



CITY OF CAMPBELL
Community Development Department

May 31, 2019

NOTICE OF PUBLIC HEARING

Notice is hereby given that the Planning Commission of the City of Campbell has set the time of 7:30 p.m., or shortly thereafter, on Tuesday, **June 11, 2019**, in the City Hall Council Chambers, 70 North First Street, Campbell, California, for a Public Hearing to consider the application of Jeffrey Eaton for a Conditional Use Permit (PLN2018-295) with Site and Architectural Review to allow for the conversion of a residence into an office building, a 117 square-foot addition to the converted office building, construction of a new 2,417 square-foot storage building, increase in fence height, changes to site circulation and onsite parking, and a Variance (PLN2019-297) to allow for a reduction in landscaping requirements and driveway width onsite on property located at **920 S. McGlincy Lane**. Staff is recommending that this project be deemed Categorical Exempt Under CEQA.

Interested persons may appear and be heard at this hearing. Please be advised that if you challenge the nature of the above project in court, you may be limited to raising only those issues you or someone else raised at the Public Hearing described in this Notice, or in written correspondence delivered to the City of Campbell Planning Commission at, or prior to, the Public Hearing. Questions may be addressed to the Community Development Department at (408) 866-2140.

Plans and architectural drawings may be viewed at the Planning Division office during normal business hours (8:00 a.m. – 5:00 p.m.) and on the City's 'Public Notices' web page (<http://www.cityofcampbell.com/501/Public-Notices>) under 'Planning Commission'.

Decisions of the Planning Commission may be appealed to the City Council. Appeals must be submitted to the City Clerk in writing within 10 calendar days of an action by the Commission.

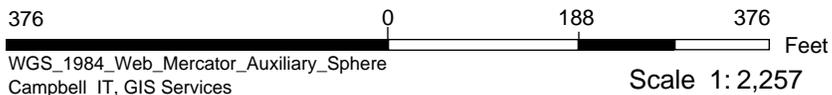
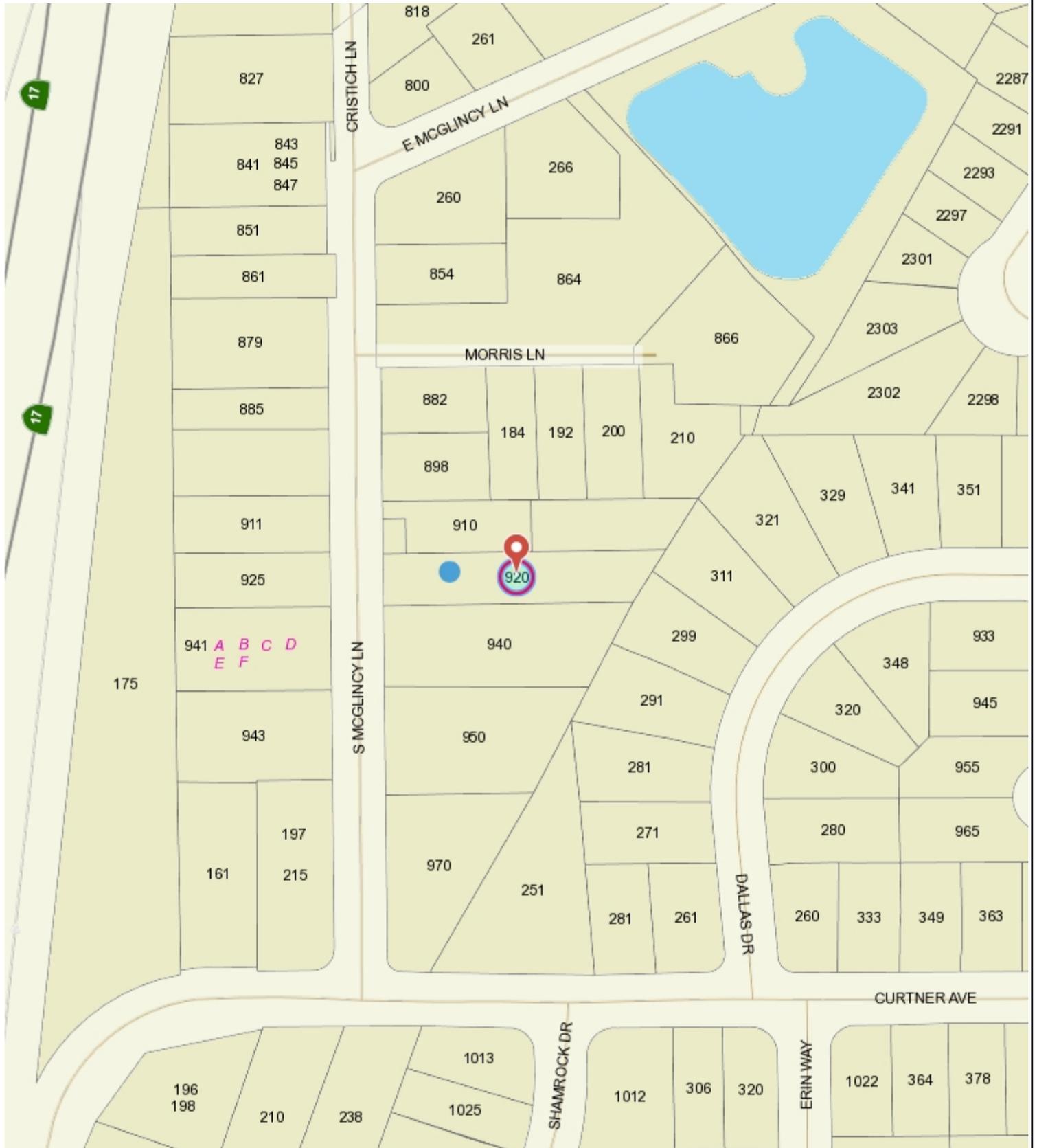
In compliance with the Americans with Disabilities Act, listening assistive devices are available for all meetings held in the Council Chambers. If you require accommodation, please contact the Community Development Department at (408) 866-2140, at least one week in advance of the meeting.

PLANNING COMMISSION
CITY OF CAMPBELL
PAUL KERMOYAN
SECRETARY

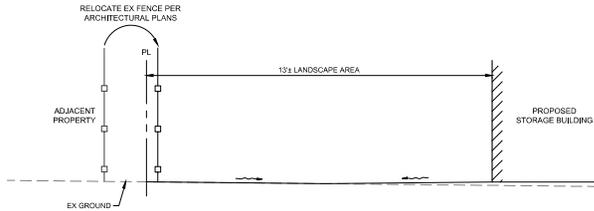
PLEASE NOTE: When calling about this Notice,
please refer to: **920 S. McGlincy Lane**



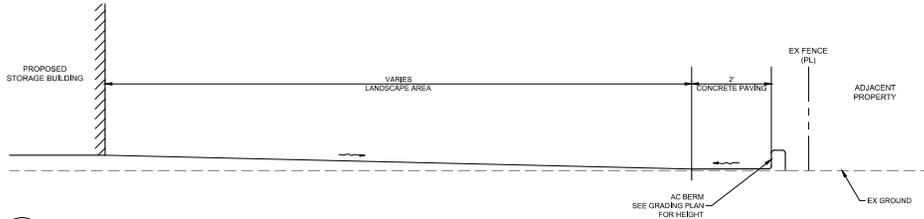
City of Campbell



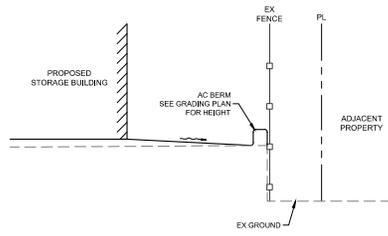
This map is based on GIS Information and reflects the most current information at the time of this printing. The map is intended for reference purposes only and the City and its staff is not responsible for errors.



C SECTION
NTS



B SECTION
NTS



A SECTION
NTS

DATE: 03/07/2019	DATE: 03/07/2019	DATE: 03/07/2019	DATE: 03/07/2019
DRAWN BY: JAPRH	DESIGNED BY: JAPRH	REVIEWED BY: JAPRH	DATE: 03/07/2019
REVISION	REVISION	REVISION	REVISION
USE PERMIT COMMENTS	USE PERMIT COMMENTS	USE PERMIT COMMENTS	USE PERMIT COMMENTS
COMMENT REVISIONS	COMMENT REVISIONS	COMMENT REVISIONS	COMMENT REVISIONS
COMMENT REVISIONS	COMMENT REVISIONS	COMMENT REVISIONS	COMMENT REVISIONS
FOR REVIEW ONLY			
 1570 Oakland Road San Jose, CA 95131 (408) 484-2700 hmh.com			
 PROFESSIONAL ENGINEER - CIVIL No. 8893 STATE OF CALIFORNIA			
SECTIONS ON-SITE IMPROVEMENT PLANS 920 SOUTH MCGLINCY LANE BUILDING PERMIT NO. _____			
 CITY OF CAMPBELL CAMPBELL, CALIFORNIA			
SCALE: NOT TO SCALE			
SHEET: C.1.3			

GENERAL NOTES

- 1. ENCROACHMENT PERMIT**
OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY OF CAMPBELL PUBLIC WORKS DEPARTMENT BEFORE PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. MAINTAIN A COPY OF THE PERMIT ON THE JOB SITE AT ALL TIMES.
- 2. WORK CONFORMANCE REQUIREMENTS**
THE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CAMPBELL STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (CSCS) DATED JULY 1996, AND IN ACCORDANCE WITH THE PROJECT PLANS. ATTENTION IS ALSO DIRECTED TO THE CITY OF SAN JOSE STANDARD SPECIFICATIONS (SSS) AND STANDARD DETAILS (STD) DATED JULY 1992, THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS (SS) AND STANDARD PLANS (SP) DATED MAY 2008, PORTIONS OF WHICH ARE INCORPORATED INTO THE CDS BY REFERENCE.
- 3. WORK IN PUBLIC RIGHT-OF-WAY**
THESE PLANS ONLY APPROVE WORK WITHIN THE PUBLIC STREET RIGHT-OF-WAY AND PUBLIC EASEMENTS. SEPARATE PLAN APPROVALS AND PERMITS ARE REQUIRED FOR INSTALLATION OF ANY PUBLIC UTILITY FACILITY, AND ANY WORK ON PRIVATE PROPERTY.

