



CITY OF CAMPBELL
Community Development Department

October 11, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 22, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of John and Diane Bandov for a Site and Architectural Review Permit (PLN2019-153) to allow for the construction of an approximately 3,318 sq. ft. one-story single-family residence on property located at **1110 Wekiva Avenue**. Staff is recommending that this project be deemed Categorical Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

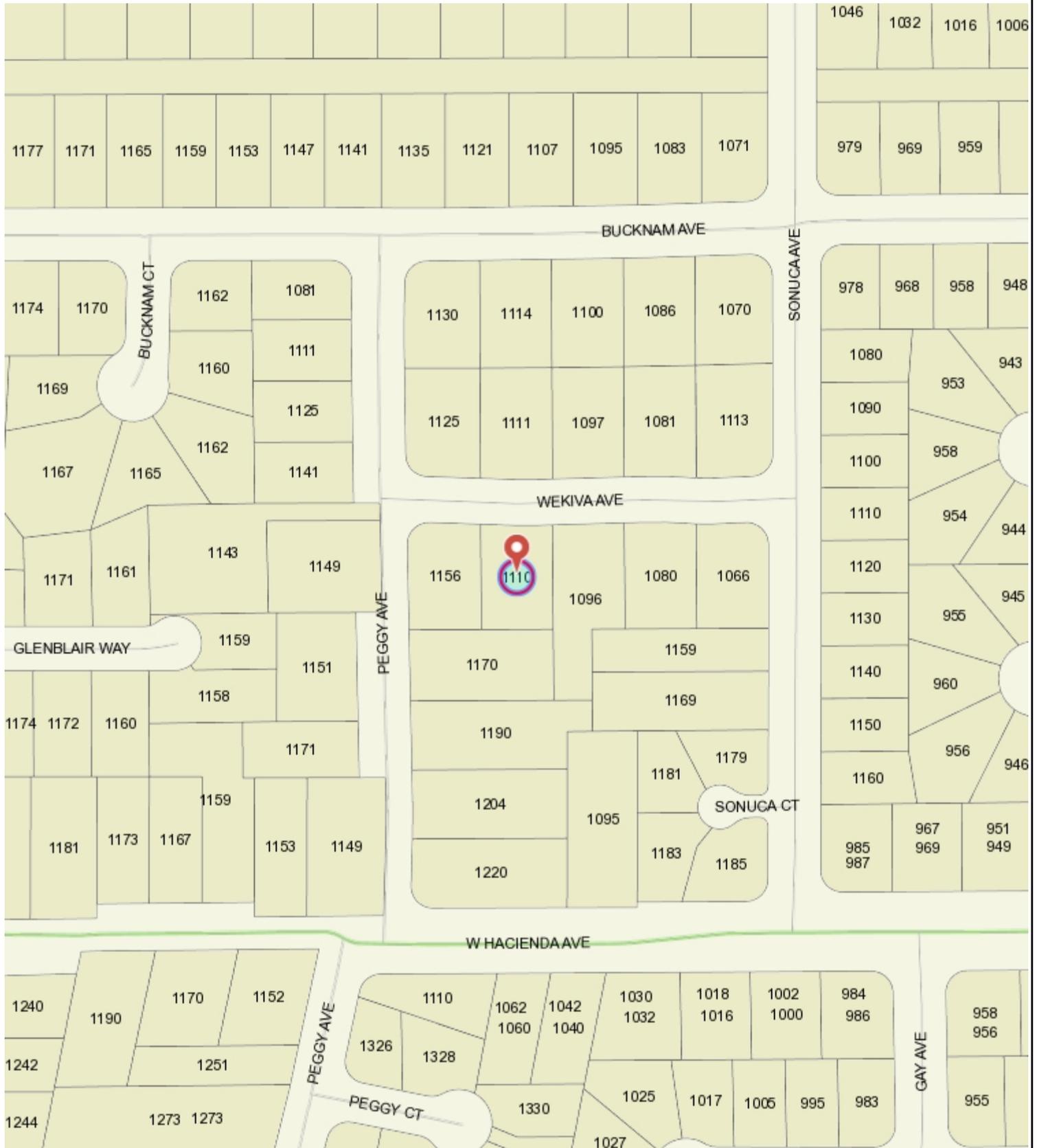
In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **1110 Wekiva Avenue**



1110 Wekiva Ave



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

NEW SINGLE-FAMILY RESIDENCE:
BANDOV RESIDENCE
 1110 WEKIVA AVE
 CAMPBELL, CALIFORNIA

DESIGN &
 DOCUMENTATION BY:
BANDOV
CONSTRUCTION
 1110 WEKIVA AVE.,
 CAMPBELL, CA.
 650 787 - 9149

REVISIONS:
 08.26.19

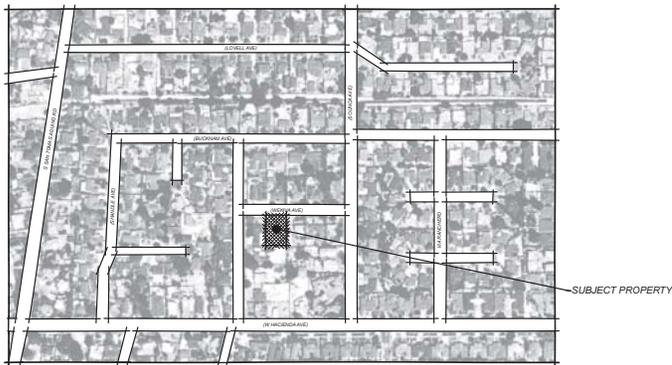
ARCHITECTURAL AND SITE DESIGN REVIEW

AUTOMATIC FIRE SPRINKLERS ARE REQUIRED

THIS PROJECT CONTAINS A PROPOSED AUTOMATIC FIRE SPRINKLER SYSTEM (120). SEPARATE PLANS TO BE SUBMITTED BY FIRE SPRINKLER CONTRACTOR TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR REVIEW OF FIRE SPRINKLER INSTALLATION PRIOR TO PERMIT ISSUANCE. BACKFLOW PREVENTION TO BE PROVIDED. CONTACT UTILITIES DEPARTMENT FOR REQUIREMENTS. WATER METER TO BE SIZED AT 1" FOR SPRINKLER DEMAND, INCLUDING BACKFLOW PREVENTION. WATER LINE FROM HOUSE TO WATER METER TO BE SIZED AT 2". WATER METER INVOICE AND APPROVAL OF BACKFLOW CONFIGURATION REQUIRED PRIOR TO ISSUANCE OF SPRINKLER PERMIT.



CONCEPTUAL RENDERING



VICINITY MAP



OWNERS

JOHN & DIANE BANDOV
 1110 WEKIVA AVE.,
 CAMPBELL, CA.

SHEET INDEX

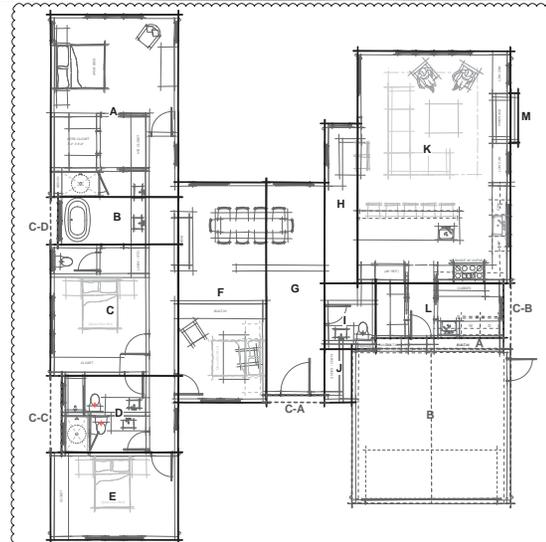
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PROJECT INFO.

ADDRESS: 1110 WEKIVA AVE., CAMPBELL, CA., 95008
 A.P.N.: 406-14-49
 LOT SIZE: 9,594.00 SQ. FT.
 ZONING: R-1-8 (10000)
 OCCUPANCY GROUP: R-3/U-1
 TYPE CONSTRUCTION: VB
 PARKING: 2 REQUIRED
 1 COVERED, 1 UNCOVERED
 FLOOD ZONE: NO
 FIRE SPRINKLERS: REQUIRED
 MAX FLOOR AREA (45%): 4,317.30 SQ. FT.
 MAX BUILDING COVERAGE (35%): 3,357.90 SQ. FT.
 MAXIMUM BUILDING HEIGHT: 28'-00"
 REQUIRED SETBACKS
 FRONT SETBACK: 20'-00"
 GARAGE SETBACK: 25'-00"
 REAR SETBACK: 20'-00"

PROPOSED PROJECT DATA

TOTAL FLOOR AREA: 3,317.31 SQ. FT.
 TOTAL BUILDING LOT COVERAGE: 3,356.56 SQ. FT.
 PROPOSED BUILDING HEIGHT: 17'-06"
 PROPOSED BUILDING SETBACKS:
 FRONT: 20'-00" (25'-00" GARAGE)
 LEFT: 08'-00"
 RIGHT: 10'-00"
 REAR: 25'-00"
 PROPOSED PARKING: 2-COVERED PARKING, (ATTACHED GARAGE)



FLOOR AREA CALCULATIONS

(M) 1ST FLOOR (LIVING) AREA (INCLUDED TOWARDS FAR. & LOT COVERAGE)			(M) 1ST FLOOR (COVERED AREAS) (INCLUDED TOWARDS FAR. & LOT COVERAGE ONLY)		
AREA	DIMENSIONS	TOTAL (SQ. FT.)	AREA	DIMENSIONS	TOTAL (SQ. FT.)
A	17'-06" X 25'-00"	437.50 SQ. FT.	CA	01'-00" X 09'-00"	9.00 SQ. FT.
B	16'-06" X 06'-06"	107.25 SQ. FT.	CB	01'-00" X 09'-00"	9.00 SQ. FT.
C	17'-06" X 18'-00"	315.00 SQ. FT.	CC	01'-06" X 10'-06"	15.75 SQ. FT.
D	16'-00" X 10'-06"	168.00 SQ. FT.	CD	01'-00" X 06'-06"	6.50 SQ. FT.
E	17'-06" X 12'-00"	210.00 SQ. FT.			
F	12'-01" X 30'-02"	364.15 SQ. FT.	TOTAL		39.25 SQ. FT.
G	08'-00" X 29'-02"	233.33 SQ. FT.			
H	04'-06" X 21'-10"	98.37 SQ. FT.			
I	07'-00" X 09'-00"	63.00 SQ. FT.			
J	07'-04" X 03'-09"	27.30 SQ. FT.			
K	21'-00" X 31'-10"	668.50 SQ. FT.			
L	17'-06" X 07'-06"	131.25 SQ. FT.			
M	01'-00" X 06'-10"	6.00 SQ. FT.			
TOTAL		2,830.68 SQ. FT.			
(N) 1ST FLOOR (NON-LIVING) AREA (INCLUDED TOWARDS FAR. & LOT COVERAGE)					
AREA	DIMENSIONS	TOTAL (SQ. FT.)			
A	01'-06" X 17'-06"	26.25 SQ. FT.			
B	21'-00" X 21'-00"	462.00 SQ. FT.			
TOTAL		488.25 SQ. FT.			
FLOOR AREA SUMMARY			BUILDING LOT COVERAGE SUMMARY		
FIRST FLOOR LIVING AREA	2,830.68 SQ. FT.	2,830.68 SQ. FT.	FIRST FLOOR LIVING AREA	2,830.68 SQ. FT.	2,830.68 SQ. FT.
ATTACHED CAR GARAGE AREA	488.63 SQ. FT.	488.63 SQ. FT.	ATTACHED CAR GARAGE AREA	488.63 SQ. FT.	488.63 SQ. FT.
			COVERED AREAS	39.25 SQ. FT.	39.25 SQ. FT.
TOTAL ACTUAL FLOOR AREA	3,317.31 SQ. FT.		TOTAL ACTUAL FLOOR AREA	3,356.56 SQ. FT.	

NEW SINGLE-FAMILY RESIDENCE:
BANDOV RESIDENCE
 1110 WEKIVA AVE
 CAMPBELL, CALIFORNIA

STATUS:
 FOR SITE AND
 ARCHITECTURAL
 REVIEW

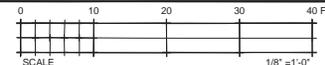
CONTENTS:
 COVER SHEET,
 VICINITY MAP,
 FLOOR AREA
 CALCULATIONS

DATE: 07.31.19

JOB NO.: 2019-01

SHEET NO.:

AA-1





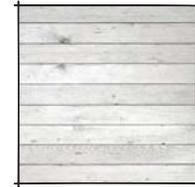
VIEW FROM FRONT



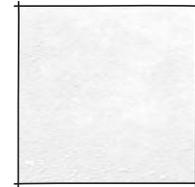
VIEW FROM REAR



COMP ROOF
"ONYX BLACK"



WOOD SIDING
STAINED HORIZONTAL
WOOD SIDING



WALL FINISH
INTEGRAL COLOR CEMENT
(STUCCO) "EGG SHELL"



CLAD WINDOW
"STEEL GRAY"

DESIGN &
DOCUMENTATION BY:
BANDOV
CONSTRUCTION
1110 WEKIVA AVE.,
CAMPBELL, CA.
650 787 - 9149

REVISIONS:

NEW SINGLE-FAMILY RESIDENCE:
BANDOV RESIDENCE
1110 WEKIVA AVE
CAMPBELL, CALIFORNIA

STATUS:
FOR SITE AND
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REVIEW

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CONCEPTUAL
RENDERINGS

DATE: 07.31.19

JOB NO.: 2019-01

SHEET NO.:

AA-2

DESIGN &
DOCUMENTATION BY:
**BANDOV
CONSTRUCTION**
1110 WEKIVA AVE.,
CAMPBELL, CA.
650 787 - 9149

REVISIONS:

NEW SINGLE - FAMILY RESIDENCE:
BANDOV RESIDENCE
1110 WEKIVA AVE
CAMPBELL, CALIFORNIA

STATUS:
FOR SITE AND
ARCHITECTURAL
REVIEW

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DATE: 07.31.19

JOB NO.: 2019-01

SHEET NO.:

