



CITY OF CAMPBELL
Community Development Department

March 13, 2020

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **March 24, 2020**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Gordon Wong for an Administrative Planned Development Permit (PLN2019-234) to allow for the establishment of a small fitness studio and a Parking Modification Permit to allow a reduction in the number of required parking spaces at **85 Gilman Avenue** in the P-D (Planned Development) Zoning District. Staff is recommending that this item be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

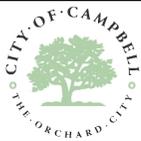
Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

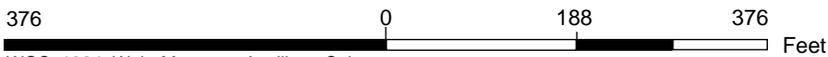
In compliance with the Americans with Disabilities Act, the City of Campbell will generally, upon request, provide appropriate aids and services leading to effective communication for qualified persons with disabilities so they can participate equally in the public hearings, including qualified sign language interpreters, listening assistive devices, and other ways of making information and communications accessible to people who have speech, hearing, or vision impairments. Anyone who requires auxiliary aid or service for effective communication should contact the City Clerk's Office at 70 N. First Street, Campbell, CA 95008, (408) 866-2117 or ClerksOffice@campbellca.gov at least on week prior to the meeting. Hearing impaired or TTY/TDD text telephones users may contact the City by dialing 711 for California Relay Service (CRS) or by telephoning any other service providers' CRS telephone number.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **85 Gilman Avenue**



Location Map - 85 Gilman Ave



WGS_1984_Web_Mercator_Auxiliary_Sphere
Campbell IT, GIS Services

Scale 1:2,257

This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

SCOPE OF WORK

- TENANT IMPROVEMENT
 - PRIVATE FITNESS GYM/SMALL STUDIO & OFFICE ON THE FIRST FLOOR (INTERIOR ONLY) / (M.E.P.)
 - STORAGE ON THE SECOND FLOOR
 - PARKING RESTRIPPING / PARKING MODIFICATION PERMIT
 - ADA COMPLIANCE UPGRADE
 - ADA PARKING/TRUNCATED DOMES
 - ADA COUNTER
 - ADA BATHROOMS & SHOWER SIGNAGE (BATHROOM & EXIT)
 - ROOF INSULATION
 - STAIRCASE DEMOLITION

PROJECT INFORMATION

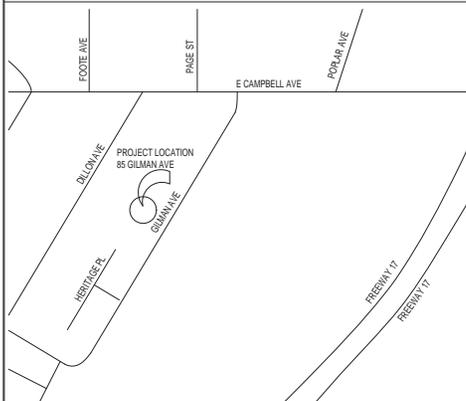
PROJECT LOCATION: 85 GILMAN AVE. CAMPBELL, CA 95008
 APN: 412-09-035
 ZONING: P-D (PLANNED DEVELOPMENT)
 GENERAL PLAN: MIXED USE DESIGNATION
 COMMERCIAL/HIGH-MEDIUM DENSITY RESIDENTIAL
 (14-27 UNITS/GR. ACRE)
 LOT SIZE: 0.19 AC (8268.26 SF)
 MAX. F.A.R.: 0.20
 BUILDING LOT COVERAGE: 0.48 (3960 SF)
 LANDSCAPE COVERAGE: 168 SF
 PAVING COVERAGE: 4037 SF
 IMPERVIOUS COVERAGE: 8057 SF
 PERVIOUS COVERAGE: 212 SF
 REQUIRED SETBACKS: N/A

(E) BUILDING FLOOR AREA:
 1ST FLOOR 3000 SF
 2ND FLOOR 600 SF
 TOTAL 4500 SF

(P) BUILDING FLOOR AREA:
 1ST FLOOR 3900 SF
 TOTAL 3900 SF

BUILDING HEIGHT: 22 FT
 (E) USE: INDUSTRIAL
 (P) USE: STUDIO, SMALL (UP TO 12 PARTICIPANTS)
 (P) TENANT'S MAX. OCCUPANCY: 8 ATTENDANTS + 1 TRAINER
 (P) TOTAL PARKING SPACE: 9 (1 ADA PARKING SPACE)
 OCCUPANCY: B
 CONSTRUCTION TYPE: IIB
 FIRE SPRINKLER: NO

VICINITY MAP



SHEET INDEX

Sheet List	
Sheet Number	Sheet Name
A000	Cover Sheet, Site Plan, Proposed
A001	Architectural Notes, Abbreviation & Site Plan, Existing
A002	Adjacent Site Plan
A003	ADA Parking Analysis
A004	Fence & Landscape Plan
A005	Fire Access Analysis
A100	Egress & Occupancy Analysis
A200	Floor Plans, Existing
A201	Floor Plans, Proposed
A300	Elevations
A400	Interior Elevations
A500	Schedule & Finishes
A501	Architectural Signage
A600	Reflected Ceiling Plan

PUBLIC WORKS & SITE PLAN NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND ENSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF LOS ALTOS HILLS.
- OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS
- PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
- ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE CBC. BEFORE THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE.
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID.
- PER CGSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- PER CGSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME OR SIZE, THE REQUIREMENTS OF CALGREEN CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

APPLICABLE CODE

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CITY OF CAMPBELL MUNICIPAL CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS

PROJECT DIRECTORY

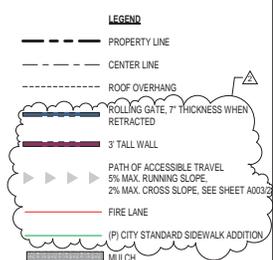
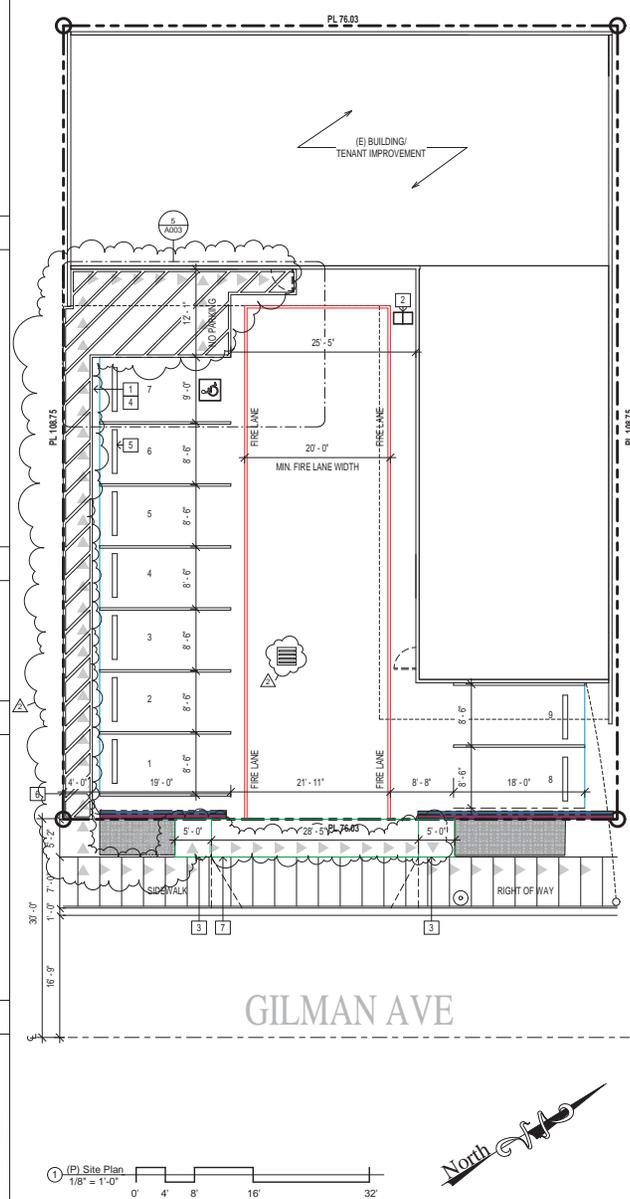
OWNER: ETCHED MEDIA CORPORATION
 85 GILMAN AVE. CAMPBELL, CA 95008
 (408)874-6821, (408)813-7214

ARCHITECT: GKW ARCHITECTS, INC.
 GORDON K. WONG, AIA, LEED GA, CSLB
 710 MCCLINCY LANE SUITE 109, CAMPBELL, CA 95008
 (408)315-2121
 GORDONKWONG@GKWARCHITECTS.COM

ELECTRICAL ENGINEER: MR ENGINEERING
 RAHUL BATHANDLA, P.E.
 39210 STATE STREET SUITE 106, FREMONT CA 94538
 P/F (510)509-2362
 WWW.MRENGCON.COM

GENERAL CONTRACTOR: ROBERTO FLAMENCO
 4375 HAMILTON AVE, SAN JOSE, CA 95130
 (831)566-9040
 ROBEFLAMENCO@YAHOO.COM

3D VIEW



- (P) KEYNOTES**
- ADA PARKING SIGNAGE, SEE SHEET A003/4.
 - BIKE RACK, SEE SHEET A003/8.
 - (P) CITY STANDARD SIDEWALK ADDITION, SEE SHEET A003/2.
 - UNAUTHORIZED SIGN, SEE SHEET A003/6.
 - WHEEL STOPS
 - (P) PART OF 3 TALL WALL TO BE DEMOLISHED
 - (E) ASPHALT TO BE REPLACED WITH CITY STANDARD SIDEWALK, SEE SHEET A003/2.

