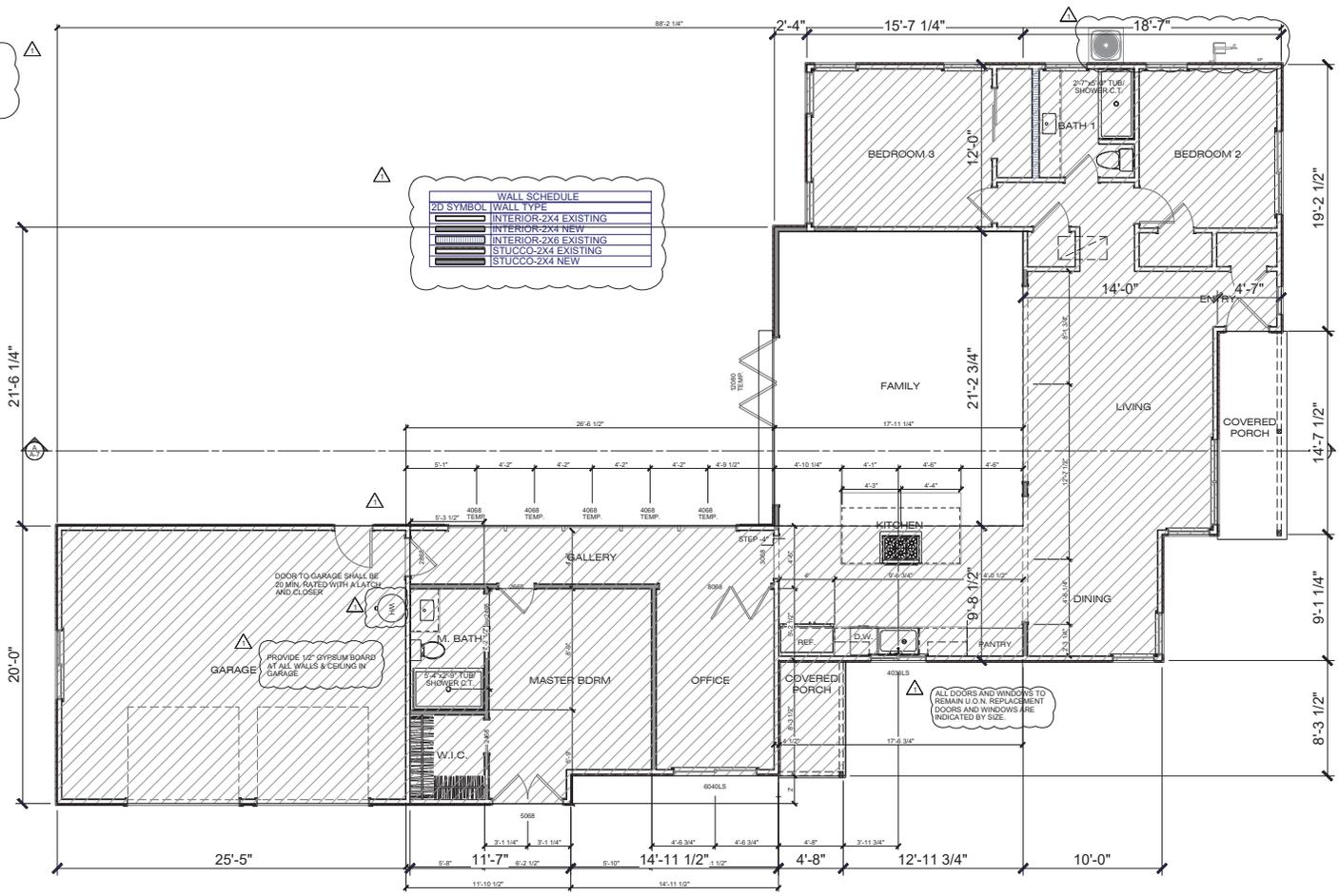
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GENERAL NOTES:

- WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL WINDOW & DOOR SIZES SHALL BE FRAMED & SET PER MFG SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED (U.N.O.)
- ALL EXTERIOR HEADERS SHALL BE AT 8" 6" U.N.O.
- ALL EXTERIOR DOORS SHALL BE AT LEAST 1 3/4" THICK
- ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED
- BEDROOM WINDOWS SHALL HAVE MAX 44" HIGH SILL & MIN. NET CLEAR OPENINGS OF 20" IN WIDTH & 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 FEET
- SHOWERS TO BE FINISHED WITH MOISTURE RESISTANT MATERIALS OVER A MOISTURE RESISTANT UNDERLAYMENT TO MIN. HEIGHT OF 72" ABOVE DRAIN W/ TEMPERED GLASS ENCLOSURES
- PROVIDE THERMOSTATIC MIXING VALVE OR INDIVIDUAL CONTROL VALVES ON EACH SHOWER HEAD
- WATER CLOSETS (TOILETS) SHALL USE NO MORE THAN 1.28 GALLONS FLUSH. SINGLE SHOWER HEAD SHALL HAVE A WATER FLOW RATE NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI CGCS; SECTION 4.303.1.3.1 MULTIPLE SHOWER HEADS SERVING ONE SHOWER - COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE, 1.8 GALLONS PER MINUTE AT 80 PSI CGCS; SECTION 4.303.1.3.2 LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.6 GALLONS PER MINUTE AT 60 PSI.
- WATER HEATERS & FURNACES TO BE C.E.C. CERTIFIED. WATER HEATERS TO HAVE PRESSURE & TEMPERATURE RELIEF DEVICES & DISCHARGE TO OUTSIDE
- PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES
- WATER HEATERS SHALL BE STRAPPED WITHIN THE UPPER & LOWER 1/3 OF THE HEATER STRAPS SHALL BE LOCATED A MIN. OF 4" FROM ANY CONTROLS. WATER HEATER TO BE ON PLATFORM 18" MIN. A.F.F.
- OPENINGS AROUND GAS VENTS, DUCTS & PIPING AT EACH FLOOR SHALL BE FIRE STOPPED
- AIR DUCTS IN GARAGE THAT PASS THRU LIVING/ GARAGE COMMON WALL SHALL BE 2x4 GA STEEL OR THICKER
- INSTALL PRE-FAB MTL FIREPLACES PER MFG'S SPECS. PROVIDE I.C.C. APPROVED NUMBERS TO BUILDING DEPT. PRIOR TO INSTALLATION
- PROVIDE FIRE STOPPS IN OPENINGS AT FLOOR & CEILING OF ALL FIREPLACES
- PROVIDE ADD'G SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDORS OR AREAS GIVING ACCESS TO EACH SLEEPING AREA. ALL DETECTORS TO BE INTERCONNECTED TYPICAL
- LANDINGS NO MORE THAN 7 1/2" LOWER THAN THRESHOLD FOR IN-SWINGING DOORS & NO MORE THAN 1 1/2" FOR OUT-SWINGING & ENTRY DOORS. EXTERIOR LANDINGS TO BE 3'-0" DEEP MIN.
- ALL GYPSUM BOARD TO 5/8" TYP U.N.O.
- CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF THE SHOWER COMPARTMENTS OR BE OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT AND THE BATHER CAN ADJUST THE VALVES PRIOR TO STEPPING INTO THE SHOWER BURNY CXC-001.9
- JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CALKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION. (CGC SECTION 117)
- THE FIRST 5' OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK FOR NON RECIRCULATING SYSTEMS SHALL BE THERMALLY INSULATED WITH A MIN. OF 1" (2") THICK INSULATION FOR HOT (COLD) WATER PIPES WITH A DIAMETER LESS THAN OR EQUAL TO 2" OR 1.5" (1") FOR HOT (COLD) WATER PIPES WITH A DIAMETER GREATER THAN 2" (1.500) (CGC)
- VENTING FOR ISLAND FIXTURES (VEGETABLE SINK) SHALL BE DESIGNED PER SECTION 909 OF THE 2019 CALIFORNIA PLUMBING CODE.