AA-3



1096 WEKIVA AVE.

1110 WEKIVA AVE.
(PROPOSED ELEVATION)

1156 PEGGY AVE.
(CORNER LOT)

STREETSCAPE ELEVATION



1096 WEKIVA AVE.

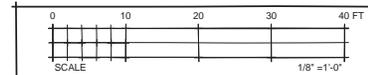


1110 WEKIVA AVE.
(EXISTING)

EXISTING STREETSCAPE/PHOTOS



1156 PEGGY AVE.
(CORNER LOT)

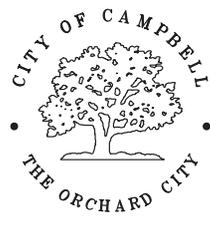


GRADING AND DRAINAGE NOTES

- CALIFORNIA BUILDING CODE**
ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE.
- O.S.H.A. REGULATIONS**
ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- GEOTECHNICAL (SOILS) REPORT**
THE ENGINEER OF WORK HAS DESIGNED THIS PROJECT TO COMPLY WITH THE GRADING RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL (SOILS) REPORT PREPARED BY POLLAK ENGINEERING INC., DATED JULY 13, 2014, PROJECT NO. 1272.
- SPECIFICATIONS AND OBSERVATIONS**
ALL GRADING AND DRAINAGE WORK SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER OR ENGINEER OF WORK. THE SOILS ENGINEER/ENGINEER OF WORK AND CITY (866-2150) SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADINGS. UNAPPROVED GRADING WORK SHALL BE REMOVED AND REPLACED UNDER OBSERVATION.
- NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM**
PRIOR TO ISSUANCE OF ANY GRADING OR BUILDING PERMITS, THE APPLICANT SHALL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING REQUIREMENTS AND THE CALIFORNIA STORM WATER BEST MANAGEMENT PRACTICES HANDBOOK PREPARED BY THE STORM WATER QUALITY TASK FORCE, SANTA CLARA VALLEY WATER DISTRICT AND THE CITY OF CAMPBELL MUNICIPAL CODE REGARDING STORM WATER POLLUTION PREVENTION.
- LOCAL NON-POINT SOURCE ORDINANCE**
COMPLIANCE WITH THE LOCAL NON-POINT SOURCE ORDINANCE CONCERNING DISCHARGE OF MATERIALS TO THE STORM DRAINAGE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GRADING CONTRACTOR.
- UNDERGROUND UTILITIES AND STRUCTURES**
THE EXISTENCE AND APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES SHOWN ON THESE PLANS WERE DETERMINED BY THE ENGINEER OF WORK BY SEARCHING THE AVAILABLE PUBLIC RECORDS. THEY ARE SHOWN FOR GENERAL INFORMATION ONLY. THE CITY OF CAMPBELL MAKES NO CLAIMS OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY UTILITY LOCATIONS WITH THE APPROPRIATE AGENCY. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES, STRUCTURES AND ANY OTHER IMPROVEMENTS FOUND AT THE WORK SITE.
- EROSION CONTROL**
EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES MAY BE REQUIRED IN ALL GRADED AREAS. SEE LANDSCAPE PLAN, IF APPLICABLE, FOR DETAILS OF PLANTING.
- UTILITY ELEVATION VERIFICATION**
THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND STORM DRAIN CONSTRUCTION PRIOR TO ANY SITE WORK. SHOULD DISCREPANCIES OF EXISTING STORM DRAIN CONNECTIONS AND THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY ENGINEER OF WORK BEFORE ADJUSTING THE DESIGN.
- UTILITY CROSSINGS**
THE CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY, SEWER AND STORM DRAIN LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. HE OR SHE SHALL CALL THE ENGINEER OF WORK REGARDING POTENTIAL CONFLICTS BEFORE FIELD WORK BEGINS.
- GRADING REQUIREMENTS**
DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE. IT SHALL BE THE OWNERS AND CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE DRAINAGE SYSTEM FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS AND THE CONTRACTOR SHALL REGRADE AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE BUILDING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2% FOR AT LEAST 5 FEET. MINIMUM SLOPE IN ALL OTHER CASES SHALL BE NO LESS THAN 1%.
- GRADED SITE ELEVATIONS**
ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF ANY APPROVED DRAINAGE DEVICE A MINIMUM OF 12 INCHES (302 MM PLUS 2 PERCENT). THE BUILDING OFFICIAL MAY APPROVE ALTERNATE ELEVATIONS, PROVIDED IT CAN BE DEMONSTRATED THAT REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS ON THE SITE.
- CLEAN, SAFE AND USABLE PUBLIC RIGHT-OF-WAY AND PRIVATE PROPERTY**
THE PERMITEE SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE SOL. RIPS, RILLS OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- TOPOGRAPHY SURVEY**
THE TOPOGRAPHY SURVEY MADE BY MacLEOD & ASSOCIATES ON MARCH 1, 2019.
- TREE REMOVAL AND PRESERVATION**
THIS PLAN DOES NOT APPROVE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHOD OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE PLANNING DIVISION.
- PROJECT PLANS**
THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCAPE PLANS, IF APPLICABLE, FOR DETAILS AND DIMENSIONS. FENCES AND WALLS ARE NOT A PART OF THESE PLANS.
- FINAL LETTER OF INSPECTION**
THE SOILS ENGINEER OR ENGINEER OF WORK SHALL PROVIDE FINAL LETTER OF INSPECTION AT COMPLETION OF THE GRADING.
- GRADE EVENLY**
THE CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- APPROVAL OF PLANS**
APPROVAL OF THIS PLAN APPLIES ONLY TO THE EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT COVER ANY RIGHTS-OF-ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS. PROPOSED IMPROVEMENTS ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
- WELL LOCATIONS**
ALL KNOWN WELL LOCATIONS ON THE SITE HAVE BEEN INCLUDED AND SUCH WELLS SHALL BE MAINTAINED OR ABANDONED ACCORDING TO CURRENT REGULATIONS ADMINISTERED BY SANTA CLARA VALLEY WATER DISTRICT. CALL (408) 259-2600 EXTENSION 382 TO ARRANGE FOR DISTRICT OBSERVATIONS OF ALL WELL ABANDONMENTS.
- EARTHWORK QUANTITIES**
THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS ARE ONLY TO BE USED TO DETERMINE THE GRADING PLAN REVIEW AND PERMIT FEES.
- ELEVATION ADJUSTMENTS**
ADJUSTMENTS OF PADS OR PARKING LOT ELEVATIONS TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER OF WORK AND THE CITY OF CAMPBELL BUILDING DIVISION.
- TRUCK ROUTE**
THE TRUCK ROUTE SHALL BE FROM PROJECT SITE: WEST ON WEKIVA, SOUTH ON PEGG AVENUE, EAST ON HACIENDA AVENUE, NORTHEAST ON WINCHESTER, EAST ON SAN TOMAS EXPRESS WAY TO FREEWAY 17.
- CONTRACTOR RESPONSIBILITIES**
THE SOILS ENGINEER AND/OR ENGINEER OF WORK WILL NOT DIRECTLY CONTROL THE PHYSICAL ACTIVITIES OF THE CONTRACTOR OR ANY SUBCONTRACTOR OF THE CONTRACTOR OR SUBCONTRACTOR'S WORKMANS ACCOMPLISHMENT OF WORK ON THE PROJECT. CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR WORKING CONDITIONS ON THE JOBSITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- NEAT AND CLEAN PREMISES**
DURING THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL KEEP THE PREMISES OCCUPIED BY HIM IN A NEAT AND CLEAN CONDITION, DISPOSING OF REFUSE IN A SATISFACTORY MANNER AS OBTAIN DIRECTED, OR AS MAY BE NECESSARY SO THAT THERE SHALL AT NO TIME BE ANY UNSIGHTLY ACCUMULATION OF RUBBISH

ON-SITE GRADING & DRAINAGE PLANS

PROJECT STREET ADDRESS: 1110 WEKIVA AVENUE
BUILDING PERMIT NO. 20__ - _____
ASSESSORS PARCEL NO. 406-14-049
TRACT NO. 749 / LOT 4



CITY OF CAMPBELL
DEPARTMENT OF PUBLIC WORKS

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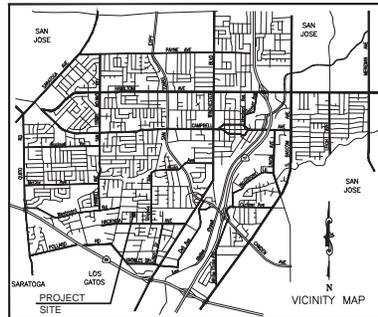
LEGEND

EXISTING	PROPOSED
SIDEWALK, CURB AND GUTTER	
CENTER LINE	
PROPERTY LINE	
EDGE OF PAVEMENT	
DRIVEWAY	
STANDARD CITY MONUMENT BENCH MARK	
MANHOLE	
STORM DRAIN INLET	
WATER METER	
VALVE	
FIRE HYDRANT	
STREET LIGHT	
POWER POLE	
PULL BOX	
CABLE TELEVISION LINE	
ELECTRICAL LINE	
IRRIGATION LINE	
NATURAL GAS LINE	
OVERHEAD LINE	
SANITARY SEWER LINE	
STORM DRAIN LINE	
TELEPHONE LINE	
WATER LINE	
TRAFFIC SIGNAL CONDUIT	
LIGHTING CONDUIT	
ROADSIDE SIGN & SIGN CODE	
FENCE	
TREE/SHRUB	



AGENCY INDEX

- SANTA CLARA COUNTY FIRE DEPARTMENT (408) 378-4010
- CITY OF CAMPBELL - PUBLIC WORKS (408) 866-2150
- CITY OF CAMPBELL - POLICE (408) 866-2121
- SBC TELEPHONE (408) 811-3900
- PACIFIC GAS & ELECTRIC (408) 973-8988
- SAN JOSE WATER COMPANY (408) 279-7900
- SANTA CLARA VALLEY WATER DISTRICT (408) 265-2600
- COMCAST CABLE TELEVISION (408) 452-9100
- WEST VALLEY SANITATION DISTRICT (408) 378-2407



SITE SURFACE COVERAGE

LOT AREA	SF	% COVERAGE
PERVIOUS	6,129	64%
IMPERVIOUS	3,465	36%

ABBREVIATIONS

- | | | | |
|-----|-------------------|------|--------------------------|
| AB | AGGREGATE BASE | LOL | LAYOUT LINE |
| AC | ASPHALT CONCRETE | MAX | MAXIMUM |
| BC | BEGIN CURVE | MH | MANHOLE |
| BCR | BEGIN CURB RETURN | MIN | MINIMUM |
| CL | CLASS | OG | ORIGINAL GRADE |
| DIA | DIAMETER | PB | PULL BOX |
| DWV | DRIVEWAY | PCC | PORTLAND CEMENT CONCRETE |
| EC | END CURVE | PVC | POLYVINYL CHLORIDE |
| EGR | END CURB RETURN | R | RADIUS |
| ED | EDGE DRAIN | RCP | REINFORCED CONCRETE PIPE |
| EX | EXISTING | R/W | RIGHT-OF-WAY |
| FC | FACE OF CURB | STA | STATION |
| FG | FINISH GRADE | SW | SIDEWALK |
| FH | FIRE HYDRANT | TC | TOP OF CURB |
| INV | INVERT | TEMP | TEMPORARY |
| IRR | IRRIGATION | TYP | TYPICAL |

Earthwork Quantities

FILL:	10 CY
CUT:	65 CY
IMPORT:	0 CY
EXPORT:	55 CY

CITY OF CAMPBELL
PLANNING DIVISION CLEARANCE
PLAN CHECK # _____
APPROVED BY _____
DATE _____

THESE PLANS HAVE BEEN REVIEWED AND FOUND TO BE IN SUBSTANTIAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL INFORMATION REPORT ON 07/09/18 IN CAMPBELL, CALIFORNIA, PROJECT NO. 1522, DATED 07/15/18, PREPARED BY POLLAK ENGINEERING.

ROBERT POLLAK DATE _____

CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT CLEARANCE

THIS PLAN WITH ATTACHED DOCUMENTS HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CITY OF CAMPBELL AND STATE OF CALIFORNIA CODES AND THE CURRENT NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT. THIS PLAN SHALL NOT BE CHANGED OR MODIFIED WITHOUT AUTHORIZATION FROM THE BUILDING OFFICIAL WORK PERFORMED RELATED TO THIS PLAN SHALL BE DONE IN ACCORDANCE WITH THE PLAN AND ALL APPLICABLE CODES. THIS APPROVAL SHALL NOT BE HELD TO PREVENT OR UNDERSTOOD AS TO BE AN APPROVAL OF A VIOLATION OF ANY CITY OR STATE LAW.

BY: _____ DATE: _____

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6705 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

THE DESIGN SHOWN HEREON IS NECESSARY AND REASONABLE AND DOES NOT RESTRICT ANY HISTORIC DRAINAGE PLOTS FROM ADJACENT PROPERTIES NOR INCREASE DRAINAGE TO ADJACENT PROPERTIES.

THE DESIGN INCLUDES PRINCIPLES AND TECHNIQUES TO REDUCE POLLUTION AND IMPROVE THE QUALITY OF STORM WATER RUNOFF, AS REQUIRED BY NPDES.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

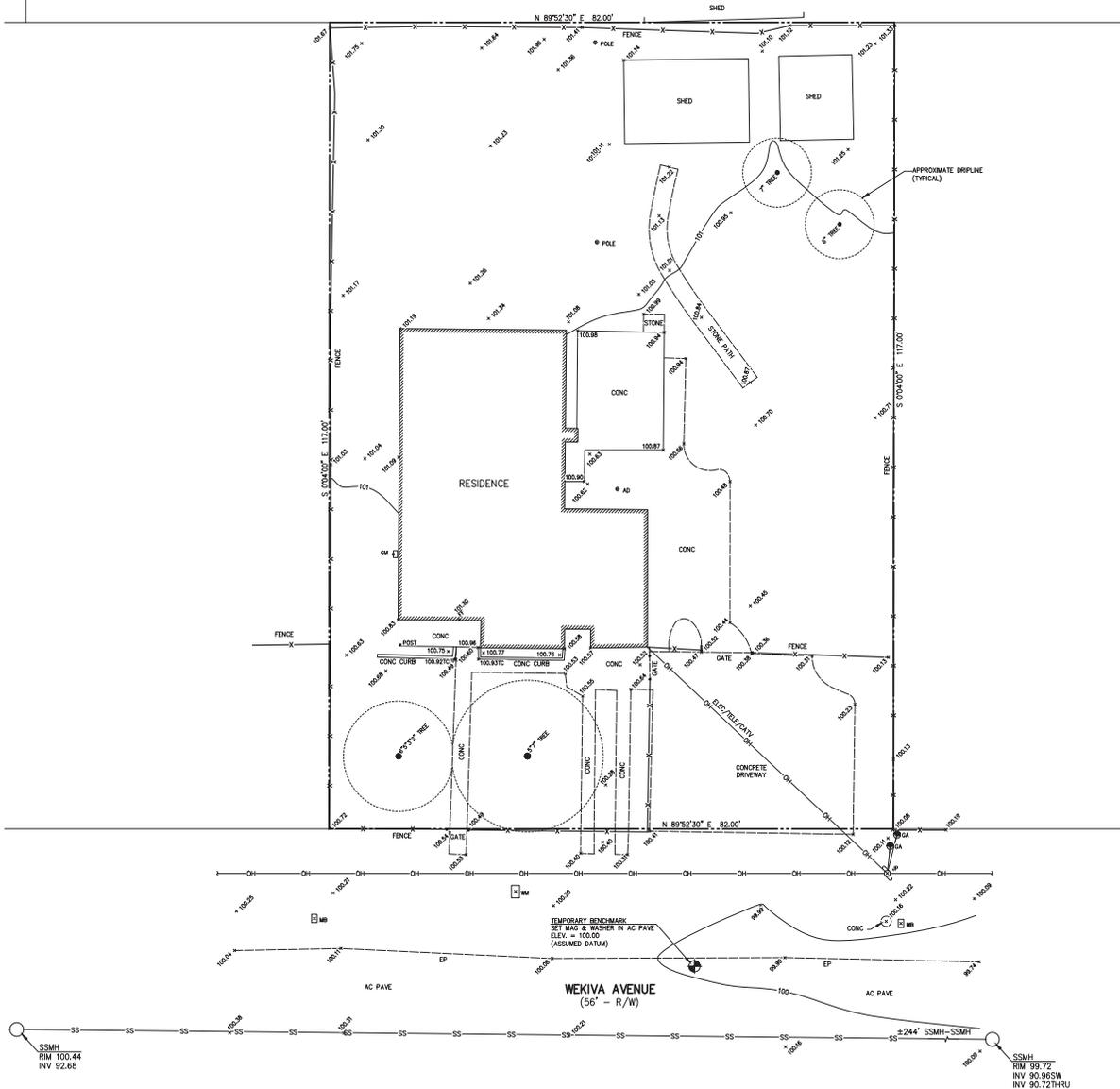
DANIEL G. MacLEOD
35048
P.E.
MacLEOD & ASSOCIATES
605 CENTER STREET, SAN CARLOS, CA 94070
TEL: (650) 993-8590