PARKING ANALYSIS
 PER 21.28.040, 1 PARKING SPACE IS REQUIRED PER 250 SF GROSS BUILDING AREA.
 3900 SQ. FT. / 250 = 15.6 (1ST FLOOR)
 PARKING PROVIDED 16
 PARKING PROPOSED 9
 SEE PARKING A003-FINDING/CON A003/4
 APPLICATION FOR CHANGE OF LAND USE PERMIT

ACCESSIBLE PARKING SPACES

TOTAL # OF PARKING SPACES PROVIDED	MIN. # OF ACCESSIBLE SPACES REQUIRED
1 - 25	1
26 - 50	2
51 - 75	3
76 - 100	4

- NOTES**
- THE TENANT SPACE IS FULLY COMPLIANT WITH CURRENT CALIFORNIA ACCESSIBILITY REQUIREMENTS.
 - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND DESIGNS ON SITE.
 - ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND STANDARD DETAIL AND SPECIFICATION S13.
 - CONTRACTOR TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO ANY WORK IN CITY OF CAMPBELL RIGHT-OF-WAY.
 - CROSS SLOPE FOR THE SIDEWALK SHOULD BE 2% OR LESS.
 - DOWEL THE NEW SIDEWALK TO THE EXISTING SIDEWALK AND DRIVEWAY.

HOURS OF OPERATIONS
 MONDAY-FRIDAY 6 AM - 10 AM & 4:30 PM - 7:30 PM
 SATURDAY 8 AM - 10 AM
 SUNDAY CLOSED

CLASS TIME INTERVALS:
 TYPICAL CLASS LENGTH 45 MINUTES - 1 HOUR
 SPECIALTY CLASSES 120 MINUTES
 CLASS INTERVALS 15 MINUTES - 30 MINUTES



GORDON K. WONG, ARCHITECT, LIC# 44444
 1000 GILMAN AVE SUITE 109
 CAMPBELL, CA 95008
 (408) 874-6821
 GORDONKWONGARCHITECTS.COM



85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

Project Schedule Revision
 Rev # Date Description
 1 08/14/18 Planning &
 2 08/14/18 Public Work
 3 08/20/18 Planning &
 4 08/20/18 Public Work

Cover Sheet, Site Plan, Proposed

A000
 SCALE 1/8" = 1'-0"
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ABBREVIATIONS

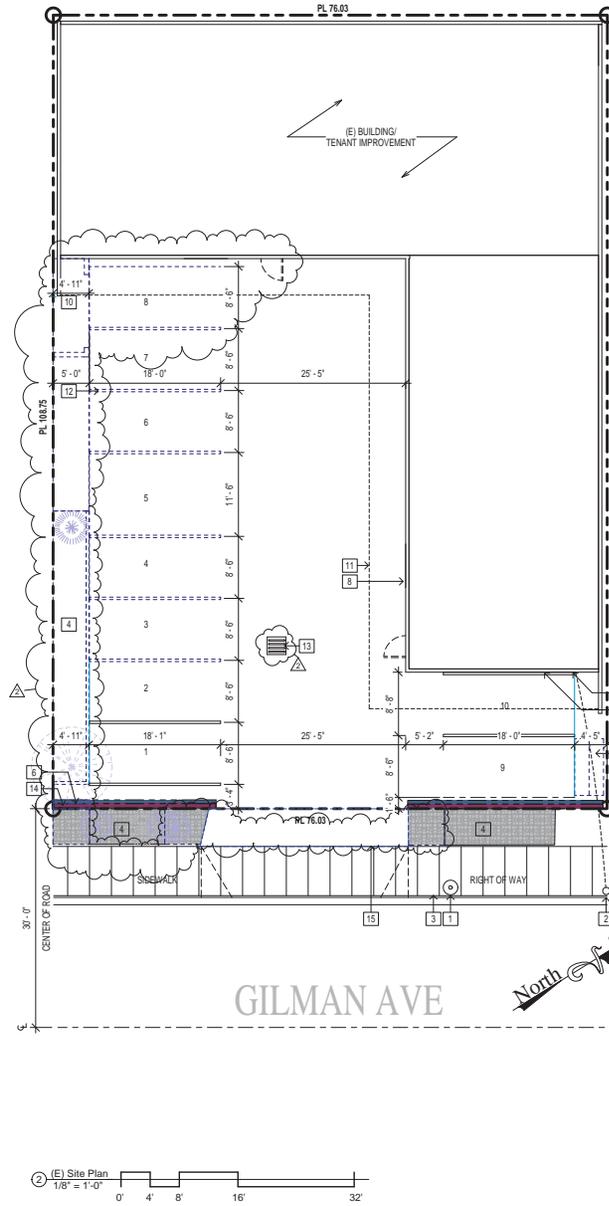
A		G		N		S	
ABV	ABOVE	CALV	GALVANIZED	(N)	NEW	SCD	SEE CIVIL DRAWINGS
AC	ASPHALT CONCRETE	GC	GENERAL CONTRACTOR	N	NORTH	SCHD	SCHEDULE
AD	AREA DRAIN	GL	GLASS	NIC	NOT IN CONTRACT	SD	STORM DRAIN
ADDL	ADDITION	GND	GROUND	NOM	NOMINAL	SECT	SECTION
AFF	ABOVE FINISH FLOOR	GWB	GYSUM WALL BOARD	NP	NO PARKING	SEE	SEE ELECTRICAL DRAWINGS
ASPH	ASPHALT	GYP	GYSUM	NR	NON-RATED	SF	SQUARE FOOT OR FEET
B		H		NTS	NOT TO SCALE	SHR	SHOWER
BLDG	BUILDING	HDBD	HARDBOARD	O		SHT	SHEET
BM	BEAM	HDR	HEADER	OA	OVERALL	SHTG	SHEATHING
BUR	BUILT-UP ROOF	HDRW	HARDWARE	OC	ON CENTER	SJ	SEISMIC JOINT
BR	BEDROOM	HDWD	HARDWOOD	OD	OUTSIDE DIAMETER/ DIMENSION	SL	SEALANT
BW	BOTTOM OF WALL	HTR	HEATER	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	SMD	SEE LANDSCAPE DRAWINGS
C		I		OFDI	OWNER FURNISHED OWNER INSTALL	SMT	SEE MECHANICAL DRAWINGS
CAB	CABINET	IN	INCH	P		SOF	SOFIT
CB	CATCH BASIN	INCD	INCANDESCENT	PEN	PENETRATION	SOG	SLAB ON GRADE
CEM	CEMENT	INSUL	INSULATION	PERF	PERFORATED	SPD	SEE PLUMBING DRAWINGS
CF	CUBIC FEET	INT	INTERIOR	PL	PLATE	SPECS	SPECIFICATION
CJ	CONTROL JOINT	INV	INVERT	PL	PROPERTY LINE	SQ	SQUARE
CL	CLOSET	J	JOIST	PLAS	PLASTER	SS	SANITARY SEWER
CTL	CENTERLINE	JT	JOINT	PLBG	PLUMBING	SSD	SEE STRUCTURAL DRAWINGS
CLG	CEILING	JST	JOIST	PLWD	PLYWOOD	STD	STANDARD
CMC	CONCRETE	KT	KITCHEN	PML	PANEL	STL	STEEL
CPT	CARPET	KIP	KICK PLATE	POC	POINT OF CONNECTION	STOR	STORAGE
DR	DRAIN	K		PP	PERMEABLE PAVERS	STRL	STRUCTURAL
E		K		PREFAB	PREFABRICATED	T	
(E)	EXISTING	KIP	KICK PLATE	PSF	POUNDS PER SQUARE FOOT	TC	TOP OF CURB
ELEC	ELECTRICAL	KIT	KITCHEN	PSI	POUNDS PER SQUARE INCH	TOC	TOP OF CONCRETE
EP	ELECTRICAL PANEL	KP	KICK PLATE	PTD	PAINTED	TOP	TOP OF PAVING
EXT	EXTERIOR	L		PTR	PRESSURE TREATED	TOS	TOP OF STEEL
F		LOC	LOCATION	PTRWDD	PRESSURE TREATED WOOD	TRD	TREAD
FDN	FOUNDATION	LT	LIGHT	QTY	QUANTITY	TW	TOP OF WALL
FH	FIRE HYDRANT	M		R	REVEAL OR RISER	UTIL	UTILITIES
FIN	FINISH	MDF	MEDIUM DENSITY FIBERBOARD	RAD	RADIUS	VERT	VERTICAL
FF	FINISH FLOOR	MECH	MECHANICAL	RCP	REINFORCED CONCRETE PIPE	VTR	VENT THROUGH ROOF
FL	FINISH FLOOR	MEMB	MEMBRANE	RD	ROOF DRAIN	W	
FLJLR	FLOOR JOIST	MET	METAL	REF	REFERENCE	W	WEST OR WIDTH
FOC	FACE OF CONCRETE	MISC	MISCELLANEOUS	REFL	REFLECTED	WC	WATER CLOSET
FOF	FACE OF FINISH	MTD	MOUNTED	REFR	REFRIGERATOR	WD	WOOD
FOS	FACE OF STUD	MTL	METAL	RET	RETAINING OR RETARDANT	WIDW	WINDOW
FR	FIRE RATED	REG		REG	REGISTER	WIO	WITHOUT
FS	FLOOR SINK	RO	ROUGH OPENING	RET	RETAINING OR RETARDANT	WP	WORKING POINT
FSL	FIRE SPRINKLER			RO	ROUGH OPENING	WPT	WORKING POINT
FTG	FOOTING					WR	WATER RESISTANT

GRAPHIC SYMBOLS

	CONCRETE PAD		BUILDING SECTION		DATUM REFERENCE
	DETAIL REFERENCE		REVISION		WINDOW TYPE
	INTERIOR ELEVATION		WALL TYPE		KEY NOTE

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND/ OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GUY ARCHITECTS - GORDON WONG, ARCHITECT. THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.