4. CONTRACTOR RESPONSIBILITIES
THE CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE AND HOLD THE CITY, ITS OFFICERS, EMPLOYEES AND VOLUNTEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF THE WORK, EXCEPTING LIABILITY ARISING FROM THE NEGLIGENCE OF THE CITY, ITS OFFICERS, EMPLOYEES AND VOLUNTEERS.

5. GEOGRAPHICAL INFORMATION
GEOGRAPHICAL CONDITIONS ARE IDENTIFIED IN A REPORT ENTITLED "A PREPARED REPORT" DATED _____, THE REPORT IS FOR INFORMATION ONLY.

6. PROJECT SCHEDULE
PRIOR TO CONSTRUCTION, SUBMIT TO THE CITY ENGINEER A DETAILED PROJECT SCHEDULE SHOWING PRIMARY COMPONENTS OF WORK.

7. UNDERGROUND SERVICE ALERT
CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT AT 800-227-2600 AT LEAST 48 HOURS PRIOR TO COMMENCING ANY EXCAVATIONS. CONTRACTOR SHALL HAND DIG TO EXPOSE EXISTING UTILITIES. FAILURE TO COMPLY MAY RESULT IN SUBSTANTIAL PENALTIES IN ACCORDANCE WITH GOVERNMENT CODE SECTION 42.16.

8. UNDERGROUND STRUCTURES
THE EXISTENCE AND LOCATIONS OF UNDERGROUND STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING FACILITIES EXCEPT AS SHOWN. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT ALL SUBSTRUCTURES, WHETHER SHOWN ON THE PLANS OR NOT. MAKE EXPLORATORY EXCAVATIONS, AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THESE PLANS WHEN NECESSARY. THE CITY OF CAMPBELL MAKES NO GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE UTILITIES SHOWN.

9. TRAFFIC CONTROL PLAN
PREPARE, SUBMIT TO THE CITY ENGINEER FOR REVIEW, AND IMPLEMENT TRAFFIC CONTROL PLANS AS REQUIRED IN THE STANDARD SPECIFICATIONS, PROVIDE AND MAINTAIN ALL NECESSARY TEMPORARY TRAFFIC CONTROL DEVICES TO ENSURE SAFE PEDESTRIAN AND VEHICULAR ACCESS THROUGH AND AROUND THE JOB SITE. NOTIFY THE POLICE DEPARTMENT DAILY OF LANE CLOSURES OR DETOUR LINES WITHIN ROADWAYS. PROVIDE A 24-HOUR EMERGENCY RESPONSE TELEPHONE NUMBER TO THE CITY ENGINEER.

10. EROSION, DUST, AND DRAINAGE CONTROL
PROVIDE TEMPORARY EROSION, DUST AND DRAINAGE CONTROL MEASURES DURING CONSTRUCTION. FOLLOW BEST MANAGEMENT PRACTICES AS RECOMMENDED BY SANTA CLARA COUNTY NONPOINT SOURCE POLLUTION CONTROL PROGRAM. PRIOR TO CONCRETE SAWCUTTING OR WELDING, PLACE FILTER FABRIC MATERIAL IN THE FLOW LINE OF CUTTERS TO RETAIN DEBRIS AND TO PREVENT DEBRIS FROM ENTERING THE STORM DRAIN SYSTEM. PICK UP, SWEEP OR VACUUM, AND DISPOSE OF EXCESS SOIL AND DEBRIS FROM THE SITE. OBTAIN PERMITS AND PAY FEES REQUIRED TO DISPOSE OF EXCESS MATERIALS.

11. PROTECTION AND REPAIR OF IMPROVEMENTS AND UTILITIES
TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS AND UTILITIES WHICH ARE TO REMAIN IN PLACE. EXPEDITIOUSLY REPAIR IN KIND IMPROVEMENTS AND UTILITIES REMOVED OR DAMAGED BY THE CONTRACTOR'S OPERATIONS.

12. INCONSISTENCIES BETWEEN PLANS AND FIELD CONDITIONS
NOTIFY THE CITY ENGINEER IMMEDIATELY OF ANY INCONSISTENCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS. NO DEVIATION FROM THESE PLANS IS PERMITTED WITHOUT APPROVAL OF THE CITY ENGINEER.

13. CONSTRUCTION STAKING
SUBMIT TWO SETS OF CONSTRUCTION STAKING CUT SHEETS TO THE CITY PRIOR TO INSPECTION OF WORK REQUIRING STAKING.

14. INSTALLATION OF UNDERGROUND UTILITIES
INSTALL ALL UNDERGROUND UTILITIES IN PAVED AREAS PRIOR TO STARTING WORK ON NEW STREET STRUCTURAL SECTIONS OR OVERLAYS.

15. IRRIGATION LINES IN PUBLIC RIGHT-OF-WAY
REMOVE, PLUG OR RELOCATE EXISTING IRRIGATION LINES WITHIN THE PUBLIC RIGHT-OF-WAY AS DIRECTED BY THE CITY ENGINEER. REMOVE ABANDONED IRRIGATION LINES WITHIN 12 INCHES OF THE GRADINGS PLANE.

16. UNPAVED IMPROVED AREAS TO CONFORM
GRADE IMPROVED AREAS ADJACENT TO NEW CURBS, CUTTERS SIDEWALKS AND PAVEMENT TO CONFORM TO NEW IMPROVEMENTS AND TO PROVIDE FOR SAFETY AND DRAINAGE.

17. STREET LIGHTS
NEW STREET LIGHTS SHALL BE 340 VOLT, P.O.A.E. REQUIRED FEES, PERMITS, INSTALLATIONS AND INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER. PROVIDE A COPY OF P.O.A.E. RECEIPTS TO THE CITY ENGINEER.

18. SURVEY REFERENCE POINTS
PROTECT OR RESTORE BY A LICENSED SURVEYOR CIVIL ENGINEER, SURVEY MONUMENTS AND BENCHMARKS DAMAGED OR DESTROYED DURING CONSTRUCTION, FILE CORNER RECORD OR RECORD OF SURVEY AS REQUIRED.

19. AS BUILT PLANS
SUBMIT AS BUILT PLANS ON MYLARS, SIGNED BY THE ENGINEER OF WORK AND ACCEPTABLE TO THE CITY ENGINEER, PRIOR TO FINAL ACCEPTANCE.

20. TRUCK ROUTE
THE TRUCK ROUTE SHALL BE _____

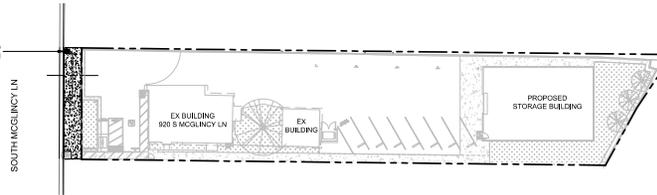
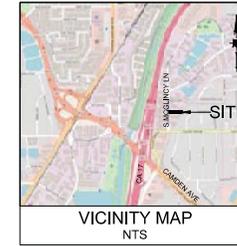
21. UTILITY ENCROACHMENT PERMIT
OBTAIN SEPARATE PERMITS WITH EACH UTILITY COMPANY FOR THE INSTALLATION OF ALL UTILITIES THAT WILL SERVE THE ENCROACHMENT INCLUDING WATER, SEWER, GAS, ELECTRIC, ETC.). APPLICANT SHALL APPLY FOR AND PAY ALL NECESSARY FEES FOR UTILITY PERMITS FOR EACH UTILITY. SEWER, GAS, WATER, ELECTRIC AND ALL OTHER UTILITY WORK. THE PLAN SHALL CLEARLY SHOW THE LOCATION AND SIZE OF ALL EXISTING UTILITIES AND THE LOCATIONS OF NEW UTILITIES. INDICATE WHICH UTILITIES AND SERVICES ARE TO REMAIN, WHICH UTILITIES AND SERVICES ARE TO BE ABANDONED, AND WHERE NEW UTILITIES AND SERVICES WILL BE INSTALLED. JUMP TRENCHES FOR NEW UTILITIES SHALL BE USED WHENEVER POSSIBLE. THE LOCATIONS OF THE UTILITIES SHALL NOT DEVIATE FROM THE PROPOSED LOCATIONS ON THE OFF-SITE STREET IMPROVEMENT PLANS.

