



**CITY OF CAMPBELL**  
Community Development Department

October 29, 2019

**NOTICE OF ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT**

Notice is hereby given that the Planning Division of the Community Development Department of the City of Campbell has received an application for an Administrative Planned Development Permit for the following project proposal:

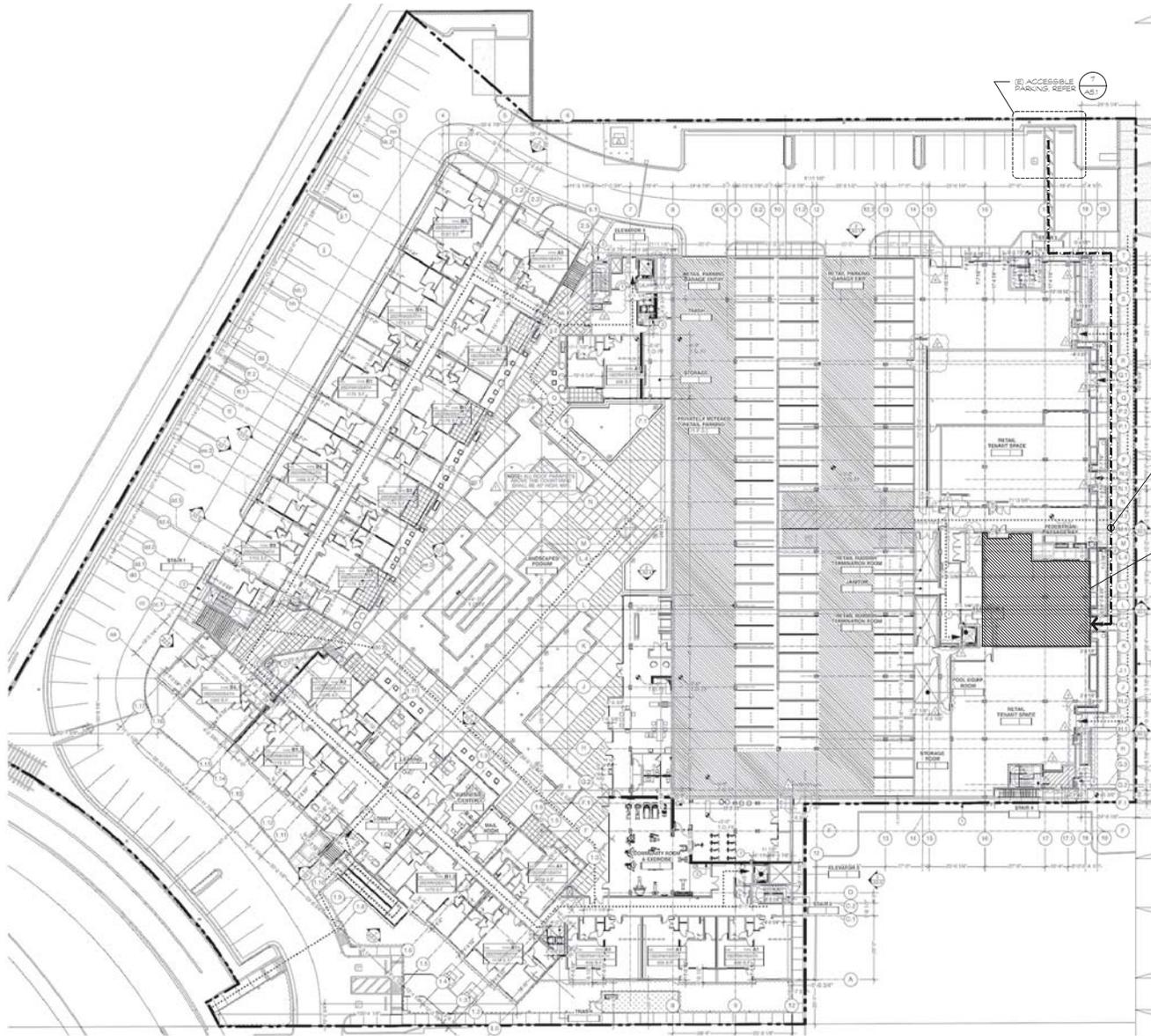
**File No.:** PLN2019-190  
**Applicant:** Jimmy Chang  
**Project Address:** 1725 S. Bascom Avenue, Suite 1100  
**Property Owner:** Revere Residences, LLC  
**Zoning District:** P-D (Planned Development)  
**General Plan:** Commercial/Professional Office/Residential  
**Project Description:** To allow the establishment of a 2,040 sq. ft. café (coffee shop; d.b.a. Big Mug) within an existing commercial tenant space.