DATE: 07/31/19
DRAWN BY: AAP
DESIGNED BY: VPC

MACLEOD AND ASSOCIATES
605 CENTER STREET, SAN CARLOS, CA 94070, (650) 993-8590

TITLE SHEET
110 WEKIVA AVENUE, CAMPBELL, CALIFORNIA
TRACT MAP NO. 749/BUILDING PERMIT NO. _____

SCALE: NONE
SHEET: C-1
1 OF 6

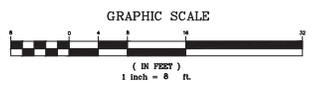


- LEGEND**
- AC PAVE ASPHALT CONCRETE PAVEMENT
 - AD AREA DRAIN
 - CATV CABLE TELEVISION
 - CONC CONCRETE
 - ELEC ELECTRIC
 - EP EDGE OF PAVEMENT
 - FF FINISH FLOOR
 - GA GUY ANCHOR
 - GM GAS METER
 - INV INVERT
 - JP JOINT UTILITY POLE
 - MB MAILBOX
 - SSMH SANITARY SEWER MANHOLE
 - TC TOP OF CURB
 - TELE TELEPHONE
 - WM WATER METER
 - 12" TREE
 - X—X— FENCE
 - OH— OVERHEAD UTILITY LINE
 - SS— SANITARY SEWER LINE
 - PROPERTY LINE
 - ASPHALT CONCRETE PAVEMENT
 - AREA DRAIN
 - CABLE TELEVISION
 - CONCRETE
 - ELECTRIC
 - EDGE OF PAVEMENT
 - FINISH FLOOR
 - GUY ANCHOR
 - GAS METER
 - INVERT
 - JOINT UTILITY POLE
 - MAILBOX
 - SANITARY SEWER MANHOLE
 - TOP OF CURB
 - TELEPHONE
 - WATER METER
 - TREE W/ SIZE
 - FENCE
 - OVERHEAD UTILITY LINE
 - SANITARY SEWER LINE

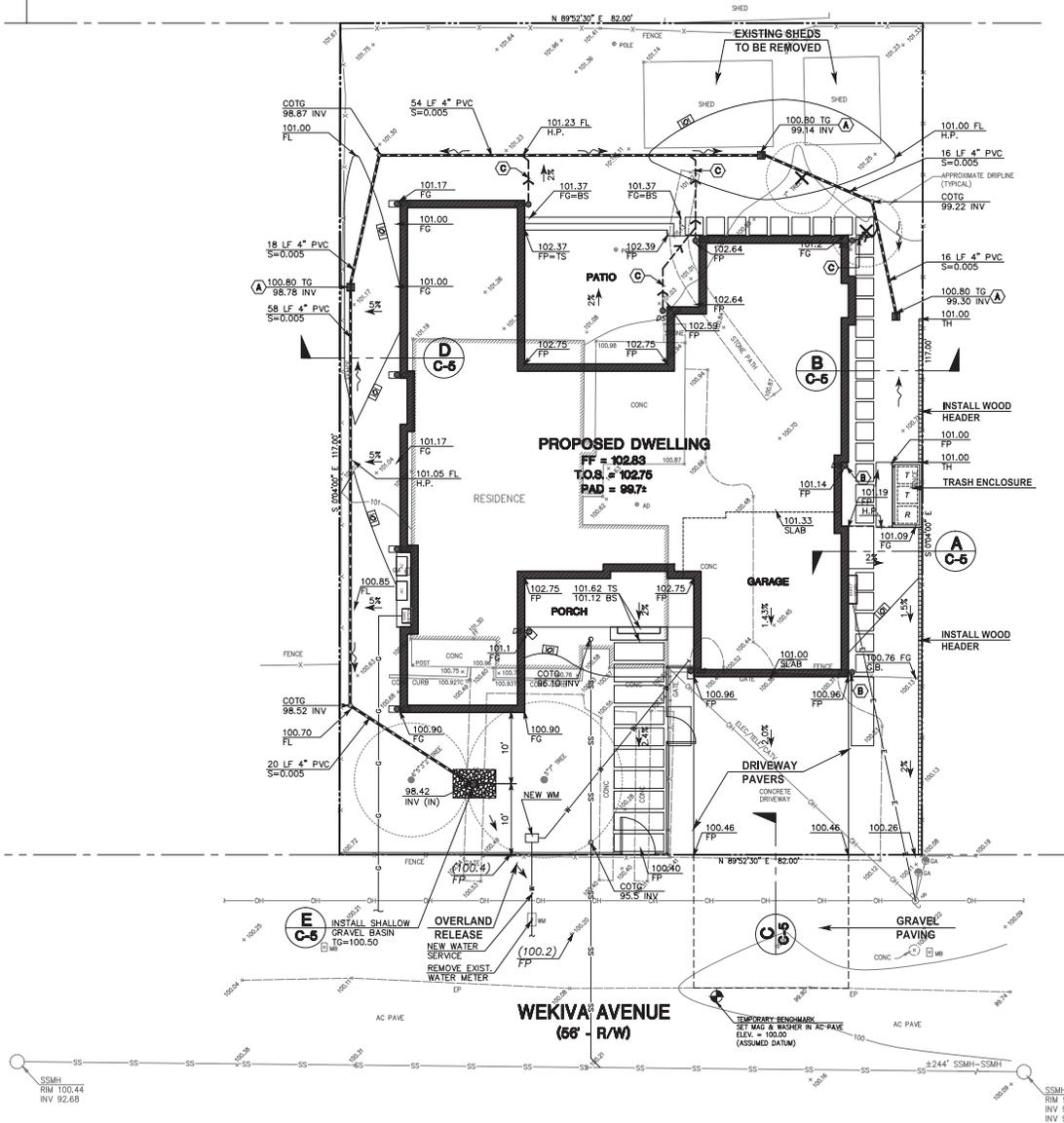
LOT AREA:
 = 9,594 SQ. FT. ±
 = 0.220 ACRES ±

UTILITY NOTE:
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENT NOTE:
 EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.



DATE: 07/31/19	DRAWN BY: MAP	DESIGNED BY: VPG	NO.	REVISION	DATE	BY
MACLEOD AND ASSOCIATES 705 CENTER STREET SAN CARLOS, CA 94068 (415) 992-8800			TOPOGRAPHIC SURVEY PLAN 1110 WEKIVA AVENUE, CAMPBELL, CALIFORNIA TRACT MAP NO. 749/BUILDING PERMIT NO.			
SCALE: NONE			SHEET: C-2 2 OF 6			



GENERAL NOTES:

1. ALL MATERIALS SHALL BE FURNISHED BY AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
2. WHEN APPLICABLE, ALL CONSTRUCTION MATERIALS AND METHODS SHALL COMPLY WITH THE ORDINANCES, SPECIFICATIONS AND STANDARDS OF THE CITY OF CAMPBELL, UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) PRIOR TO START OF CONSTRUCTION. PHONE (800) 227-2600.
4. UNLESS OTHERWISE SPECIFIED, ALL STORM DRAIN PIPES SHALL BE PVC SDR 35 WITH BELL AND SPIGOT RUBBER GASKET JOINTS PER ASTM D 3034. STORM DRAIN INSTALLATION SHALL BEGIN FROM THE DOWNSTREAM POINT OF CONNECTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLYING MATERIAL FOR DEFICIENCIES TO BRING DRIVEWAY AND BUILDING PADS TO REQUIRED GRADE.
6. THE CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, GRADING, ETC., AND TO AVOID ABRUPT OR APPARENT CHANGES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
7. THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF CAMPBELL (PUBLIC WORKS) PRIOR TO START OF ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

CONSTRUCTION NOTES:

- (A) INSTALL 12" X 12" PLASTIC DRAIN BOX WITH 3/4" GRATE OPENING BY "NDS" OR APPROVED EQUAL.
- (B) DISPERSE DOWNSPOUT TO ADJACENT IMPERVIOUS SURFACE AREA
- (C) CONNECT DOWNSPOUT TO NEW STORM DRAIN SYSTEM WITH 4" PVC AT 1% MIN. SLOPE

LEGEND:

AC PAVE	PROPERTY LINE
AD	ASPHALT CONCRETE PAVEMENT
BS	AREA DRAIN
CATV	BOTTOM OF STEP
CONC	CABLE TELEVISION
CD	CONCRETE
COTG	CLEANOUT
DS	CLEANOUT TO GRADE
ELEC	DOWNSPOUT
EP	ELECTRIC
FP	EDGE OF PAVEMENT
FF	FINISH PAVEMENT
FG	FINISH FLOOR
G.B.	FINISH GRADE
GA	GRADE BREAK
GM	GUY ANCHOR
H.P.	GAS METER
INV	HIGH POINT
INVERT	INVERT
JUP	JOINT UTILITY POLE
MB	MAILBOX
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TELE	TELEPHONE
TS	TOP OF STEP
T.O.S.	TOP OF SUBFLOOR
WM	WATER METER
W	TREE W/ SIZE
X	EXISTING TREE TO BE REMOVED
OH	OVERHEAD UTILITY LINE
SS	SANITARY SEWER LINE
E	ELECTRIC LINE
G	GAS LINE
W	WATER LINE
[101]	NEW STORM DRAIN LINE
[101]	NEW CONTOUR
[101]	DOWNSPOUT WITH SPLASH BLOCK
SW	SWALE
→	SURFACE RUNOFF DIRECTION

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

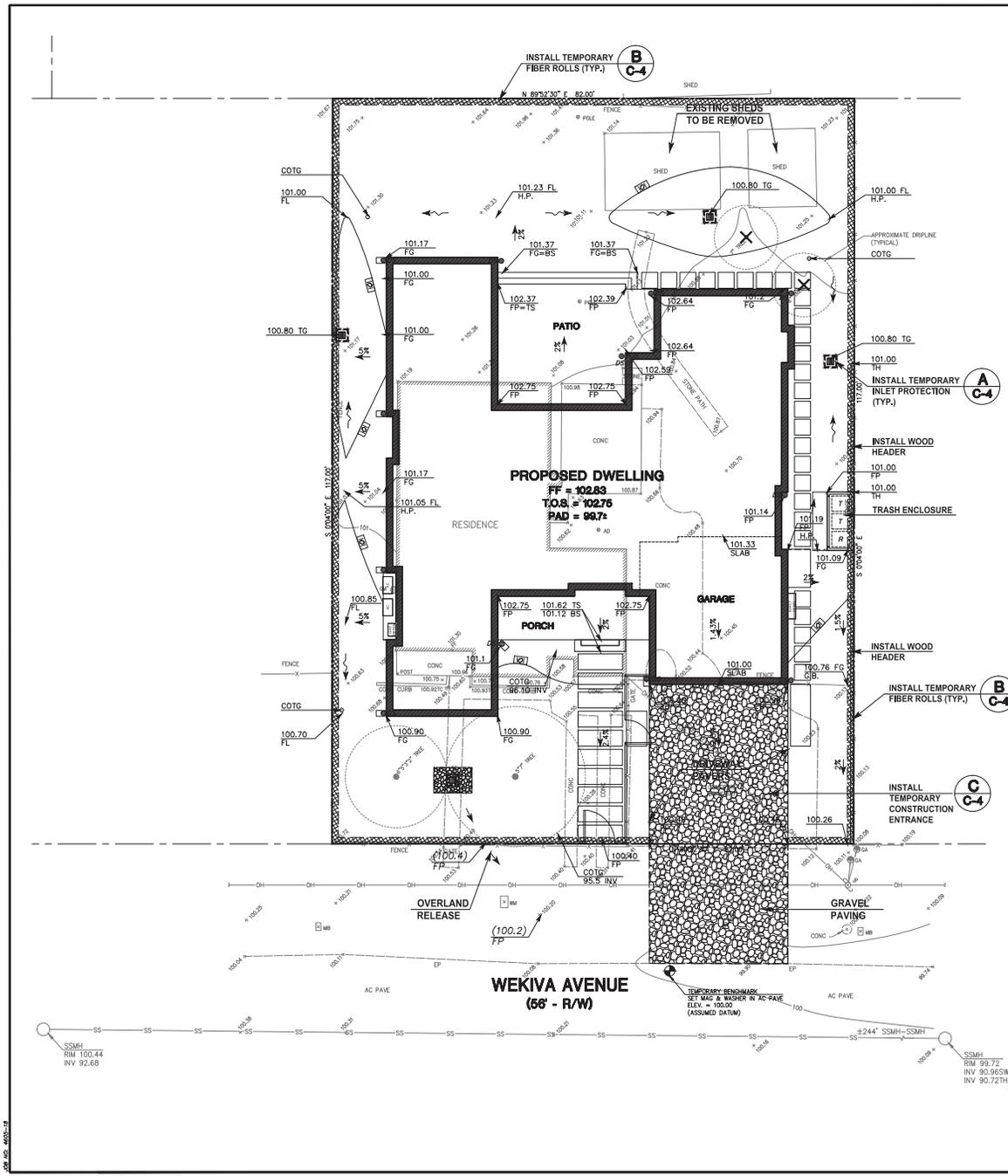
GEOTECHNICAL ENGINEER'S NOTE:

THE GEOTECHNICAL INVESTIGATION REPORT PREPARED BY POLLAK ENGINEERING, INC., PROJECT NO: 1272, DATED JULY 13, 2018, SHALL BE MADE A PART OF THIS PLAN.