22. STORM SEWER SYSTEM REQUIREMENTS
A. ALL STORM DRAIN LATERALS ARE TO BE 12" RCP UNLESS NOTED OTHERWISE.
B. BOLT-DOWN MANHOLE COVERS SHALL BE USED WHEN MANHOLES ARE NOT LOCATED IN THE ROADWAY.
C. CONTRACTOR SHALL PROVIDE VIDEO INSPECTION OF ALL NEWLY CONSTRUCTED STORM MAINS PRIOR TO PROJECT ACCEPTANCE.
D. CONTRACTOR SHALL INSTALL NO DUMPING - FLOWS TO BAY" MEDALLIONS OR STENCILS AT ALL INLETS AND CATCH BASINS WITHIN THE PROJECT LIMITS.

**STREET IMPROVEMENT PLANS - OFF-SITE
920 SOUTH MCGLINCY LANE
ENCROACHMENT PERMIT NO. _____**



**CITY OF CAMPBELL
DEPARTMENT OF PUBLIC WORKS**



**SITE MAP
SCALE: 1" = 30'**

INDEX OF DRAWINGS

TITLE	SHEET
TITLE SHEET	1
CITY STANDARD DETAILS	2
DEMOLITION & STREET PLAN VIEW	3
BLUEPRINT FOR A CLEAN BAY	4

AGENCY INDEX

SANTA CLARA COUNTY FIRE DEPARTMENT	(408) 378-4010
CITY OF CAMPBELL - PUBLIC WORKS	(408) 866-2150
CITY OF CAMPBELL - POLICE	(408) 866-2121
AT&T	(408) 989-2061
PACIFIC GAS & ELECTRIC	(408) 743-5000
SAN JOSE WATER COMPANY	(408) 278-7900
SANTA CLARA VALLEY WATER DISTRICT	(408) 285-2000
COMCAST (BETWEEN 7:00AM AND 3:00PM)	(408) 918-3245
CONCAST (AFTER NORMAL WORKING HOURS)	(408) 945-2288
WEST VALLEY SANITATION DISTRICT	(408) 376-2407
UNITED STATES POSTAL SERVICE	(408) 378-8780
WEST VALLEY COLLECTION & RECYCLING	(408) 288-8500
VALLEY TRANSPORTATION AUTHORITY - BUS SERVICE	(408) 321-5073

ABBREVIATIONS

AB	AGGREGATE BASE	PKE	PUBLIC INGRESS EGRESS EASEMENT
AC	ASPHALT CONCRETE	PL	PROPERTY LINE
AG	AGGREGATE BASE	POC	POINT ON CURVE
BC	BEGIN CURVE	PRC	POINT OF REVERSE CURVATURE
BCR	BEGIN CURB RETURN	PSE	PRIVATE STORM DRAIN EASEMENT
BOW	BACK OF WALK	PSE	PUBLIC SERVICE EASEMENT
BWC	BEGIN VERTICAL CURVE	PUE	PUBLIC UTILITY EASEMENT
BW	BOTTOM OF WALL	PVC	POLYVINYL CHLORIDE
CL	CENTERLINE	PI	POINT OF VERTICAL INTERSECTION
CMU	CONCRETE MASONRY UNIT	R	RADIUS
DA	DRAINAGE	RCP	REINFORCED CONCRETE PIPE
DWV	DRYWELL	RG	ROUGH GRADE
ED	EDGE CURVE	RSL	ROCK SLOPE PROTECTION
EOR	EDGE CURB RETURN	RW	RIGHT OF WAY
EG	EDGE DRAIN	RL	RAIN WATER LEADER
EGG	EXISTING GROUND	SEW	SEWER CLEAN OUT
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EV	END VERTICAL CURVE	SDCI	STORM DRAIN CURB INLET
EX	EXISTING	SOE	STORM DRAIN EASEMENT
FC	FACE OF CURB	SDFI	STORM DRAIN FIELD INLET
FF	FINISHED FLOOR	SDJB	STORM DRAIN JUNCTION BOX
FG	FINISHED GRADE	SDMH	STORM DRAIN MANHOLE
FL	FIRE HYDRANT	SDNU	STORM DRAIN NONURBAN
FL	FLOW LINE	SRE	STORM DRAIN RELEASE EASEMENT
GB	GRADE BREAK	SO	SIDE OPENING
HP	HIGH POINT	STA	STATION
INV	INVERT	SW	SIDEWALK
IRR	IRRIGATION	TC	TOP OF CURB
LCL	LAYOUT LINE	TCI	THEORETICAL TOP OF CURB
LP	LOW POINT	TD	TOP OF DEPRESSED CURB
MAX	MAXIMUM	TDVC	TOP OF DEPRESSED VERTICAL CURB
MN	MANHOLE	TEMP	TEMPORARY
MIR	MIRRORED	TD	TOP OF GRATE
NTS	NOT TO SCALE	TVC	TOP OF VERTICAL CURB
PA	PLANTING AREA	TP	TOP OF WALL
PB	PULL BOX	TY	TYPICAL
PCC	POINT OF COMPOUND CURVATURE	WM	WATER METER
P.C.C.	PORTLAND CEMENT CONCRETE		

LEGEND

PROPOSED	EXISTING
ROOF DOWNSPOUT	
DIRECTION OF SURFACE DRAINAGE	
SAWCUT LINE	
WATER LINE	
SANITARY SEWER PIPE	
PROPERTY LINE	
ROADWAY CENTERLINE	
FENCE	
FIRE HYDRANT	

BENCHMARK

ELEVATION BY GPS (NAVD8)
PT 700, SET CUT X, ELEV + 115.76', HELD ELEVATION FROM GPS
SEE SITE MAP

BASIS OF BEARINGS

ASSUMED

GENERAL APPROVAL NOTE:

APPROVAL OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER/PRIORITIES OF THE RESPONSIBILITY FOR CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF DURING THE COURSE OF CONSTRUCTION, PUBLIC UTILITIES REQUIRES A MODIFICATION OF THESE PLANS, OR THE STANDARD SPECIFICATIONS AND DETAILS OF THE CITY OF CAMPBELL, THE CITY ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUCH MODIFICATION AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE CONSTRUCTED, AT NO COST TO THE CITY.

SEAL OF ENGINEER OF WORK:

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 8103 OF THE BUSINESS AND PROFESSIONS CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF CAMPBELL IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR DESIGN OF THE PROJECT.

SIGNATURE _____ P.E. _____



**TITLE SHEET
OFF-SITE IMPROVEMENT PLANS
920 SOUTH MCGLINCY LANE
ENCROACHMENT PERMIT NO. _____**

SCALE:
AS SHOWN

SHEET:
1

NO.	DATE	BY	DRWD
1	10/06/2018		

DATE OF SUBMIT: 10/06/2018
DRAWN BY: JPH
CHECKED BY: JPH
DATE OF REVIEW: 10/11/2018
DESIGNED BY: JPH
REVIEWED BY: JPH

FOR REVIEW ONLY



UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS, ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.



AMY OLAY, P.E.
CITY ENGINEER
CITY OF CAMPBELL

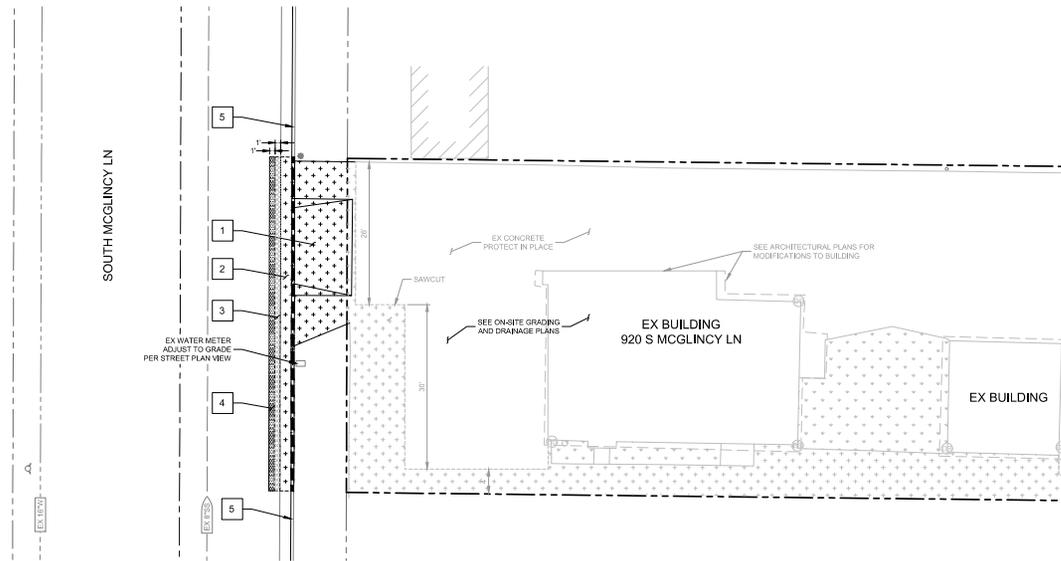
DATE _____

MARTIN DEFORGE
1570 OAKLAND RD, SAN JOSE, CA 95131
TELEPHONE: 408-487-2200

DEMOLITION NOTES

- 1 REMOVE EX CONCRETE DRIVEWAY
- 2 REMOVE EX CONCRETE CURB AND GUTTER
- 3 REMOVE EX AC AND BASE (1 1/2" MIN) PER DETAIL A-3 ON SHEET 2
- 4 GRIND PAVEMENT PER DETAIL A-3 ON SHEET 2
- 5 EX CONCRETE CURB AND GUTTER TO REMAIN

