



**CITY OF CAMPBELL**  
**Community Development Department**

July 12, 2019

**NOTICE OF PUBLIC HEARING**

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **July 23, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Brad Clausen, on behalf of Kovac Family Trust, for a Conditional Use Permit and Parking Modification Permit (PLN2019-81) to operate a Motorcycle dealership with motorcycle sales, retail sales, repair services, parts on property located at **1021 Dell Avenue**. Staff is recommending that this project be deemed Categorical Exempt under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION  
CITY OF CAMPBELL  
PAUL KERMOYAN  
SECRETARY

PLEASE NOTE: When calling about this Notice,  
please refer to: **1021 Dell Avenue**





**METRO  
DESIGN  
GROUP**  
ARCHITECTURE-PLANNING-INTERIORS

1475 S. BASCOM AVE SUITE 208  
CAMPBELL, CA 95008  
(408)871-1071 phone  
(408)871-1072 fax  
www.metroarchitects.com

The plans, ideas and design on this drawing are the property of the designer, devised solely for this contract. Plans shall not be used, in whole or in part, for any purpose for which they were not intended without the written permission of METRO DESIGN GROUP. ©

PROJECT NAME  
**THE MOTOR CAFE**  
USE PERMIT APPLICATION

1011 DELL AVENUE  
CAMPBELL, CA 95008

REVISIONS

NO.	DESCRIPTION



**LOCATION OF FUTURE LIGHT RAIL STATION**

**PARKING TABULATION**

<b>VEHICLE SPACES EXISTING:</b>	1 VAN ACCESSIBLE PARKING SPACE 29 STANDARD SPACES <b>30 SPACES</b>
<b>VEHICLE SPACES PROPOSED:</b>	2 VAN ACCESSIBLE PARKING SPACE 28 STANDARD SPACES <b>30 SPACES</b>
<b>MOTORCYCLE SPACES PROPOSED:</b>	12 MOTOR CYCLE SPACES
<b>TOTAL PROPOSED PARKING SPACES</b>	<b>42 SPACES</b>

