



CITY OF CAMPBELL
Community Development Department

October 11, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **October 22, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Casey Gomez and Jenn Kettles for a term-limited Conditional Use Permit (PLN2019-117) to allow the establishment of a small health and fitness studio (d.b.a. Rebel Rise Studios) within an existing 3,787 square-foot tenant space located at **186 E. Sunnyoaks Avenue, Suite H**. Staff is recommending that this project be deemed Categorical Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

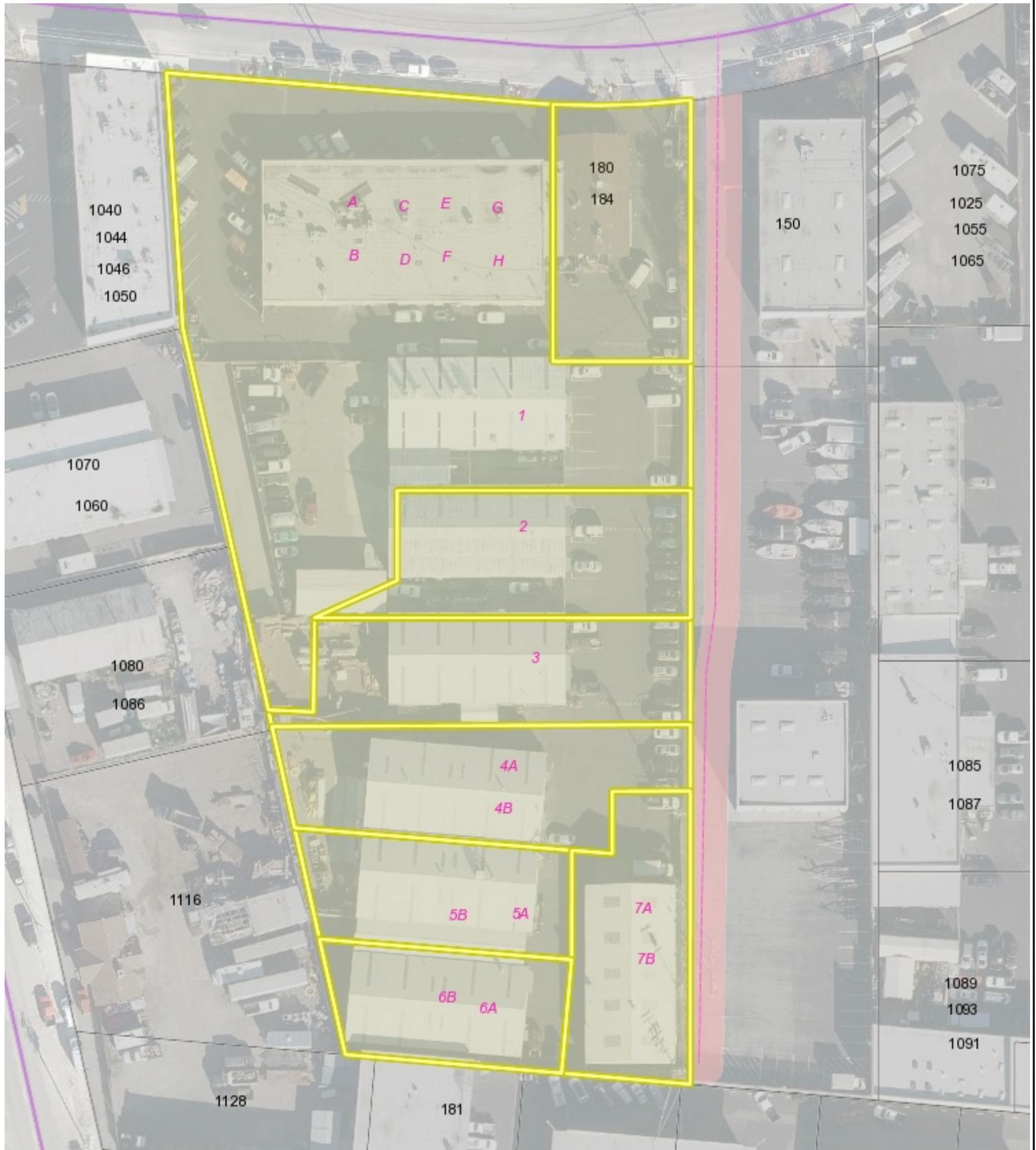
In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

PLEASE NOTE: When calling about this Notice,
please refer to: **186 E. Sunnyoaks Avenue, Suite H**



186 E. Sunnyoaks Avenue, Suite H



This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.