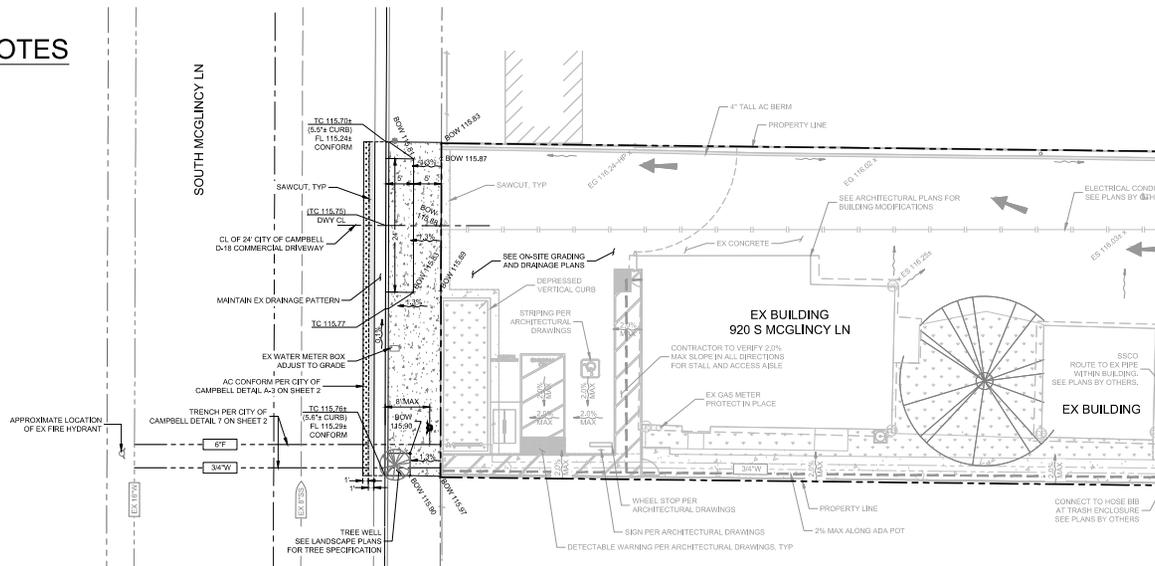
-  REMOVE CONCRETE
-  REMOVE AC PER DETAIL A-3 ON SHEET 2
-  GRIND AC PER DETAIL A-3 ON SHEET 2
-  REMOVE EX CURB



STREET PLAN VIEW NOTES

1. SEE SHEET 2 FOR CITY OF CAMPBELL D-18 COMMERCIAL DRIVEWAY DETAIL

-  CONCRETE PAVING
-  REPLACE AC PER DETAIL A-3 ON SHEET 2
-  AC OVERLAY PER DETAIL A-3 ON SHEET 2



PAVEMENT RESTORATION NOTE:

THE CITY ENGINEER RESERVES THE RIGHT TO AMEND OR CHANGE THE PAVEMENT RESTORATION AREA SHOULD ANY UTILITY TRENCHES, CONNECTIONS, FACILITIES, ETC. CHANGE IN LOCATION FROM WHAT ARE SHOWN ON THESE PLANS. OR FOR PAVEMENT DAMAGE CAUSED BY THE CONTRACTOR'S CONSTRUCTION EQUIPMENT. ANY CHANGES THE CITY ENGINEER REQUIRES CAN INCLUDE BUT ARE NOT LIMITED TO: FULL REMOVAL OF EXISTING PAVEMENT STRUCTURAL SECTION, INSTALLATION OF PAVEMENT STRUCTURAL SECTION, GRINDING AND INSTALLATION OF PAVEMENT, OVERLAY OF PAVEMENT.

DATE: 01/14/2019					
BY: JPH					
REVISION:	REVISION:	REVISION:	REVISION:	REVISION:	REVISION:
USE EXISTING SUBMITTALS					
COMMENT REVISIONS					
FOR REVIEW ONLY					



FHMT
 (408) 882-9700
 1570 Oakland Road
 San Jose, CA 95131

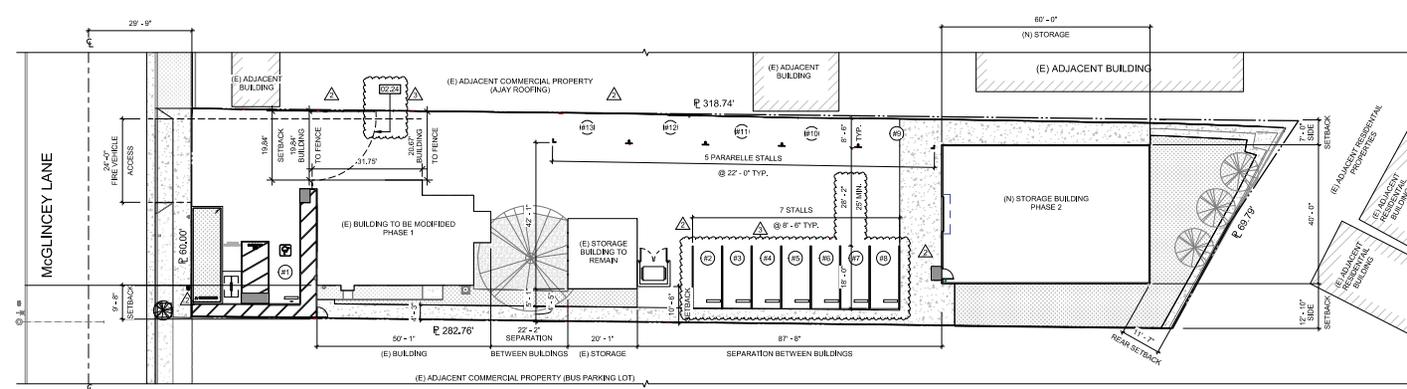


DEMOLITION & STREET PLAN VIEW
 OFF-SITE IMPROVEMENT PLANS
 920 SOUTH MCGLINCY LANE
 ENCROACHMENT PERMIT NO. _____

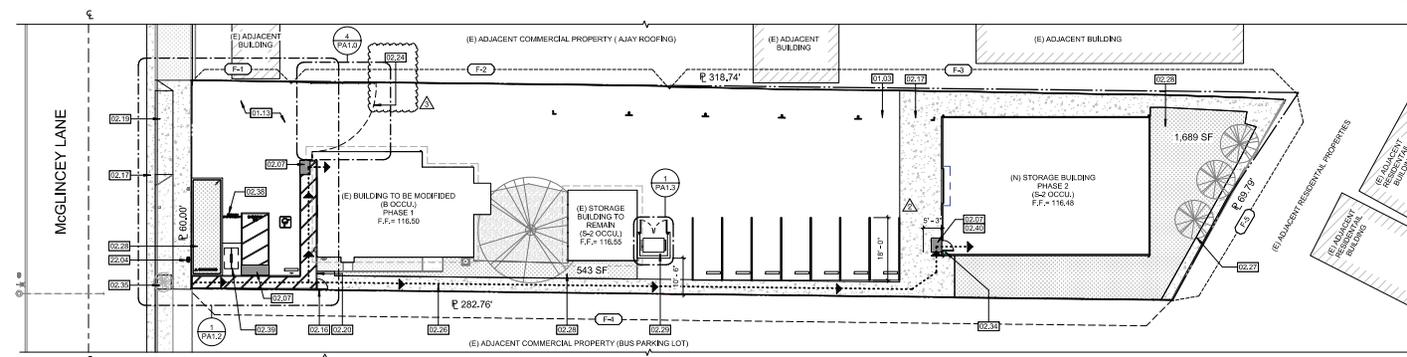


CAMPBELL, CALIFORNIA

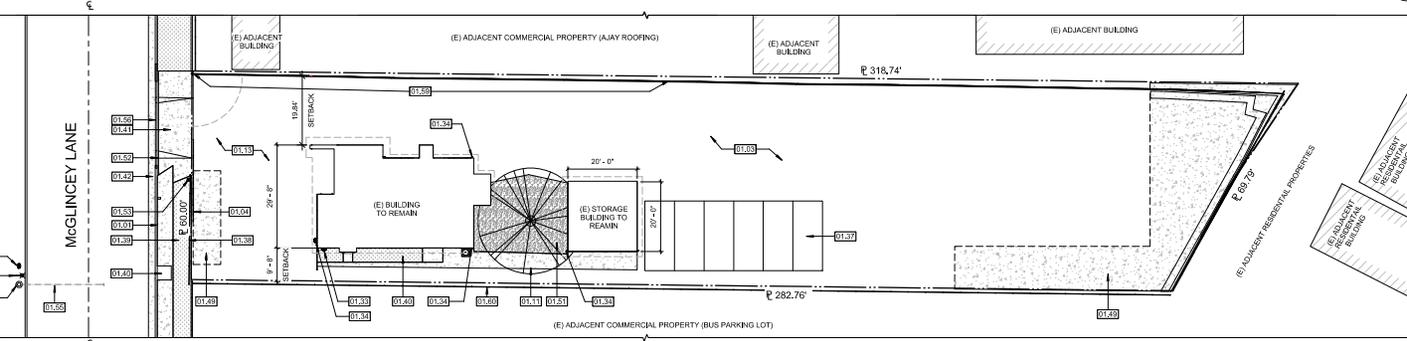
SCALE: 1" = 10'
SHEET: 3



PROPOSED DIMENSION PLAN 3
1/16" = 1'-0"