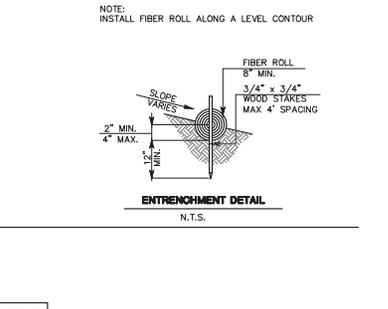
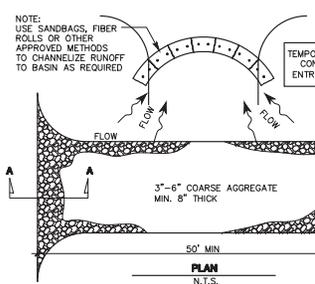
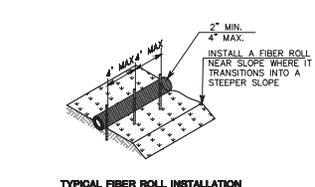
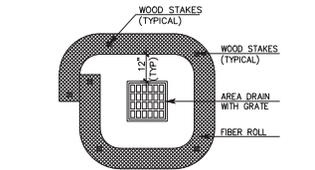
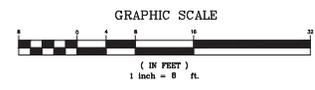
	ON-SITE GRADING, DRAINAGE & UTILITY PLAN 110 WEKIVA AVENUE, CAMPBELL, CALIFORNIA TRACT MAP NO. 749/BUILDING PERMIT NO.	Date: 07/31/19 Drawn By: MAP Designed By: YFC	By: CHRL Date: 09/03/19 YFC
	No. SITE PLAN REVISED	No. SITE PLAN REVISED	No. SITE PLAN REVISED

SCALE:
1" = 8'

SHEET:
C-3
3 OF 6



- ### EROSION CONTROL NOTES:
1. THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK & TRIBUTARIES.
 2. A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITION DEMAND, AND REPAIR OF ANY MEASURES USED TO TRAP SEDIMENTS.
 3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
 4. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. BY OCTOBER 1, GRADING AND INSTALLATION OF STORM DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED. NO GRADING WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15 UNLESS AUTHORIZED BY THE CITY REPRESENTATIVE.
 5. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAINAGE SYSTEM.
 6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE EROSION AND SEDIMENT CONTROL FIELD MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.

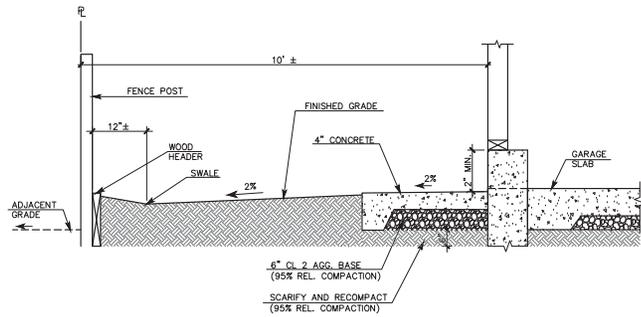


- ### DESIGN AND CONSTRUCTION SPECIFICATIONS FOR CONSTRUCTION ENTRANCE:
1. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3 TO 6 INCH STONE.
 2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 8 INCHES.
 3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.
 4. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

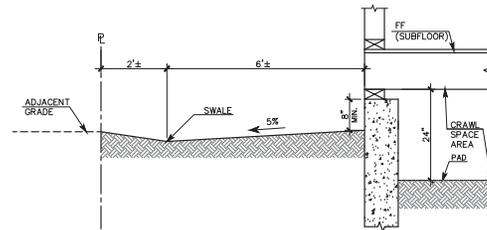
DATE: 07/31/19	DATE: 09/03/19	DATE: 09/03/19	DATE: 09/03/19
DESIGNED BY: IAP	DESIGNED BY: IAP	DESIGNED BY: IAP	DESIGNED BY: IAP
DRAWN BY: IAP	DRAWN BY: IAP	DRAWN BY: IAP	DRAWN BY: IAP
CHECKED BY: IAP	CHECKED BY: IAP	CHECKED BY: IAP	CHECKED BY: IAP
DATE: 07/31/19	DATE: 09/03/19	DATE: 09/03/19	DATE: 09/03/19
DESIGNED BY: IAP	DESIGNED BY: IAP	DESIGNED BY: IAP	DESIGNED BY: IAP
DRAWN BY: IAP	DRAWN BY: IAP	DRAWN BY: IAP	DRAWN BY: IAP
CHECKED BY: IAP	CHECKED BY: IAP	CHECKED BY: IAP	CHECKED BY: IAP

EROSION & SEDIMENTATION CONTROL PLAN
110 WEKIVA AVENUE CAMPBELL CALIFORNIA
TRACT MAP NO. 749/BUILDING PERMIT NO.

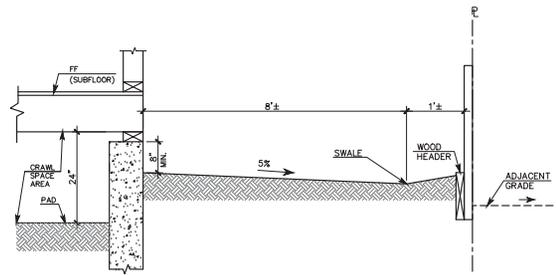
SCALE: 1" = 8'
SHEET: C-4
4 OF 6



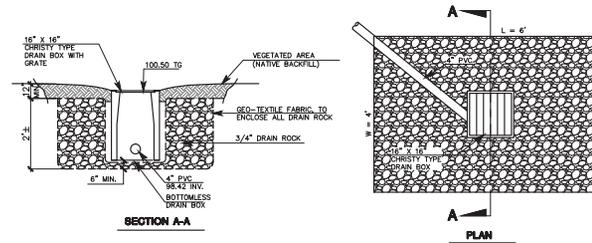
A GARAGE PERIMETER GRADING ADJACENT TO IMPERVIOUS SURFACE
SCALE: (NOT TO SCALE)



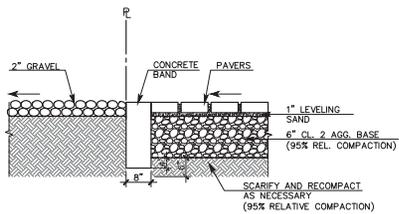
D HOUSE PERIMETER GRADING (EAST SIDE)
SCALE: (NOT TO SCALE)



B HOUSE PERIMETER GRADING (WEST SIDE)
SCALE: (NOT TO SCALE)



E BUBBLER BOX WITH SHALLOW GRAVEL BASIN
SCALE: (NOT TO SCALE)



C SECTION AT DRIVEWAY
SCALE: NOT TO SCALE

No.	Revision	Date	By
	REV. DETAIL A & B	09/03/19	YFG
Date:	07/31/19		
Drawn By:	MAP		
Designed By:	YFG		
MACLEOD AND ASSOCIATES 705 CENTER STREET SAN CARLOS, CA 94080-4850 (925) 992-8888			
CIVIL DETAILS 110 WELVA AVENUE CAMPBELL, CALIFORNIA TRACT MAP NO. 749/BUILDING PERMIT NO. _____			
SCALE: N.T.S.			
SHEET: C-5			
5 OF 6			

DWG. NO. 6602-11

PLANT LEGEND

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE
FRS	1 GAL	FRAXINUS	WHITE BIRCH	LOW
OLE EUR	1 GAL	OLEA EUROPAEA	OLIVE	LOW
PHO HYB	5 GAL	PHORADENDRON HYBRIDUM	WESTER REDWOOD	LOW
LOM LON	1 GAL	LOMBARDIA LOMBA	LOMBARD POPP	LOW
MYO PAR	1 GAL	MYRTUS PARVIFLORA	PARROT PALM	LOW
DIQ BIC	5 GAL	DIEBACK	DIETONIA BICOLOR	LOW
SEN MAN	1 GAL	SEMPERPARVENS	SEMPERPARVENS	LOW
ANL HYB	1 GAL	ANEMONE HYBRIDA	ANEMONE	LOW
LOM LON	1 GAL	LOMBARDIA LOMBA	LOMBARD POPP	LOW
MYO PAR	1 GAL	MYRTUS PARVIFLORA	PARROT PALM	LOW

NOTE: PLANTS TO BE GROUPED IN HYDROZONES ACCORDING TO WATER USES. ALL WATER USE INFORMATION WAS TAKEN FROM THE 2000 EDITION OF WOODS II. 100% OF PROPOSED PLANTS ARE LOW WATER USE (75% REQUIRED).

PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES & STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS ARE DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH THE PLANTING OPERATION.
- SEE DETAILS FOR STAKING METHOD. PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- ALL PLANT FITS SHALL BE FREE FROM ROCKS AND DEBRIS GREATER THAN 2" IN DIAMETER.
- PLANT MATERIAL LOCATIONS ARE SUGGESTATIVE AND SUBJECT TO CHANGE IN THE FIELD AS DIRECTED BY THE LANDSCAPE ARCHITECT. LOCATE PLANT MATERIALS TO SCREEN UTILITIES, IRRIGATION DEVICES, ETC., AS MUCH AS POSSIBLY YET ALLOW ACCESS TO THEM.
- THE OWNER RESERVES THE RIGHT TO MAKE SUBSTITUTIONS, ADDITIONS AND DELETIONS IN THE PLANTING SCHEME AS NECESSARY WHILE THE CONTRACT IS IN PROGRESS. SUCH CHANGES ARE TO BE ACCOMPANIED BY EQUITABLE ADJUSTMENTS IN THE CONTRACT PRICE IF WHEN NECESSARY.
- ALL PLANT MATERIAL SHALL BE APPROVED FOR QUALITY BY THE OWNER AND LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER AND LANDSCAPE CONTRACTOR. LOCATION SHALL BE APPROVED PRIOR TO EXCAVATION.
- LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED WITHIN 10' FOOT OF FINISHED GRADE. CONTRACTOR SHALL ACCEPT GRADE PRIOR TO COMMENCING WORK. STARTING WORK IMPLIES AN ACCEPTANCE OF GRADE. FINAL GRADES SHALL BE ADJUSTED AS DIRECTED BY OWNER. ALL GRADING SHALL BE COMPLETE PRIOR TO COMMENCEMENT OF PLANTING OPERATION.
- CONTRACTOR SHALL NOTIFY OWNER SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PRODUCT SCHEDULES AS REQUIRED.
- AMEND THE TOP 6"-8" OF TOPSOIL WITH A 3" LAYER NITROGEN AND IRON STABILIZED REDWOOD SOIL CONDITIONER SUCH AS GROVENEER'S TOPSOIL AMENDMENT SHALL CONSIST OF 1 PART REDWOOD SOIL CONDITIONER AND 1 PART NATIVE SOIL. PLANT BACKFILL MIX AND THE TOPSOIL AMENDMENT SHALL CONTAIN PER CUBIC YARD: 25 LBS. MIXTURE OF COMMERCIAL FERTILIZER (20-10-10 OR EQUAL) 10 LBS. IRON SULFATE 10 LBS. UREA FORMALDEHYDE (20-0-0)
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH LOCAL CODES AND ORDINANCES. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS. CONTRACTOR STAKING TREES AS NECESSARY. FENCE AS NECESSARY. LOCATE ALL UTILITIES BEFORE PROCEEDING WITH THE WORK. COORDINATE ALL DRIBBLING AND TRENCHING PRIOR TO BEGINNING WORK WITH PROJECT SUPERVISOR. FILL.
- APPLY RONSTAR OR ELANCO XL PRE-EMERGENT HERBICIDE TO ALL PLANTED AREAS. APPLY HERBICIDE IN STRICT ACCORDANCE WITH LABEL AND THE SUPPLIER'S SPECIFIC. THE LANDSCAPE SHALL BE KEPT FREE OF THE FINAL WALKTHROUGH.
- INSTALL 2" LAYER OF MINI BARK MULCH IN ALL NEWLY PLANTED AREAS. SUBMIT SAMPLES FOR APPROVAL.

LANDSCAPE DOCUMENTATION INFORMATION

- PROJECT INFORMATION
- DATE: 9-2-19
- PROJECT APPLICANT: JOHN AND DANIE BANDOV, (650) 787-8149
1100 WENNA AVENUE, CAMPBELL, CA 95008
- PROJECT ADDRESS: 1100 WENNA AVENUE, CAMPBELL, CA 95008
APN: 405-1448
- TOTAL IRRIGATED LANDSCAPE AREA: 1,286 SQ. FT.
- PROJECT TYPE: NEW RESIDENCE
- WATER SUPPLY: POTABLE, SAN JOSE WATER COMPANY
- PROJECT CHECKLIST: SEE BELOW
- PROJECT CONTRACTORS: JOHN DALRYMPLE - LANDSCAPE ARCHITECT, (850) 548-0707
JOHN BANDOV - OWNER, (650) 787-8149
- LANDSCAPE DOCUMENTATION PACKAGE CERTIFICATION:
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE PROFESSIONAL COMPLIANCE OPTION TO THE PERMITS.

NOTES

- EXTENT OF PROPOSED IRRIGATED LANDSCAPE IS 1,286 SQ. FT. -SEE SHEET L-2 FOR SPECIFIC HYDROZONES
- COORDINATE WITH JOB SUPERINTENDENT LOCATION AND CONNECTION OF IRRIGATION CONTROLLER TO 110VOLT POWER SUPPLY INSTALLED PER LOCAL CODES AND ORDINANCES.
- INCORPORATE COMPOST AT RATE OF AT LEAST 4 CUBIC YARDS PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA, (UNLESS CONTRA-INDICATED BY A SOIL TEST)
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEATING APPLICATIONS WHERE MULCH IS CONTRA-INDICATED.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- 75% OF THE PLANTING AREA TO BE LOW WATER PLANTS
- 100% OF PROPOSED PLANTS ARE LOW WATER PLANTS
- UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT, CALL TOLL FREE: 800-22-2000, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.