- LEGEND**
- PROPERTY LINE
 - - - CENTER LINE
 - - - ROOF OVERHANG
 - GATE
 - 3 TALL WALL
 - MULCH
- KEYNOTES**
- STREET LIGHT
 - ELECTRICAL POLE
 - CLEAN OUT
 - PLANTING
 - ELECTRICAL PANEL
 - IRRIGATION VALVES TO BE REMOVED
 - INGERSOLL COMPRESSOR TO BE REMOVED
 - MAILBOX
 - POGE METER
 - TRASH ENCLOSURE TO BE REMOVED
 - ROOF OVERHANG
 - PARKING SPACES TO BE RESTRICTED
 - DRAIN
 - PART OF 3 TALL WALL TO BE DEMOLISHED
 - (E) ASPHALT TO BE REPLACED WITH CITY STANDARD SIDEWALK SEE SHEET A003Z
- GENERAL NOTES**
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS
 - ALL ELEMENTS IN BLACK ARE EXISTING AND TO REMAIN
 - ALL ELEMENTS IN DASHED BLUE ARE EXISTING AND TO BE DEMOLISHED

GORDON WONG, ARCHITECT LIC# 14445
 5001 FERRARI MAINWAY SUITE A
 CAMPBELL, CA 95008 408-351-3135
 GUYARCHITECTS.COM GORDONWONGARCHITECTS.COM

85 Gilman Ave.
CAMPBELL, CA 95008
 Tenant Improvement

Project Schedule Revision	
Rev	Description
1	10/12/2020 Planning & Public Work
2	10/20/2020 CEI Public Work

Architectural Notes
 Abbreviation & Site Plan, Existing

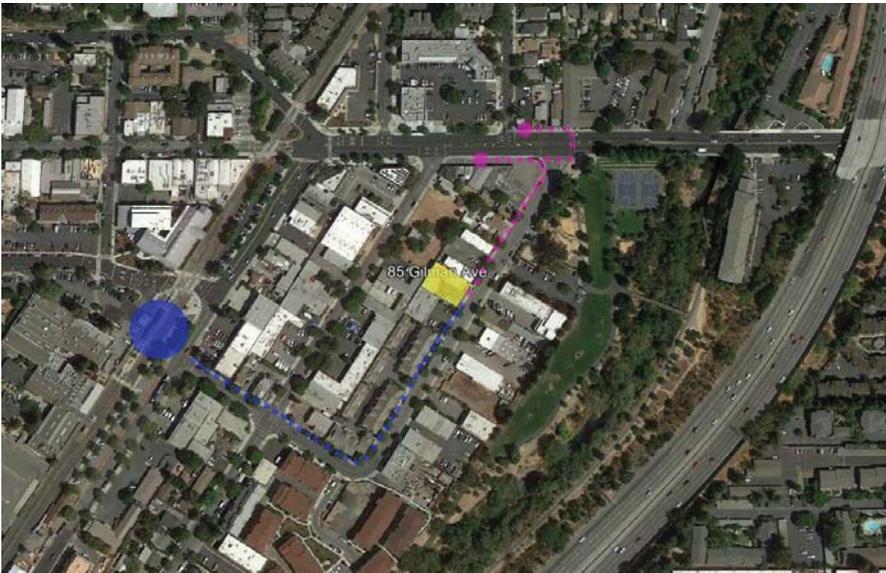
A001

SCALE 1/8" = 1'-0"

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PHOTOS OF SITE, EXISTING

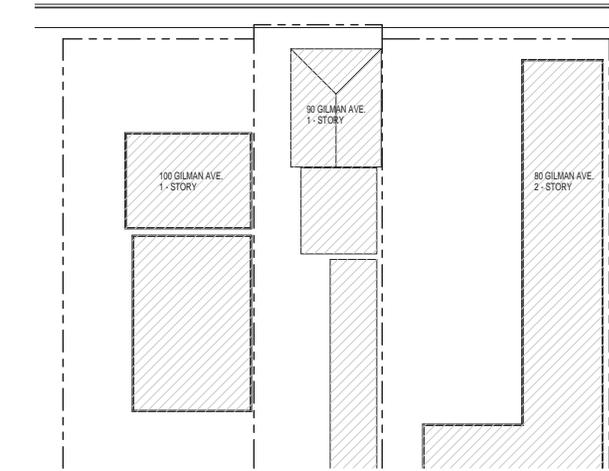
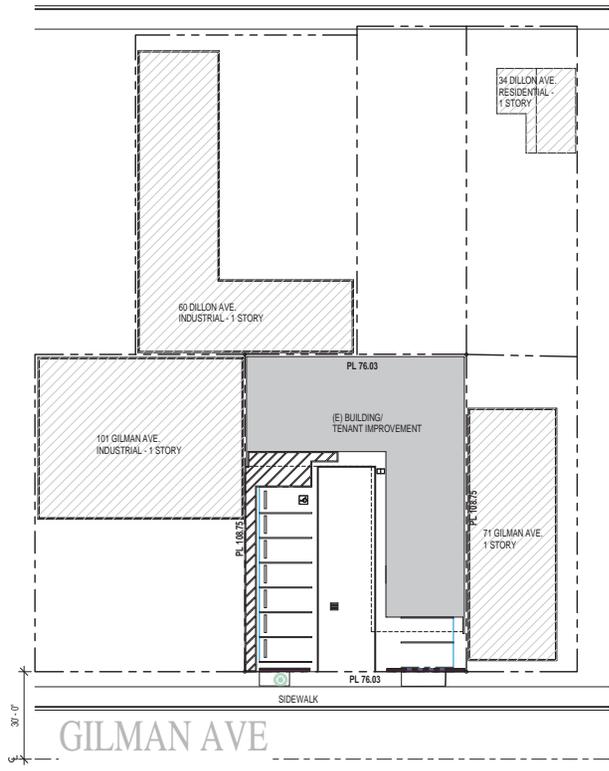


PARKING MODIFICATION ENDINGS

FROM DOWNTOWN CAMPBELL LRT STATION 6 MIN WALKING, 0.3 MILES (1,584 FEET)
 FROM CAMPBELL & GILMAN BUS STOPS 2 MIN WALKING, 0.1 MILES (528 FEET)
 PROVIDED BIKE RACKS 1 (6 BICYCLE PARKING)
 MAX # OF PARTICIPANTS 8 ATHLETES + 1 TRAINER
 # OF (P) PARKING 9 (1 ADA PARKING INCLUDED)

LEGEND

- BUS STOP
- LIGHT RAIL STATION
- PROJECT LOCATION



- LEGEND**
- PROPERTY LINE
 - CENTER LINE
 - SCOPE OF WORK, TENANT IMPROVEMENT
 - ADJACENT BLDG, NOT PART OF SCOPE



① Adjacent Site Plan
1" = 20'-0"

Adjacent Site Plan



GORDON K WONG, ARCHITECT, LIC# 18484
 1007 FERRIS AVENUE UNIT A
 CAMPBELL, CA 95008 408 351-3335
 GORDONWONGARCHITECTS.COM



85 Gilman Ave,
 CAMPBELL, CA 95008
 Tenant Improvement

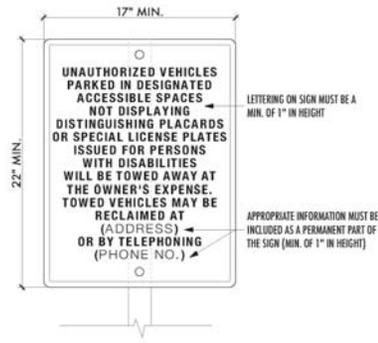
Rev #	Date	Description
1	2019.12.12	Planning & Public Work
2	2020.03.03	Planning & Public Work

Adjacent Site Plan

A002

SCALE 1/8" = 1'-0"

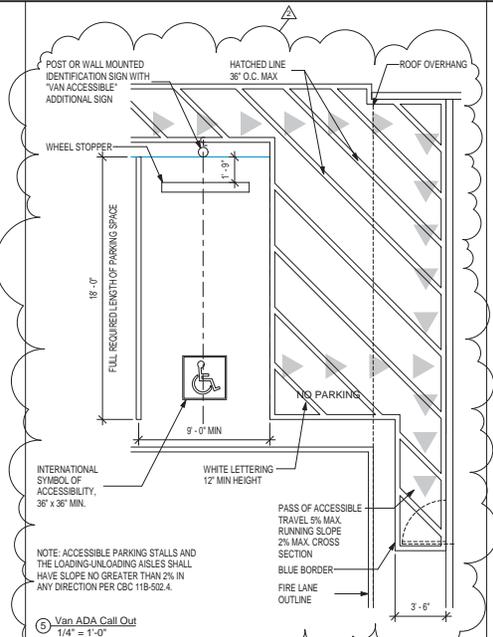
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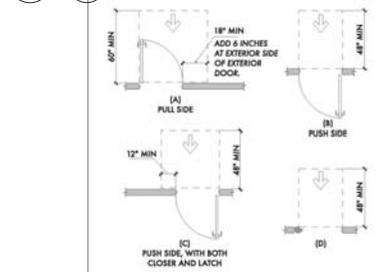
PLACE ADDITIONAL SIGN IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EACH PARKING SPACES.