PROPOSED SITE PLAN 2
1/16" = 1'-0"



EXISTING / DEMO SITE PLAN 1
1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- PARKING COUNT

FENCE TYPE LEGEND

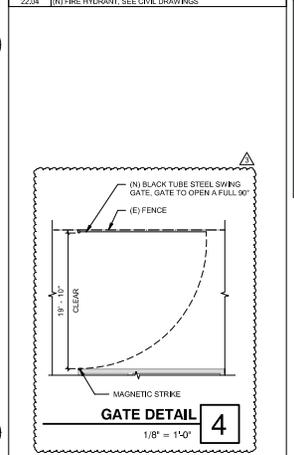
- F-1 8' BARBED WIRE FENCE TO BE REPLACED WITH 6' CHAIN LINK FENCE W/ GREEN VINYL SLATS, RELOCATED TO PROPERTY LINE
- F-2 6' CHAIN LINK ROLLING GATE TO BE REMOVED
- F-3 6' CHAIN LINK FENCE W/ BARBED WIRE TO BE REPLACED WITH 6' CHAIN LINK FENCE W/ GREEN VINYL SLATS
- F-4 6' CHAIN LINK FENCE TO BE REPLACED ON PROPERTY LINE
- F-5 6' PTF FENCE

KEY NOTES

- 01.01 (E) CURB TO REMAIN
- 01.03 (E) CONCRETE PAVING TO REMAIN
- 01.04 (E) CHAIN LINK ROLLING GATE TO BE REMOVED
- 01.11 (E) TREE TO REMAIN
- 01.13 (E) CONCRETE DRIVEWAY
- 01.33 (E) GAS METER TO REMAIN
- 01.34 (E) DOWNSPOUT TO REMAIN
- 01.37 (E) SHIPPER CONTAINER (TEMPORARY)
- 01.38 (E) CHAIN LINK FENCE TO BE REMOVED
- 01.39 (E) LANDSCAPE AREA TO BE REMOVED
- 01.40 (E) LANDSCAPE AREA TO REMAIN
- 01.41 (E) CONCRETE DRIVEWAY TO BE REMOVED
- 01.42 (E) CONCRETE CURB AND GRITTER TO BE REMOVED
- 01.46 (E) CONCRETE PAVING TO BE REMOVED FOR (N) LANDSCAPE
- 01.51 (E) GRAVEL AREA
- 01.52 (E) WATER METER
- 01.53 (E) IRRIGATION VALVES STUBS
- 01.54 (E) POWER POLE
- 01.55 (E) OVERHEAD POWER FEED
- 01.56 (E) CURB TO BE DEMOLISHED
- 01.57 (E) STREET LIGHT
- 01.58 (E) FIRE HYDRANT
- 01.59 PARTIAL (E) FENCE TO BE RELOCATED TO PROPERTY LINE. SEE 20A1 FOR FENCE SPECIFICATION
- 01.60 (E) CHAIN LINK FENCE TO BE REPLACED ON PROPERTY LINE
- 02.07 (N) 8' TRUNCATED DOME BORDER, PER 118 705, REFER TO 20A1
- 02.16 (N) ACCESSIBLE MAN GATE
- 02.17 (N) CONCRETE PAVING, SEE CIVIL DRAWINGS
- 02.19 (N) CONCRETE DRIVEWAY
- 02.20 (N) 6" TUBE STEEL FENCE (BLACK) WITH ACCESSIBLE MAN GATE OPEN TO A FULL 90°. SEE DETAIL BELOW
- 02.21 (N) UNDERGROUND UNDERGROUND FIRE LINE, REPLACE THE CONCRETE ALONG SOUTH PROPERTY LINE AND REPLACE WITH SLOPE "AWAY" 2% MAX SLOPE, FROM PROPERTY LINE (NO VERTICAL CURB)
- 02.26 (N) MOTORCYCLE PARKING
- 02.27 (N) TREES, SEE LANDSCAPE DRAWINGS
- 02.28 (N) LANDSCAPE
- 02.29 (N) TRASH ENCLOSURE FIRE BRINKS (INCLUDE)
- 02.34 (N) TREE WELL, SEE LANDSCAPE DRAWINGS
- 02.35 (N) TREE WELL, SEE LANDSCAPE DRAWINGS
- 02.38 (N) MOTORCYCLE PARKING
- 02.39 (N) BICYCLE PARKING
- 02.40 LAMEN AT FOUR SHALL BE AT THE SAME ELEVATION AT BOTH SIDES OF THE DOOR AND LEVEL. EXTERIOR LAMEN SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2% SLOPE, PER CBC 1010.15
- 22.04 (N) FIRE HYDRANT, SEE CIVIL DRAWINGS

KEY NOTES

- 01.01 (E) CURB TO REMAIN
- 01.03 (E) CONCRETE PAVING TO REMAIN
- 01.04 (E) CHAIN LINK ROLLING GATE TO BE REMOVED
- 01.11 (E) TREE TO REMAIN
- 01.13 (E) CONCRETE DRIVEWAY
- 01.33 (E) GAS METER TO REMAIN
- 01.34 (E) DOWNSPOUT TO REMAIN
- 01.37 (E) SHIPPER CONTAINER (TEMPORARY)
- 01.38 (E) CHAIN LINK FENCE TO BE REMOVED
- 01.39 (E) LANDSCAPE AREA TO BE REMOVED
- 01.40 (E) LANDSCAPE AREA TO REMAIN
- 01.41 (E) CONCRETE DRIVEWAY TO BE REMOVED
- 01.42 (E) CONCRETE CURB AND GRITTER TO BE REMOVED
- 01.46 (E) CONCRETE PAVING TO BE REMOVED FOR (N) LANDSCAPE
- 01.51 (E) GRAVEL AREA
- 01.52 (E) WATER METER
- 01.53 (E) IRRIGATION VALVES STUBS
- 01.54 (E) POWER POLE
- 01.55 (E) OVERHEAD POWER FEED
- 01.56 (E) CURB TO BE DEMOLISHED
- 01.57 (E) STREET LIGHT
- 01.58 (E) FIRE HYDRANT
- 01.59 PARTIAL (E) FENCE TO BE RELOCATED TO PROPERTY LINE. SEE 20A1 FOR FENCE SPECIFICATION
- 01.60 (E) CHAIN LINK FENCE TO BE REPLACED ON PROPERTY LINE
- 02.07 (N) 8' TRUNCATED DOME BORDER, PER 118 705, REFER TO 20A1
- 02.16 (N) ACCESSIBLE MAN GATE
- 02.17 (N) CONCRETE PAVING, SEE CIVIL DRAWINGS
- 02.19 (N) CONCRETE DRIVEWAY
- 02.20 (N) 6" TUBE STEEL FENCE (BLACK) WITH ACCESSIBLE MAN GATE OPEN TO A FULL 90°. SEE DETAIL BELOW
- 02.21 (N) UNDERGROUND UNDERGROUND FIRE LINE, REPLACE THE CONCRETE ALONG SOUTH PROPERTY LINE AND REPLACE WITH SLOPE "AWAY" 2% MAX SLOPE, FROM PROPERTY LINE (NO VERTICAL CURB)
- 02.26 (N) MOTORCYCLE PARKING
- 02.27 (N) TREES, SEE LANDSCAPE DRAWINGS
- 02.28 (N) LANDSCAPE
- 02.29 (N) TRASH ENCLOSURE FIRE BRINKS (INCLUDE)
- 02.34 (N) TREE WELL, SEE LANDSCAPE DRAWINGS
- 02.35 (N) TREE WELL, SEE LANDSCAPE DRAWINGS
- 02.38 (N) MOTORCYCLE PARKING
- 02.39 (N) BICYCLE PARKING
- 02.40 LAMEN AT FOUR SHALL BE AT THE SAME ELEVATION AT BOTH SIDES OF THE DOOR AND LEVEL. EXTERIOR LAMEN SHALL BE PERMITTED TO HAVE A SLOPE NOT TO EXCEED 2% SLOPE, PER CBC 1010.15
- 22.04 (N) FIRE HYDRANT, SEE CIVIL DRAWINGS



GATE DETAIL 4
1/8" = 1'-0"



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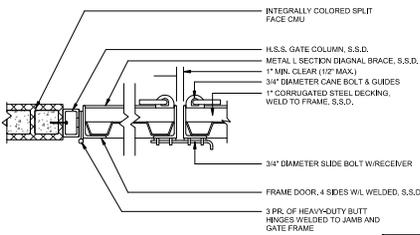
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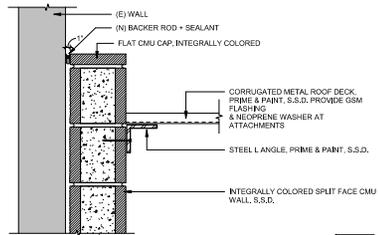
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EXISTING / PROPOSED
SITE PLANS