Proposed Floor Plan
SCALE: 1/4" = 1'-0"

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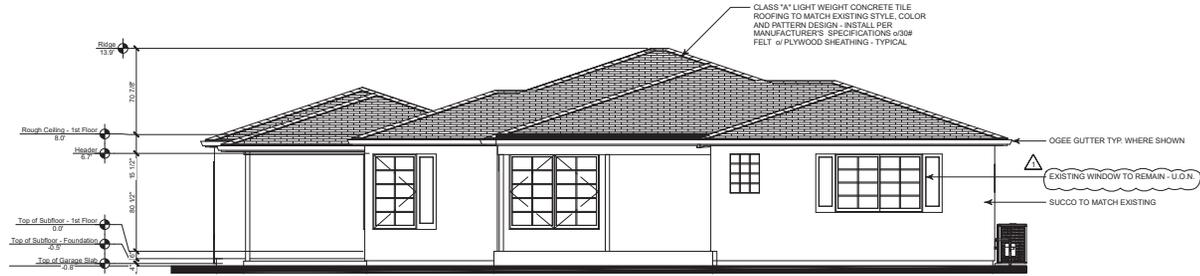
LUCOT RESIDENCE
REMODEL/ADDITION
1018 LUCOT WAY
CAMPBELL CALIFORNIA

Date: 10/15/19
Drawn By: AGJ
Revisions:
▲ 4/16/2020 PLAN CHECK

PROPOSED FLOOR PLAN

Project No: 1940
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ALL EXTERIOR FLASHING AND INSTALLATION OF APPROVED CORROSION RESISTANT FLASHING ALLIED SHINGLE-FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER INTO THE BUILDING STRUCTURAL FRAMING COMPONENTS AT THE FOLLOWING LOCATIONS, BUT NOT LIMITED TO:
 EXTERIOR WINDOWS AND DOORS.
 AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTION LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
 UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
 CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
 WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OR WOOD-FRAME CONSTRUCTION AT WALL AND ROOF INTERSECTIONS.
 AT BUILT-IN GUTTERS.



Front Exterior Elevation



26 GA. G.I. DRIP SCREED WITH MIN. VERTICAL ATTACHMENT FLANGE AT 3/12" PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS TYP. AT 4" A.B.V. GRADE (2" A.B.V. HARDSCAPE)



Left Exterior Elevation

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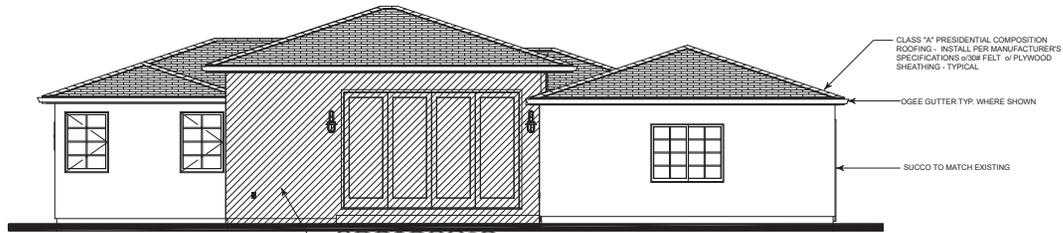
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PROPOSED EXTERIOR ELEVATIONS

Project No: 1940

Sheet No: A-5



Rear Exterior Elevation



26 GA. G.I. DRIP SCREED WITH MN. VERTICAL ATTACHMENT FLANGE AT 31/2" PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS TYP. AT 4" ABV. GRADE (2" ABV. HARDSCAPE)