This project will be decided by the Community Development Director and you have the opportunity to provide comment prior to the Director's decision. The ten-day comment period for this application begins on October 30, 2019 and ends on November 11, 2019. Any comments regarding this application must be submitted in writing (including email) to the Planning Division before 5:00 p.m. on **November 11, 2019**. The Director will then consider all comments submitted within this time period prior to a decision. No additional notice will be provided. Please contact the project planner in a timely manner to determine what decision was reached.

Decisions by the Community Development Director are final in 10 calendar days following the date of approval, unless an appeal is received in writing at the City of Campbell Community Development Department, 70 N. First Street, Campbell, prior to the end of the appeal period. A written appeal must be accompanied with the required \$200 appeal filing fee. Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 AM – 5:00 PM) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Administrative Decisions'. Questions or comments regarding this application may be addressed to Stephen Rose, Associate Planner, in the Community Development Department, at (408) 866-2142 or by email [stephenr@cityofcampbell.com](mailto:stephenr@cityofcampbell.com).







1 SITE PLAN  
SCALE: N.T.S.



**R a d**  
P.O. BOX 2375  
SAN JOSE, CA 95197  
TEL: (408) 244-4782  
Email: rad@radfirm.com

ALL WORK DESCRIBED HEREIN IS TO BE PERFORMED BY THE CONTRACTOR TO FIELD VERIFY THE EXISTING PATH OF TRAVEL TO NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND NOT TO EXCEED 2% CROSS SLOPE. PATH TO BE MIN. 36" WIDE ALL THE WAY.



TENANT IMPROVEMENTS FOR:  
**BIG MUG**  
1725 S. BASCOM AVENUE, STE. 1100  
CAMPBELL, CALIFORNIA 95008

REVISIONS	
▲	
▲	
▲	
▲	
▲	
▲	
Scale	
Drawn	JL
Checked	JL
Job No	1825
Date	
Sheet Title	SITE PLAN





**DOOR SCHEDULE**

NO	WIDTH	HT.	MATERIAL	FINISH	NOTE
1	6'-0"	7'-0"	GLASS/ALUMINUM	ETCFRONT	EXISTING TO REMAIN
2	3'-0"	7'-0"	GLASS/ALUMINUM	ETCFRONT	MATCH EXISTING FINISH
3	3'-0"	7'-0"	METAL	-	(E) 20 MIN. RATED DOOR TO REMAIN, (E) PANIC HARDWARE
5	3'-0"	7'-0"	WOOD	-	SOLID, SELF LATCHING AND SELF CLOSING
6	3'-0"	7'-0"	WOOD	-	SOLID, SELF LATCHING AND SELF CLOSING