PA1.0

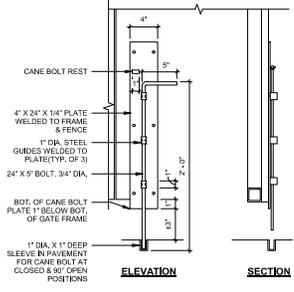
KEY NOTES	
04.01	CEMENT PLASTER O' CMU TYP.
05.04	CORRUGATED METAL ROOF WITH G.S.M. FLASHING WITH FASTENER AND NIPERINE WASHER, PRIME & PAINT
21.01	3/4" DIA. CANE BOLT TYP.
21.02	3/4" DIA. DROP BOLT TYP. SEE DETAIL 8/PA1.3



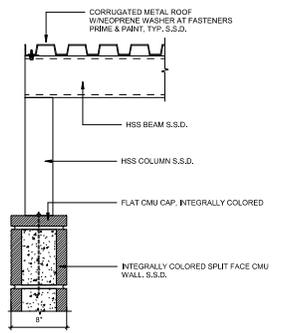
TRASH ENCLOSURE GATE JAMB
1" = 1'-0" **10**



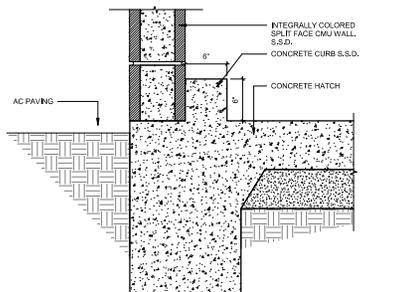
DETAIL @ CMU PARAPET
1 1/2" = 1'-0" **9**



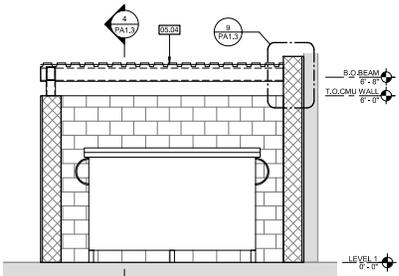
CANE BOLT DETAIL
1 1/2" = 1'-0" **8**



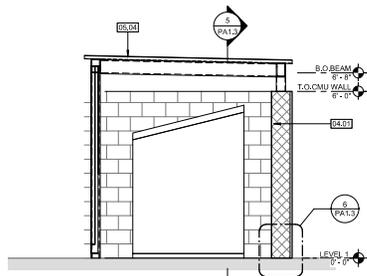
WALL SECTION - TRASH ENCLOSURE TOP
1 1/2" = 1'-0" **7**



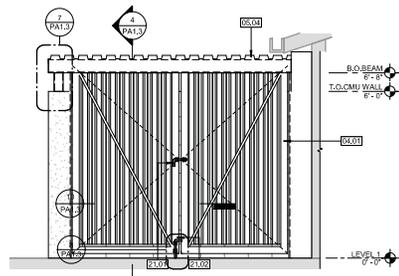
WALL SECTION - TRASH ENCLOSURE BASE
1 1/2" = 1'-0" **6**



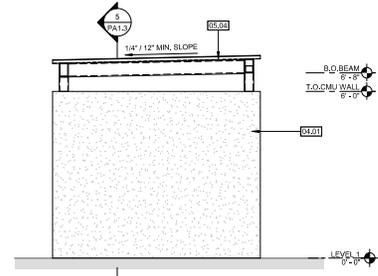
SECTION 2 - TRASH ENCLOSURE
1/2" = 1'-0" **5**



SECTION 1 - TRASH ENCLOSURE
1/2" = 1'-0" **4**

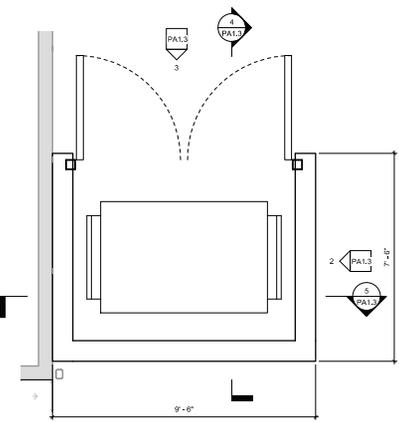


NORTH ELEVATION - TRASH ENCLOSURE
1/2" = 1'-0" **3**



EAST ELEVATION - TRASH ENCLOSURE
1/2" = 1'-0" **2**

NOTE:
TRASH ENCLOSURE
SHALL BE FIRE
SPRINKLERED



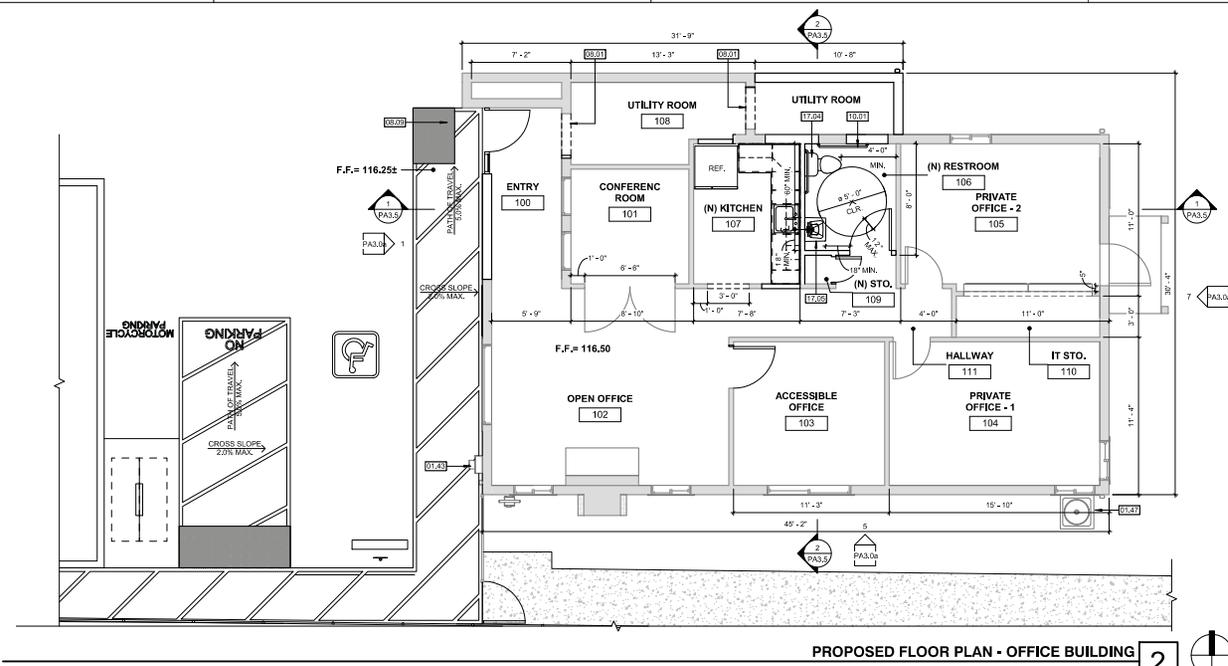
ENLARGED PLAN - TRASH ENCLOSURE
1/2" = 1'-0" **1**

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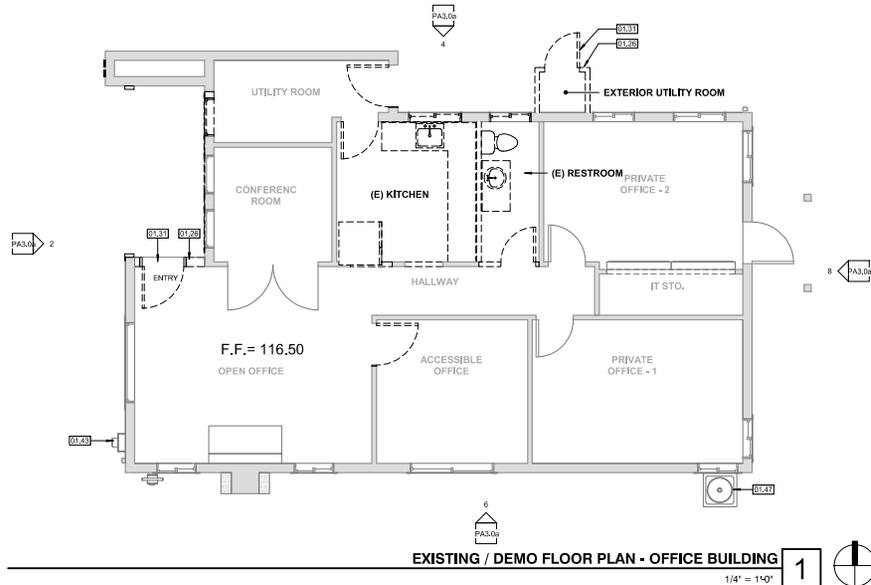
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ENLARGED
SITE PLAN,
ELEVATIONS,
AND DETAILS

PA1.3



PROPOSED FLOOR PLAN - OFFICE BUILDING 2
1/4" = 1'-0"