Right Exterior Elevation

WINDOWS WITH NO GRID TO MATCH EXISTING COLOR

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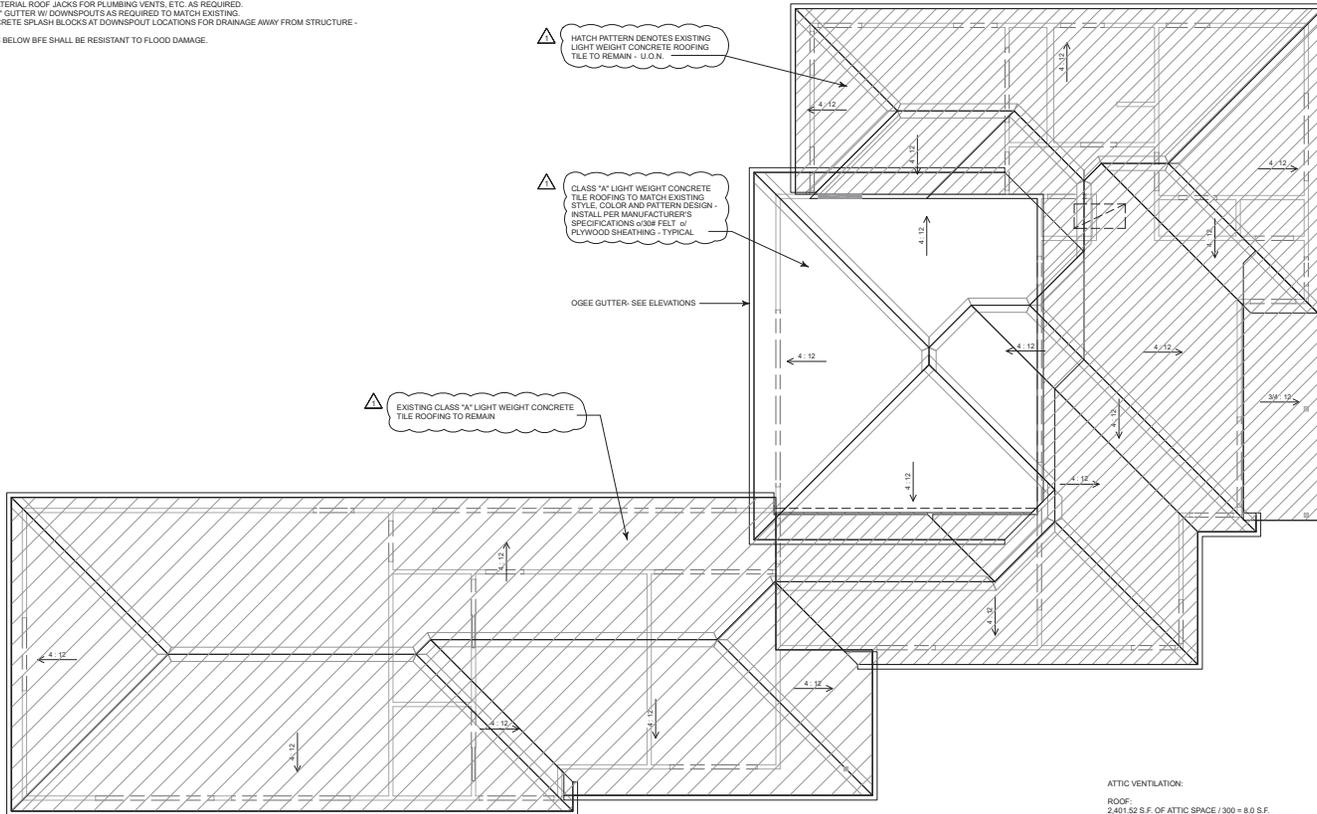
PROPOSED EXTERIOR ELEVATIONS

Project No: 1940

Sheet No: A-6

ROOF PLAN NOTES:

ROOF SLOPE IS TO BE 4:12.
 ARROWS INDICATE DIRECTION OF ROOF SLOPE.
 OVERHANGS ARE TO BE 12" AT EAVES & 12" AT RAKES (U.N.O.).
 PROVIDE EAVE VENTS FOR ATTIC VENTILATION PER C.I.C. TYPICAL.
 INSTALL G.I. MATERIAL ROOF JACKS FOR PLUMBING VENTS, ETC. AS REQUIRED.
 INSTALL "OGEE" GUTTER W/ DOWNSPOUTS AS REQUIRED TO MATCH EXISTING.
 PROVIDE CONCRETE SPLASH BLOCKS AT DOWNSPOUT LOCATIONS FOR DRAINAGE AWAY FROM STRUCTURE - TYPICAL.
 ALL MATERIALS BELOW BFE SHALL BE RESISTANT TO FLOOD DAMAGE.



Roof Plan



ATTIC VENTILATION:

ROOF:
 2,401 SQ. S.F. OF ATTIC SPACE / 300 = 8.0 S.F.
 8.0 S.F. x 144 SQ. INCHES = 1,152 SQ. INCHES REQ'D
 576 SQ. INCHES REQ'D / 72 SQ. INCHES = 8 - 32\"/>

NOTE:

AT LEAST 40% BUT NOT MORE THAN 50% OF REQUIRED ATTIC VENTILATION SHALL BE PROVIDED BY VENTS LOCATED NOT MORE THAN 3' BELOW THE RIDGE AND THE REMAINING VENTS LOCATED AT THE EAVE OR CORNICE PER C.I.C.

FOUNDATION VENTILATION:

8\"/>

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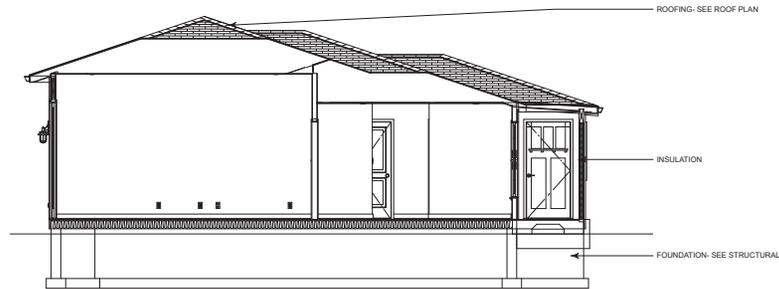
ROOF PLAN

Project No: **1940**

Sheet No: **A-7**

- GENERAL NOTES:
1. ALL SHEARWALLS TO BE FRAMED TO BOTTOM OF ROOF SHEATHING - TYP.
 2. FIRE STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER CBC:
 - 2.a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - 2.b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - 2.c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
 - 2.d. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
 - 2.e. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS.

INSULATION REQUIREMENTS:
 WALL INSULATION: R-21
 FLOOR INSULATION: R-19
 ATTIC INSULATION: R-38
 PROVIDE RADIANT BARRIER AT UNDERSIDE OF ROOF PER TITLE 24