TENANT LIST/PARKING SUMMARY

Location	Name	Land Use	Tenant Size (SF)	Details	Parking Standard	Required Parking
Building 184	Jillbee Delivers	Catering	2,237	N/A	1/400 SF	5.6
Building 186	Jillbee Delivers	Catering	2,938	N/A	1/400 SF	7.3
C	Performance Foodservice	Office	1,600	N/A	1/225 SF	7.1
D	Clean Vent Signs	Office and Storage	1,600	N/A	1/400 SF	4
E	Mission City Signs	Business Support	1,600	N/A	1/400 SF	4
F	Sweet Deli	Café	740	6 Seats	1/3 seats	2
H	Rebel Rise	Fitness Studio, Large	3787	2 staff, 14 students	1/250 SF	25.25
Subtotal			14,502			(55.25)
180 SO #1	Vivid	Material Finishing	5,000	N/A	1/400 SF	12.5
180 SO #2	Vacant		5,000	N/A	1/400 SF	12.5
180 SO #3	Global Wood	Office, storage of wood products	5,000	N/A	1/400 SF	12.5
180 SO #4/5	Cal Steam	Distribution and sales of plumbing/HVAC materials	10,104	N/A	1/400SF	25.3
180 SO #6	Vacant		2,403	N/A	1/400 SF	6
B	Owner Use	Storage	2,442	N/A	1/400 SF	6.1
180 SO #7	Art & Clay	Storage	1,650	N/A	1/400 SF	4.1
A	Flower Garden of Los Gatos	Office, Storage and Distribution of Floral Items	1,650	N/A	1/400 SF	4.1
C	Griffith Stair	Stair/flooring warehousing, distribution and sales	1,650	N/A	1/400 SF	4.1
Subtotal			34,899			(87.2)
Total Building SF			49,401			
Total Parking Required						(142.45)
Total Parking Provided						(84)
Deficit/Surplus						