EXISTING / DEMO FLOOR PLAN - OFFICE BUILDING 1
1/4" = 1'-0"

WALL LEGEND

- (E) WALL TO REMAIN
- - - - (E) WALL TO BE DEMOLISHED
- (E) DOOR TO REMAIN
- - - - (E) DOOR TO BE REMOVED
- (N) WALL TO MATCH ADJACENT
- (N) DOOR
- AXXX SYMBOL FOR EXTERIOR ELEVATION
- F.F.# FLOOR HEIGHT CALL-OUT

KEY NOTES

01.26	(E) WALL TO BE DEMOLISHED
01.31	(E) DOOR TO BE REMOVED
01.43	(E) ELECTRIC METER TO REMAIN
01.47	(E) CONDENSING UNIT TO REMAIN
08.01	(N) LASED OPENING
08.09	(N) ACCESSIBLE ENTRY DOOR + SIDE LIGHT, 14" MAXIMUM VERTICAL CHANGE IN LEVEL SHALL BE PERMITTED WITHOUT EDGE TREATMENT PER 903.18-903.2 REFER TO APPA.2
10.01	GRAB BAR, REFER TO DETAIL 8PA2.5 FOR FURTHER ACCESSIBILITY REQUIREMENTS AND DIMENSIONS
17.04	(N) ACCESSIBLE TOILET, REFER TO DETAIL 8PA2.5 FOR FURTHER ACCESSIBILITY REQUIREMENTS AND DIMENSIONS
17.06	(N) ACCESSIBLE WALL-MOUNTED SINK, REFER TO DETAIL 8PA2.5 FOR FURTHER ACCESSIBILITY REQUIREMENTS AND DIMENSIONS

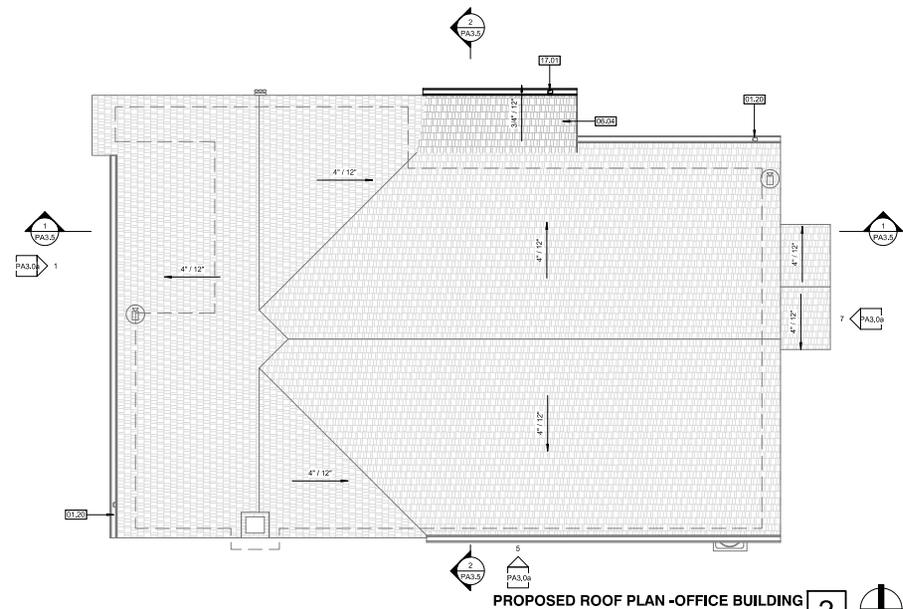
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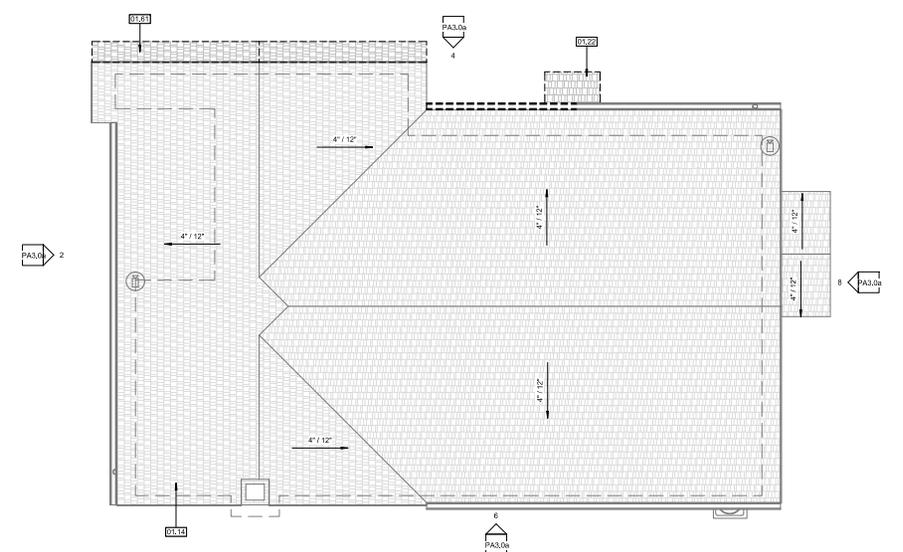
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EXISTING /
PROPOSED
FLOOR PLANS -
OFFICE
BUILDING
PA2.1a



PROPOSED ROOF PLAN - OFFICE BUILDING 2
1/4" = 1'-0"



EXISTING / DEMO ROOF PLAN - OFFICE BUILDING 1
1/4" = 1'-0"

WALL LEGEND

- SLOPE
- SYMBOL FOR EXTERIOR ELEVATION

KEY NOTES

01.18	(E) ROOF TO REMAIN
01.20	(E) GUTTER SYSTEM W/DOWNSPOUT TO REMAIN
01.22	(E) WATER HEATER SHED TO BE REMOVED
01.61	(E) ROOF OVERHANG TO BE REMOVED
06.04	(N) EXTENDED ROOF
17.01	(N) PAINTED GSM GUTTER SYSTEM W/PAINTED DOWNSPOUTS



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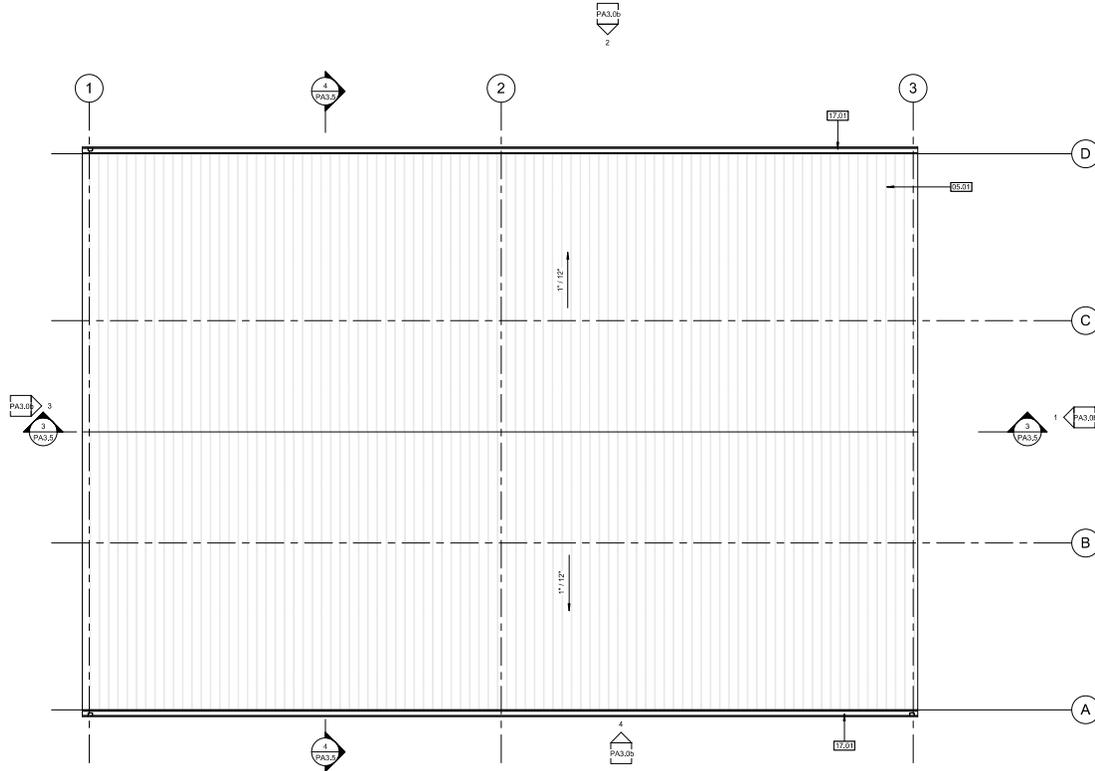
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Sheet Title:
EXISTING / PROPOSED ROOF PLAN - OFFICE BUILDING
PA2.2a

10/20/17 2:23:47 PM

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PROPOSED ROOF PLAN - (N) STORAGE BUILDING - PHASE 2

1/4" = 1'-0"



WALL LEGEND

- X/XXX SLOPE
- SYMBOL FOR EXTERIOR ELEVATION

KEY NOTES

- 06.01 (N) COLORED STANDING SEAM METAL ROOF SYSTEM PER MANUFACTURER'S SPECIFICATIONS
- 17.01 (N) PAINTED GSM GUTTER SYSTEM W/PAINTE DOWNSPOUTS