Section A



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LUCOT RESIDENCE
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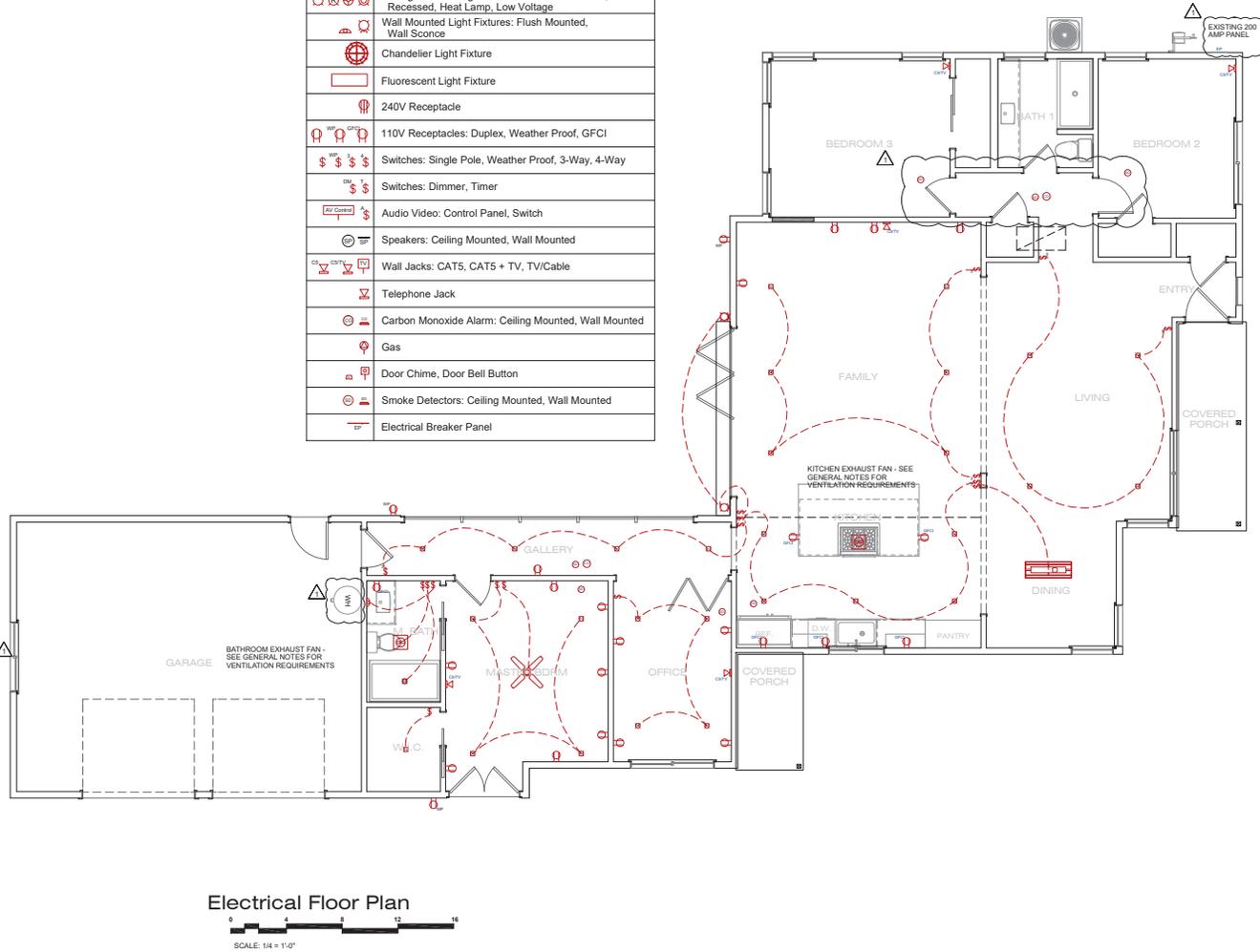
SECTIONS