CONDITIONAL USE PERMIT

REBEL RISE STUDIOS

186 EAST SUNNYOAKS #H

CAMPBELL, CA

RECEIVED
9/19/2019



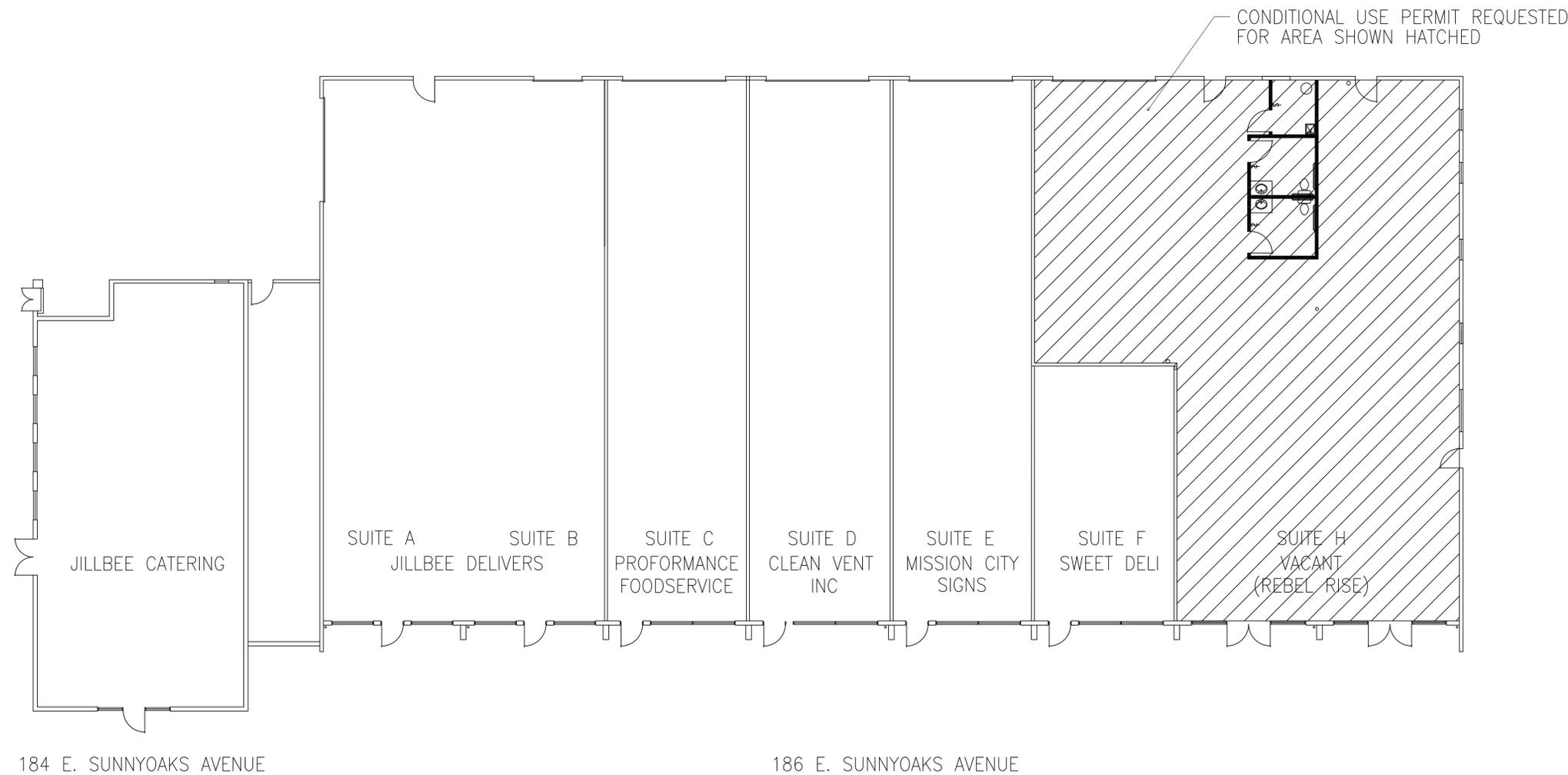
REVISIONS				
NO.	DATE	DESCRIPTION	BY	CHK
1	9/19/2019	RESPONSE TO CLIP PLAN CHECK LETTER	DH	JC



SITE INFORMATION

ACCESSOR'S PARCEL NUMBER(S):	424-01-077 424-01-078 424-01-097 424-01-098 424-01-099 424-01-100 424-01-117 424-01-118
NET LOT SIZE:	±3.25 ACRES
GROSS LOT SIZE:	±141,179 SF
FLOOR AREA RATIO:	.35
BUILDING LOT COVERAGE:	.35
LANDSCAPING/PERVIOUS COVERAGE:	±476 SF
PAVING/IMPERVIOUS COVERAGE:	±140,703 SF
EXISTING BUILDING SF/MAX. BLDG. HEIGHT:	180 SO #1: 5,000 SF / ±22.7' 180 SO #2: 5,000 SF / ±22.6' 180 SO #3: 5,000 SF / ±22.7' 180 SO #4/5: 10,104 SF / ±22.9' 180 SO #6: 4,845 SF / ±22.8' 180 SO #7: 4,950 SF / ±22.8' 184: 2,237 SF / ±17.5' 186: 12,265 SF / ±14.5'
ZONING DISTRICT:	M-1/LIGHT INDUSTRIAL
NUMBER OF PARKING STALLS:	84
FIRE PREVENTION/SUPPRESSION:	NONE