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 PROPOSED
 ROOF PLAN -
 (N) STORAGE
 BUILDING -
 PHASE 2

PA2.2b

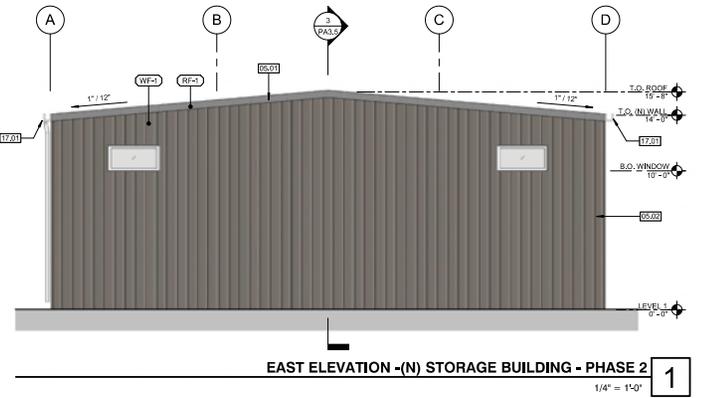
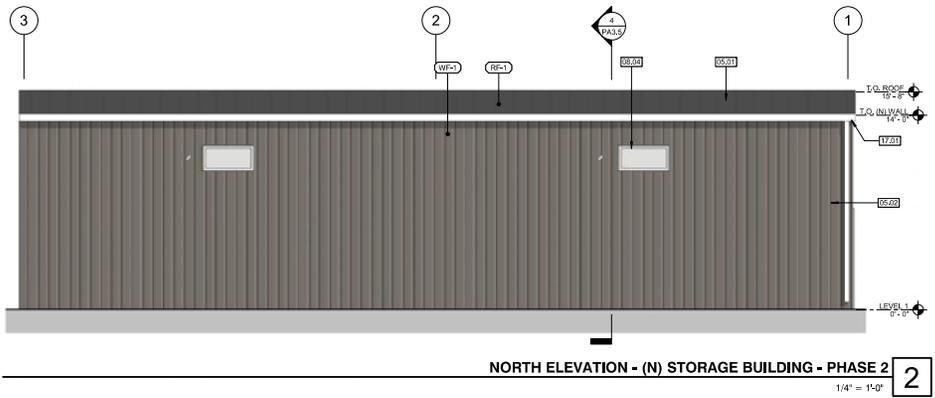
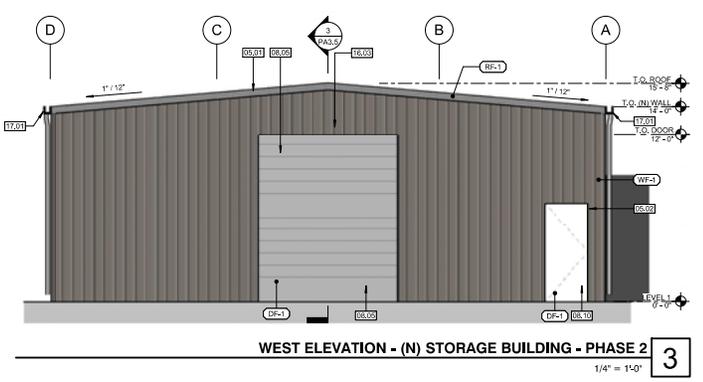
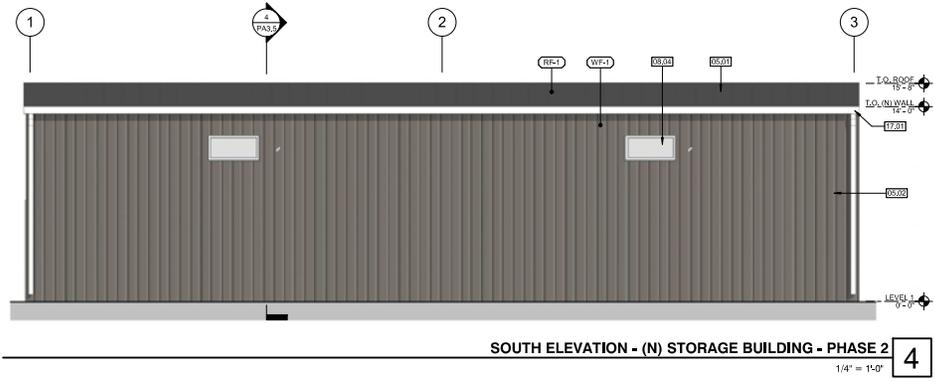
FINISH LEGEND			
	LOCATION	COLOR	DESCRIPTION
DOOR			
DF-1	(N) STORAGE BUILDING	POLAR WHITE	METAL DOOR
RF-1	(N) STORAGE BUILDING	POLAR WHITE	STANDING SEAM METAL ROOF
WF-1	(N) STORAGE BUILDING	LIGHT STONE	CORRUGATED METAL WALL

KEY NOTES	
05.01	(N) COLORED STANDING SEAM METAL ROOF SYSTEM PER MANUFACTURER'S SPECIFICATIONS
05.02	(N) CORRUGATED METAL BUILDING SYSTEM PER MANUFACTURER'S SPECIFICATIONS
05.04	(N) WINDOW PER MANUFACTURER'S SPECIFICATIONS, TYP.
08.10	(N) SINGLE SWING DOOR
16.03	(N) EXTERIOR WALL PACK LIGHTING
17.01	(N) PAINTED GSM GUTTER SYSTEM WITH PAINTED DOWNSPOUTS

LEGEND	
	MATERIAL TAG

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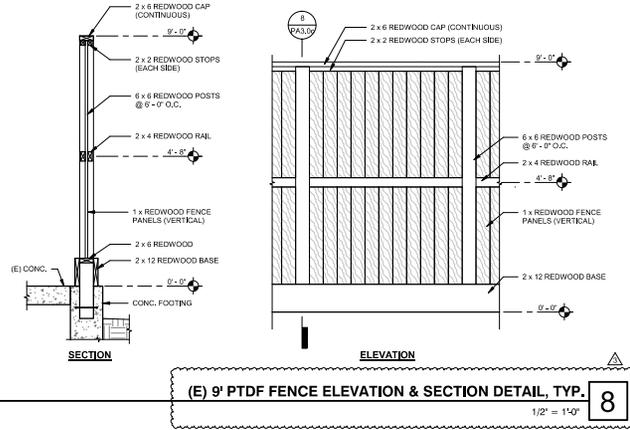
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**PROPOSED
ELEVATIONS -
(N) STORAGE
BUILDING -
PHASE 2**

PA3.0b



(E) 9' PTDF FENCE ELEVATION & SECTION DETAIL, TYP. 1/2" = 1'-0" **8**



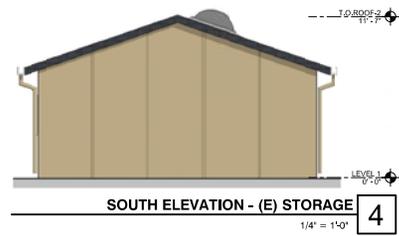
(E) 9' PTDF FENCE NS **7**



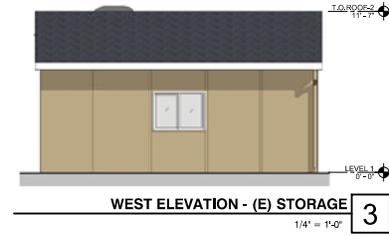
6' CHAIN LINK FENCE W/ GREEN VINYL SLATS NS **6**



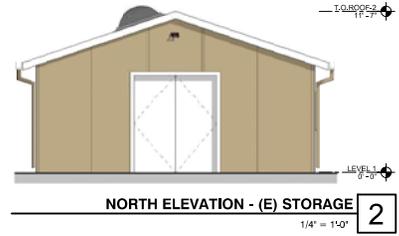
EAST ELEVATION - (E) STORAGE 1/4" = 1'-0" **5**



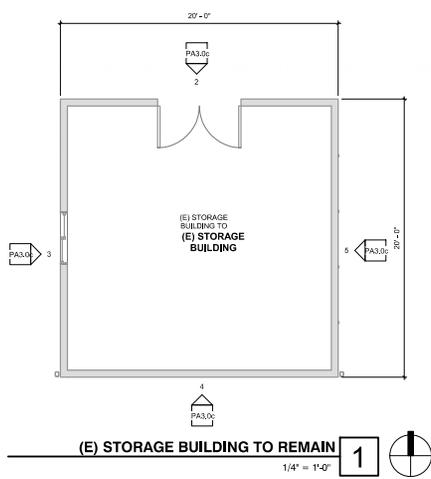
SOUTH ELEVATION - (E) STORAGE 1/4" = 1'-0" **4**



WEST ELEVATION - (E) STORAGE 1/4" = 1'-0" **3**



NORTH ELEVATION - (E) STORAGE 1/4" = 1'-0" **2**



(E) STORAGE BUILDING TO REMAIN 1/4" = 1'-0" **1**

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Sheet Title:
FLOOR PLAN & ELEVATIONS OF (E) STO. AND FENCE

PA3.0c