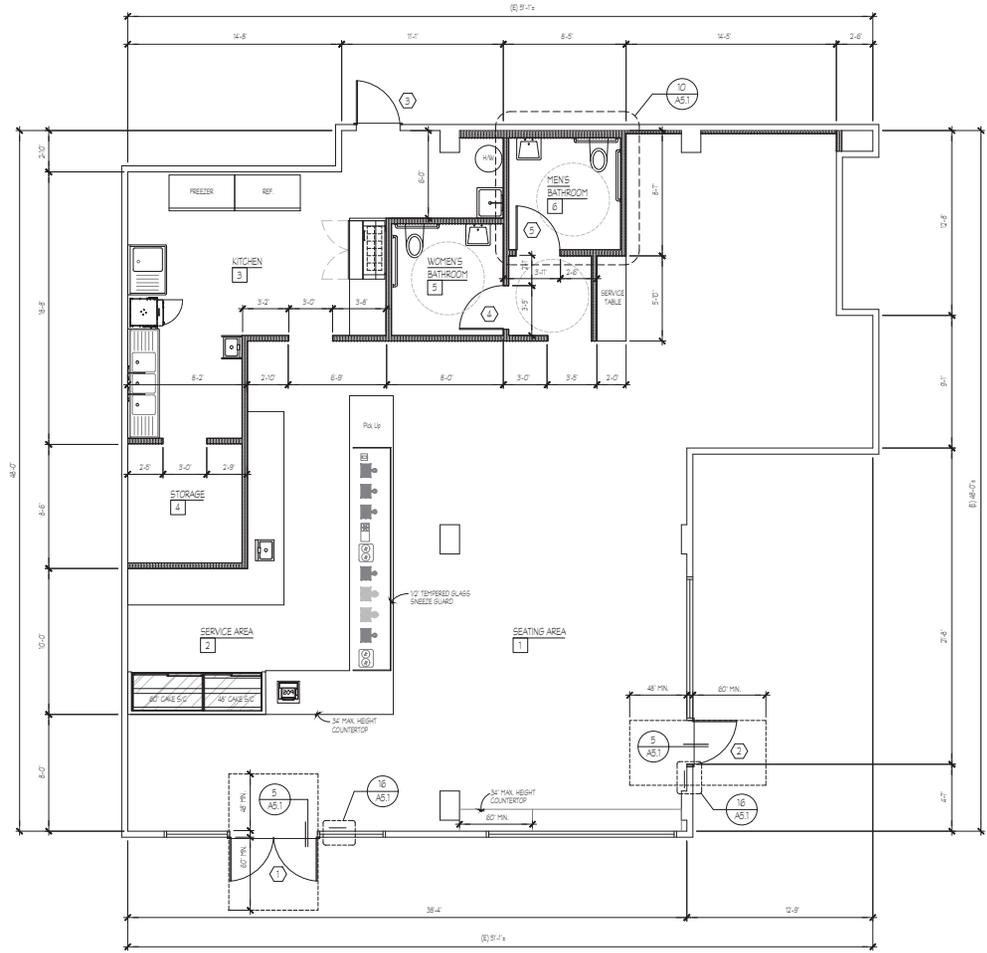
- DOOR NOTES:**
- CONTRACTOR TO PROVIDE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND BUILDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
  - THE MAX. EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 lbs. FOR EXTERIOR AND INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS.
  - CONTRACTOR TO PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, UTILIZING THE SYMBOL, AT JUNCTIONS, TO BE VISIBLE TO PERSONS.
  - PROVIDE TACTILE EGRESS SIGNAGE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE EXIT DOORS. REFER TO DETAIL 10/AS1.
  - ACCESSIBLE DOOR OPENING HARDWARE IS TO BE MOUNTED AT A HEIGHT BETWEEN 30" TO 44" ABOVE THE FLOOR AND OPERABLE WITH A SINGLE EFFORT WITHOUT REQUIRING ABILITY TO GRASP HARDWARE.
  - CONTRACTOR TO VERIFY AND PROVIDE EXISTING STOREFRONT GLAZING WITHIN 18" OF A WALKING SURFACE TO BE TEMPERED.
  - DOOR #1 AND #2, PROVIDE MINIMUM OF ONE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, UTILIZING THE SYMBOL, AT JUNCTIONS TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS PER CBC 18-216.6. REFER TO 8/AS1.
  - MAIN EXIT DOOR SHALL HAVE A READILY VISIBLE, DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.
  - PROVIDE FIRE EXIT HARDWARE.

**LEGEND**

- EXISTING WALL TO REMAIN
- NEW FULL WALL CONSTRUCTION. TYPICAL WALL PARTITION SHALL BE 1/2" LAYER OF 1/2" GP. BD. ON EACH SIDE

**NOTES**

- PROVIDE A SIGN THAT INDICATES THE OCCUPANT LOAD OF THE ROOM/SPACE (FINAL POSTED SIGN LOCATION AND TYPE SHALL BE APPROVED BY THE FIRE AND BUILDING INSPECTION STAFF PRIOR TO FINAL BUILDING OCCUPANCY)



**1 PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**Rad**  
70 BUCKINGHAM  
SAN JOSE, CA 95128  
TEL: 408.254.8182  
WWW.RADPRO.COM

ALL WORK DESCRIBED BY THIS PERMIT SHALL BE PERFORMED BY A LICENSED CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CAMPBELL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CAMPBELL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CAMPBELL.



**TENANT IMPROVEMENTS FOR:**  
**BIG MUG**  
1725 S. BASCOM AVENUE, STE. 1100  
CAMPBELL, CALIFORNIA 95008

**REVISIONS**

1	
2	
3	
4	
5	

Scale: 1/4" = 1'-0"  
 Drawn: JCT  
 Checked: JCT  
 Job No: 1825  
 Date:  

Sheet Title: **PROPOSED FLOOR PLAN**





**GENERAL NOTES**

- TRACK SPECIFICATIONS AS FOLLOWS U.N.O. LIGHTER RADIUS TRACK 800 BK SERIES WITH 8148 STARTER AND 8149 JOINER
- LENGTH OF TRACK AS INDICATED BY (N) ON PLAN
- ONE 20 AMP CIRCUIT REQUIRED FOR EACH 20 FT. SECTION OF TRACK
- ALL FIXTURES TO BE CENTERED IN 2X2 OF 2X4 CEILING TILE (U.N.O.)
- ALL FIXTURES TO BE PROVIDED BY RECEIVED, STORED & INSTALLED BY ELECTRICAL CONTRACTOR
- G.C. TO VERIFY LEAD TIME ON THE ACOUSTICAL CEILING TILES & CEILING GRID
- ALL LIGHT FIXTURES LABELED WITH UL TO BE WIRED TO NIGHT LIGHT CIRCUIT, SEE ELEC. DWG'S
- ELECTRICAL CONTRACTOR SHALL SUPPLY 10% ADDITIONAL SPARE OF ALL LAMP TYPES, TO BE LEFT AT JOB SITE AT END OF JOB.