11B-502.8

6 Additional "Unauthorized" Sign
N/A



7 Van ADA Call Out
1/4" = 1'-0"



7 Door Clearance Front Approach
N/A

U-LOCKIT[®]
Submittal Sheet



8 Bikerack
N/A

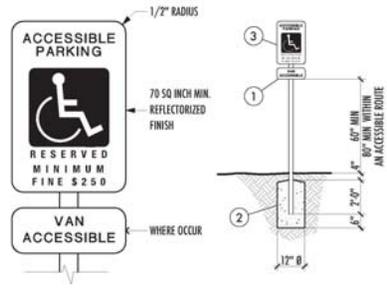


WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE F5 15090 IN FEDERAL STANDARD 595C

NOTE: THE APPROPRIATE ENFORCEMENT AGENCY MAY APPROVE OTHER COLORS PROVIDED THE SYMBOL CONTRAST IS LIGHT ON DARK OR DARK ON WHITE. [EXCEPTION 1]

11B-703.2.1

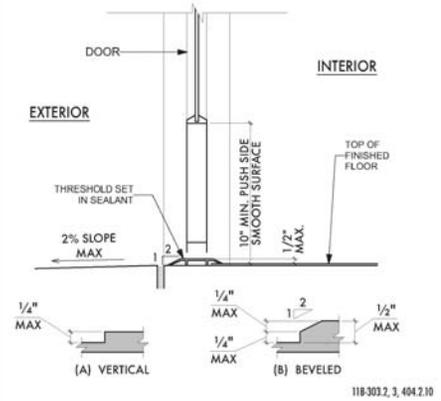
9 International Symbol of Accessibility
N/A



1. ADDITIONAL SIGN ONLY REQUIRED AT VAN ACCESSIBLE SPACES.
2. VERIFY WITH LOCAL CONDITIONS.
3. VERIFY SIZE, COLOR, WORDING, ETC. WITH TRAFFIC ENGINEERING

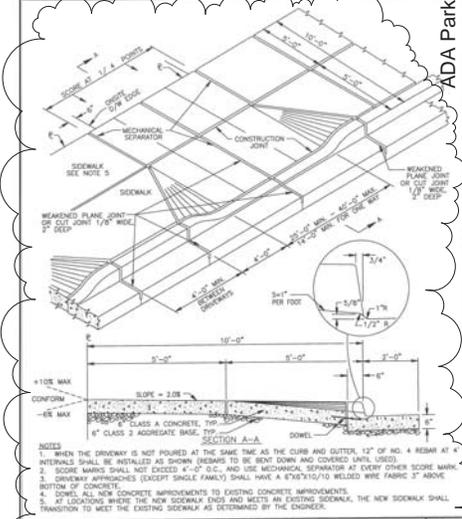
11B-502.6

9 Parking Space Identification Sign
N/A



11B-303.2, 3, 404.2.10

1 Level Change At Door
N/A



REV.	DATE	DESCRIPTION
1	09/11/12	Final
2	02/03/18	Revised

CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT	REV. DATE BY	SCALE: N.T.S.
DRAWN BY: SA	DATE	DETAIL NO. D-18
CHECKED BY:	DATE	
APPROVED BY:	CITY NUMBER	

2 City Standard Sidewalk
N/A



GORDON K WONG, ARCHITECT, LIC# 14445
1000 F STREET, SUITE 100
CAMPBELL, CA 95008 408-351-1335
GORDONWONGARCHITECTS.COM



85 Gilman Ave.
CAMPBELL, CA 95008
Tenant Improvement

Rev.	Date	Description
1	09/11/12	Final
2	02/03/18	Revised

ADA Parking Analysis

A003

SCALE 1/8" = 1'-0"

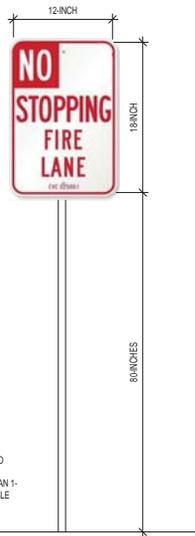
3/6/2020 1:47:23 PM

ADA Parking Analysis



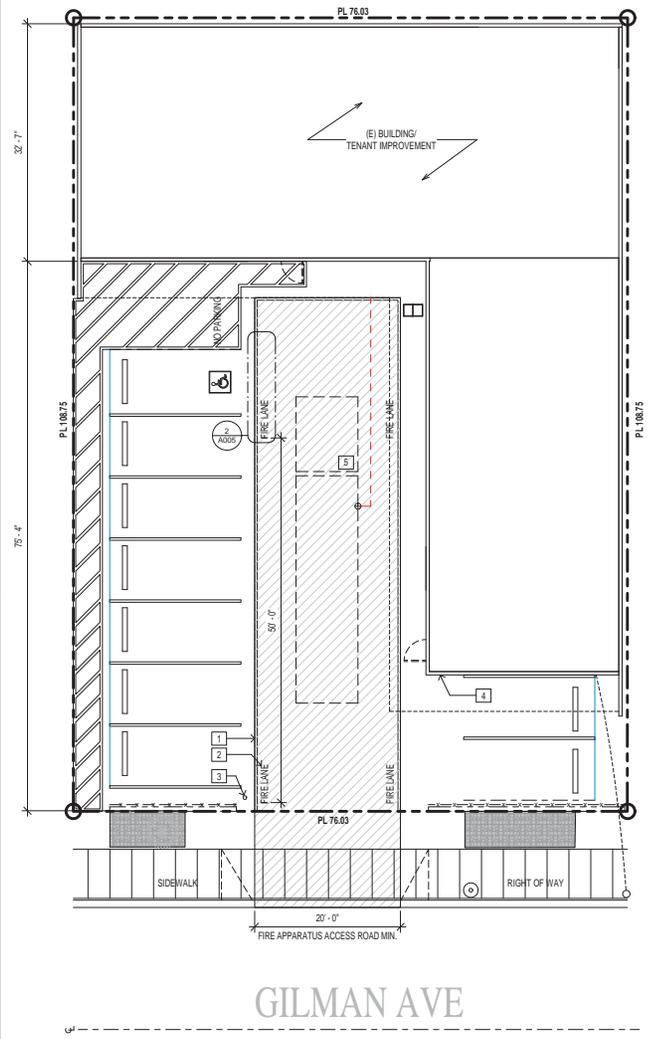
2 Callout of Fire Lane
1/2" = 1'-0"

FIRE DEPARTMENT SANTA CLARA COUNTY
SPEC NO. A.6: FIRE LANE MARKING



FIRE DEPARTMENT SANTA CLARA COUNTY SPEC NO. A.6:
SIGNAGE: 2. SIGNS SHALL READ: "NO STOPPING-FIRE LANE 22500.1 CIV." LETTERING SHALL BE NOT LESS THAN 1-INCH IN HEIGHT AND CLEARLY VISIBLE FROM A VEHICLE.

3 FIRE LANE SIGNAGE
3/4" = 1'-0"



1 Fire Access Analysis
1/8" = 1'-0"

- LEGEND**
- PROPERTY LINE
 - CENTER LINE
 - ROOF OVERHANG
 - x-x-x- ROLLING GATE
 - 3 TALL WALL
 - - - - - FIRE HOSE
 - ▨ FIRE LANE

- KEYNOTES**
- 1 FIRE LANE OUTLINE
 - 2 "FIRE LANE" MARKING
 - 3 SIGNAGE, SEE A005/3
 - 4 ADDRESS NUMBER
 - 5 FIRE TRUCK



GORDON & WONG, ARCHITECTS, INC. 14444
10017 FERRARI, MENLO PARK, CA 94025
CAMPBELL, CA 95008 408.351.3135
CAMPBELL, CA 95008 408.351.3135
GORDONWONGARCHITECTS.COM



Fire Access Analysis

85 Gilman Ave,
CAMPBELL, CA 95008
Tenant Improvement

Rev #	Date	Description
1	2019.12.12	Planning & Public Work
2	2020.03.03	Planning & Public Work

Fire Access Analysis

A005

SCALE 1/8" = 1'-0"

3/6/2020 1:47:30 PM



GORDON K WONG, ARCHITECT, LIC# 44465
 1001 FISHMAN AVENUE, SUITE 100, CAMPBELL, CA 95008
 408.351.3135
 GORDONWONGARCHITECTS.COM



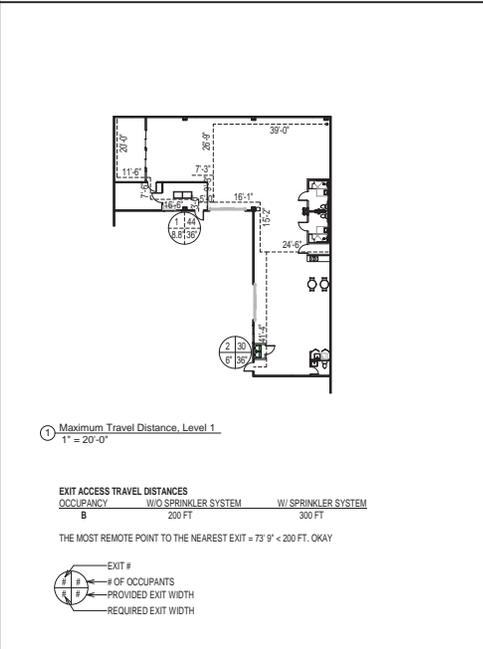
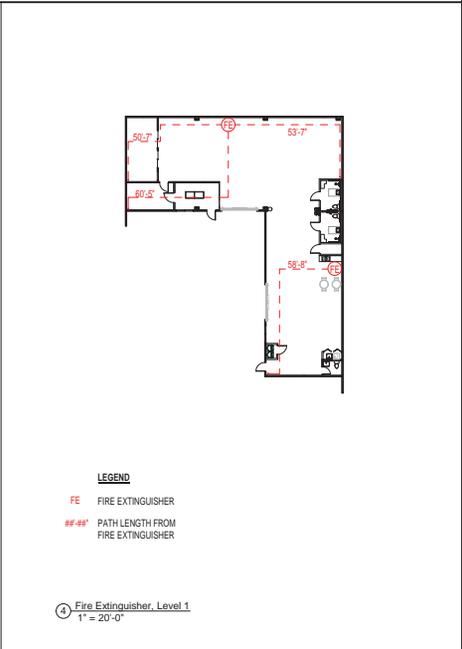
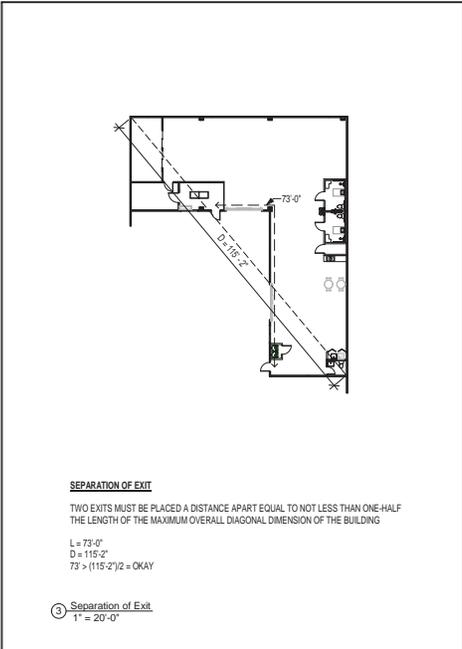
85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