KEY PLAN



SCOPE OF WORK

SUBMITTAL OF CITY OF CAMPBELL REQUIRED DRAWINGS TO OBTAIN A CONDITIONAL USE PERMIT FOR THE ABOVE NOTED PROJECT ADDRESS

INDEX

- ARCHITECTURAL
- A-1 TITLE SHEET
 - A-4 SIMPLE SITE & ACCESSIBILITY PLAN
 - C1.0 SITE PLAN (FULL SITE-REFERENCE)
 - SP-01 FLOOR PLAN

LOCATION MAP

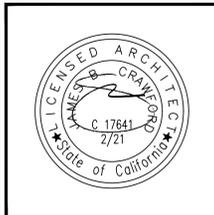


Title Sheet

CONDITIONAL USE PERMIT FOR:
Rebel Rise Studios
186 EAST SUNNYOAKS #H
CAMPBELL, CALIFORNIA

PROJECT NO.	20019.07
SCALE	N/A
DRAWN BY	DH
CHECKED BY	JC
APPROVED BY	
DATE	06/13/19

REVISIONS				
NO.	DATE	DESCRIPTION	BY	CHK
1	8/16/2019	RESPONSE TO CUP PLAN CHECK LETTER	DH	JC



Simple Site and Accessibility Plan

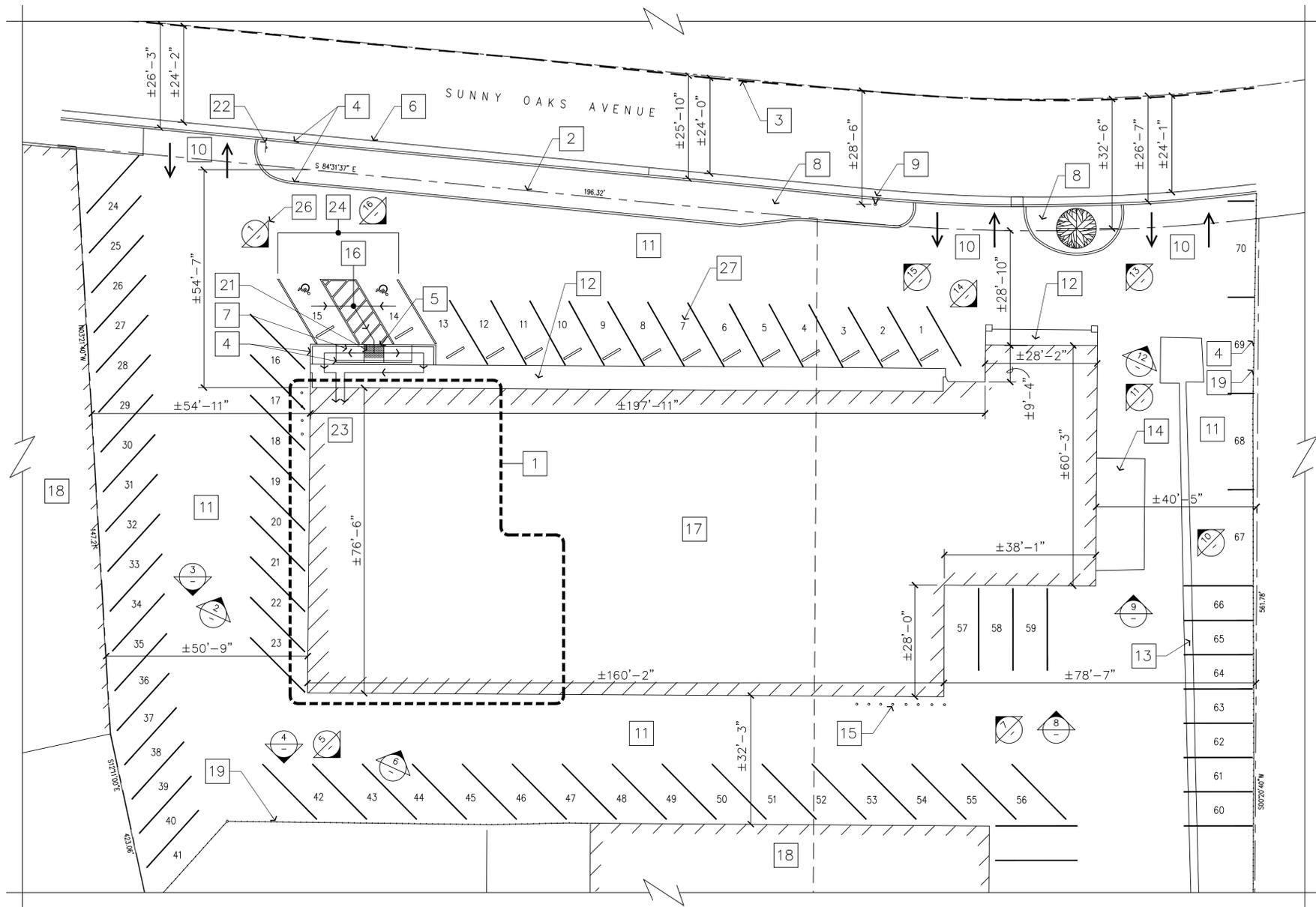
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Rebel Rise Studios
186 EAST SUNNYOAKS #H
CAMPBELL, CALIFORNIA