**FINISH NOTES**

- CORNER GUARDS TO BE INSTALLED AT ALL OUTSIDE CORNERS IN KITCHEN, SERVICE, PREP (STAINLESS)
- NOT ALL FINISHES IN SCHEDULE OF FINISHES ARE NECESSARILY INCLUDED IN THIS SCOPE OF WORK.
- FLOOR TILE TO BE OBTAINED THROUGH OWNERS CONTACT.
- G.C. TO LEAVE ON SITE, UPON COMPLETION OF JOB, (1) BOX EACH OF ALL WALL, FLOOR & CEILING TILE USED
- COUNTER / TABLE TOPS: ALL PRODUCT TO BE SLAB W/ SURFACE ROUND EDGE DETAIL AND CONSISTANT / SMALL PARTICULATE AND POLISHED FINISH.
- SEE SPEC. ABOVE & SHEETS AS FOR USE
- ALL SURFACES IN KITCHEN, SERVICE, AT BEVERAGE COUNTER AND RESTROOMS SHALL MEET TO 1% LIGHT REFLECTIVE VALUE (LRV) OR GREATER.

ROOM FINISH SCHEDULE										FINISH KEY NOTES		
MARK	NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	RT	TS	CT	ACT	PRFR	SS
1	SEATING AREA					14'-0" H.						
2	SERVICE AREA					12'-0" H.						
3	KITCHEN					10'-0"						
4	STORAGE					10'-0"						
5	WOMENS BATHROOM					8'-0"						
6	MENS BATHROOM					8'-0"						

**KEY NOTES**

- (N) GYP. BD. CEILING
- (S) T-BAR CEILING
- (C) EXPOSED CEILING W/ DARK GREY COLOR PAINT
- (R) TILE REFER TO INTERIOR PACKAGE
- (TS) QUARRY TILE (SMOOTH FINISH) ASHEN GRAY, 60X60, DUAL-TILE SIZE: 6" X 6"
- (CT) TILE REFER TO INTERIOR PACKAGE
- (ACT) CEILING TILE USG AURATONE TOUCHSTONE 2x2 - SG. EDGE R5883, USG-CONN. CN. SYSTEM COLOR: WHITE
- (PRFR) FIBERGLASS REINFORCED PANELS 1/2" THICK, GLASS/ROCK FIBER GLASS C FIRE RATED 0.9; 685 WHITE
- (SS) STAINLESS STEEL W/ SATIN FINISH 24 GA. MIN.

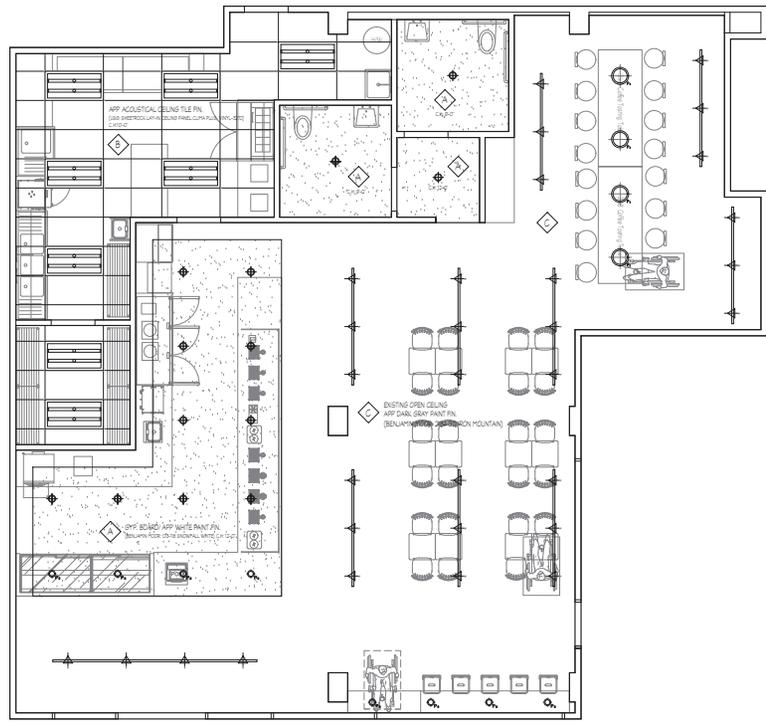
① THE WALK-IN COOLERS AND FREEZERS METAL FLOORS ARE SMOOTH DIAMOND PLATE FLOOR IS NOT APPROVED IN THE COOLER AND FREEZER

② INTEGRAL COVE BASE 6" HT., 3/8" RADIUS

③ SMOOTH FINISH & COVERED W/ EPOXY PAINT.