Project No:
 1940

Sheet No:
 A-8

- ELECTRICAL GENERAL NOTES:**
1. PROVIDE AT LEAST 1(20 AMP BRANCH CIRCUIT FOR BATHROOM & LAUNDRY ROOM OUTLETS WITH NO ADDITIONAL LIGHTS, OUTLETS, FANS, ETC. CONNECTED PER CEC
 2. PROVIDE (2) OR MORE 20-AMP BRANCH CIRCUITS EVENLY PROPORTIONED IN THE KITCHEN AREAS PER CEC 220-4(B) & 210-52(B)
 3. ALL RECEPTACLES AT KITCHEN AND BATHROOM COUNTERTOPS ARE TO BE GFCI PROTECTED
 4. ALL LIGHT FIXTURES TYPES SHALL BE HIGH EFFICACY (E.C. PIN BASED CFL, PLS START W/IN PLS, GU24 SOCKETS)
 5. ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY (E.C. PIN BASED CFL, PLS START W/IN PLS, GU24 SOCKETS)
 6. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE PHASES 15 & 20 AMP OUTLETS (NOT JUST RECEPTACLES IN BEDROOMS) SHALL HAVE AFCI PROTECTION LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT AS PER CEC RECEPTACLES TO BE TAMPER RESISTANT SHALL BE SPECIFIED IN 210-52.2 406.32
 7. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE PHASES 15 & 20 AMP OUTLETS (NOT JUST RECEPTACLES IN BEDROOMS) SHALL HAVE AFCI PROTECTION LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT AS PER CEC RECEPTACLES TO BE TAMPER RESISTANT SHALL BE SPECIFIED IN 210-52.2 406.32
 8. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT SINGLE PHASES 15 & 20 AMP OUTLETS (NOT JUST RECEPTACLES IN BEDROOMS) SHALL HAVE AFCI PROTECTION LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT AS PER CEC RECEPTACLES TO BE TAMPER RESISTANT SHALL BE SPECIFIED IN 210-52.2 406.32
 9. PROVIDE WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (i.e. DISHWASHER HOT WATER LINE AND THE HOT/COLD WATER LINES FOR THE C/O OTHER WASHERS) 2019 CEC 609.10
 10. ALL MULTIWIRE BRANCH CIRCUITS, (DISHWASHER & GARBAGE DISPOSAL CIRCUITS) WILL DISCONNECT SIMULTANEOUSLY ALL UNGROUNDED CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES. 2019 CEC 210.4
 11. PROVIDE A DEDICATED CIRCUIT FOR THE FURNACE. 2019 CEC 422.12
 12. PROVIDE AN ACCESSIBLE SHUTOFF VALVE INSTALLED IN THE FUEL SUPPLY PIPING OUTSIDE OF EACH APPLIANCE AND AHEAD OF THE UNION CONNECTION THERETO. AN APPLIANCE FUEL CONNECTOR SHALL NOT BE CONCEALED WITHIN OR EXTEND THROUGH A WALL, FLOOR, OR PARTITION AND SHALL NOT EXTEND THROUGH THE APPLIANCE HOUSING OR CASING 2018 CMC 1312.3
 13. BRANCH CIRCUITS FOR LIGHTING & APPLIANCES, INCLUDING MOTOR-OPERATED APPLIANCES, SHALL BE PROVIDED TO SUPPLY THE LOADS CALCULATED IN ACCORDANCE WITH 2018 CEC ARTICLE 220.10 IN ADDITION, BRANCH CIRCUITS SHALL BE PROVIDED FOR SPECIFIC LOADS NOT COVERED BY 220.10 WHERE REQUIRED ELSEWHERE IN THIS CODE & FOR DWELLING UNIT LOADS AS SPECIFIED FOR 2019 CEC ARTICLE 210.11.(C) BRANCH CIRCUITS REQUIRED
 14. THE NUMBER OF BRANCH CIRCUITS SHALL BE DETERMINED FROM THE TOTAL CALCULATED LOAD & THE SIZE OF RATING OF THE CIRCUITS USED. IN ALL INSTALLATIONS, THE NUMBER OF CIRCUITS SHALL BE SUFFICIENT TO SUPPLY THE LOAD SERVED. IN NO CASE SHALL THE LOAD ON ANY CIRCUIT EXCEED THE MAX. SPECIFIED BY 2018 CEC ARTICLE 220.18 NUMBER OF BRANCH CIRCUITS
 15. IN ADDITION TO PRIMARY CONDENSATE DRAINING, WHEN COOLING COILS ARE LOCATED IN AN ATTIC, A SECONDARY OR OVERFLOW SHALL BE PROVIDED. THE REQUIRED OVERFLOW LINE SHALL BE SEPARATE FROM THE PRIMARY AND SHALL TERMINATE WHERE IT IS ABOVE WINDOWS OR DOORS. CMC 310.2
 16. ELECTRICAL SERVICE GROUNDING/BONDING SHALL INCLUDE COLD WATER, CONNECTED ON THE EXTERIOR WITHIN 5 FEET OF ENTRANCE TO BUILDING, AND A CONCRETE ENCASED "UPPER" ELECTRODE. CEC 250.50
 17. PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION - WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM OUTLET FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED) CEC 210.11(C)(3) AND 210.52
 18. TERMINATION OF ALL FLEXIBLE AIR DUCTS (E.G. DRYERS, BAT FANS, DOMESTIC RANGE VENT, ETC.) SHALL BE AT LEAST 3'-0" FROM FINISHINGS INTO THE BUILDING (CMC SEC. 504.3)
 19. ELECTRICAL LIGHTING SHOWN ON DRAWINGS INDICATES ARCHITECTURAL DESIGN INTENT ONLY. ELECTRICAL & MECHANICAL SUBCONTRACTOR TO MEET WITH OWNER FOR FINAL APPROVAL AND/OR REVISIONS.
 20. SEE OWNER FOR LOW VOLTAGE SWITCHING.
 21. VERIFY PHONE & TV JACK LOCATIONS WITH OWNER PRIOR TO INSTALLATION - TYPICAL
 22. ALL ELECTRICAL FIXTURES & APPLIANCES MAKE AND MODEL PER OWNERS SPECIFICATIONS.
 23. RECEPTACLE OUTLET LOCATIONS SHALL COMPLY WITH CEC
 24. MECHANICAL CONTRACTOR TO INSTALL COMPLETE & OPERATING HEAT SYSTEM TO MEET ALL APPLICABLE CODE REQUIREMENTS
 25. MECHANICAL CONTRACTOR SHALL DETERMINE LOCATIONS OF THERMOSTATS & COLD AIR RETURNS.
 26. PROVIDE COMBUSTION AIR FOR FUEL-BURNING EQUIPMENT PER C.M.C.
 27. LIGHTS OVER SHOWER AND TUBS MUST BE LABELED "SUITABLE FOR DAMP LOCATIONS" PER CEC
 28. PROVIDE A/C/SMOKE DETECTORS WITHIN EACH SLEEPING ROOM & CENTRALLY LOCATED IN CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. ALL SMOKE DETECTORS TO BE 110V INTERCONNECTED AND BE WIRED TO THE HOUSE PRIMARY WIRING AND SHALL ALSO HAVE BATTERY BACK-UP (TYPICAL)
 29. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE RESIDENCE PER CEC
 30. ALL HOSE BIBBS SHALL HAVE NON-REMOVABLE TYPE BACK-FLOW PREVENTION DEVICE
 31. PROVIDE SEPARATE 20 AMP CIRCUIT MINIMUM ONE (1) FOR LAUNDRY APPLIANCES PER CEC
 32. PROVIDE SEPARATE 20 AMP CIRCUIT MINIMUM ONE (1) FOR LAUNDRY APPLIANCES PER CEC
 33. PROVIDE D.B.L. SERVICE STRAPPING AT ALL WATER HEATERS
 34. PLUMBING CONTRACTOR SHALL PROVIDE 1/4" P VALVE ON WATER HEATER AND ROUTE DISCHARGE LINE TO EXTERIOR. C.E.C.
 35. IN SHOWERS & TUB/SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES PER CFC
 36. NO UNDER-FLOOR CLEANOUT SHALL BE LOCATED MORE THAN 20 FEET FROM AN ACCESS DOOR, TRAP DOOR, OR CRAWL HOLE PER CFC
 37. PLUMBING DRAIN WASTE AND VENT AND/OR MECHANICAL DUCTING ALONG WITH ELECTRICAL PANNING WIRING SIZING CALCULATIONS MAY BE REQUIRED TO BE PROVIDED IF THE FIELD INSPECTOR REQUESTS THESE ITEMS
 38. ALL RECESSED FIXTURES ARE TO BE INSTALLED MUST BE IC TYPE FIXTURES
 39. ALL VENT TERMINATIONS MUST BE 4" AWAY HORIZONTAL AND VERTICAL FROM ANY DOOR, OPERABLE WINDOW, OR GRAVITY AIR INLET INTO ANY BUILDING. THE BOTTOM OF THE VENT TERMINAL SHALL BE LOCATED AT LEAST 12" ABOVE GRADE. (CMC 802.8.2)
 40. PLUMBING CONTRACTOR WILL PROVIDE A SINGLE LINE DIAGRAM OF THE GAS LINE INDICATING THE DISTANCE FROM THE METER TO EACH GAS-FIRED APPLIANCE. HE SHALL INCLUDE THE SIZE OF THE GAS PIPE TO EACH APPLIANCE GAS PIPE SIZING TO BE PER TABLE 12-8 2018 CFC 1217. DIAGRAM SHALL BE PROVIDED AT TIME OF INSPECTION AND ANY INSTALLATION PRIOR TO PLAN CHECK AND APPROVAL IS AT CONTRACTOR'S RISK.
 41. ALL PERMANENTLY NEWLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICACY, INCLUDING SCREW-BASED WHICH MUST CONTAIN JAM COMPLIANT LAMPS
 42. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM(AREAS) MUST BE CONTROLLED BY A VACANCY SENSOR
 43. NEW OUTDOOR LIGHTING MUST BE HIGH-EFFICACY AND INCLUDE A MANUAL ON/OFF SWITCH AS WELL AS ONE OF THE FOLLOWING: PHOTOCONTROL AND MOTION SENSOR, PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL, OR ENERGY MANAGEMENT CONTROL SYSTEM
 44. EACH BATHROOM CONTAINING A BATHTUB OR SHOWER SHALL BE MECHANICALLY VENTILATED FOR PURPOSES OF HUMIDITY CONTROL
 45. APPROVED CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL, INCLUDING BASEMENTS IN DWELLING UNITS THAT HAVE FUEL-FIRED APPLIANCES OR ATTACHED GARAGES. CARBON MONOXIDE ALARMS SHALL BE HARD WIRED WITH BATTERY BACKUP AND ALARMS SHALL BE INTERCONNECTED
 46. THE VENT TERMINAL OF A DIRECT-VENT APPLIANCE WITH AN INPUT OF 10,000 BTUH OR LESS SHALL BE LOCATED AT LEAST 6" FROM ANY AIR OPENING INTO BUILDING, AND SUCH AN APPLIANCE WITH AN INPUT OVER 10,000 BTUH BUT NOT OVER 50,000 BTUH SHALL HAVE AT LEAST 4" OF VENT TERMINATION CLEARANCE, AND AN APPLIANCE WITH AN INPUT OVER 50,000 BTUH SHALL HAVE AT LEAST 12" OF VENT TERMINATION CLEARANCE. THE BOTTOM OF THE VENT TERMINAL AND THE AIR INTAKE SHALL BE LOCATED AT LEAST 12" ABOVE GRADE. (CMC 802.8.3)
 47. THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, SHOWER AND WHIRLPOOL BATHTUB FILLS SHALL BE LIMITED TO 110 DEGREES FAHRENHEIT. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR LIMITING THIS DISCHARGE. (CEC 404.3)
 48. EXHAUST FAN VENT TO OUTDOORS (CEC SECTION 1506) PROVIDE MINIMUM 100 CFM INTERMITTENT AIR FLOW FOR KITCHEN RANGE HOOD MICROVAVUE HOOD COMBINATION WITH A SOUND RATING OF THREE SONES OR LESS. CEC SECTIONS 150.9(a)(2) & 150.9(a)(3). PROVIDE MINIMUM 50 CFM INTERMITTENT AIR FLOW FOR BATHROOM EXHAUST FAN OR PROVIDE MINIMUM 20 CFM FOR THE CONTINUOUSLY OPERATING BATHROOM FAN. CEC SECTION 1506 AND ASHRAE 62.2-2016 TABLE 5.1 & TABLE 5.2
 49. A HERS RATER MUST VERIFY THAT INSTALLED RANGE HOOD IS LISTED IN THE HVJ CERTIFIED VENTILATING PRODUCTS DIRECTORY AND HAVE BEEN HVJ-CERTIFIED AS MEETING ASHRAE 62.2 VENTILATION AND SOUND REQUIREMENTS. PROVIDE EVIDENCE OF HERS VERIFICATION TO CITY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.
 50. WHERE COMBUSTION APPLIANCES OR SOLID FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTER-LOCKED WITH THE LARGEST EXHAUST FAN) ASHRAE 62.2 SECTION 6.4
 51. PROVIDE MINIMUM 50 CFM INTERMITTENT AIRFLOW FOR THE BATHROOM EXHAUST FAN OR PROVIDE MINIMUM 20 CFM FOR THE CONTINUOUSLY OPERATING BATHROOM FAN. CEC SECTION 1506 AND ASHRAE 62.2-2016 TABLE 5.1 AND TABLE 5.2
 52. NEW OUTDOOR LIGHTING MUST BE HIGH-EFFICACY AND INCLUDE A MANUAL ON/OFF SWITCH AS WELL AS ONE OF THE FOLLOWING IN ACCORDANCE WITH CEC 150.0(K)(5) PHOTOCONTROL AND MOTION SENSOR, PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL, OR ENERGY MANAGEMENT CONTROL SYSTEM
 53. ALL PERMANENTLY NEWLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICACY INCLUDING SCREW-BASED WHICH MUST CONTAIN JAM COMPLIANT LAMPS. JAM COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAM-2019 OR JAM 2018". ALL JAM COMPLIANT LIGHT SOURCES ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPTION CLOSETS LESS THAN 70 SF AND HALLWAYS) CEC 150.0(K)(2) IN THE FOLLOWING LOCATIONS: RECESSED DOWNLIGHT LED WITH INTEGRAL SOURCES, PIN BASED LED LAMPS & GU24 BASED LED LIGHT SOURCES.
 54. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM(AREAS) MUST BE CONTROLLED BY A VACANCY SENSOR (MANUAL ON/OFF OPERATION) CEC 150.0(K)(2)
 55. THE COMPLETED OPERATIONS FOR MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION
 56. LIGHT SOURCES (RECESSED TO DIMMERS, CABINETS, AND LINEN CLOSETS) MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR. CEC 150.0(K)(1)