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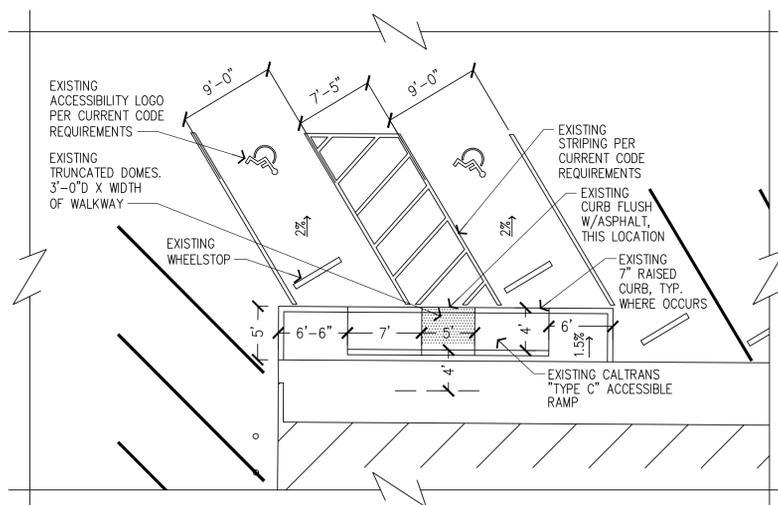
SHEET NOTES