④ PAINT TYPE WILL BE SEMI-GLOSS

⑤ WASHABLE, SMOOTH FINISH, WHITE COLOR AND SEMI-GLOSS PAINT



1 REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



P.O. BOX 2375  
SAN JOSE, CA 95127  
TEL: 408.248.4782  
Email: rad70@rad.com

ALL WORK DESCRIBED BY THIS PERMIT SET SHALL BE PERFORMED IN ACCORDANCE WITH THE PERMITS AND REGULATIONS OF THE CITY OF SAN JOSE, CALIFORNIA. THE CITY OF SAN JOSE DOES NOT WARRANT THE ACCURACY OF THIS PERMIT SET. THE USER OF THIS PERMIT SET SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM THE CITY OF SAN JOSE, CALIFORNIA.



TENANT IMPROVEMENTS FOR:  
**BIG MUG**  
1725 S. BASCOM AVENUE, STE. 1100  
CAMPBELL, CALIFORNIA 95008

REVISIONS	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Scale: 1/4" = 1'-0"

Drawn: JH

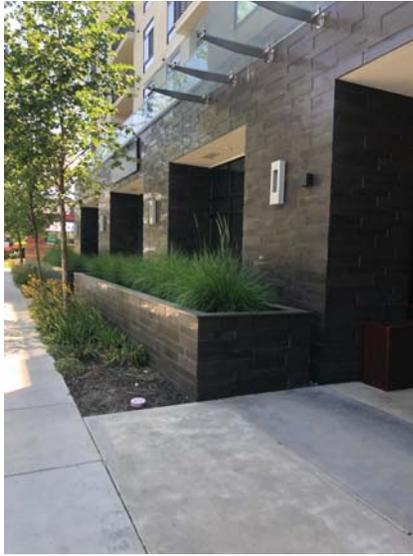
Checked: JH

Job No: 1825

Date:

Sheet Title: REFLECTED CEILING PLAN





**R a d d**  
 700 BAY 2075  
 SAN JOSE, CA 95137  
 TEL: 408.284.8782  
 WWW.RADDDESIGN.COM

ALL WORK DESCRIBED HEREIN IS THE PROPERTY OF RADD DESIGN AND SHALL REMAIN THE PROPERTY OF RADD DESIGN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RADD DESIGN.



TENANT IMPROVEMENTS FOR:

**BIG MUG**

1725 S. BASCOM AVENUE, STE. 1100  
 CAMPBELL, CALIFORNIA 95008

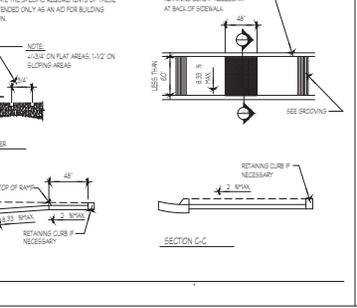
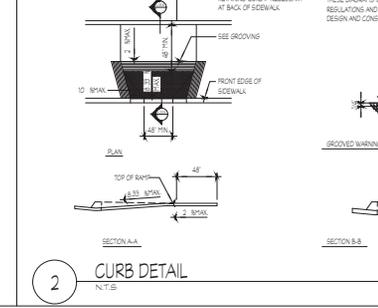
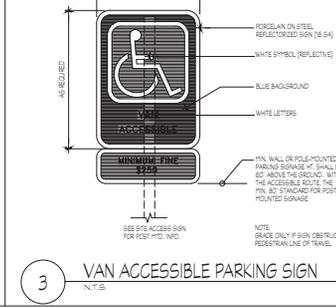
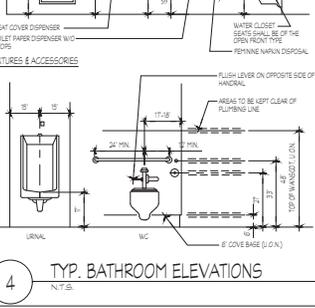
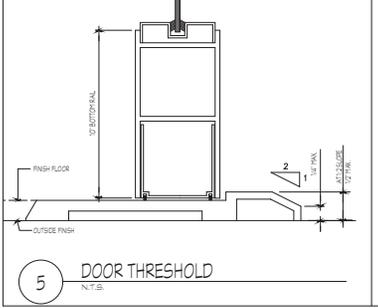
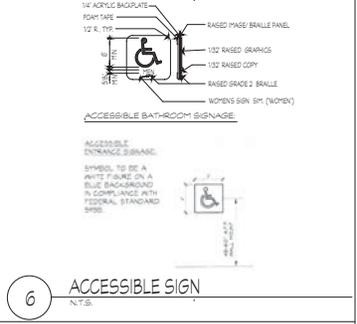
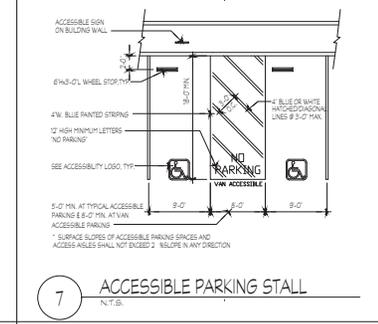
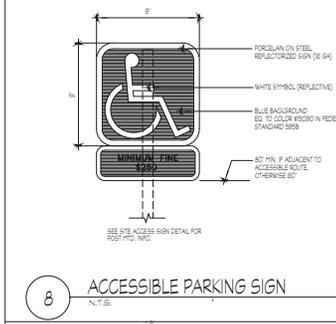
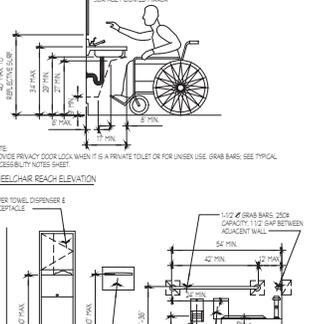
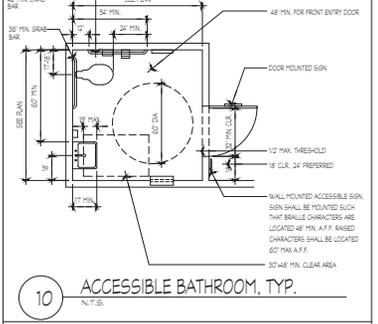
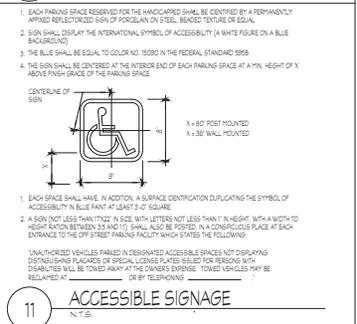
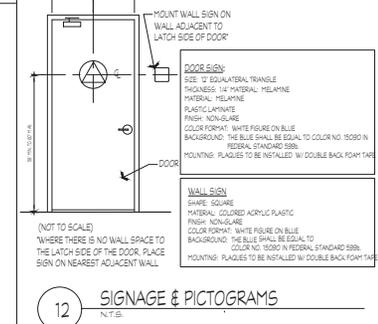
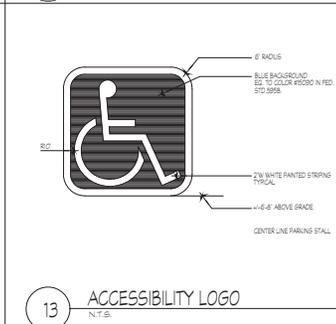
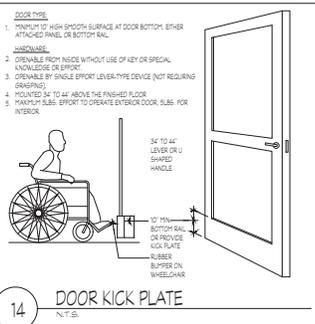
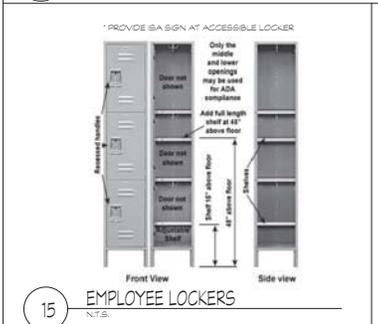
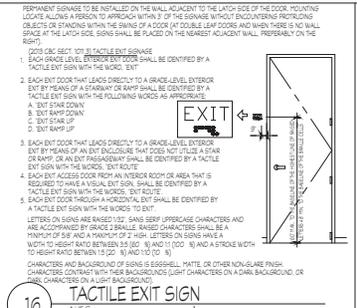
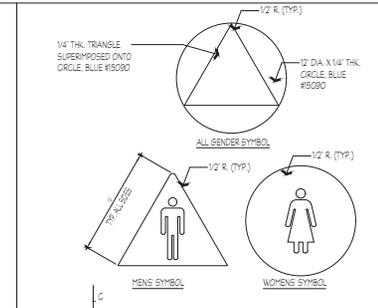
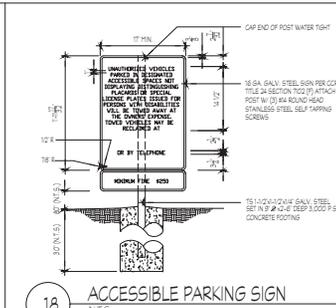
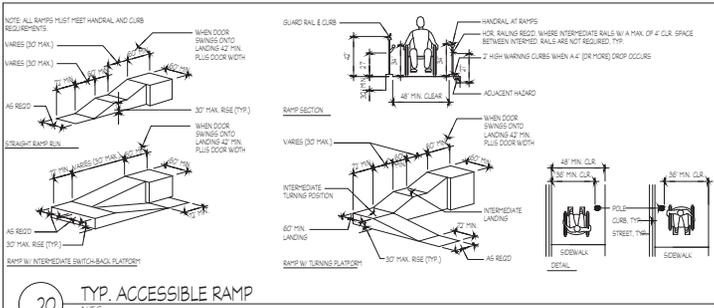
REVISIONS	
▲	
▲	
▲	
▲	
▲	
▲	
Scale	1" = 1'
Drawn	JL
Checked	JL
Job No	1825
Date	