Rev #	Date	Description
1	2019.12.12	Planning & Public Work
2	2020.03.02	Planning & Public Work

Egress & Occupancy Analysis

A100
 SCALE 1/8" = 1'-0"
 3/6/2020 1:47:34 PM

Egress & Occupancy Analysis



PER CBC SECTION 1005.3.2. MEAN OF EGRESS OTHER THAN STAIRWAYS:

EXIT #1
 EXIT WIDTH REQUIRED = OCCUPANTS X 0.2'
 41 X 2' = 8.2'
 EXIT PROVIDED 36" > 8.2' OKAY

EXIT #2
 EXIT WIDTH REQUIRED = OCCUPANTS X 0.2'
 30 X 2' = 6'
 EXIT PROVIDED 36" > 6' OKAY

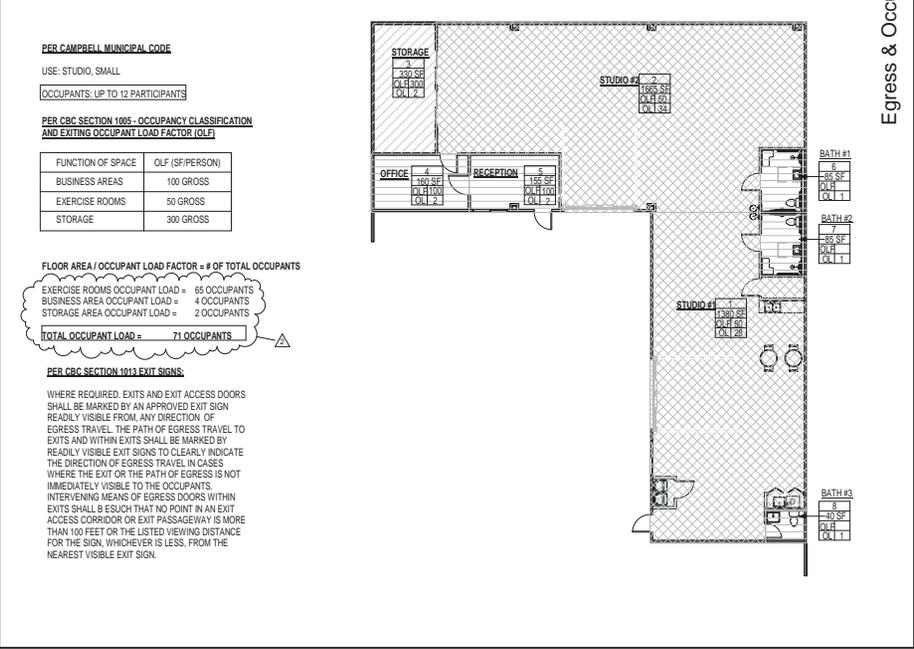
PER CAMPBELL MUNICIPAL CODE
 USE: STUDIO, SMALL
 OCCUPANTS: UP TO 12 PARTICIPANTS

PER CBC SECTION 1005 - OCCUPANCY CLASSIFICATION AND EXITING OCCUPANT LOAD FACTOR (OLF)

FUNCTION OF SPACE	OLF (SP/PERSON)
BUSINESS AREAS	100 GROSS
EXERCISE ROOMS	50 GROSS
STORAGE	300 GROSS

FLOOR AREA / OCCUPANT LOAD FACTOR = # OF TOTAL OCCUPANTS
 EXERCISE ROOMS OCCUPANT LOAD = 65 OCCUPANTS
 BUSINESS AREA OCCUPANT LOAD = 4 OCCUPANTS
 STORAGE AREA OCCUPANT LOAD = 2 OCCUPANTS
TOTAL OCCUPANT LOAD = 71 OCCUPANTS

PER CBC SECTION 1013 EXIT SIGNS:
 WHERE REQUIRED, EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.





GORDON K WONG, ARCHITECT, LIC# 44445
 800 FT FISHMAN, MINNETONKA DRIVE A
 CAMPBELL, CA 95008, 408-351-5135
 CAMPBELL, CA 95008, 408-351-5135
 GORDONWONGARCHITECTS.COM



85 Gilman Ave,
 CAMPBELL, CA 95008
 Tenant Improvement

Rev	Date	Description
1	2019.12.15	Final
2	2020.03.02	Public Work
3	2020.03.02	Public Work

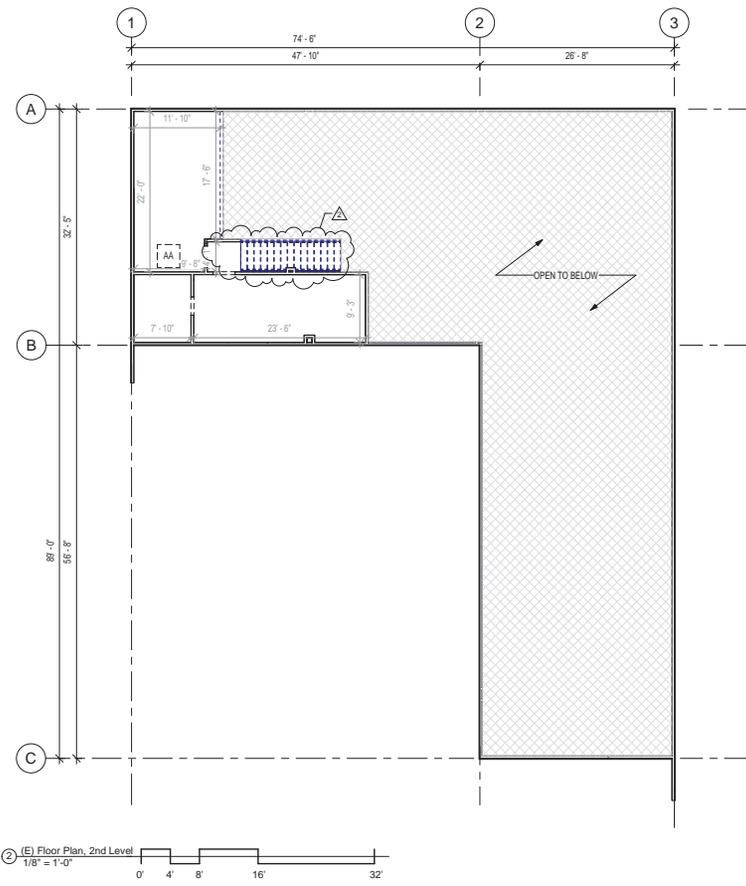
Floor Plans,
 Existing

A200

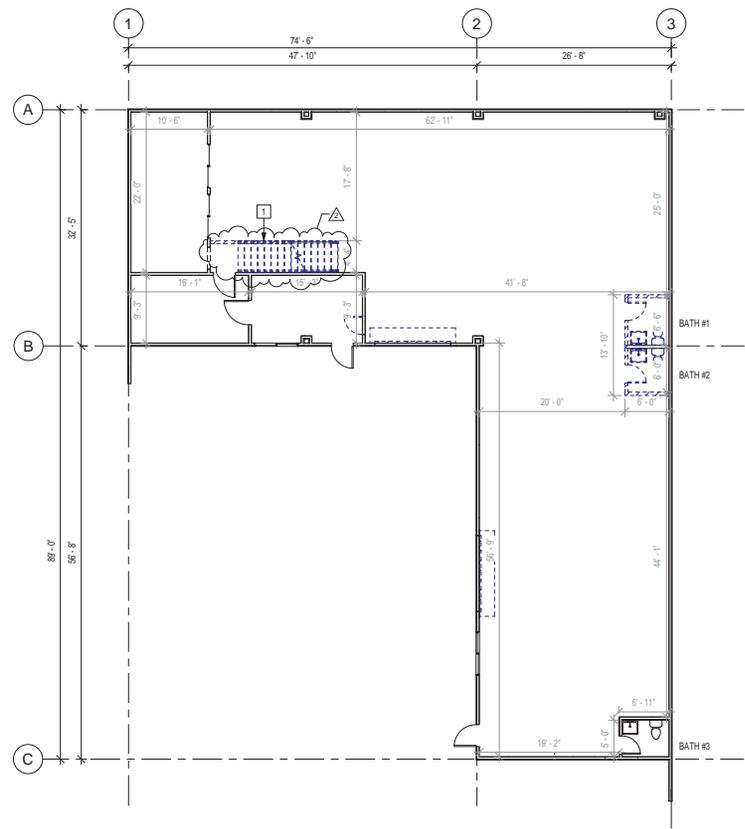
SCALE 1/8" = 1'-0"

3/6/2020 1:47:36 PM

Floor Plans, Existing



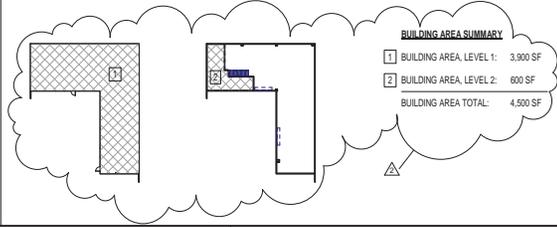
② (E) Floor Plan, 2nd Level
 1/8" = 1'-0"



① (E) Floor Plan, Level 1
 1/8" = 1'-0"

- LEGEND**
- (E) WALL TO BE REMOVED
 - (E) WALL TO REMAIN
 - (E) DOORS TO BE REMOVED
 - (E) DOORS TO BE REMAIN
 - (E) ATTIC ACCESS

- GENERAL NOTES**
1. GENERAL CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS
 2. ALL ELEMENTS IN BLACK ARE EXISTING AND TO REMAIN
 3. ALL ELEMENTS IN DASHED BLUE ARE EXISTING AND TO BE DEMOLISHED
- KEYNOTE**
- 1 STAIRS TO BE DEMOLISHED.