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Carbon Monoxide Alarm: Ceiling Mounted, Wall Mounted
	Gas
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



Electrical Floor Plan



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**LUCOT RESIDENCE
REMODEL/ADDITION
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Date: 10/15/19
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ELECTRICAL FLOOR PLAN

Project No: 1940
Sheet No: E-1
10 of 11



FRESH CONCRETE AND MORTAR APPLICATION

BEST MANAGEMENT PRACTICES FOR:

- Masons and bricklayers
- Sidewalk construction crews
- Patio construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.

GENERAL BUSINESS PRACTICES

- Both at a yard and the construction site, always store both dry and wet materials under cover, protected from rainfall and runoff. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from gutters, storm drains, rainfall, and runoff.
- Wash out concrete mixers only in designated wash-out area in your yard, where the water will flow into containment ponds or onto dirt. Whenever possible, recycle washout by pumping back into mixers for reuse. Never dispose of washout into the street, storm drains, drainage ditches, or streams.

- Place hay bales or other erosion controls down slope to capture runoff carrying mortar or cement before it reaches the storm drain.
- When breaking up paving, be sure to pick up all the pieces and dispose properly.
- Recycle large chunks of broken concrete at a landfill.
- Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never bury waste material.

STORM DRAIN POLLUTION FROM MASONRY AND PAVING

Fresh concrete and cement-related mortars that wash into lakes, streams, or estuaries are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks causes serious problems and is prohibited by law.

DURING CONSTRUCTION

- Don't mix up more fresh concrete or cement than you will use in a day.
- Set up and operate small mixers on tarps or heavy plastic-drip cloths.