Sheet Title  
**PHOTOS**



Sheet No

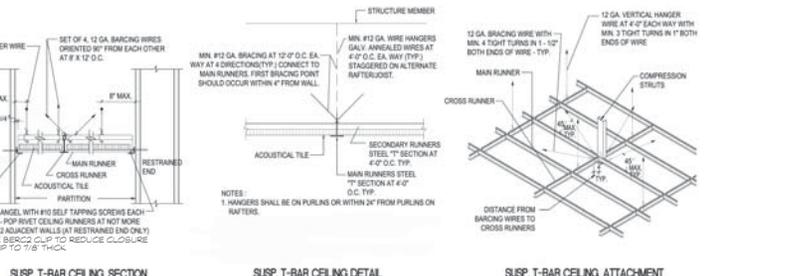
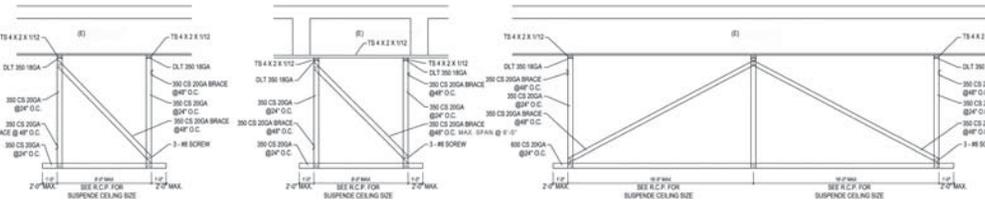




TENANT IMPROVEMENTS FOR:  
**BIG MUG**  
 1725 S. BASCOM AVENUE, STE. 1100  
 CAMPBELL, CALIFORNIA 95008

REVISIONS	
1	Issue
2	Drawn
3	Checked
4	Job No. 1825
5	Date

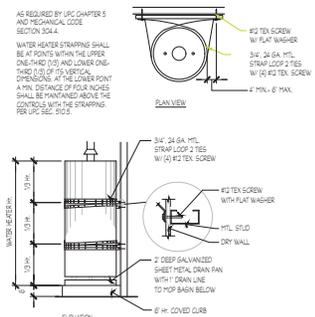
Sheet No.  
**A5.1**



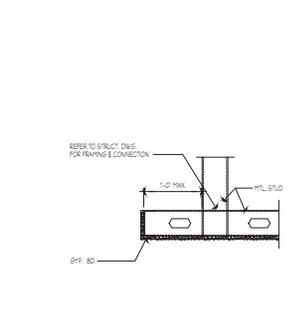
15 SUSPENDED CEILING DETAIL  
N.T.S.

SUSPENDED CEILING NOTES

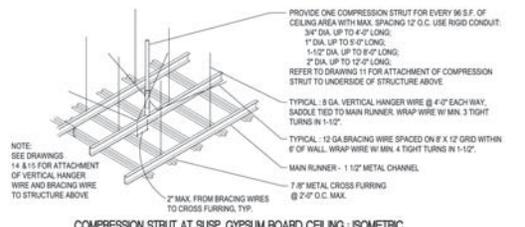
1. HEAVY DUTY 1/4\"/>
2. HORIZONTAL RESTRAINT OF THE CEILING TO THE STRUCTURAL SYSTEM SHALL BE PROVIDED. THE TRIBUTARY AREAS OF THE HORIZONTAL RESTRAINTS SHALL BE APPROXIMATELY EQUAL.
3. THE WIDTH OF THE PERIMETER SUPPORTING ANGLE SHALL BE LESS THAN 2\"/>
4. CEILING AREAS EXCEEDING 1000 SF SHALL HAVE HORIZONTAL RESTRAINT OF THE CEILING TO STRUCTURAL SYSTEM.
5. CEILING AREAS EXCEEDING 2500 SF SHALL HAVE A SEISMIC SEPARATOR OR A FULL-HEIGHT PARTITION THAT BREAKS THE CEILING UP INTO AREAS NOT EXCEEDING 2500 SF UNLESS STRUCTURAL ANALYSIS ARE PERFORMED OF THE CEILING BRACING SYSTEM FOR THE PRESCRIBED SEISMIC FORCES THAT DEMONSTRATE CEILING SYSTEM PENETRATIONS AND CLOSURES PROVIDE SUFFICIENT CLEARANCE TO ACCOMMODATE THE ANTICIPATED LATERAL DISPLACEMENT. EACH AREA SHALL BE PROVIDED WITH CLOSURE ANGLE IN ACCORDANCE WITH NOTE #3 AND HORIZONTAL RESTRAINTS OR BRACING.
6. CEILING AREAS EXCEEDING 1000 SF SHALL HAVE A 2\"/>
7. HORIZONTAL RESTRAINTS IS PERMITTED TO BE PROVIDED AT THE TOP OF THE SPRINKLER HEAD EXTENSION.
8. CABLE TRAYS AND ELECTRICAL CONDUITS MUST BE SUPPORTED INDEPENDENTLY OF THE CEILING.