**OCCUPANCY LOAD CALCULATION** PER CFC TABLE 1004.1.2

FLOOR AREA	OCCUPANT LOAD FACTOR	OCCUPANT LOAD	NO. OF REQUIRED EXITS
15,084 SF	200 SF	55	2



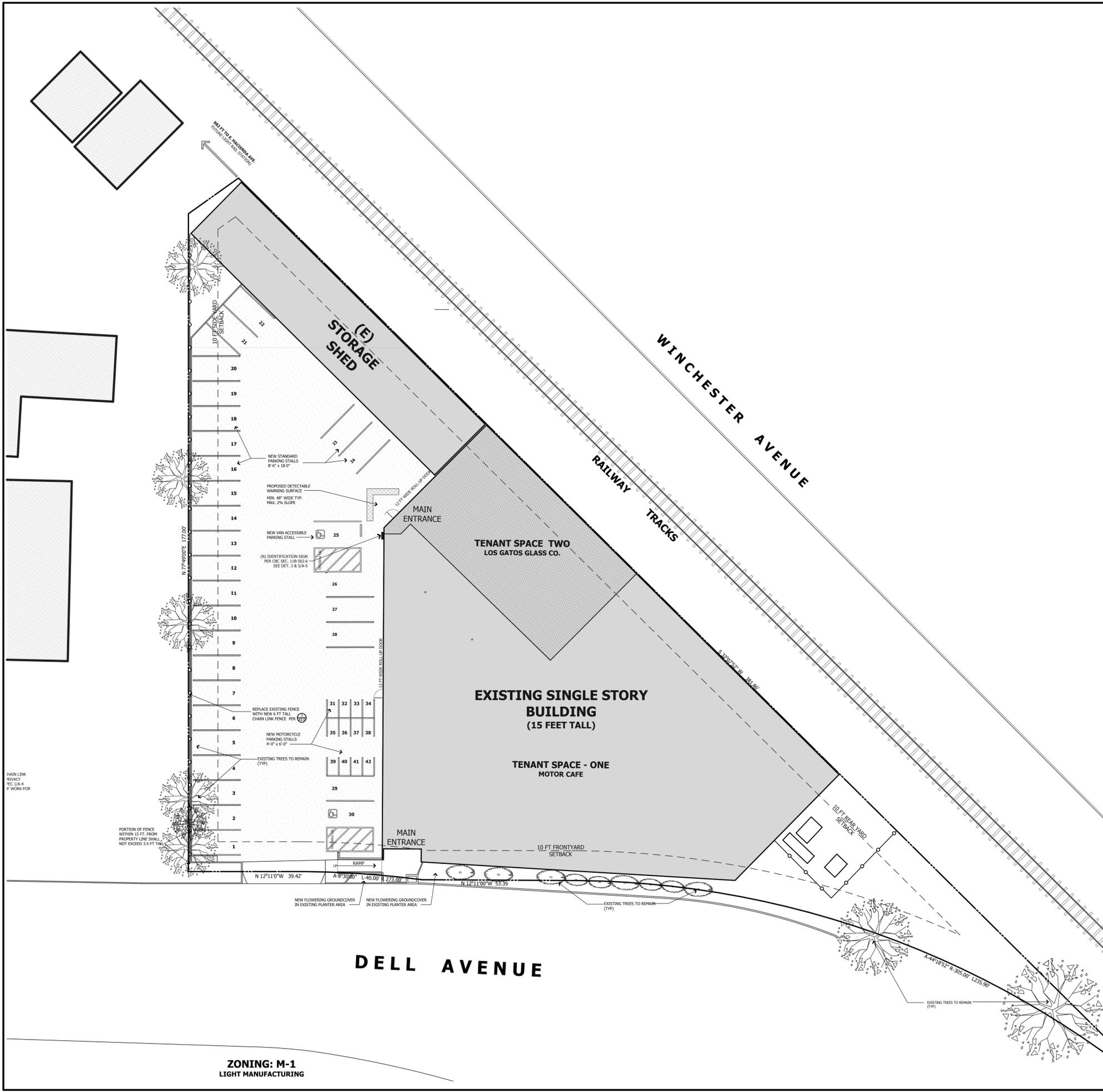
**PROPOSED SITE PLAN**

LOCATION OF FUTURE LIGHT RAIL STATION

DATE : 06-05-19  
SCALE : 1/16" = 1'-0"  
DRAWN BY :  
CHECKED BY : TS  
ARCHITECT : TOM SLOAN  
PROJECT NO : 19676

SHEET NUMBER

**A-1.1**



**ZONING: M-1**  
LIGHT MANUFACTURING

2/3/2019 3:15 PM  
THE MOTOR CAFE SIGN



**METRO  
DESIGN  
GROUP**

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PROJECT NAME  
**THE MOTOR  
CAFE**  
USE PERMIT  
APPLICATION

1011 DELL AVENUE  
CAMPBELL, CA 95008

REVISIONS

NO.	DESCRIPTION



**PROPOSED  
FLOOR PLAN**