LANDSCAPING, GARDENING, AND POOL MAINTENANCE

BEST MANAGEMENT PRACTICES FOR THE:

- Landscapers
- Gardeners
- Swimming pool/pa service and repair workers
- General contractors
- Home builders
- Developers

GENERAL BUSINESS PRACTICES

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects for dry weather.
- Use temporary creek dams or ditches to divert runoff away from storm drains.
- Protect storm drains with hay bales or other erosion controls.
- Revegetation is an excellent form of erosion control for any site.

POOL/FOUNTAIN/SPA MAINTENANCE

BEST MANAGEMENT PRACTICES FOR THE:

- Never dispose poolspa spa water to a street or storm drain.
- OR
- When emptying a pool or spa, let chlorine dissipate for a few days, and then recycle spa water by draining it gradually onto a landscaped area.

GENERAL BUSINESS PRACTICES

- Contact the local sewage treatment authority. You may be able to discharge to the sanitary sewer by running a line to a utility sink or sewer pipe cleanout junction.
- Do not use copper-based algaecides unless absolutely necessary. Control algae with chlorine or other alternatives to copper-based pool chemicals. Copper is a powerful herbicide. Sewage treatment technology cannot remove all of the metals that enter a treatment plant.

LANDSCAPING/GARDEN MAINTENANCE

BEST MANAGEMENT PRACTICES FOR THE:

- Use up pesticides. Rinse containers, and use rinse water as potting. Dispose of rinsed containers in the trash.
- Dispose of unused pesticide as hazardous waste.
- Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
- In communities with curbside yard waste recycling, leave clippings and pruning waste for pickup in approved bags or containers. Or, take to a landfill that composts yard waste.
- Do not place yard waste in gutters.
- Do not blow or rake leaves, etc. into the street.

GENERAL BUSINESS PRACTICES

- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.

STORM DRAIN POLLUTION FROM LANDSCAPING AND SWIMMING POOL MAINTENANCE

Many landscaping activities decompose soils and increase the likelihood that earth and garden chemicals will runoff into the storm drain during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

HEAVY EQUIPMENT OPERATION

BEST MANAGEMENT PRACTICES FOR THE:

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

SITE PLANNING AND PREVENTIVE VEHICLE MAINTENANCE

- Designate one area of the construction site, well away from streams or storm drain inlets, for auto and equipment parking, refueling, and routine vehicle and equipment maintenance.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks.
- Perform major maintenance, repair jobs, vehicle and equipment washing off site.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drip cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and recycle whenever possible.
- Do not use diesel oil to lubricate equipment or parts.
- Clean up spills immediately when they happen.

STORM DRAIN POLLUTION FROM HEAVY EQUIPMENT ON THE CONSTRUCTION SITE

Poorly maintained vehicles and heavy equipment leaking oil, antifreeze or other fluids on the site are common sources of storm water pollution. Prevent spills and leaks by installing equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

PAINTING AND APPLICATION OF SOLVENTS AND ADHESIVES

BEST MANAGEMENT PRACTICES FOR THE: PAINTING CLEANUP

- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

GENERAL BUSINESS PRACTICES

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water based paints, paint out brushes to the extent possible, and reuse to the sanitary sewer.
- For oil based paints, paint out brushes to the extent possible, filter and reuse thinner and solvents. Dispose of excess liquids and residue as hazardous waste.
- For oil based paints, paint out brushes to the extent possible, filter and reuse thinner and solvents. Dispose of excess liquids and residue as hazardous waste.

WHAT CAN YOU DO?

- Recycle/reuse leftover paints wherever possible.
- Recycle excess water-based paint, or use up. Dispose of excess liquid, including sludges, as hazardous waste.
- Reuse leftover oil-based paint. Dispose of excess liquid, including sludges, as hazardous waste.

PAINT REMOVAL

- Chemical paint stripping results in hazardous waste.
- Chips and dust from marine paints or paints containing lead or other toxic materials. Dry sweep and dispose of properly.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up and disposed as trash.
- When stripping or cleaning building exteriors with high pressure water, block storm drains. Wash water into a dirt area and spade into soil. Or, check with the local wastewater treatment authority to find out if you can collect (pump or vacuum) building cleaning water and dispose to the sanitary sewer.

STORM DRAIN POLLUTION FROM PAINTS, SOLVENTS, AND ADHESIVES

All paints, solvents, and adhesives contain chemicals that are harmful to the wildlife in our creeks and Bay. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. It is especially important not to clean brushes in an area where paint residue can flow to a gutter, street, or storm drain.

Blueprint for a Clean Bay

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY.

SANTA CLARA VALLEY NONPOINT SOURCE POLLUTION CONTROL PROGRAM

EARTH MOVING ACTIVITIES

BEST MANAGEMENT PRACTICES FOR THE:

- Bulldozers, backhoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

DURING CONSTRUCTION

- Remove existing vegetation only when absolutely necessary.
- Consider planting temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- Protect downslope drainage courses, streams, and storm drains with hay bales or temporary drainage swales.
- Use check dams or ditches to divert runoff around construction.
- Cover stockpiles and excavated soil with secured tarps or plastic sheeting.

GENERAL BUSINESS PRACTICES

- Schedule excavation and grading work for dry weather.
- Perform major equipment repairs away from the job site.
- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
- Do not use diesel oil to lubricate equipment or parts.

DETECTING CONTAMINATED SOIL OR GROUNDWATER

As you know, contaminated groundwater is a common problem in the Santa Clara Valley. It is essential that all contractors and subcontractors involved in excavation and grading know what to look for in detecting contaminated soil or groundwater, and test potential groundwater before pumping. See Blueprint for a Clean Bay, a construction best management practices guide available from the Santa Clara Valley Nonpoint Source Pollution Control Program, for details.

WATCH FOR ANY OF THESE CONDITIONS:

- Unusual soil conditions
- Abandoned underground tanks
- Abandoned wells
- Buried barrels, debris, or trash

STORM DRAIN POLLUTION FROM EARTH-MOVING ACTIVITIES

Soil excavation and grading operations loosen large amounts of soil that can flow or blow into storm drains if handled improperly. Soil erodes due to a combination of decreased soil stability, increased runoff, and increased flow velocity. Some of the most effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or vegetated ground surfaces.

ROADWORK AND PAVING

BEST MANAGEMENT PRACTICES FOR THE:

- Road Crews
- Driveaway/dockwalk/parking lot construction crews
- Road crew supervisors
- Operation of grading equipment
- Paving machines
- Concrete mixers
- Construction inspectors
- General contractors
- Developers

WHAT CAN YOU DO?

- Develop and implement erosion/sediment control plans for earthworks.
- Schedule excavation and grading work for dry weather.
- Check for and repair failing equipment.
- Perform major equipment repairs in designated areas at your yard, away from the construction site.