BUILDING AREA SUMMARY

- 1 BUILDING AREA, LEVEL 1: 3,900 SF
- 2 BUILDING AREA, LEVEL 2: 600 SF
- BUILDING AREA TOTAL: 4,500 SF



GORDON K WONG, ARCHITECT, LIC# 41445
 2007 FERRIS AVENUE, SUITE 100
 CAMPBELL, CA 95008 (408) 351-3135
 GORDONWONGARCHITECTS.COM



85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

Rev	Date	Description
1	02/11/20	Final
2	02/11/20	Final
3	02/11/20	Final

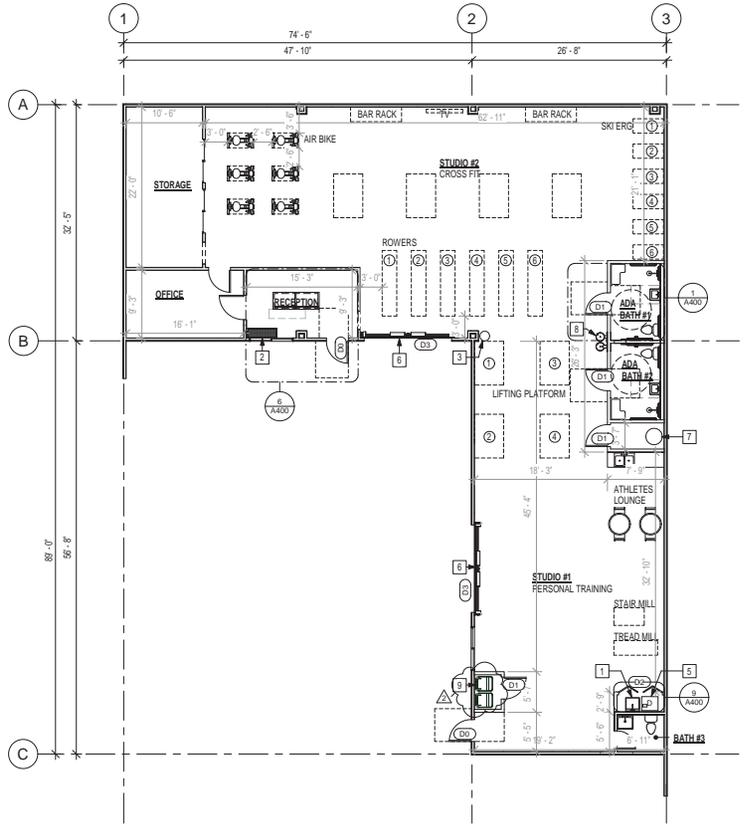
Floor Plans, Proposed

A201

SCALE 1/8" = 1'-0"

3/6/2020 1:47:39 PM

Floor Plans, Proposed

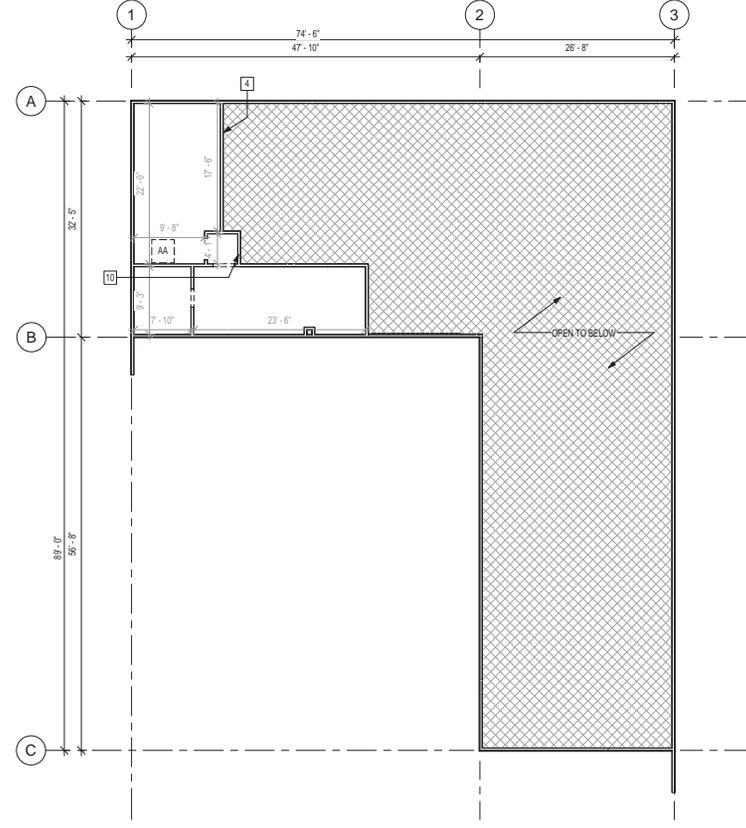


1 (P) Floor Plan, Level 1
 1/8" = 1'-0"

LEGEND
 [---] ATTIC ACCESS

- (P) KEY NOTES**
- | | | |
|---|------------------------------|--------------------------------|
| 1 UTILITY SINK | 5 STACKABLE WASHER / DRYER | 9 TRASH ROOM |
| 2 WIRE MESH DISPLAY SHELVING | 6 ALUMINUM FULL-VIEW DOOR | 10 WALL TO CLOSE THE 2ND FLOOR |
| 3 CENTRAL VAC | 7 WATER HEATER | |
| 4 CLOSING OPENING WITH FULL HEIGHT WALL | 8 HIGH-LOW DRINKING FOUNTAIN | |

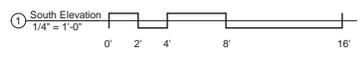
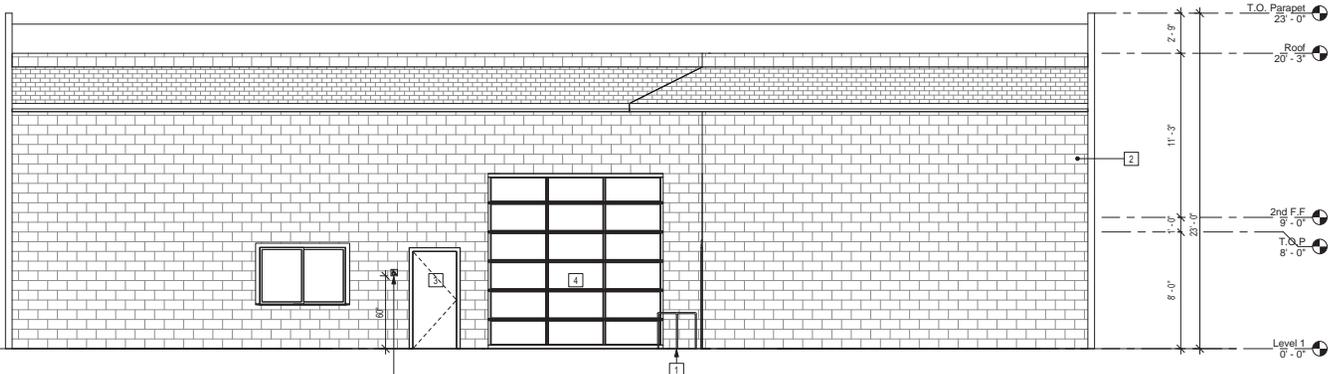
Door Schedule					
Type Mark	Count	Comments	Height	Width	Phase Created
D0	2	Single-Flush	6' - 8"	3' - 0"	Existing
D1	4	Single-Flush	6' - 8"	3' - 0"	New Construction
D2	1	Bifold	6' - 8"	6' - 0"	New Construction
D3	2	Full-View Door	12' - 0"	12' - 0"	New Construction



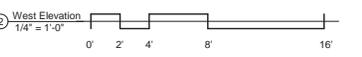
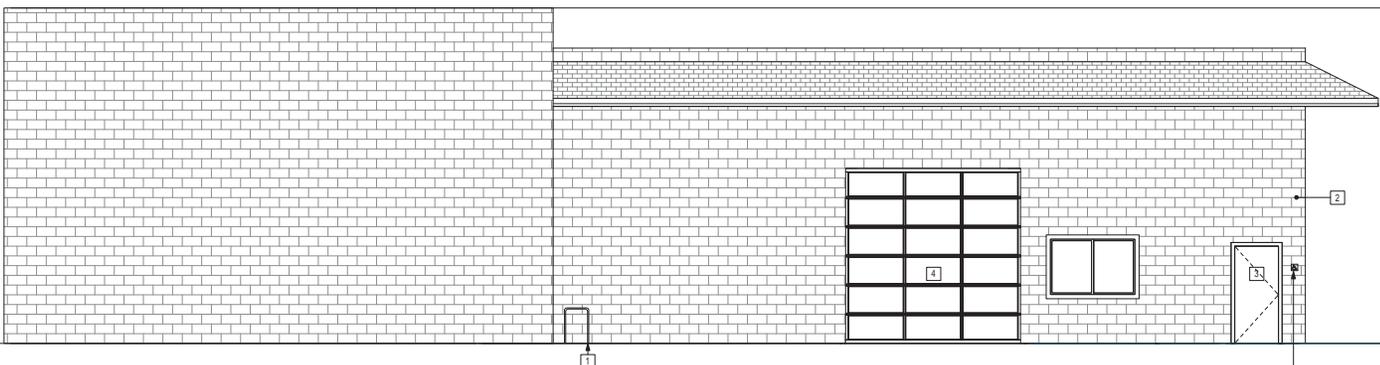
2 (P) Floor Plan, 2nd Level
 1/8" = 1'-0"