- 1 PROJECT SITE (186 EAST SUNNYOAKS AVENUE, #H)
- 2 EXISTING PROPERTY LINE WITH DIMENSIONS
- 3 CENTERLINE OF SUNNYOAKS AVENUE
- 4 EXISTING CURB (RAISED) TO REMAIN
- 5 EXISTING CURB (FLUSH WITH ASPHALT) TO REMAIN
- 6 EXISTING CURB GUTTER TO REMAIN
- 7 EXISTING RAMP FROM ACCESSIBLE PARKING TO PRIVATE SIDEWALK COMPLIES WITH CURRENT CODE REQUIREMENTS
- 8 EXISTING LANDSCAPING TO REMAIN. LAWN, BUSHES, LOW GROUND COVER, ONE TREE WHERE INDICATED (DBH= \sim 8" / DRIPLINE @ CANOPY= \sim 10' DIA.)
- 9 EXISTING PUBLIC FIRE HYDRANT TO REMAIN
- 10 EXISTING DRIVEWAY (ASPHALT PAVING) TO REMAIN
- 11 EXISTING PRIVATE PARKING LOT AND DRIVE ISLES (ASPHALT PAVING) TO REMAIN
- 12 EXISTING PRIVATE WALKWAY (CONCRETE) TO REMAIN
- 13 EXISTING VALLEY GUTTER (CONCRETE) TO REMAIN
- 14 EXISTING CONCRETE PAD TO REMAIN
- 15 EXISTING BOLLARD TYP. TO REMAIN
- 16 EXISTING PATH OF TRAVEL FROM ACCESSIBLE PARKING STALLS TO PRIMARY ENTRY OF PROJECT SITE COMPLIES WITH CURRENT CODE REQUIREMENTS
- 17 EXISTING PRIMARY BUILDING TO REMAIN
- 18 EXISTING ADJACENT BUILDING TO REMAIN
- 19 EXISTING CHAINLINK FENCING WITH WOODEN SLATS TO REMAIN, 6'-0"H TYP. WHERE OCCURS (NOT USED)
- 20 (NOT USED)
- 21 EXISTING TRUNCATED DOMES TO REMAIN COMPLY WITH CURRENT CODE REQUIREMENTS
- 22 EXISTING SITE SIGNAGE TO REMAIN COMPLIES WITH CURRENT CODE REQUIREMENTS
- 23 MAIN POINT OF BUILDING ENTRY IS EXISTING TO REMAIN AND COMPLIES WITH CURRENT CODE REQUIREMENTS
- 24 ACCESSIBLE PARKING AND LOADING ZONE IS EXISTING TO REMAIN AND COMPLIES WITH CURRENT CODE REQUIREMENTS
- 25 (NOT USED)
- 26 SYMBOL MAKES REFERENCE TO SITE PHOTOGRAPHS (SEPARATE ATTACHMENT, INCLUDED AS PART OF CUP SUBMITTAL), TYP. SYMBOL MAKES REFERENCE TO NUMBER OF PARKING STALLS
- 27



SIMPLE SITE & ACCESSIBILITY PLAN

1/16"=1'-0"



EXISTING ACCESSIBLE PARKING/ACCESS AISLE/RAMP (REFERENCE)

1/8"=1'-0"