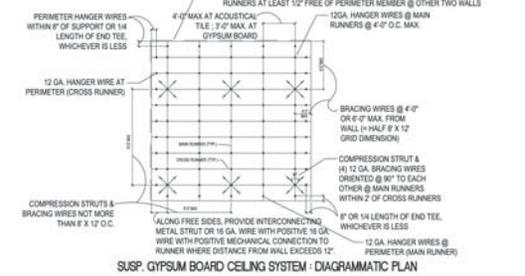
13 WATER HEATER STRAP DETAIL  
N.T.S.



12 SUSPENDED CEILING DETAIL  
N.T.S.

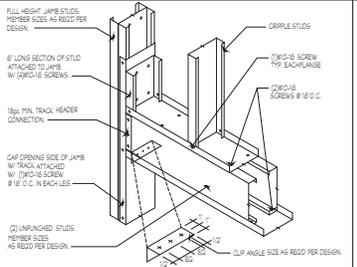


COMPRESSION STRUT AT SUSP. GYPSUM BOARD CEILING - ISOMETRIC

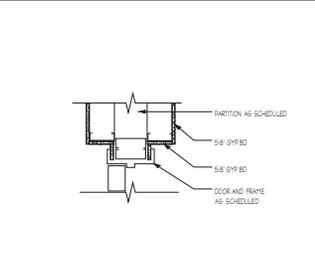


SUSP. GYPSUM BOARD CEILING SYSTEM - DIAGRAMMATIC PLAN

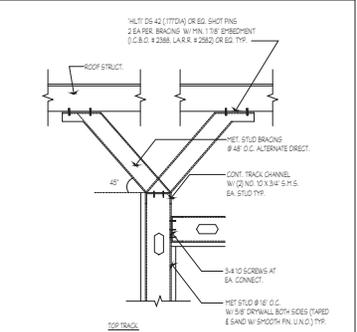
5 SUSPENSION CEILING SYSTEM DIAGRAM  
N.T.S.



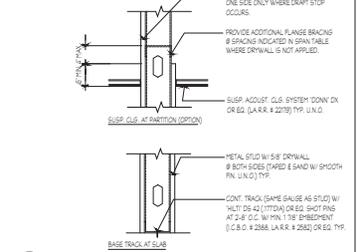
8 METAL STUD DETAIL  
N.T.S.



7 DOOR HEAD-INTERIOR  
N.T.S.



WALL SECTION, TYP.



1 WALL SECTION, TYP.  
N.T.S.

3 METAL STUD CORNER CONNECTION  
N.T.S.



ALL DRAWINGS AND SPECIFICATIONS SHALL BE SUBJECT TO THE STANDARD CONDITIONS OF CONTRACT FOR ARCHITECTURAL SERVICES, WHICH ARE AVAILABLE TO ALL CLIENTS AT THE OFFICE OF R. A. D. ENGINEERING, 7 P.O. BOX 2375, SAN JOSE, CA 95197. THE CLIENT'S OBLIGATION IS TO REVIEW AND APPROVE ALL DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING WITH THE PROJECT. THE CLIENT'S OBLIGATION IS TO REVIEW AND APPROVE ALL DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING WITH THE PROJECT.



TENANT IMPROVEMENTS FOR:  
**BIG MUG**  
1725 S. BASCOM AVENUE, STE. 1100  
CAMPBELL, CALIFORNIA 95008

REVISIONS	
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT

Drawn: J.C.  
Checked: J.C.  
Job No: 18003  
Date: \_\_\_\_\_  
Sheet Title: DETAILS  
Sheet No: \_\_\_\_\_

**A5.2**