FLOOR PLAN NOTES

- EXIT DOORS SHALL BE EQUIPPED WITH A SINGLE OPERATION LATCH AND SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT USE OF A KEY OR A SPECIAL KNOWLEDGE OR EFFORT. SEE A200 DOOR SCHEDULE.
- THE MAIN EXTERIOR DOOR IS EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE. THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED. A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE. SEE SHEET A200 DETAIL A FOR DOOR SIGN. THE USE OF THE KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICE FOR DUE CAUSE.
- ALL PORTIONS OF THE BUILDING SHALL BE PROVIDED WITH FIRE EXTINGUISHERS OF SIZE AND WITHIN THE TRAVEL DISTANCES REQUIRED BY THE CFC. AT A MINIMUM, PROVIDE SIZE 2A-20BC FIRE EXTINGUISHER IN ORDINARY HAZARD AREA LOCATED AT 50 FEET TRAVEL DISTANCE TO ANY POINT. SIZE 2A-18C FOR THE LIGHT HAZARD COMMON AREAS LOCATED AT 75 FEET TRAVEL DISTANCE TO ANY POINT OF THE BUILDING. 75 FEET TRAVEL DISTANCE TO FIRE EXTINGUISHER CABINETS MUST BE MEASURED FROM THE MOST REMOTE ROOM.
- TEMPORARY FIRE EXTINGUISHERS SHALL BE PROVIDED DURING CONSTRUCTION.
- THE THRESHOLD (ABOVE FLOOR AND LANDING ON BOTH SIDES) AT BUILDING ENTRANCE DOORS HAS A MAXIMUM HEIGHT OF 1/2".
- THE MAXIMUM DOOR OPENING EFFORTS IS 5 LBS. FOR EXTERIOR AND INTERIOR DOORS.
- IF A DOOR HAS A CLOSER THEN THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.
- ALL DOORS ARE EQUIPPED WITH SINGLE EFFORT, NON-GRASP HARDWARE ((E, LEVER) CENTERED BETWEEN 34" AND 44" ABOVE THE FLOOR.



INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AT BUILDING ENTRANCES MOUNTED ON THE WALL ADJACENT TO ENTRY DOOR AT 5 FEET ABOVE FINISH FLOOR PER 119-703.7. SEE SIGN 4A501



INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) AT BUILDING ENTRANCES MOUNTED ON THE WALL ADJACENT TO ENTRY DOOR AT 5 FEET ABOVE FINISH FLOOR PER 119-703.7. SEE SIGN 4A501

CLOREY COMMERCIAL - MODELS 902, 903
architectural series

ALUMINUM FULL-VIEW DOORS

Cloray Aluminum Full-View Doors offer designers the flexibility of working within a budget while maintaining the appearance of a brick building. A wide selection of glass and custom glazing options make a bold statement in retail and other environments.

- 2 1/2" (64 mm) thick construction, 100% 70 mil-thick aluminum alloy with integral weathering for long-term durability.
- Excludes support and construction help used for the entrance and walls to meet accessibility.
- Tongue and groove weathering rail.
- Available in a wide variety of powder-coated and anodized finish colors.
- Heavy glazing options available, including Thermaglass, Low-E glass and polycarbonate panels or impact glass.
- Model 902 features an 8" x 8" top center panel glazing with bonded glazing system. Model 903 is an alternative and features bonded glazing.

Image approved for illustration

*OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT PRODUCT



*PROPOSED COLOR
CHOCOLATE (PAINTED)

KEYNOTES

- 1 (P) BIKE RACK, SEE SHEET A003.9.
- 2 (E) CMU WALL
- 3 (E) ENTRANCE
- 4 (P) ALUMINUM FULL-VIEW DOORS

Elevations



DRAFTSMAN: MARIANNE HENRY
ARCHITECT: KENNETH CAMPBELL
85 GILMAN AVE., CAMPBELL, CA 95008
408.276.9445
WWW.KCARCHITECTS.COM



85 Gilman Ave.
CAMPBELL, CA 95008
Tenant Improvement

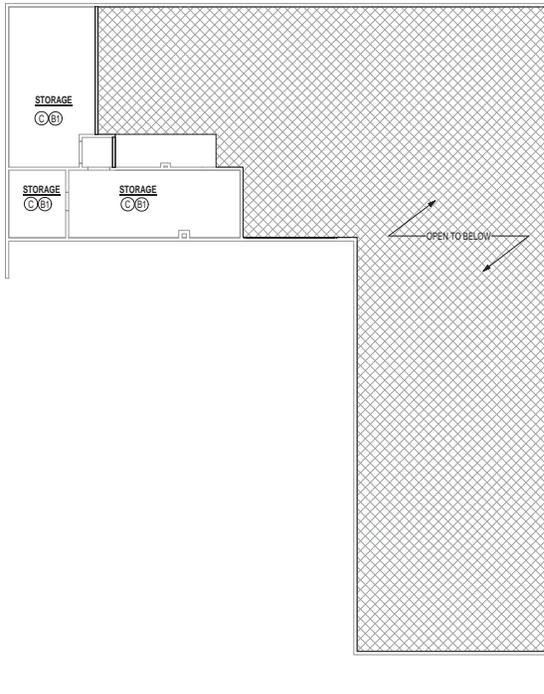
Rev.	Date	Description
1	2019.02.12	Final
2	2020.03.02	Final

Elevations

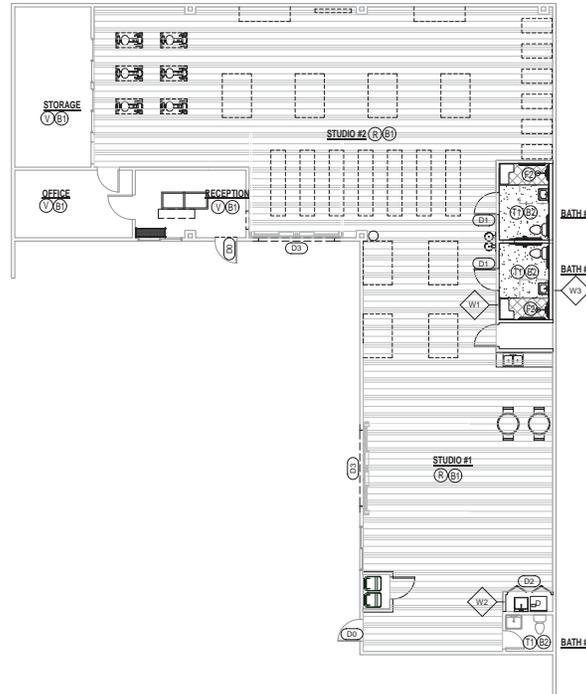
A300

SCALE 1/8" = 1'-0"

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② Interior Finished, Level 2
1/8" = 1'-0"



① Interior Finishes, Level 1
1/8" = 1'-0"

FINISH SCHEDULE

		RECEPTION	OFFICE	STORAGE	STUDIO	BATHROOM	SHOWER
WALLS	P 1	GWB PAINTED	X	X	X	X	X
	P 2	GWB PAINTED					
	T	PORCELAIN TILE					
FLOORING	F1	FIBERGLASS REINFORCED PINE	X	X	X	X	X
	V	WHITE VCT TILE	X	X	X	X	X
	T1	PORCELAIN TILE					
BASE	F2	FIBERGLASS					
	R	RUBBER MAT					
	C	CARPET					
CEILING	B1	RUBBER BASE					
	B 2	TILE 3/8" COVE					
	C1	SMOOTH CEILING TILE					
	C2	OPEN					
	C3	GWB PAINTED	X	X	X	X	X

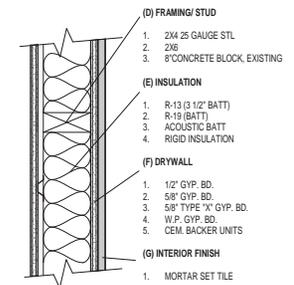
LEGEND

Ⓜ FINISH TYPE

Door Schedule

Type Mark	Count	Comments	Height	Width	Phase Created
D0	2	Single-Flush	6' - 8"	3' - 0"	Existing
D1	4	Single-Flush	6' - 8"	3' - 0"	New Construction
D2	1	Bifold	6' - 8"	6' - 0"	New Construction
D3	2	Full-View Door	12' - 0"	12' - 0"	New Construction

WALL ASSEMBLY SCHEDULE



WALL TYPES: WALL ASSEMBLY:

- Ⓜ1 (F1, D1, E2, F1, G1)
- Ⓜ2 (F1, D1, E2, F1)
- Ⓜ3 (D3, D2, F1, G1)



GORDON K WONG, ARCHITECT, LIC# 14445
 8001 FERRAN, MENLO PARK, CA 94025
 CAMPBELL, CA 95008 4088 351-3135
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85 Gilman Ave.
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 Tenant Improvement

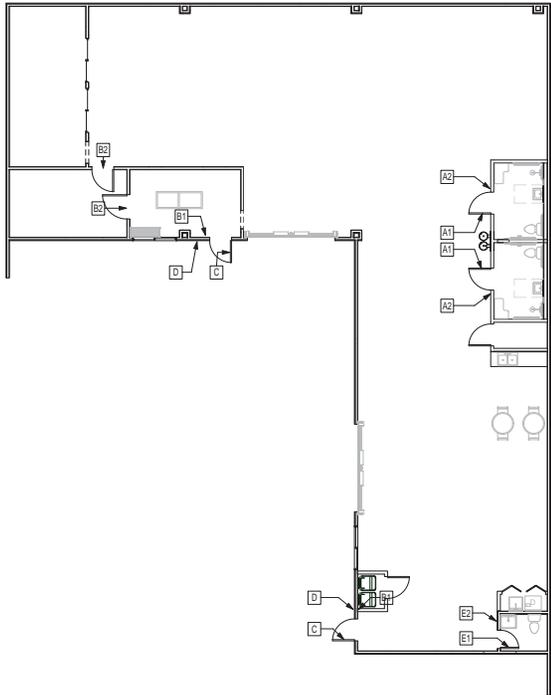
Rev #	Date	Description
1	2019.12.12	Finishing & Public Work
2	2020.03.03	Finishing & Public Work

Schedule & Finishes

A500

SCALE 1/8" = 1'-0"

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8 Sign Location, Proposed
1/8" = 1'-0"

DOOR NOTES:

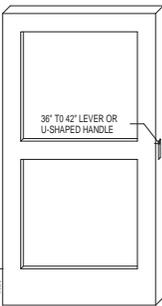
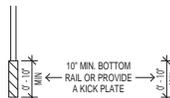
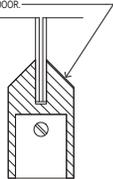
A NARROW FRAME WITH A BEVELED TOP EDGE (30 DEGREE MAXIMUM BEVEL TO VERTICAL PLANE) INSTALLED AT THE BOTTOM OF A GLASS DOOR (WITH NO SIDE FRAMES) MAY BE USED IN LIEU OF PROVIDING THE REQUIRED 10-INCH UNINTERRUPTED SURFACE AT THE BOTTOM OF THE DOOR.