LAYOUT LEGEND

- DIMENSIONAL STARTING POINT
- TYPICAL
- EQUAL
- ALIGN
- ANGLE MEASUREMENT
- PROPERTY LINE
- CENTER LINE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING WATER METER
- INDICATES PLANTING AREA
- INDICATES DETAIL NUMBER
- INDICATES PAGE NUMBER

LAYOUT NOTES

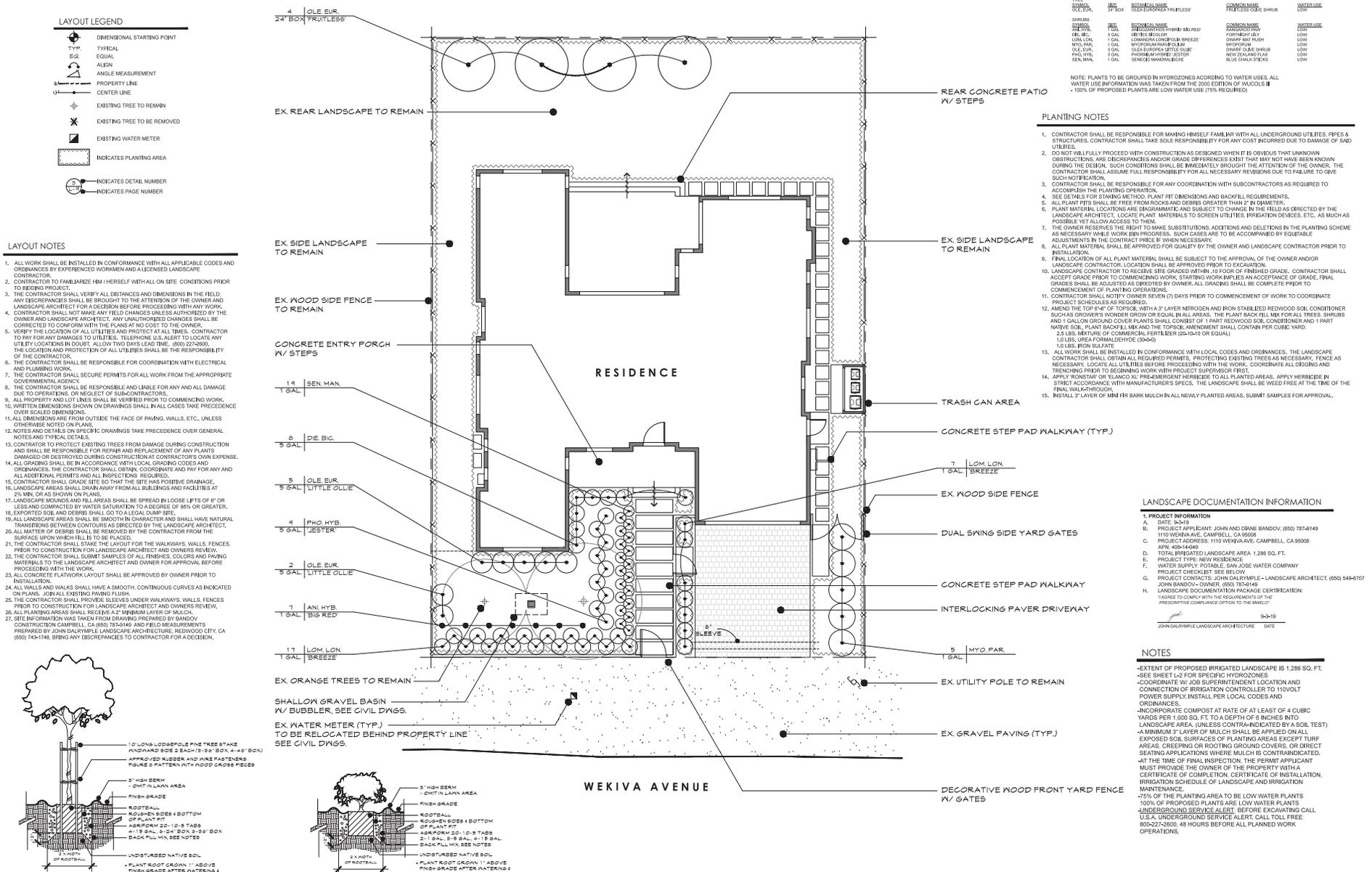
- ALL WORK SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES BY EXPERIENCED WORKMEN AND A LICENSED LANDSCAPE CONTRACTOR.
- CONTRACTOR TO FAMILIARIZE HIM/HERSELF WITH ALL ON-SITE CONDITIONS PRIOR TO BEING PROCEEDED.
- THE CONTRACTOR SHALL VERIFY ALL DISTANCES AND DIMENSIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION BEFORE PROCEEDING WITH ANY WORK. CONTRACTOR SHALL NOT MAKE ANY FIELD CHANGES UNLESS AUTHORIZED BY THE OWNER AND LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM WITH THE PLANS AT THE CONTRACTOR'S COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UTILITIES AND PROTECT AT ALL TIMES. CONTRACTOR TO ADVISE THE OWNER BY TELEPHONE OR ALERT TO LOCATE ANY UTILITY LOCATIONS IN DOUBT. ALLOW TWO DAYS LEAD TIME: (800) 227-2000. THE LOCATION AND PROTECTION OF ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ELECTRICAL AND PLUMBING WORK.
- THE CONTRACTOR SHALL SECURE PERMITS FOR ALL WORK FROM THE APPROPRIATE GOVERNMENT AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGE DUE TO OPERATIONS OR NEGLIGENCE OF SUBCONTRACTORS.
- ALL PROPERTY AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK. ALL DIMENSIONS SHOWN ON DRAWINGS SHALL IN ALL CASES TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL DIMENSIONS ARE FROM OUTSIDE THE FACE OF FINISH WALLS, ETC., UNLESS OTHERWISE NOTED ON PLANS.
- NOTES AND DETAILS ON SPECIFIC DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- CONTRACTOR TO PROTECT EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF ANY PLANTS DAMAGED OR DESTROYED DURING CONSTRUCTION AT CONTRACTOR'S OWN EXPENSE.
- ALL GRADING SHALL BE IN ACCORDANCE WITH LOCAL GRADING CODES AND ORDINANCES. THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL NECESSARY PERMITS AND ALL INSPECTIONS REQUIRED.
- CONTRACTOR SHALL GRADE SITE SO THAT THE SITE HAS POSITIVE DRAINAGE.
- LANDSCAPE AREAS SHALL BE SMOOTH AND FACILITIES AT 2% MIN. OR AS SHOWN ON PLANS.
- LANDSCAPE MOUNDS AND TERRACE AREAS SHALL BE SPREAD IN LOOSE LOTS OF 2" OR LESS AND COMPACTED BY WATER SATURATION TO A DEGREE OF 95% OR GREATER.
- EXPORTED SOIL AND DEBRIS SHALL GO TO A LEGAL DUMP SITE.
- ALL LANDSCAPE AREAS SHALL BE SMOOTH IN CHARACTER AND SHALL HAVE NATURAL TRANSITIONS BETWEEN CONTIGUOUS AREAS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- ALL MATERIALS OF DEBRIS SHALL BE REMOVED BY THE CONTRACTOR FROM THE SURFACE UPON WHICH FILL IS TO BE PLACED.
- THE CONTRACTOR SHALL STAKE THE LAYOUT FOR THE WALKWAYS, WALLS, FENCES, PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
- THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL FINISHES, COLORS AND PAVING MATERIALS TO THE LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL BEFORE PROCEEDING WITH THE WORK.
- ALL CONCRETE FLOORWORK LAYOUT SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- ALL WALLS AND WALKS SHALL HAVE A SMOOTH, CONTINUOUS CURVES AS INDICATED ON PLANS. JOIN ALL EXISTING PAVING FLUSH.
- THE CONTRACTOR SHALL PROVIDE FENCES UNDER WALKWAYS, WALLS, FENCES PRIOR TO CONSTRUCTION FOR LANDSCAPE ARCHITECT AND OWNERS REVIEW.
- ALL PLANTING AREAS SHALL RECEIVE 2" MINIMUM LAYER OF MULCH.
- SEE SITE INFORMATION TAKEN FROM DRAWING PREPARED BY BANDOV CONSTRUCTION CAMPBELL, CA (650) 787-8149 AND FIELD MEASUREMENTS PREPARED BY JOHN DALRYMPLE LANDSCAPE ARCHITECTURE, REDWOOD CITY, CA (650) 548-1449. BRING ANY DISCREPANCIES TO CONTRACTOR FOR A DECISION.

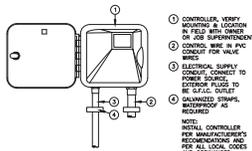
1 TREE PLANTING DETAIL

NOT TO SCALE

2 SHRUB PLANTING DETAIL

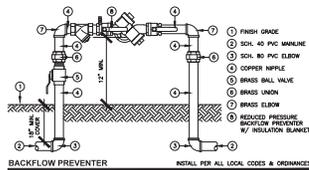
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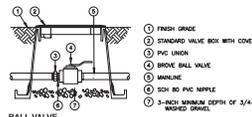


- 1 CONTROLLER, VERIFY LOCATION IN FIELD W/ JOB SUPERINTENDENT
- 2 CONTROL W/ VALVE, PIPING, WIRE
- 3 ELECTRICAL SUPPLY, CONDUIT, CONNECT TO POWER, VERIFY SIZE OF WIRE, VERIFY WIRE AS REQUIRED
- 4 MANUFACTURED AS REQUIRED
- 5 NOTE: METAL CONTROLLER PER MANUFACTURER'S INSTRUCTIONS AND PER ALL LOCAL CODES AND ORDINANCES
- 6

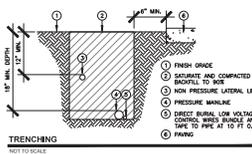
CONTROLLER
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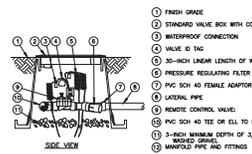
BACKFLOW PREVENTER
NOT TO SCALE



BALL VALVE
NOT TO SCALE



TRENCHING
NOT TO SCALE



REMOTE CONTROL DRIP VALVE
NOT TO SCALE

WATER EFFICIENT LANDSCAPE CALCULATIONS

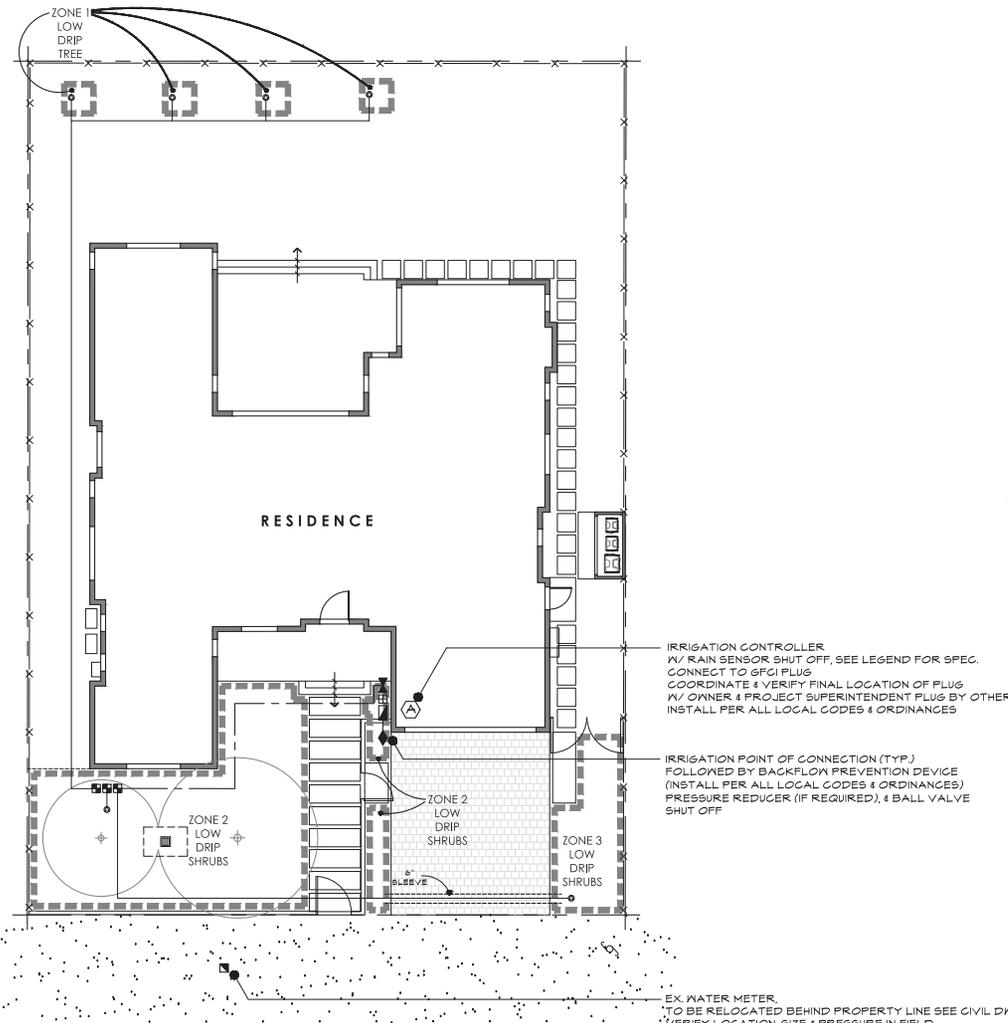
HYDROZONE / PLANT USE WATER TYPE / IRRIGATION METHOD	ZONES / VALVES	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	ETAF (PF*IE)	HYDROZONE AREA % OF PRIVATED LANDSCAPE AREA	ETAF X AREA	ESTIMATED TOTAL WATER USE (ETWU)
LOW IMPACT PLANTS (DIP)	1, 2, 3	0.5	DIP	0.25	1,289 SF	100%	470.8
TOTAL					1,289 SF		470.8
ESTIMATED ANNUAL GALLONS REQUIRED: $45.3 \times 0.02 \times (\text{ETAF} \times \text{AREA}) \times$					ETWU TOTAL		13,380 GAL/YEAR (ORION CAR)
ESTIMATED ANNUAL GALLONS ALLOWED: $46.3 \times 0.02 \times (0.02 \times \text{AREA}) \times (\text{ETAF} \times \text{AREA}) \times$					MAXIMUM TOTAL		19,865 GAL/YEAR (BASELINE CARE)

CALCULATION REFERENCE
 1. IRRIGATION EFFICIENCY (IE) = 0.5 (DIP)
 2. PLANT FACTOR (PF) = 0.5 (DIP)
 3. ETAF = PF * IE = 0.25
 4. ETWU = ETAF * AREA * 0.02 * 45.3 (DIP)
 5. MAXIMUM ALLOWED = 46.3 * 0.02 * (0.02 * AREA) * (ETAF * AREA) * 45.3 (DIP)