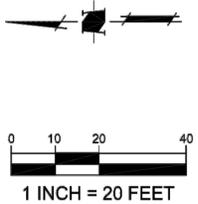
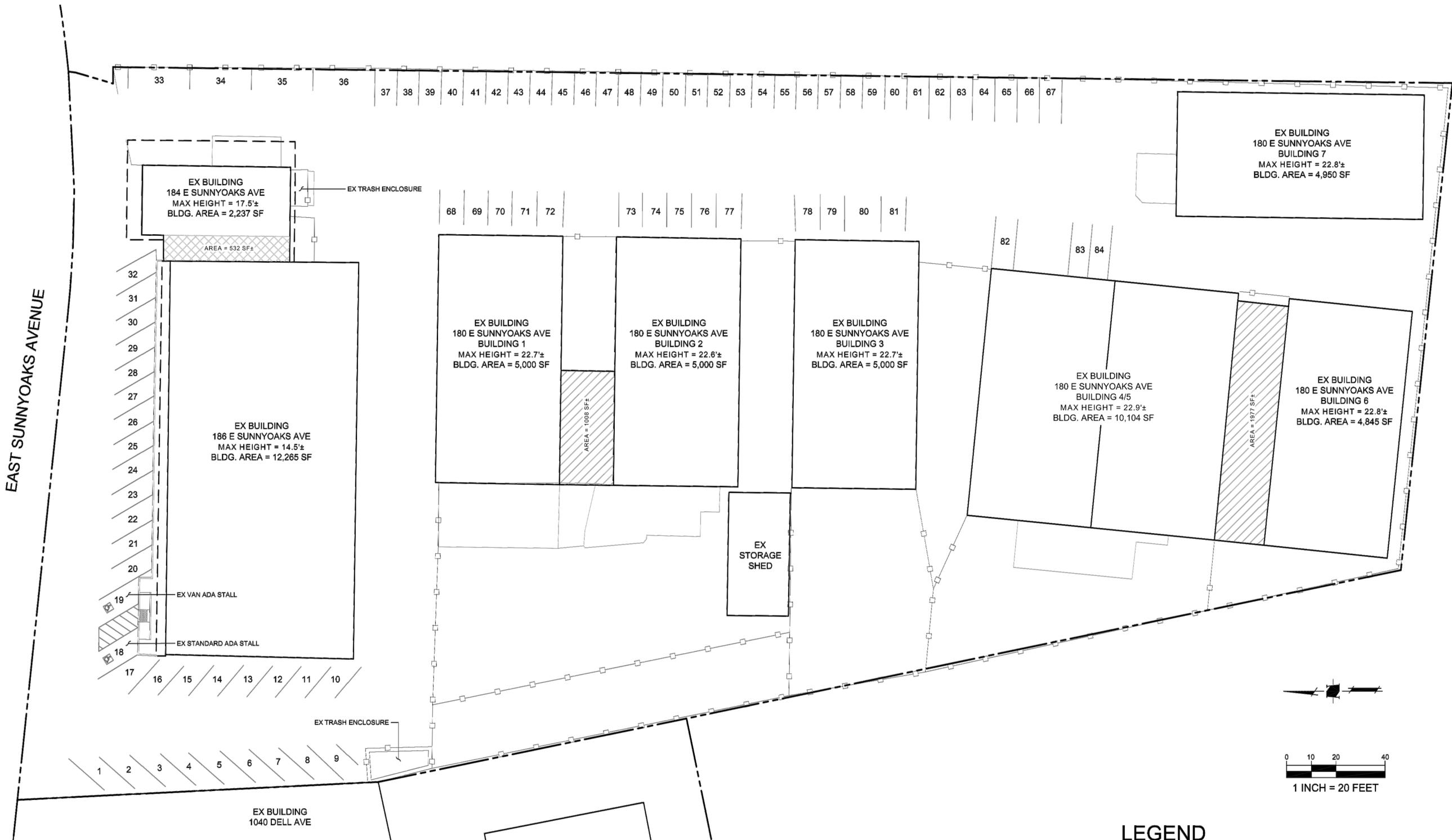
ROOF EQUIPMENT PLAN (REFERENCE)

N.T.S.





186 E. SUNNY OAKS PARKING SITE PLAN CAMPBELL, CALIFORNIA



LEGEND

- APPROXIMATE EX PROPERTY LINE
- EX FENCE
- COVERED BREEZEWAY
SEE PLAN FOR AREA
- ENCLOSURE
SEE PLAN FOR AREA

PARKING COUNT

TOTAL EX PARKING STALLS 84
 TOTAL EX ADA STALLS 1 STANDARD, 1 VAN

NO	DATE	DESCRIPTION

PROJECT NO: 5627.10
 CAD DWG FILE: 526710E1.DWG
 DESIGNED BY: MP
 DRAWN BY: MP
 CHECKED BY: MD/BC
 DATE: 09/04/2019
 SCALE: 1" = 20'
 © HMH

FULL
 SITE PLAN
 (REFERENCE)

C1.0



ARCHUSTUDIO
• ARCHITECTURE & SUSTAINABLE DESIGN •
• PLANNING & INTERIORS •

1484 Piedras Dr.
San Jose, California 95125 PH: 408-556-9975



CONSULTANT:

REVISIONS:

NO.	DATE	DESCRIPTION
-	05.13.19	PLANNING SUBMITTAL

PROJECT TITLE:

SPACE PLANNING

TENANT IMPROVEMENTS

FOR

REBEL RISE STUDIOS

186 E. SUNNYOAKS AVE.,
SUITE H
CAMPBELL, CA. 95008

DRAWING

SPACE PLAN

DRAWN BY:

RM

CHECKED BY:

RM

PROJECT NO.