GENERAL BUSINESS PRACTICES

- When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment or parts.
- Recycle used oil, concrete, broken asphalt, etc. wherever possible.

DIRING CONSTRUCTION

- Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- Cover and seal catch basins and manholes when applying seal coat, slurry seal, fog seal, etc.
- Use check dams, ditches, or berms to divert runoff around excavations.

ASPHALT/CONCRETE REMOVAL

- Avoid creating excess dust when breaking asphalt or concrete.
- After breaking oil pavement, be sure to remove all chunks and pieces.
- Make sure broken pavement does not come in contact with rainfall or runoff.
- Shovel or vacuum saw-cut slurry and remove from the site. Cover or barricade storm drain during saw-cutting if necessary.
- Never hose down streets to clean up tracked dirt.

STORM DRAIN POLLUTION FROM ROADWORK

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for storm drain contamination by asphalt, saw-cut slurry, excavated material. Extra planning is required to stop

GENERAL CONSTRUCTION AND SITE SUPERVISION

BEST MANAGEMENT PRACTICES FOR THE:

- Construction industry
- WHAT CAN YOU DO?
- Designate one area of the site for auto parking, vehicle refueling, and routine equipment maintenance. The designated area should be well away from streams or storm drain inlets, and bermed if necessary. Make major repairs off site.
 - Cover stockpiles (asphalt, sand, etc.) and other materials with plastic tarps. Protect from rainfall and prevent runoff with temporary roofs or plastic sheets and berms.
 - Catch drips from paver with drip pans or absorbent material (cloth, rags, etc.) placed under machine when not in use.
 - Clean up all spills and leaks using "dry" methods (with absorbent materials and/or rags), or dig up and remove contaminated soil.
 - Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
 - Avoid over application by water trucks for dust control.

WHAT CAN YOU DO?

- Keep materials out of the rain-prone runoff contamination at the source. Cover exposed piles of soil of construction materials with plastic sheeting or temporary roof. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off exposed surfaces. Place trash cans and recycling receptacles around the site to minimize litter.
- Clean up leaks, drips, and other spills immediately so they do not contaminate soil or groundwater or leave residue on paved surface.
- Never hose down "dirty" pavement or surfaces where materials have spilled. Use dry cleanup methods whenever possible. If you must use water, use just enough to keep the dust down.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. Never clean a dumpster by hosing it down on the construction site.
- Make sure portable toilets are in good working order. Check frequently for leaks.

MATERIALS/WASTE/HANDLING

- Practice Source Reduction-minimize waste when you order materials. Order only the amount you intend to finish site job.
- Use recyclable materials whenever possible.
- Dispose of all waste properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. Use the references list of recyclers at the back of Blueprint for a Clean Bay. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

STORM DRAIN POLLUTION FROM CONSTRUCTION ACTIVITIES

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter or street have a direct impact on local creeks and the Bay. As a contractor, site supervisor, owner or operator, you may be responsible for any environmental damage caused by your subcontractors or employees.

BEST MANAGEMENT PRACTICES FOR STORM WATER POLLUTION PREVENTION

BEST MANAGEMENT PRACTICES FOR THE:

- Practice Source Reduction-minimize waste when you order materials. Order only the amount you intend to finish site job.
- Use recyclable materials whenever possible.
- Dispose of all waste properly. Many construction materials and wastes, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation can be recycled. Use the references list of recyclers at the back of Blueprint for a Clean Bay. Materials that cannot be recycled must be taken to an appropriate landfill or disposed of as hazardous waste. Never bury waste materials or leave them in the street or near a creek or stream bed.

THIRTEEN VALLEY SITES HAVE JOINED TOGETHER WITH SANTA CLARA COUNTY AND THE SANTA CLARA VALLEY WATER DISTRICT TO EDUCATE LOCAL RESIDENTS AND BUSINESSES AND FIGHT STORM DRAIN POLLUTION.

NOTE: The property owner and the contractor share ultimate responsibility for the activities that occur on construction site. Owner and contractor may be held responsible for any environmental damage caused by the subcontractors or employees.

- Local Pollution Control Agencies
- 1. Dial 911
- 2. Santa Clara Valley Water District Environmental Compliance Division (650) 927-0716
- 3. Governor's Office of Emergency Services Warning Center (800) 852-7550 (24 hours).
- Local Pollution Control Agencies
- San Jose/Santa Clara Water Pollution Control Plant (408) 945-5500
- Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga
- Santa Clara Valley Water District (408) 927-0710
- Santa Clara Valley Water Pollution Control Plant (408) 945-5500
- Serving Campbell, Cupertino, Los Gatos, Milpitas, Monte Sereno, San Jose, Santa Clara and Saratoga
- Sunnyvale Water Pollution Control Plant (408) 730-7270
- Palo Alto Regional Water Quality Control Plant (415) 329-2598
- Serving East Palo Alto, Los Altos, Los Altos Hills, Mountain View, Palo Alto, and Stanford

ORDINANCE OF THE CITY OF CAMPBELL ESTABLISHING REQUIREMENTS FOR STORM WATER POLLUTION CONTROL

BEST MANAGEMENT PRACTICES FOR THE:

- Criminal Penalties. Any person who violates any provision of this chapter shall be guilty of a misdemeanor and upon conviction thereof shall be punishable by imprisonment for a term not to exceed six (6) months or by a fine not to exceed \$1000 or by both. Each and every violation of this chapter shall constitute a separate offense. Every day such such violation continues shall be an additional offense.
- Civil Penalties. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell in a sum not to exceed \$1000 per day for each day in which the violation occurs. Each and every violation of this chapter shall constitute a separate offense. Every day such such violation continues shall be an additional offense.
- Civil Liability. Any person who violates any provision of this chapter shall be civilly liable to the City of Campbell for all costs, including attorneys fees, associated with the investigation and remediation of environmental conditions caused by the discharge of pollutants into the Municipal Storm Drain System or a Watercourse in violation of this Ordinance.
- Remedies Cumulative. The remedies provided for in this chapter are cumulative and not exclusive and shall be in addition to any and all other remedies available to the City of Campbell under State and Federal Law.

WARREN DESIGN
501 E. CAMPBELL AVE., CAMPBELL, CA 95008 P: 650-489-9700

LUCOT RESIDENCE
REMODEL/ADDITION
1018 LUCOT WAY
CAMPBELL CALIFORNIA

Date: 10/15/19
Drawn By: AGJ

Revisions:

- 4/16/2020 PLAN CHECK

BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY

Project No: 1940
Sheet No: BM-1