TOTAL LANDSCAPE AREA		TOTAL IRRIGATED AREA	
TOTAL AREA	453	TOTAL AREA	453
AVERAGE ETAF	0.25	AVERAGE ETAF	0.25

IRRIGATION EFFICIENCY STATEMENT
 I HAVE COVERED BY THE COVER BY THE MODEL WATER EFFICIENT LANDSCAPE ORNAMENT AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER BY THE IRRIGATION SYSTEM PLANT

TOTAL LANDSCAPE AREA		TOTAL IRRIGATED AREA	
TOTAL AREA	453	TOTAL AREA	453
AVERAGE ETAF	0.25	AVERAGE ETAF	0.25



IRRIGATION LEGEND

- EX. WATER METER, VERIFY LOCATION, GPM & PRESSURE IN FIELD W/ JOB SUPERINTENDENT
- IRRIGATION POINT OF CONNECTION
- WATER PROC. HYDRANEX WITH CONTROLLER W/ PLASTIC CABINET, BUILT IN REMOTE COMPATIBLE & WATER/WEATHER MANAGEMENT COMPATIBLE OR HUNTER PROC. CONTROLLER W/ PLASTIC CABINET, REMOTE CONTROL, & SOLAR SYNC WITH RAIN SENSOR TO BE INCLUDED
- REDUCED PRESSURE BACKFLOW PREVENTER, FEBCO 885Y 1"
- 1" HUNTER PCZ-101 SERIES DRIP REMOTE CONTROL VALVE ASSEMBLY W/ 1" FHR FILTER SYSTEM & PRESET 40 PSI PRESSURE REDUCATOR
- SCH. 40 PVC IRRIGATION MAINLINE LINE, SIZE PER PLAN
- SCH. 40 PVC IRRIGATION LATERAL LINE, SIZE PER PLAN
- SCH. 40 PVC SLEEVE, SIZE PER PLAN
- IRRIGATION ZONES
- LAWN AREAS & GRASS COVER TO BE HUNTER MP ROTATORS M10000 & 8002 NOZZLES ON 8" PIPES OR P1800 BODY W/ CHECK VALVE HEADS TO BE PLACED TO ACHIEVE HEAD TO HEAD COVERAGE
- PLANTING AREAS TO BE HUNTER IRRIGATION W/ 1/2" MAINLINE DRIP LINES OR SALCO 25' DRIP TUBING MAINLINE & 1/2" TUBING TO PLANTS
- 1.0 GPM PER EMITTER FOR 1.0 G. SHRUB AREAS AS FOLLOWS:
 1 GAL. - 1 EA. AT 6" FROM TRUNK / STEM
 3 GAL. - 3 EA. AT 8" FROM TRUNK / STEM
 15 GAL. - 4 EA. AT 12" FROM TRUNK
 24" BOX - 5 EA. AT 16" FROM TRUNK
- GALLONS PER MINUTE
- VALVE / STATION NUMBER
- VALVE SIZE
- IRRIGATION TYPE

IRRIGATION NOTES

1. THIS DESIGN IS DIAGRAMMATIC. ALL FITTING, VALVES ETC. SHOWN WITHIN THE PAVED AREAS OR BUILDINGS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN THE FIELD THAT OBSTRUCTIONS OR DIFFERENCES WITH PLANTING, FITTINGS, UTILITIES AND ARCHITECTURE WHERE POSSIBLE.
2. DO NOT WILLFULLY INSTALL THE SYSTEMS SHOWN ON THE DRAWINGS WHEN IT IS OBSERVED IN THE FIELD THAT OBSTRUCTIONS OR DIFFERENCES WITH THE ENGINEERING, SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND LANDSCAPE ARCHITECT FOR A DECISION. IN THE EVENT THAT INSTALLATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITIES FOR ANY PROBLEMS THAT MAY OCCUR.
3. 120 VOLT ELECTRICAL POWER OUTLET AT THE IRRIGATION CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. THE IRRIGATION CONTRACTOR SHALL MAKE FINAL HOOK-UP FROM REMOTE CONTROL VALVES TO CONTROLLER.
4. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, UTILITIES, FENCING, ETC. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE WORKER WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OF FIRE SLEEVES THROUGH WALLS, UNDER ROADWAYS, STRUCTURES, ETC.
5. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED LANDSCAPE CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL IRRIGATION PERMITS AND REQUIREMENTS.
6. CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AND TO ACCEPTABLE COST TO THE OWNER.
7. SYSTEM IS BASED UPON A STATIC MAINLINE PRESSURE OF 70 PSI. A PRESSURE REDUCER MAY NOT BE REQUIRED SO THAT THE STATIC MAINLINE PRESSURE AS MEASURED AT THE POINT OF CONNECTION (AFTER THE BACK FLOW DEVICE) IS 70 PSI. AFTER CALCULATING PRESSURE LOSSES, THE SYSTEM IS DESIGNED TO OPERATE AT APPROXIMATELY 35-40 PSI WORKING PRESSURE AT THE HEADS, THROUGH ANY ONE VALVE. THE SYSTEM IS DESIGNED TO OPERATE AT A MAXIMUM OF 130 P.S.I.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SLEEVING REQUIRED FOR ELECTRICAL AND IRRIGATION. CONTRACTOR TO COORDINATE AND LOCATE ANY ELECTRICAL AND IRRIGATION SLEEVES PRIOR TO CONCRETE POUR. LANDSCAPE ARCHITECT TO REVIEW AND APPROVE PRIOR TO CONCRETE POUR. SLEEVES TO BE SCH. 40 PVC PIPE, SET 2" SAND BED CONTINUOUSLY AROUND ENTIRE SLEEVES, WITH MARKING TAPE AT EACH END, EXTEND PAST PAVING IF
9. TRENCHES ARE TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" OF COVER OVER MAINLINE AND LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VIBRALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE. PRIOR TO BACKFILLING MAINLINE UNDER STREETS AND DRIVE WAY TO BE 34" MINIMUM DEPTH.
10. FLUSH MAINLINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. MAINLINE TO BE VIBRALLY INSPECTED FOR LEAKS UNDER FULL OPERATING PRESSURE PRIOR TO BACKFILLING.
11. IRRIGATION CONTROL WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #14 UL APPROVED FOR DIRECT BURIAL. WHITE OR COLOR WIRE TO BE MULTISTRAND #18-B REMOTE CONTROL VALVES SHALL BE A COLOR OTHER THAN WHITE. ALL SPLICES SHALL BE MADE WITHIN REMOTE CONTROL VALVE BOXES. LEAVE 2" EXCESS WIRE COIL AT REMOTE CONTROL LOCATION.
12. REMOTE CONTROL VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE. (NOT NECESSARY) PLUMB ALUM VALVE BOXES WITH ADJACENT PAVEMENT EDGES OR STRUCTURES. VALVE BOXES SHALL BE PLASTIC WITH BOLT DOWN LIDS AND WHITE NUMBERED VALVE STATIONS IN E.V.
13. ALL EXCAVATIONS SHALL BE BACKFILLED TO 90% COMPACTION MIN. CONTRACTOR TO REPAIR SET-TLE TRENCHES ONE YEAR AFTER COMPLETION OF WORK.
14. CONTRACTOR TO MAKE MINOR ADJUSTMENTS IN HEAD LOCATIONS AND ADJUST HEADS FOR RADIIUS ARC IF APPLICABLE) TO OPTIMUM COVERAGE AND ELIMINATE SPRAWLING INTO PAVEMENT, RUBBERED WALKWAYS AND HEADS AS NECESSARY FOR HEAD TO HEAD COVERAGE. INSTALL FLAT HEADS NEAR SIDEWALKS.
15. CONTRACTOR TO MAINTAIN A SET OF AS-BUILT DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO THE OWNER UPON THE COMPLETION OF WORK. THE DRAWINGS SHALL BE IN REPRODUCIBLE FORM.
16. CONTRACTOR SHALL GUARANTEE THE SYSTEM AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR STARTING WITH THE ACCEPTANCE AT THE FINAL SITE REVIEW.
17. ALL HEADS WHICH MAY EXPERIENCE LOW HEAD DRAINAGE SHOULD HAVE 3/4" LINE OR BROAD CHECK VALVE INSTALLED.
18. THE IRRIGATION CONTRACTOR SHOULD ARRANGE WITH THE LANDSCAPE ARCHITECT AND OWNER FOR A SITE REVIEW OF THE SYSTEM CALL WITHIN TWO DAYS PRIOR TO NOTICE TO ARRANGE REVIEW DATES. REVIEWS WILL BE SCHEDULED TO REVIEW:
 1. PRESSURE TEST TO MAINLINE PRIOR TO BACKFILLING TRENCHES.
 2. COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANTING.
 3. FINAL WALK THROUGH OF ALL ASPECTS OF IRRIGATION SYSTEM.
19. WATER JET ALL TRENCHES, TYPICAL.

JOHN DALRYMPLE
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 1110 W. KEKUA AVENUE
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CAMPBELL, CA 95008

DIAGRAMMATIC
IRRIGATION PLAN



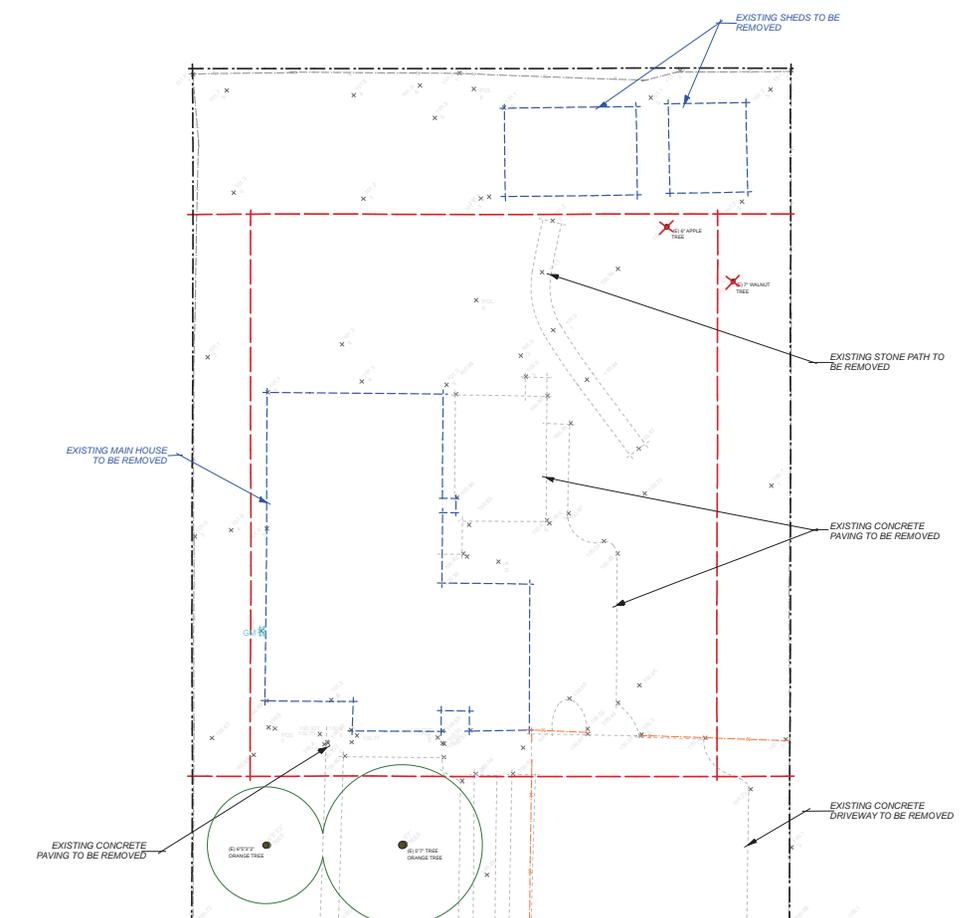
DATE: 9-2-19
REVISIONS:

SCALE: 1/8" = 1'-0"



SHEET: L-2

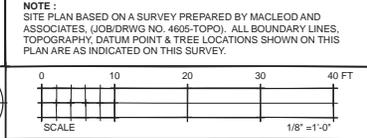
NOTES
 -IRRIGATION SHALL BE SCHEDULED BETWEEN 8:00PM AND 10:00AM UNLESS FAVORABLE WEATHER PREVENTS IT OR OTHERWISE RENDERS IRRIGATION UNNECESSARY.
 -COORDINATE W/ JOB SUPERINTENDENT LOCATION AND CONNECTION OF IRRIGATION CONTROLLER TO 110VOLT POWER SUPPLY. INSTALL PER LOCAL CODES AND ORDINANCES.
 -UNDERGROUND SERVICE ALERT: BEFORE EXCAVATING CALL U.S.A. UNDERGROUND SERVICE ALERT, CALL TOLL FREE: 800-327-2600, 48 HOURS BEFORE ALL PLANNED WORK OPERATIONS.



LEGEND

- SPOT ELEVATION - NATURAL GRADE
- BENCHMARK ELEVATIONS BASED UPON ASSUMED DATUM (SEE SURVEY)
- PROPERTY LINE
- REQUIRED SETBACK LINE
- TREE PROTECTION FENCING (PER ARBORIST REPORT & SPECIAL TREE PROTECTION INSTRUCTIONS DETAIL #020-1)
- (E) PAVEMENT TO BE REMOVED
- EXISTING TO BE REMOVED
- EXISTING FENCE TO REMAIN
- EXISTING FENCE TO BE REMOVED
- EXISTING STRUCTURE TO BE REMOVED / REMODELED
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN (AS PER ARBORIST REPORT)
- NOTE: ACTUAL TREE TRUNK LOCATIONS ARE SHOWN. DISPLINES SHOWN ARE ONLY APPROXIMATE. DISPLINES IN AREAS OF PROPOSED CONSTRUCTION SHOULD BE FIELD VERIFIED.

NOTE:
 SITE PLAN BASED ON A SURVEY PREPARED BY MACLEOD AND ASSOCIATES, (JOB/DWG NO. 4605-TOPO). ALL BOUNDARY LINES, TOPOGRAPHY, DATUM POINT & TREE LOCATIONS SHOWN ON THIS PLAN ARE AS INDICATED ON THIS SURVEY.