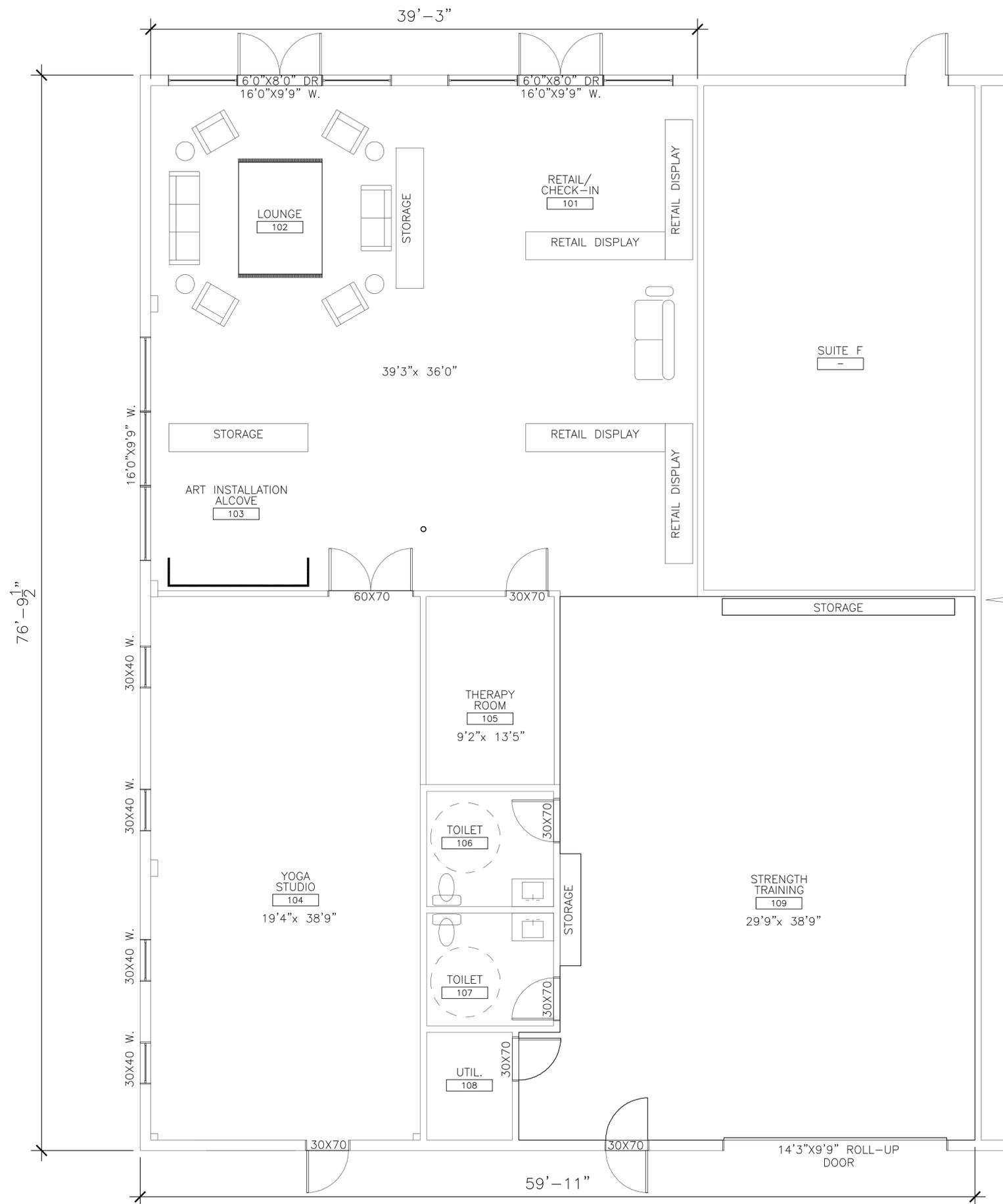
19010

DATE

05.04.19

DRAWING NO.

SP-01



A SPACE PLAN

SCALE: 1/4"=1'-0"