DOOR TYPE:

1. MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM, EITHER ATTACHED PANEL OR BOTTOM RAIL.
2. OPENABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
3. OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING).
4. MOUNTED 36" TO 42"
5. MAXIMUM 8.5 LBS. EFFORT TO OPERATE EXTERIOR DOOR, 5 LBS. FOR INTERIOR.

HARDWARE:

1. MINIMUM 10" HIGH SMOOTH SURFACE AT DOOR BOTTOM, EITHER ATTACHED PANEL OR BOTTOM RAIL.
2. OPENABLE FROM INSIDE WITHOUT USE OF KEY OR SPECIAL KNOWLEDGE OR EFFORT.
3. OPENABLE BY SINGLE EFFORT LEVER-TYPE DEVICE (NOT REQUIRING GRASPING).
4. MOUNTED 36" TO 42"
5. MAXIMUM 8.5 LBS. EFFORT TO OPERATE EXTERIOR DOOR, 5 LBS. FOR INTERIOR.



11B-404.2.10. EXCEPTIONS 2

TEMPERED GLASS DOORS WITHOUT STILES AND HAVING A BOTTOM RAIL OR SIDE WITH THE TOP LEADING EDGE TAPERED AT 60 DEGREES MINIMUM FROM THE HORIZONTAL SHALL NOT BE REQUIRED TO MEET THE 10 INCH (254MM) BOTTOM SMOOTH SURFACE HEIGHT REQUIREMENT.

11B-404.2.8 CLOSING SPEED. DOOR AND GATE CLOSING SPEED SHALL COMPLY WITH SECTION 11B-404.2.8.

11B-404.2.11 DOOR CLOSERS AND GATE CLOSERS. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM.

11B-404.2.9 (4) DOOR AND GATE OPENING FORCE. THE FORCE FOR PUSHING OR PULLING OPEN A DOOR OR GATE SHALL BE AS FOLLOWING:
4. EXTERIOR HINGED DOOR: 5 POUNDS (22.2 N) MAXIMUM. THESE FORCES DO NOT APPLY TO THE FORCE REQUIRED TO RETRACT LATCH BOLTS OR DISENGAGE OTHER DEVICES THAT HOLD THE DOOR OR GATE IN A CLOSED POSITION. (FIRE DOORS MAY HAVE UP TO 15 POUNDS TO ACHIEVE POSITION LATCHING)

9 ADA DOOR
3/4" = 1'-0"

ALL GENDER ADA SYMBOL



A1

DOOR SIGNS SHALL BE CENTERED ON THE DOORS AND MOUNTED AT A HEIGHT OF 60 INCHES ABOVE FINISH FLOOR TO THE CENTERLINE OF THE SYMBOL (CBC SEC. 11B-703.7.2).

THE SYMBOL SHALL CONSIST OF WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C (CBC SEC. 11B-703.7.2.1).

THE SYMBOL'S COLOR AND CONTRAST SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR.

PICTOGRAM SHALL SET WITH A MIN. 6" FIELD HEIGHT



60" MAX. AFF TO THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS
48" MIN. AFF TO THE BASELINE OF THE LOWEST LINE OF THE BRAILLE

BRaille SHALL BE FLUSH LEFT OR CENTERED, AND SHALL BE PLACED TOGETHER BELOW ALL LINES OF TEXT PER: 11B-703.3.2

MIN. 6" MAX. 12" MAX. HEIGHT

CORRESPONDING BRAILLE FOR ALL DOOR SIGNS. VISUAL CHARACTERS SHALL COMPLY WITH SECTION 11B-703.5 (CBC SEC. 11B-703.5).

THE SYMBOL SHALL CONSIST OF WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C (CBC SEC. 11B-703.7.2.1).

RAISED CHARACTER SHALL BE UPPER CASE AND SANS SERIF PER: 11B-703.2.2, 11B-703.3.3.

CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH NON GLARE FINISH PER: 11B-703.5.1

RAISED CHARACTERS SHALL BE MIN. 1/32" ABOVE THEIR BACKGROUND PER: 11B-703.2.1

60" AFF TO THE CENTER OF THE SYMBOL.
F.F. OR GROUND

F.F. OR GROUND

1 Unisex Restroom ADA
12" = 1'-0"

E1



5 Unisex Restroom Sign
12" = 1'-0"

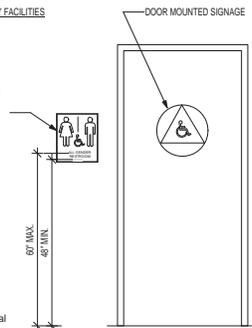
E2



DOOR SIGNAGE FOR SANITARY FACILITIES

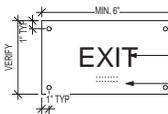
WALL MOUNTED BRAILLE SIGNAGE TO BE MOUNTED ON THE LATCH SIDE OF THE DOOR WITH THE SIGN CENTERED 60" ABOVE THE FLOOR. VERIFY USE AND LOCATION PER SIGNAGE PLAN.

ALL GENDER PICTOGRAM PROVIDED DIRECTLY ABOVE THE RAISED LETTER. 6" MIN. FIELD HEIGHT PER 11B-703.6.1.



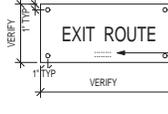
6 Restroom Door & Sign, Typical
6" = 1'-0"

B1

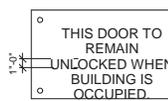


2 Tactile Exit Signage
12" = 1'-0"

B2



C



3 Door Sign, Locks & Latches
12" = 1'-0"

D

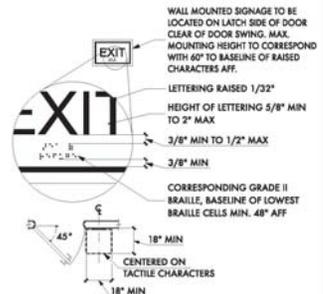


INTERNATIONAL SYMBOL OF ACCESSIBILITY (ISA) COMPLY WITH CBC FIGURE 11B-703.7.2.1

THE SYMBOL SHALL CONSIST OF WHITE FIGURE ON A BLUE BACKGROUND. THE COLOR BLUE SHALL APPROXIMATE FS 15090 IN FEDERAL STANDARD 595C (CBC SEC. 11B-703.7.2.1).

4 International Symbol of Access
12" = 1'-0"

7 Tactile Exit Sign
1/2" = 1'-0"



11B-703.5, 32, 43



GORDON & WONG, ARCHITECT, LIC# 14445
DRAFTSMAN, MINIMUM DENSITY A
CAMPBELL, CA 95008, 408-351-3135
CAMPBELL, CA 95008, 408-351-3135
GORDONANDWONGARCHITECTS.COM



85 Gilman Ave.
CAMPBELL, CA 95008
Tenant Improvement

Rev	Date	Description
1	10/14/20	Final Work
2	10/20/20	Final Work

Architectural Signage

A501

SCALE 1/8" = 1'-0"

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Architectural Signage



GORDON K WONG, ARCHITECT, LIC# 141445
 10001 FERNANDEZ AVENUE UNIT A
 CAMPBELL, CA 95008 408 351-3135
 GORDONWONGARCHITECTS.COM



85 Gilman Ave.
 CAMPBELL, CA 95008
 Tenant Improvement

Rev #	Date	Description
1	2019.12.12	Final
2	2020.03.02	Final

Reflected Ceiling Plan

A600

SCALE 1/8" = 1'-0"

3/6/2020 1:47:57 PM

Reflected Ceiling Plan

- LEGEND**
- 1X4 LED
 - RECESSED, VAPOR PROOF
 - PENDANT LIGHT
 - WALL SCONCE
 - CEILING FAN
 - HIGH BAY LED
 - LIGHT / VENT UNIT
 - VENT
 - SWITCH SINGLE POLE
 - SWITCH MOTION / VACANCY SENSOR
 - TELEVISION DATA CABLE
 - OUTLET, DUPLEX
 - GROUND FAULT
 - 220 OUTLET, 3 PHASE
 - OUTLET, FOOD DISPOSAL
 - OUTLET, REFRIGERATOR
 - BEAM & JOIST OC

- KEYNOTES**
- 1 EXISTING ELECTRICAL TO REMAIN
 - 2 20 AMP DEDICATED CIRCUIT
 - 3 15 AMP DEDICATED CIRCUITS
 - 4 10 AMP CIRCUITS
- NOTES**
- OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT PRODUCT

LIGHTING FIXTURE SCHEDULE						
DESCRIPTION	MANUFACTURE'S MODEL	LAMPS	VOLT	WATTS	MOUNTING	
10' FAN	BIG ASS FANS ESSENCE	NA			CEILING STRUCTURE MOUNTED	
HIGH BAY LED	LEDONE HIGH LUMEN HIGH BAY	LED	100-277	250	CEILING SUSPENDED	
PENDANT LIGHT	TBD	LED	22	25	CEILING SUSPENDED	
4' LED LINEAR LIGHT	TBD	LED	120 - 277	200	CEILING SUSPENDED	
VAPOR PROOF RECESSED LIGHT	TBD	LED	12	3	RECESSED CAN IN CEILING	
LIGHT / VENT UNIT	TBD	LED	120	33	CEILING MOUNTED	
WALL SCONCE	TBD	LED	100-240	200	WALL MOUNTED	