DATE : 06-05-19  
SCALE : 1/8" = 1'-0"  
DRAWN BY : TS  
CHECKED BY : TS  
ARCHITECT : TOM SLOAN  
PROJECT NO : 19676

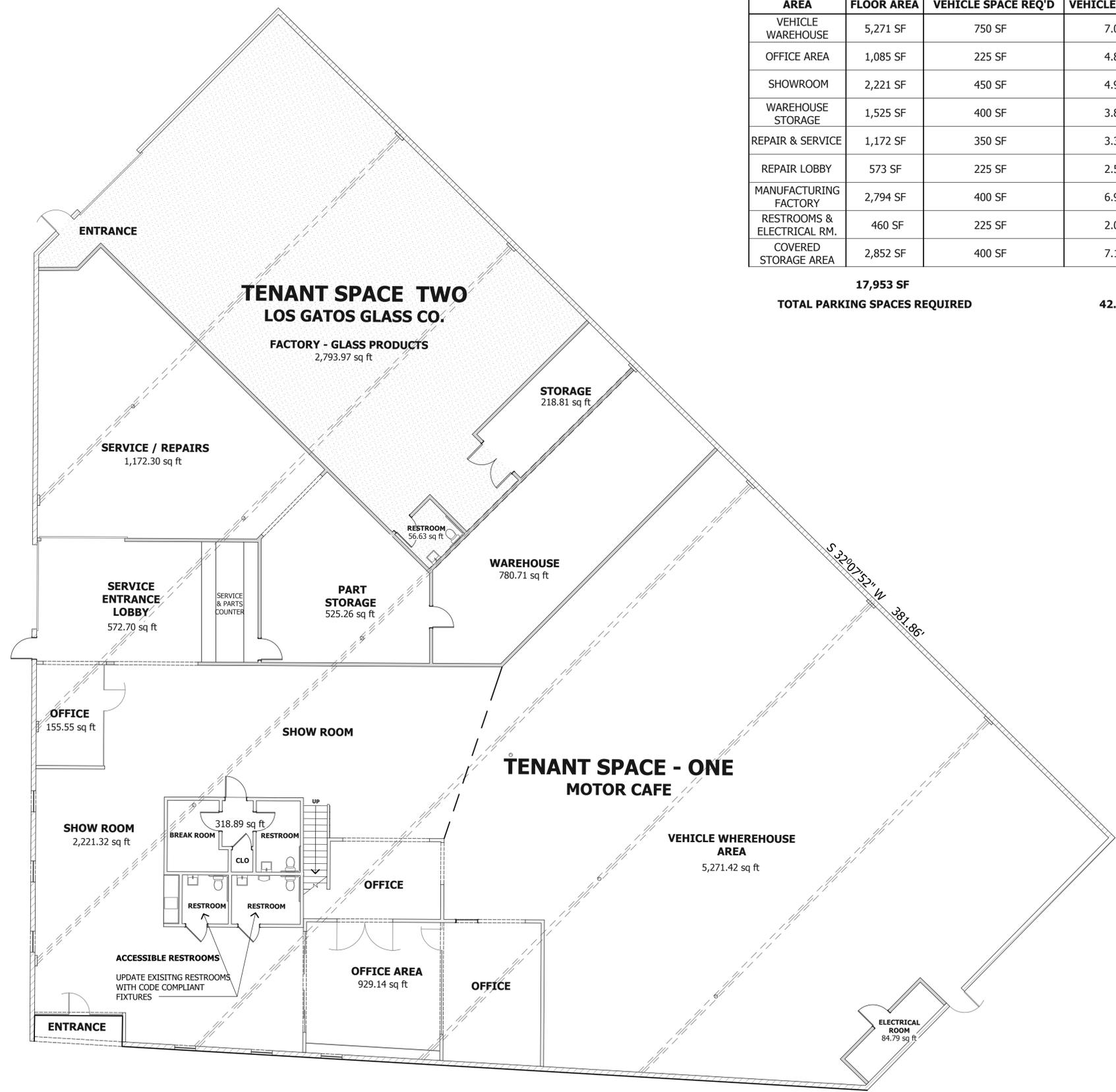
SHEET NUMBER

**A-2.1**

**PROPOSED USE**

AREA	FLOOR AREA	VEHICLE SPACE REQ'D	VEHICLES REQ'D
VEHICLE WAREHOUSE	5,271 SF	750 SF	7.03
OFFICE AREA	1,085 SF	225 SF	4.82
SHOWROOM	2,221 SF	450 SF	4.93
WAREHOUSE STORAGE	1,525 SF	400 SF	3.81
REPAIR & SERVICE	1,172 SF	350 SF	3.35
REPAIR LOBBY	573 SF	225 SF	2.55
MANUFACTURING FACTORY	2,794 SF	400 SF	6.99
RESTROOMS & ELECTRICAL RM.	460 SF	225 SF	2.04
COVERED STORAGE AREA	2,852 SF	400 SF	7.13

**17,953 SF**  
**TOTAL PARKING SPACES REQUIRED 42.65**



**SITE PLAN - PROPOSED CONDITIONS**  
SCALE: 1"=20'