DESIGN & DOCUMENTATION BY:
BANDOV CONSTRUCTION
 1110 WEKIVA AVE.,
 CAMPBELL, CA.
 650 787 - 9149

REVISIONS:

NEW SINGLE - FAMILY RESIDENCE:
BANDOV RESIDENCE
 1110 WEKIVA AVE
 CAMPBELL, CALIFORNIA

STATUS:
 FOR SITE AND ARCHITECTURAL REVIEW

CONTENTS:
 DEMOLITION PLAN

DATE: 07.31.19

JOB NO.: 2019-01

SHEET NO.:

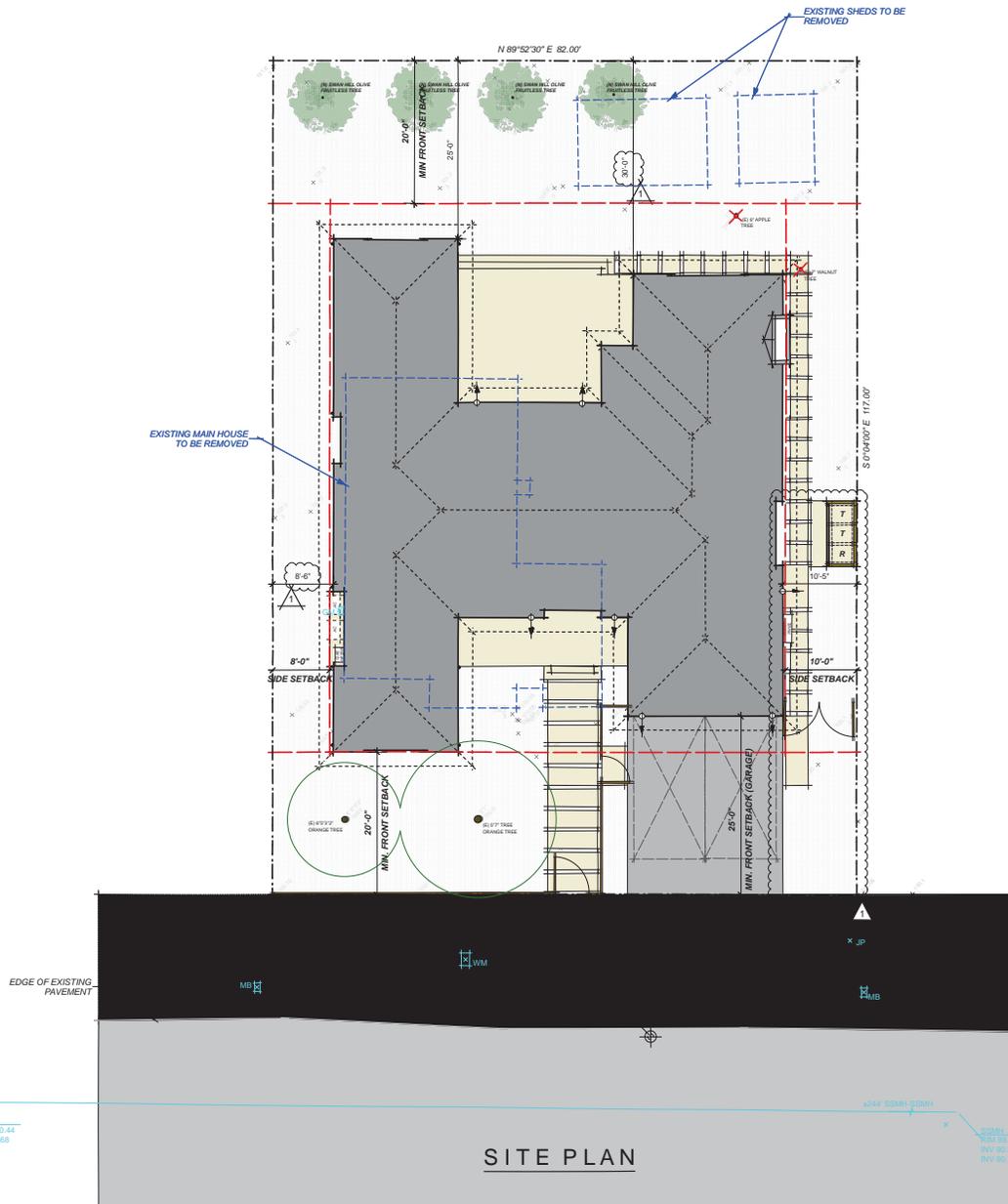
A-0

SSMH
 RIM 100.44
 INV 92.68

+244 SSMH/SSMH

SSMH
 RIM 99.72
 INV 96.96
 INV 90.72

WEKIVA AVE.
 (56' - RW)

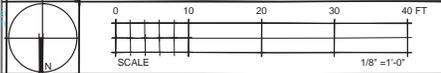


- LEGEND**
- +0.00 SPOT ELEVATION - NATURAL GRADE
 - BENCHMARK: ELEVATIONS BASED UPON ASSUMED DATUM (SEE SURVEY)
 - PROPERTY LINE
 - REQUIRED SETBACK LINE
 - TREE PROTECTION FENCING - (PER ARBORIST REPORT & SPECIAL TREE PROTECTION INSTRUCTIONS)
 - NEW HARDSCAPE PATIO, PATHWAYS & STEPS
 - NEW DRIVEWAY PAVERS
 - NEW GRAVEL PATHWAYS
 - (E) PAVEMENT TO BE REMOVED
 - EXISTING LAWN TO REMAIN AND/OR BE MODIFIED/MULCHING (SEE CIVIL PLANS)
 - OUTLINE OF PROPOSED BUILDING
 - EXISTING TO BE REMOVED
 - EXISTING FENCE TO REMAIN
 - EXISTING FENCE TO BE REMOVED
 - EXISTING STRUCTURE TO BE REMOVED
 - EXISTING TREE TO BE REMOVED
 - EXISTING TREES TO REMAIN (AS PER ARBORIST REPORT) NOTE: ACTUAL TREE TRUNK LOCATIONS ARE SHOWN. DRIPLINES SHOWN ARE ONLY APPROXIMATE. DRIPLINES IN AREAS OF PROPOSED CONSTRUCTION SHOULD BE FIELD VERIFIED.
 - PROPOSED TREES / ACCENT PLANTINGS TO BE PLANTED
 - PROPOSED WALL MOUNTED EXTERIOR LIGHTING

FRONT YARD PAVING CALCULATION:

FRONT YARD AREA: 20'-0" X 82'-0"	1,640.00 SQFT.
MAXIMUM ALLOWED FRONT YARD PAVEMENT: 1,640.00 SQFT X 1.50	820.00 SQFT.
TOTAL PROPOSED PAVED AREA:	140.00 SQFT.
ENTRY WALKWAY	30.00 SQFT.
SIDE YARD WALKWAY	435.00 SQFT.
DRIVEWAY	605.00 SQFT.
TOTAL	605.00 SQFT.

NOTE:
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1110 WEKIVA AVE.,
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650 787 - 9149

REVISIONS:
08.26.19

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CAMPBELL, CALIFORNIA**

STATUS:
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CONTENTS:
SITE PLAN

DATE: 07.31.19
JOB NO.: 2019-01

SHEET NO.:
A-1

SSM1
BIM 100.44
INV 92.68

SSM2
BIM 92.72
INV 92.88
INV 93.72

SITE PLAN

NEW SINGLE-FAMILY RESIDENCE:
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 CAMPBELL, CALIFORNIA

STATUS:
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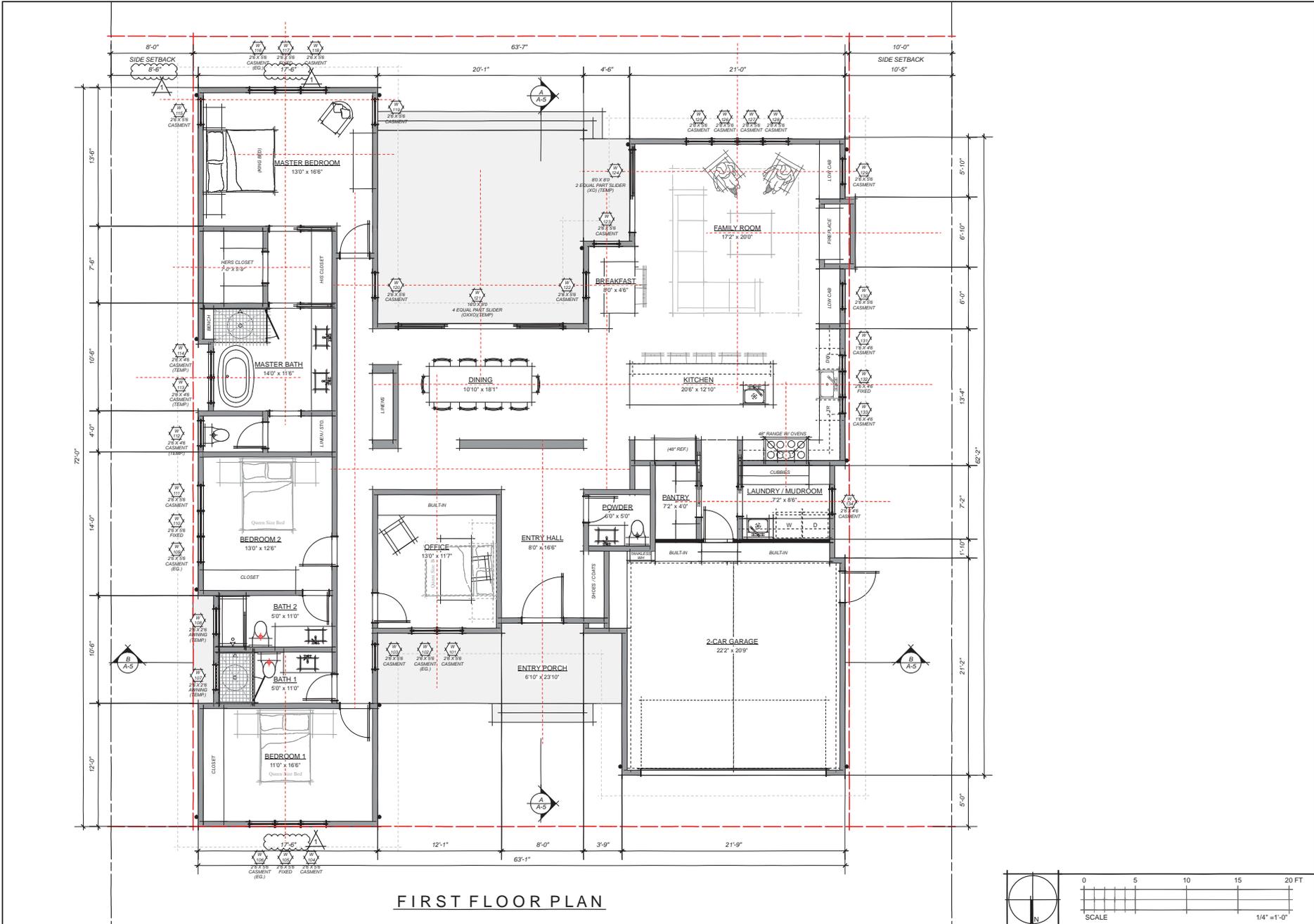
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 FIRST FLOOR PLAN

DATE: 07.31.19

JOB NO.: 2019-01

SHEET NO.:

A-2



FIRST FLOOR PLAN

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 08.26.19

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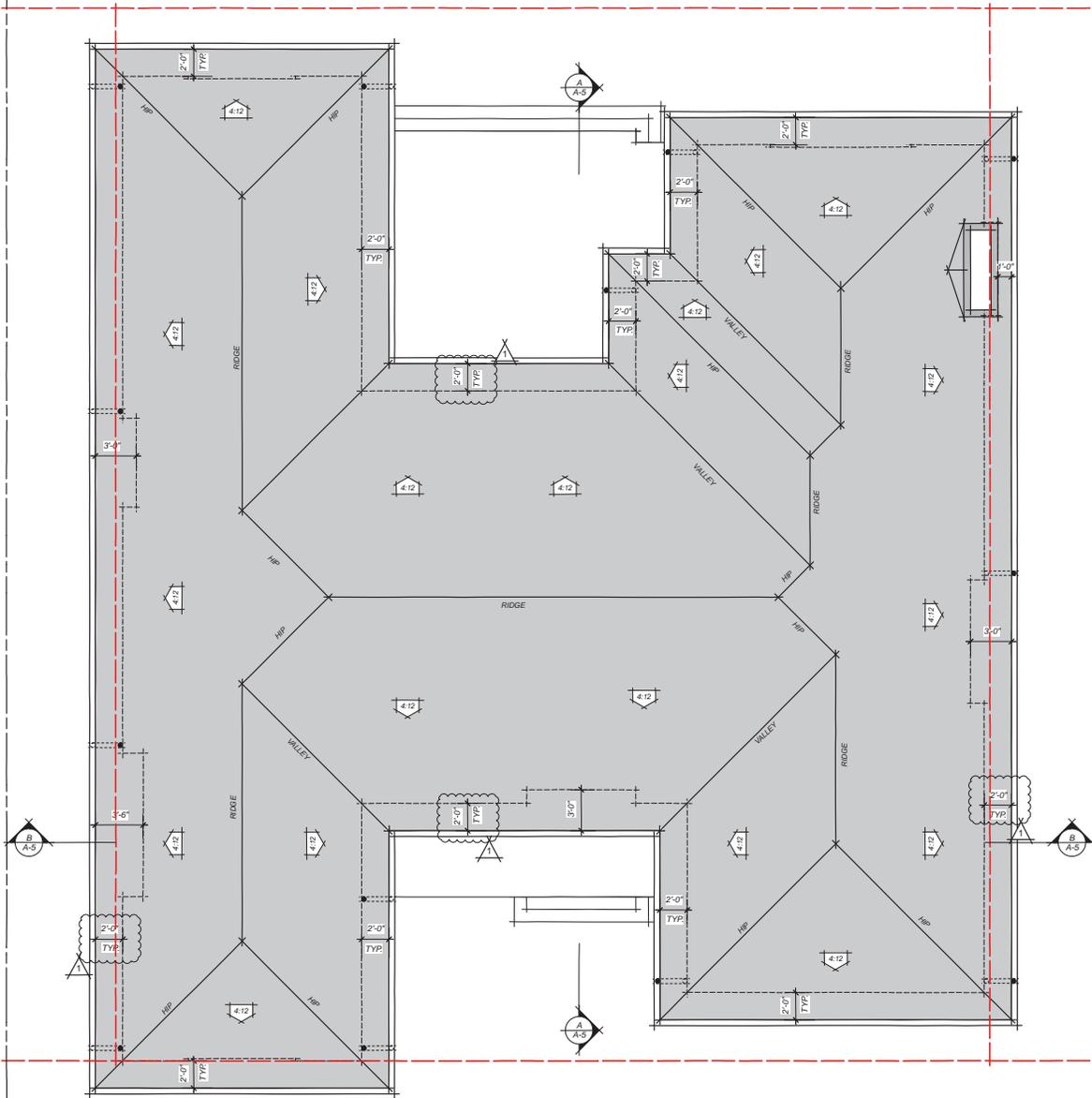
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ROOF PLAN

DATE: 07.31.19

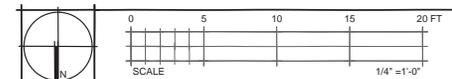
JOB NO.: 2019-01

SHEET NO.:

A-3



ROOF PLAN



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 CAMPBELL, CA.
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REVISIONS:
 08.26.19

NEW SINGLE-FAMILY RESIDENCE:
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 1110 WEKIVA AVE
 CAMPBELL, CALIFORNIA

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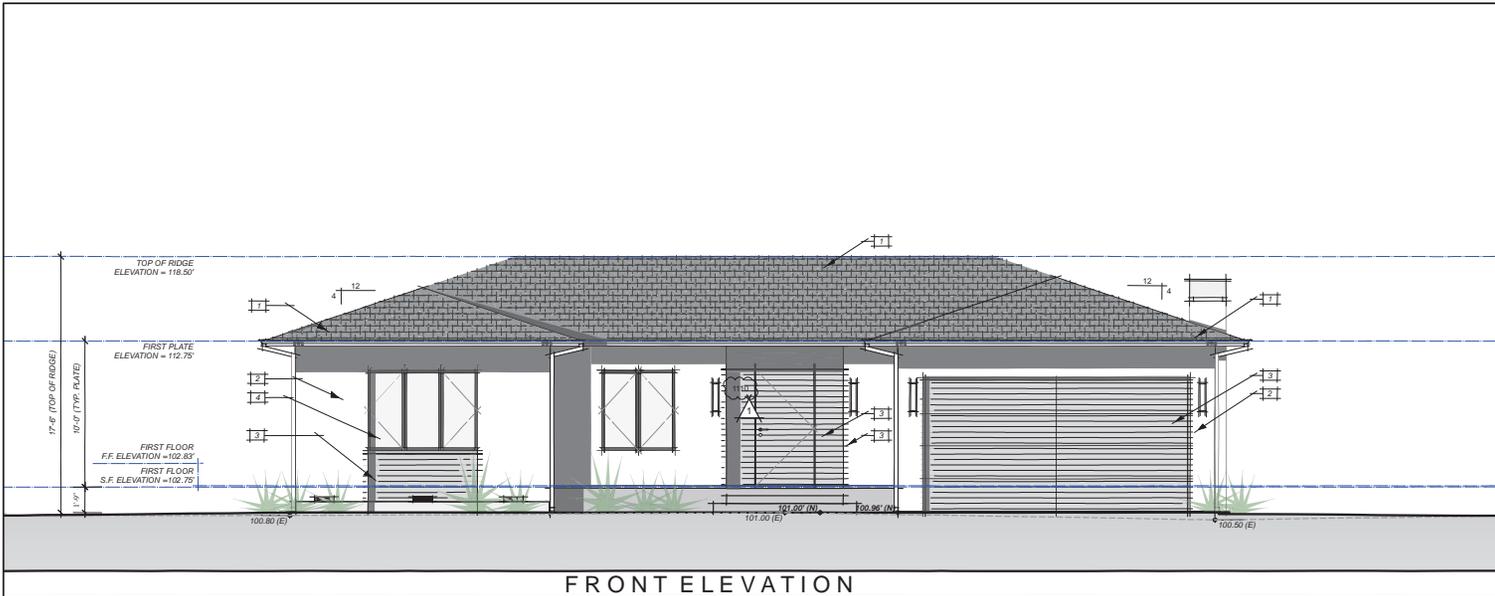
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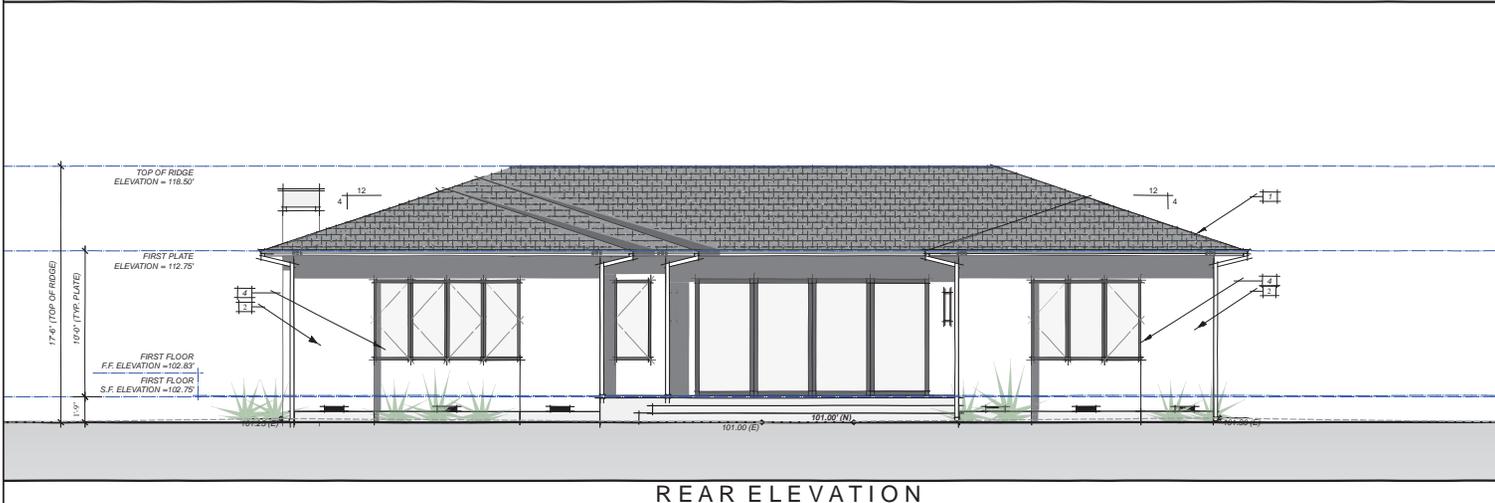
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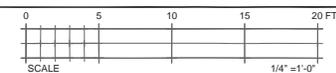
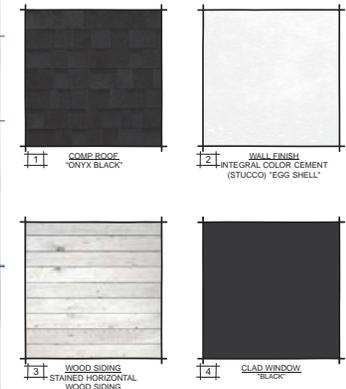
A-4



FRONT ELEVATION



REAR ELEVATION



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CONSTRUCTION**
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EXTERIOR ELEVATIONS

DATE: 07.31.19

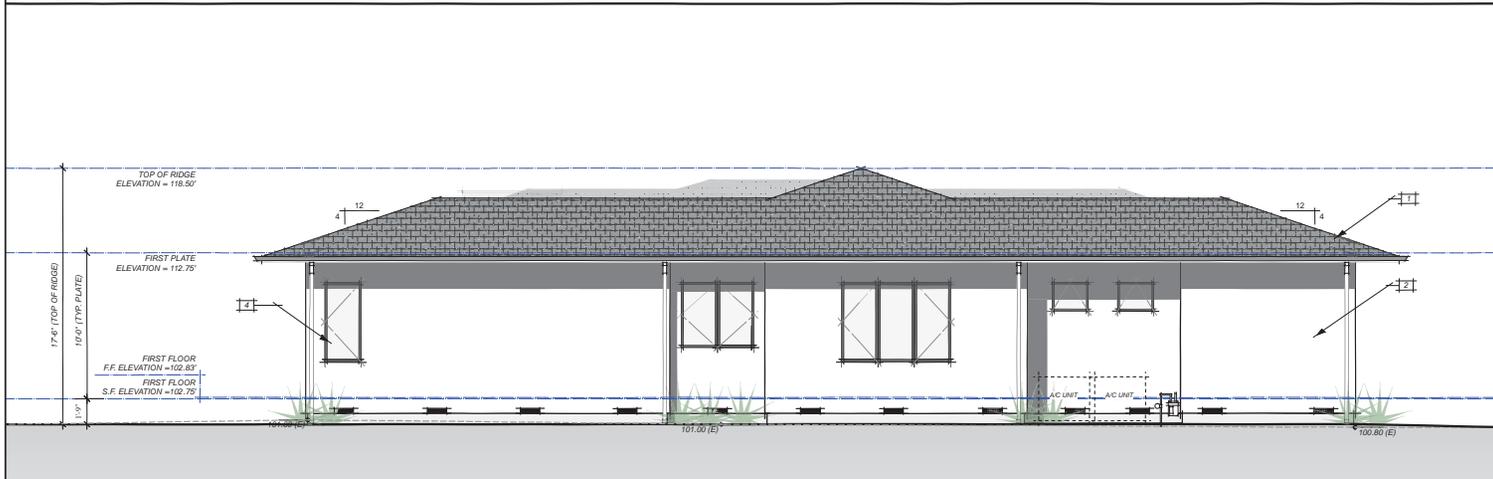
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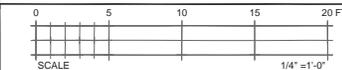
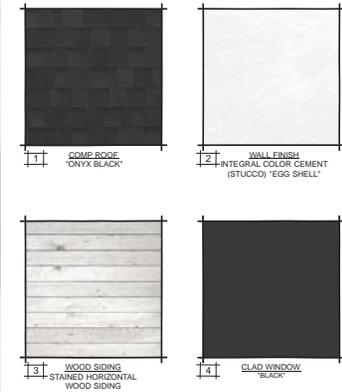
A-5



RIGHT SIDE ELEVATION



LEFT SIDE ELEVATION



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REVISIONS:

NEW SINGLE-FAMILY RESIDENCE:
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CAMPBELL, CALIFORNIA

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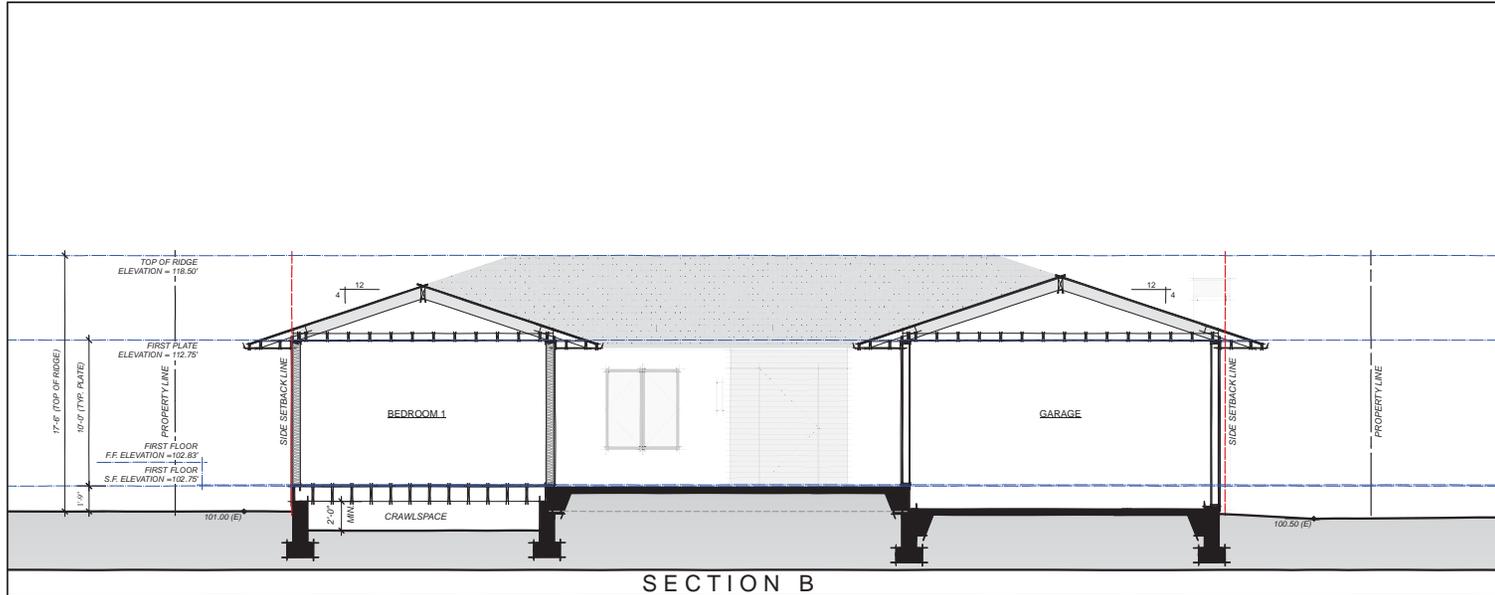
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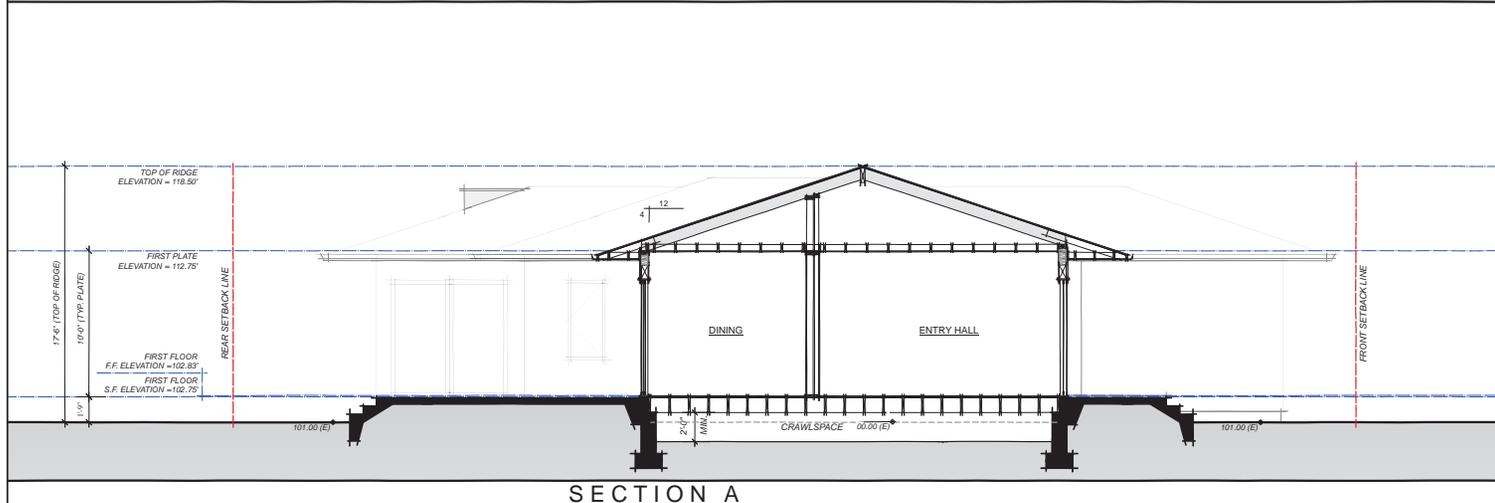
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SHEET NO.:

A-6



SECTION B



SECTION A

